

1 AN ORDINANCE ESTABLISHING INITIAL PERMANENT ZONING FOR THE
2 PROPERTY COMMONLY KNOWN AS THE LAKELINE STATION PUD
3 LOCATED AT NORTH FM 620 ROAD AND 13713 RUTLEDGE SPUR IN THE
4 NORTHWEST PARK & RIDE TOWN CENTER TRANSIT ORIENTED
5 DEVELOPMENT DISTRICT AREA AND CHANGING THE ZONING MAP
6 FROM INTERIM RURAL RESIDENCE (I-RR) DISTRICT TO PLANNED UNIT
7 DEVELOPMENT (PUD) DISTRICT

8
9 BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN

10
11 **PART 1** The zoning map established by Section 25-2-191 of the City Code is amended to
12 change the base zoning district-from interim rural residence (I-RR) district to planned unit
13 development (PUD) district on the property described in File C814-06-0218 on record at
14 the Neighborhood Planning and Zoning Department, as approximately 326 7 acres of land,
15 more or less, out of the Rachel Saul Survey, Abstract No 551, in Williamson County,
16 being more particularly described by metes and bounds in Exhibit A (*Description of*
17 *Property*) incorporated into this ordinance (the "Property"), locally known as the property
18 located at North FM 620 Road and 13713 Rutledge Spur in the Northwest Park & Ride
19 Town Center transit oriented development ("TOD") district area, in the City of Austin,
20 Williamson County, Texas, and generally identified in the map attached as Exhibit B
21 (*Zoning Map*)

22 **PART 2** This ordinance, together with the attached Exhibits A through I, are the land use
23 plan for the Lakeline Station planned unit development district (the "PUD") created by this
24 ordinance. The PUD shall conform to the limitations and conditions set forth in this
25 ordinance and in the Lakeline Station planned unit development land use plan. Except as
26 otherwise specifically provided by this ordinance and land use plan, all other rules,
27 regulations and ordinances of the City in effect on the effective date of this ordinance apply
28 to the PUD.

29 **PART 3** The attached exhibits are incorporated into this ordinance in their entirety as
30 though set forth fully in the text of this ordinance. The exhibits are as follows:

31	Exhibit A	Description of Property
32	Exhibit B	Zoning Map
33	Exhibit C	Land Use Plan
34	Exhibit D	Site Development Regulations
35	Exhibit E	Zoning Use Summary Table

- 7 COMMERCIAL/MIXED USE BUILDINGS incorporate ground floor retail with either retail, office, residential, or civic space within multi-story buildings. Parking is concealed behind buildings and located within structures that are not fully visible from the sidewalk, or placed along less-traveled streets.
- 8 EMBEDDED-GARAGE MULTIFAMILY is a block-based building with an internal parking garage. The embedded-garage multifamily building that may also include ground level retail uses.
- 9 PODIUM is a single or multi-level structured parking with residential units above or around it. Ground level retail is permitted. Building entries must address the street.
- 10 TUCK-UNDER is a medium-density multifamily type structure with attached parking accessed from alleys or private drives. Ground level retail is permitted.
- 11 LAKELINE TOWNHOME incorporates individual ground-floor entries that address the street. Garages are alley-accessed.
- 12 TOWNHOME COURT is a cluster of 12 to 15 attached two to three-story townhomes that face onto three sides of a shared green space.
- 13 LIVE-WORK TOWNHOMES are residential-office units with the work space addressing the street and incorporate alley-accessed garages.
- 14 GREEN COURT/PASEO COURT are clusters of 6 to 15 detached single family residences that face onto three sides of a shared green space.
- 15 LAKELINE SMALL LOT is a small lot, detached single family residence built near neighborhood amenities. Front-loaded parking is not permitted.
- 16 LAKELINE STANDARD LOT is a standard size, detached single family residence with a front entry and outdoor space visible from the street.
- 17 ESTATE LOT is a detached single family residence with a minimum lot size of 7,000 square feet.

- 1
- 2 a SF-5 and more restrictive zoning districts/land uses located outside
- 3 of the Lakeline Station PUD may trigger compatibility standards to
- 4 all property within the PUD, except for the TOD Mixed Use
- 5 district, as outlined within Subchapter C, Article 10
- 6
- 7 b Within the boundaries of the Lakeline Station PUD, compatibility
- 8 standards as outlined in Chapter 25-2, Subchapter C, Article 10 do
- 9 not apply to the TOD Mixed Use district
- 10
- 11 c Within the boundaries of the Lakeline Station PUD, compatibility
- 12 standards as outlined in Chapter 25-2, Subchapter C, Article 10
- 13 apply to the Attached/Cluster Residential/Mixed Use and Single
- 14 Family Residential/Mixed Use districts, except as modified below
- 15
- 16 1) Compatibility standards shall not apply between residential
- 17 uses
- 18
- 19 2) Section 25-2-1052 (*Exceptions*) shall apply
- 20
- 21 3) The following are established as compatibility standards
- 22 applicable to commercial and other permitted uses
- 23
- 24 a) Section 25-2-1065(A) (*Scale and Clustering*
- 25 *Requirements*) shall apply
- 26
- 27 b) A 25-foot vegetative buffer area, shall be provided and
- 28 maintained between residential uses and the following
- 29 commercial and civic uses automotive rentals,
- 30 business or trade school, business support services,
- 31 cocktail lounge, commercial off-street parking,
- 32 consumer repair services, convenience storage, food
- 33 preparation, hotel-motel, indoor entertainment, indoor
- 34 sports and recreation, intensive recreational facilities,
- 35 off-site accessory parking, outdoor entertainment, plant
- 36 nursery, printing and publishing, service station,
- 37 software development, theater, veterinary services,
- 38 drive through services, and custom manufacturing The
- 39 buffer is measured from a property line of a residential

1 d) Section 25-2-1064 (*Front Setback*) shall not apply

2
3 e) Height restrictions are as follows

4
5 i) Within 50 feet of an undeveloped platted
6 residential lot (measured to the nearest building
7 setback line on the property), a commercial
8 building may not exceed three stories or 40 feet in
9 height

10
11 ii) Within 50 feet of a developed residential building,
12 a commercial building may not exceed two stories
13 or 30 feet above the height of the existing
14 residential use

15
16 iii) Beyond 50 feet from a developed residential
17 building, a commercial building may be
18 constructed to the permitted height as set forth in
19 this PUD

20
21 f) Except for lighting in a public right-of-way, all exterior
22 lighting must be hooded or shielded so that the light
23 source is not directly visible from adjacent properties
24 Exterior lighting may not exceed 0.25 foot candles
25 across the source property line

26
27 g) The noise level of mechanical equipment may not
28 exceed 60 decibels at the property line

29
30 h) The use of highly reflective surfaces, including
31 reflective glass and reflective metal roofs with a pitch
32 of more than a run of seven to a rise of 12, is
33 prohibited. This prohibition does not apply to solar
34 panels and copper or painted metal roofs

35
36 i) Dumpsters and permanently placed refuse receptacles
37 must be located a minimum of 25 feet from adjacent
38 residential uses. The location of and access to
39 dumpsters or any other refuse receptacles must comply
40 with the Transportation Criteria Manual

1
2 3 Section 25-4-33(B) (*Original Tract Requirement*) is modified to provide
3 that a portion of an original tract may be included in a subdivision
4 application if the director determines that
5

6 a Subdividing only a portion of the original tract will not
7 substantially impair the orderly planning of roads, utilities,
8 drainage or other public facilities,
9

10 b The portion of the original tract that is contiguous to the area to be
11 subdivided has a 50 foot direct access to a public street or that
12 applicant has provided access to a public street by dedicating right-
13 of-way that is at least 50 feet wide, and
14

15 c An appropriate amount of impervious cover has been previously
16 allocated to the tract by virtue of a preliminary plan or an amended
17 preliminary plan
18

19 C Transportation
20

21 1 Section 25-6-171 (*Standards for Design and Construction*) does not
22 apply to the PUD
23

24 2 Section 25-6-172 (*Arterial Streets*) does not apply to the PUD
25 Development in the PUD shall comply with Exhibit F (*Street Standards*
26 *and Parking Regulations*) and Exhibit G (*Street Cross Section*
27 *Illustrations*)
28

29 3 Section 25-6-173 (*Collector Streets*) does not apply to the PUD
30 Development in the PUD shall comply with Exhibit F (*Street Standards*
31 *and Parking Regulations*) and Exhibit G (*Street Cross Section*
32 *Illustrations*)
33

34 4 Subsection (A) of Section 25-6-292 (*Design and Construction Standards*)
35 is modified to provide that this may be modified in accordance with
36 Exhibit D (*Site Development Regulations*), Exhibit F (*Street Standards*
37 *and Parking Regulations*) and Exhibit G (*Street Cross Section*
38 *Illustrations*)
39

1 E Sign Regulations

2
3 For purposes of Section 25-10-154 (*Subdivision Identification Sign*) Lakeline
4 Boulevard or a connector road is considered a major entry
5

6 **PART 7 Allocation of Impervious Cover**

7
8 Upon full development, the Property will include a maximum of 62% impervious cover
9 over the net site area of the Property ("Maximum Allowable Impervious Cover") The
10 Maximum Allowable Impervious Cover for the Property shall be further limited within
11 each Development District as follows
12

- 13 A Within the TOD Mixed Use Development District, impervious cover shall be
14 limited to a maximum of 79 1% of impervious cover - - - - -
15
16 B Within the Attached/Cluster Residential Mixed Use Development District,
17 impervious cover shall be limited to a maximum of 84 8% of impervious cover
18
19 C Within the Single Family Residential Mixed Use Development District,
20 impervious cover shall be limited to a maximum of 73 0% of impervious cover
21
22 D Within the Civic Development District, impervious cover shall be limited to a
23 maximum of 48 8% of impervious cover
24
25 E Within the Parks/Open Space/Detention Development District, impervious
26 cover shall be limited to a maximum of 5 8% of impervious cover
27

28 The owner of the Property shall prepare and submit a preliminary plan of the Property for
29 City review and approval, that (i) covers all of the Property, and (ii) describes the
30 apportionment and percentage of impervious cover throughout each Development District
31 and as allocated for each respective lot in the Preliminary Plan (each, a "Lot") The
32 apportionment of impervious cover allocated for each Lot on the Preliminary Plan shall
33 include any adjacent roadways to such Lot An individual Lot may have a Maximum
34 Allowable Impervious Cover that exceeds that allowed for the Property or Development
35 District so long as Owner complies with Items (A) – (E) above Once approved, the
36 Preliminary Plan will function as the tracking mechanism for the use of impervious cover
37 on the Property The owner shall final plat each Lot prior to the issuance of a building
38 permit for such Lot The final plat of all, or a portion, of the Property ("Final Plat") shall
39 contain a plat note which states that impervious cover for the Property, or such portion of
40 the Property in the Final Plat, is allocated in accordance with the Preliminary Plan

C814-06-0218

268 705 ACRES
LAKELINE STATION
TRACT 1

FN NO 06-666(KWA)
NOVEMBER 13, 2006
BPI JOB NO 798-06

DESCRIPTION

OF A 268 705 ACRE TRACT OF LAND OUT OF THE RACHEL SAUL SURVEY, ABSTRACT NO 551, SITUATED IN WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN 334 ACRE TRACT CONVEYED TO WILLIAM A SAVAGE OF RECORD IN DOCUMENT NOS 9333530 AND 9666531 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, SAID 268 705 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS

BEGINNING, at a 1/2 inch iron rod found at the northeast corner of said 334 acre tract and hereof, being the northwest corner of a 46 37 acre tract conveyed to Round Rock Independent School District by deed of record under Document No 2002001208 of the Official Public Records of Williamson County, Texas, also being the southerly line of Lot 1, Block "A" Avery Church Subdivision, a subdivision of record in Cabinet CC, Slides 240-241 of the Plat Records of Williamson County, Texas, from which a nail found at an angle point in the northerly line of said 46 37 acre tract bears N67°23'01"E, a distance of 220 40 feet

THENCE, along the easterly line of said 334 acre tract, being the westerly line of said 46 37 acre tract, for a portion of the easterly line hereof, the following three (3) courses and distances

- 1) S20°02'52"E, a distance of 815 16 feet to a 1/2 inch iron rod found for an angle point
- 2) S19°52'02"E, a distance of 1092 55 feet to a 1/2 inch iron rod found for an angle point
- 3) S20°15'03 E, a distance of 328 20 feet to a 1/2 inch iron rod found at the southwesterly corner of said 46 37 acre tract, being the northwesterly corner of Lot 1, Block A Farmer/Lakeline Subdivision, a subdivision of record in Cabinet S, Slides 187-188 of said Plat Records

THENCE, continuing along the easterly line of said 334 acre tract, being the westerly line of said Lot 1, Block A" Farmer/Lakeline Subdivision, for a portion of the easterly line hereof, the following two (2) courses and distances

- 1) S20°16'09 E, a distance of 219 64 feet to a 1/2 inch iron rod found for an angle point
- 2) S20°27'52"E, a distance of 664 53 feet to a 1/2 inch iron rod found at the northeasterly corner of that certain 12 01 acre tract of land (Lakeline Boulevard) conveyed to Williamson County, Texas by deed of record under Document No 2003091325 of said Official Public Records, for the southeasterly corner hereof

EXHIBIT A

- 13) Along said curve to the right having a radius of 1140 00 feet, a central angle of $19^{\circ}44'06''$, an arc length of 392 66 feet and a chord which bears $S61^{\circ}15'45''W$, a distance of 390 72 feet to a 1/2 inch iron rod found at the end of said curve,
- 14) $S71^{\circ}04'44''W$, a distance of 326 06 feet to a 1/2 inch iron rod found at the northwesterly corner of said 12 01 acre tract, being the easterly line of that certain tract of land conveyed to Capital Metropolitan Transportation Authority (Railroad Right-of-way) by deed of record under Document No 2000020773 of said Official Public Records, for the southwesterly corner hereof

THENCE, along the westerly line of said 334 acre tract, being the easterly line of said Capital Metropolitan Transportation Authority tract, for the westerly line hereof, the following four (4) courses and distances

- 1) Along a non-tangent curve to the right having a radius of 1920 00 feet, a central angle of $24^{\circ}50'56''$, an arc length of 832 69 feet and a chord which bears $N05^{\circ}31'40''W$, a distance of 826 18 feet to a 1/2 inch iron rod found for the end of said curve
- 2) $N04^{\circ}34'00''E$, a distance of 1525 74 feet to a 1/2 inch iron rod found for the point of curvature of a non-tangent curve to the left
- 3) Along said non-tangent curve to the left having a radius of 4674 76 feet, a central angle of $11^{\circ}06'12''$, an arc length of 905 92 feet and a chord which bears $N01^{\circ}00'59''E$, a distance of 904 51 feet to a 1/2 inch iron rod found for the end of said curve
- 4) $N02^{\circ}20'35''W$ a distance of 248 85 feet to a 1/2 inch iron rod found at the southwesterly corner of Avery Ranch West Phase II, a subdivision of record in Cabinet U, Slides 181-187 of said Plat Records, being the northwesterly corner of said 334 acre tract, for the northwesterly corner hereof

THENCE, along the southerly line of said Avery Ranch West Phase II, the southerly line of Avery Ranch West Phase One, a subdivision of record in Cabinet T, Slides 53-60 of said Plat Records and a portion of the southerly line of said Lot 1, Block "A" Avery Church Subdivision, being the northerly line of said 334 acre tract, for the northerly line hereof, the following three (3) courses and distances

- 1) $N68^{\circ}32'22''E$, a distance of 1175 65 feet to a 1/2 inch iron rod found for an angle point,

C814-06-0218

58 093 ACRES
LAKELINE STATION
TRACT 2

FN NO 06-670(KWA)
NOVEMBER 13, 2006
BPI JOB NO 798-06

DESCRIPTION

OF A 58 093 ACRE TRACT OF LAND OUT OF THE RACHEL SAUL SURVEY, ABSTRACT NO 551, SITUATED IN WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN 334 ACRE TRACT CONVEYED TO WILLIAM A SAVAGE OF RECORD IN DOCUMENT NOS 9333530 AND 9666531 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS SAID 58 093 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS

COMMENCING, at a 1/2 inch iron rod found at the northeast corner of said 334 acre tract, being the northwest corner of a 46 37 acre tract conveyed to Round Rock Independent School District by deed of record under Document No 2002001208 of the Official Public Records of Williamson County, Texas, also being the southerly line of Lot 1, Block 'A' Avery Church Subdivision, a subdivision of record in Cabinet CC, Slides 240-241 of the Plat Records of Williamson County, Texas, from which a nail found at an angle point in the northerly line of said 46 37 acre tract bears N67°23'01 E, a distance of 220 40 feet,

THENCE, along the easterly line of said 334 acre tract, being the westerly line of said 46 37 acre tract, the following three (3) courses and distances

- 1) S20°02'52 E, a distance of 815 16 feet to a 1/2 inch iron rod found for an angle point
- 2) S19°52'02 E, a distance of 1092 55 feet to a 1/2 inch iron rod found for an angle point
- 3) S20°15'03 E, a distance of 328 20 feet to a 1/2 inch iron rod found at the southwesterly corner of said 46 37 acre tract, being the northwesterly corner of Lot 1, Block A Parmer/Lakeline Subdivision, a subdivision of record in Cabinet S, Slides 187-188 of said Plat Records

THENCE, continuing along the easterly line of said 334 acre tract, being the westerly line of said Lot 1, Block "A" Parmer/Lakeline Subdivision, the following two (2) courses and distances

- 1) S20°16'09 E, a distance of 219 64 feet to a 1/2 inch iron rod found for an angle point
- 2) S20°27'52 E, a distance of 664 53 feet to a 1/2 inch iron rod found at the southeasterly corner hereof, being the northeasterly corner of that certain 12 01 acre tract of land (Lakeline Boulevard) conveyed to Williamson County, Texas by deed of record under Document No 2003091325 of said Official Public Records,

- 8) S69°20'02"W, a distance of 92 38 feet to an iron pipe found for an angle point
- 9) S67°07'07'W, a distance of 55 34 feet to an iron pipe found for an angle point
- 10) S74°11'15"W, a distance of 60 77 feet to an iron pipe found for an angle point,
- 11) S67°56'57'W, a distance of 123 56 feet to an iron pipe found for an angle point,
- 12) S69°51'19 W, a distance of 508 04 feet to an iron pipe found for an angle point,
- 13) S69°10'11'W, a distance of 184 97 feet to an iron pipe found for an angle point
- 14) S71°44'18 W, a distance of 107 42 feet to an iron pipe found for an angle point
- 15) S70°04'29'W, a distance of 268 76 feet to an iron pipe found for an angle point

THENCE, along the a portion of the southerly line of said 334 acre tract, being the westerly line of said 144 645 acre tract, for a portion of the southerly line hereof, the following six (6) courses and distances

- 1) S20°43'18 E, a distance of 271 22 feet to an iron pipe found for an angle point
- 2) S21°30'49 E, a distance of 240 79 feet to an iron pipe found for an angle point,
- 3) S19°42'58"E, a distance of 266 35 feet to an iron pipe found for an angle point,
- 4) S21°18'24 E, a distance of 232 22 feet to an iron pipe found for an angle point
- 5) S85°56'57 E, a distance of 211 19 feet to an iron pipe found for an angle point
- 6) S22°17'34 E, a distance of 26 04 feet to an iron pipe found at the northwesterly corner of that certain 2 4921 acre tract of land conveyed to City of Austin by deed of record in Volume 1201, Page 231 of said Deed Records


THENCE, along a portion of the southerly line of said 334 acre tract, being the westerly line of said 2 4921 acre tract, for a portion of the southerly line hereof, the following two (2) courses and distances

- 6) Along said curve to the left having a radius of 1060 00 feet, a central angle of $07^{\circ}36'16''$, an arc length of 140 69 feet and a chord which bears $N69^{\circ}03'46''E$, a distance of 140 58 feet to a 1/2 inch iron rod found at the end of said curve
- 7) $N65^{\circ}15'46''E$, a distance of 298 39 feet to a 1/2 inch iron rod found for the point of curvature to the right
- 8) Along said curve to the right having a radius of 1940 00 feet, a central angle of $05^{\circ}15'52''$, an arc length of 178 25 feet and a chord which bears $N67^{\circ}53'34''E$, a distance of 178 19 feet to a 1/2 inch iron rod found at the end of said curve
- 9) $N70^{\circ}29'09''E$, a distance of 186 60 feet to a 1/2 inch iron rod found for the point of curvature of a curve to the left
- 10) Along said curve to the left having a radius of 2060 00 feet, a central angle of $09^{\circ}19'43''$, an arc length of 335 40 feet and a chord which bears $N65^{\circ}51'38''E$, a distance of 335 03 feet to a 1/2 inch iron rod found at the end of said curve
- 11) $N61^{\circ}12'52''E$, a distance of 158 84 feet to a 1/2 inch iron rod found for the point of curvature of a curve to the right
- 12) Along said curve to the right having a radius of 1940 00 feet, a central angle of $09^{\circ}47'32''$, an arc length of 331 56 feet and a chord which bears $N66^{\circ}05'33''E$, a distance of 331 16 feet to a 1/2 inch iron rod found at the end of said curve
- 13) $N70^{\circ}59'27''E$, a distance of 867 16 feet to a 1/2 inch iron rod found for an angle point
- 14) $N67^{\circ}37'08''E$, a distance of 225 15 feet to the **POINT OF BEGINNING**, containing an area of 58 093 acres (2,530,534 sq ft) of land, more or less, within these metes and bounds

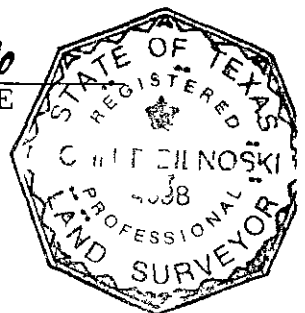
BEARING BASIS IS REFERENCED TO THE TEXAS COORDINATE SYSTEM, NAD 83(93) CENTRAL ZONE, UTILIZING THE LCRA GPS SURVEY CONTROL NETWORK

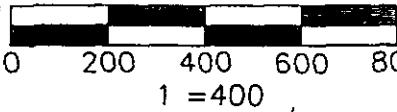
I, JOHN T BILNOSKI, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREIN WAS DETERMINED BY A SURVEY COMPLETED ON THE GROUND UNDER MY DIRECTION AND SUPERVISION DURING THE MONTH OF JULY, 2005 AND UPDATED ON THE GROUND DURING THE MONTH OF OCTOBER, 2006

BURY & PARTNERS, INC
ENGINEERS-SURVEYORS
3345 BEE CAVES ROAD, SUITE 200
AUSTIN, TEXAS 78746


JOHN T BILNOSKI
NO 4998
STATE OF TEXAS

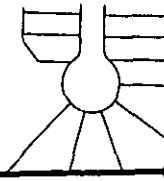
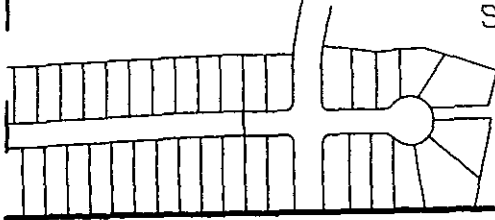
11/13/06
DATE





AVERY RANCH WEST
PHASE ONE
CABINET T
SLIDES 53-60

LOT 1
BLOCK A
AVERY CHURCH
SUBDIVISION
CAB CC
SLIDES 240-241



N67 23 01 E
220 40

N68 49 16 E 1847 55
(N68 49 57 E 1847 90)

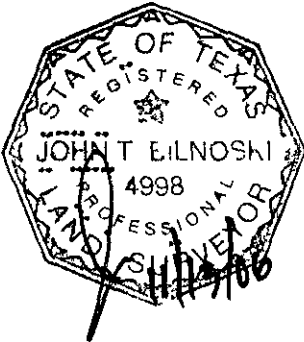
L11
(L11)

POB-TRACT 1
POC-TRACT 2

MATCH LINE SEE SHEET 6 OF 7

TRACT 1
268705 ACRES
(11 704 776 SQ FT)

334 ACRES
WILLIAM A SAVAGE
DOC NO 9666530
DOC NO 9666531



S20 02 52 E 815 16
S20 02 52 E 815 36
S19 52 02 E 1092 55
S19 51 21 E 1092 91
S20 14 35 E 327 89
S20 27 52 E 664 53
12 E 664 47

ROUND ROCK INDEPENDENT
SCHOOL DISTRICT
46.37 ACRES
DOC NO 2002001208

PARMER LANE WEST (FM 734)
(200 ROW)

LOT 1 BLOCK A
PARMER/LAKELINE
SUBDIVISION
CABINET S
SLIDES 187-188

LAKELINE

SHEET 2 OF 7

MATCH LINE SEE SHEET 3 OF 7

Bury+Partners
ENGINEERING SOLUTIONS
3345 Bee Caves Road Suite 200
Austin Texas 78746
Tel (512)328 0011 Fax (512)328 0325
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SKETCH TO ACCOMPANY DESCRIPTION

OF 326 798 ACRE OUT OF THE RACHEL SAUL SURVEY ABSTRACT -
NO 551 WILLIAMSON COUNTY TEXAS BEING A PORTION OF THAT
CERTAIN 334 ACRE TRACT CONVEYED TO WILLIAM A SAVAGE OF
RECORD IN DOCUMENT NOS 9666530 AND 9666531 OF THE
OFFICIAL RECORDS OF WILLIAMSON COUNTY TEXAS

**SUMMIT/PACIFIC
LAKELINE STATION**

DATE 11/13/06

FILE H \798\06\79806EX2.dwg

FN No 06-666/670

DRAWN BY KWA

PROJ No 798-06 91

MATCH LINE SEE SHEET 5 OF 7

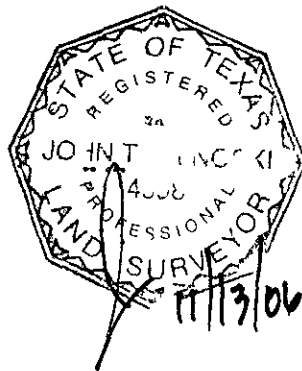
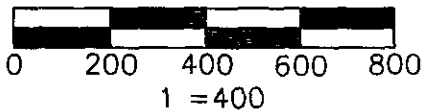
TRACT 2
58 093 ACRES
 (2 530 534 SQ FT)

DAVIS SPRING
 PROPERTIES LTD
 REMAINDER OF TRACT 1
 - 147 645 ACRES
 VOLUME 2199 PAGE 182

CITY OF AUSTIN
 2 4921 ACRES
 VOL 1201 PG 231

NO RECORD INFORMATION
 ALONG RAILROAD RIGHT-OF-WAY

LOT 1 BLOCK A
 NORTHWOODS LOTS 1 2 &
 3 OF BLOCK E
 CABINET W SLIDES 17-20



LEGEND

- 1/2 IRON ROD FOUND
- IRON PIPE FOUND
- ▲ NAIL FOUND
- P O B POINT OF BEGINNING
- P O C POINT OF COMMENCEMENT

SHEET 4 OF 7

Bury+Partners
 ENGINEERING SOLUTIONS
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SKETCH TO ACCOMPANY DESCRIPTION

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 RECORD IN DOCUMENT NOS 9666530 AND 9666531 OF THE
 OFFICIAL RECORDS OF WILLIAMSON COUNTY TEXAS

**SUMMIT/PACIFIC
 LAKELINE STATION**

LINE TABLE

LINE	BEARING	LENGTH
L1	S20 15 03 E	328 20
L2	S20 16 09 E	219 64
L3	S72 41 24 W	247 02
L4	S61 12 52 W	158 84
L5	S70 29 09 W	186 60
L6	S65 15 46 W	298 39
L7	S72 51 47 W	380 20
L8	S51 23 41 W	167 68
L9	S71 04 44 W	326 06
L10	N02 20 35 W	248 85
L11	N68 50 48 E	82 94
L12	S19 37 26 E	419 89
L13	S69 16 36 W	301 55
L14	S70 25 28 W	249 80
L15	S67 44 04 W	81 68
L16	S69 21 12 W	133 40
L17	S69 55 29 W	130 17
L18	S68 43 25 W	80 26
L19	S69 20 02 W	92 38
L20	S67 07 04 W	55 34
L21	S74 11 15 W	60 77
L22	S67 56 57 W	123 56
L23	S69 51 19 W	508 04
L24	S69 10 11 W	184 97
L25	S71 44 18 W	107 42
L26	S70 04 29 W	268 76
L27	S20 43 18 E	271 22
L28	S21 30 49 E	240 79
L29	S19 42 58 E	266 35
L30	S21 18 24 E	232 22
L31	S85 56 57 E	211 19
L32	S22 17 34 E	26 04
L33	S21 30 47 E	293 66
L34	S01 09 40 E	99 22
L35	N71 04 44 E	324 28
L36	N51 23 41 E	167 68
L37	N72 51 47 E	380 20
L38	N65 15 46 E	298 39
L39	N70 29 09 E	186 60
L40	N61 12 52 E	158 84
L41	N67 37 08 E	225 15
L42	S19 54 32 E	46 63
L43	S20 04 57 E	52 81

RECORD LINE TABLE

LINE	BEARING	LENGTH
L2	S20 16 09 E	219 64
L3	S72 37 24 W	246 95
L4	S61 11 47 W	158 90
L5	S70 31 30 W	186 64
L6	S65 15 38 W	298 42
L7	S72 51 54 W	380 26
L8	S51 23 30 W	167 78
L9	S71 07 17 W	326 00
L11	N68 50 48 E	82 94
L12	S19 38 42 E	421 89
L13	S69 18 24 W	301 61
L14	S70 25 55 W	249 80
L15	S67 45 29 W	81 64
L16	S69 22 31 W	133 51
L17	S70 05 43 W	130 05
L18	S68 37 40 W	80 44
L19	S69 16 35 W	92 17
L20	S66 52 52 W	55 34
L21	S74 20 34 W	60 97
L22	S67 57 24 W	123 46
L23	S69 54 34 W	133 10
L24	S69 09 18 W	185 32
L25	S71 42 09 W	107 41
L26	S70 05 39 W	268 84
L27	S20 45 47 E	271 40
L28	S21 32 33 E	240 58
L29	S19 41 04 E	266 44
L30	S21 14 40 E	232 27
L31	S86 07 45 E	211 56
L32	S21 25 30 E	26 38
L33	S19 23 00 E	293 94
L34	S00 55 00 E	99 32
L35	N71 07 17 E	324 31
L36	N51 23 30 E	167 78
L37	N72 51 54 E	380 26
L38	N65 15 38 E	298 42
L39	N70 31 30 E	186 64
L40	N61 11 47 E	158 90
L41	N67 34 36 E	225 15
L42	S19 38 40 E	46 42
L43	S20 26 46 E	53 15

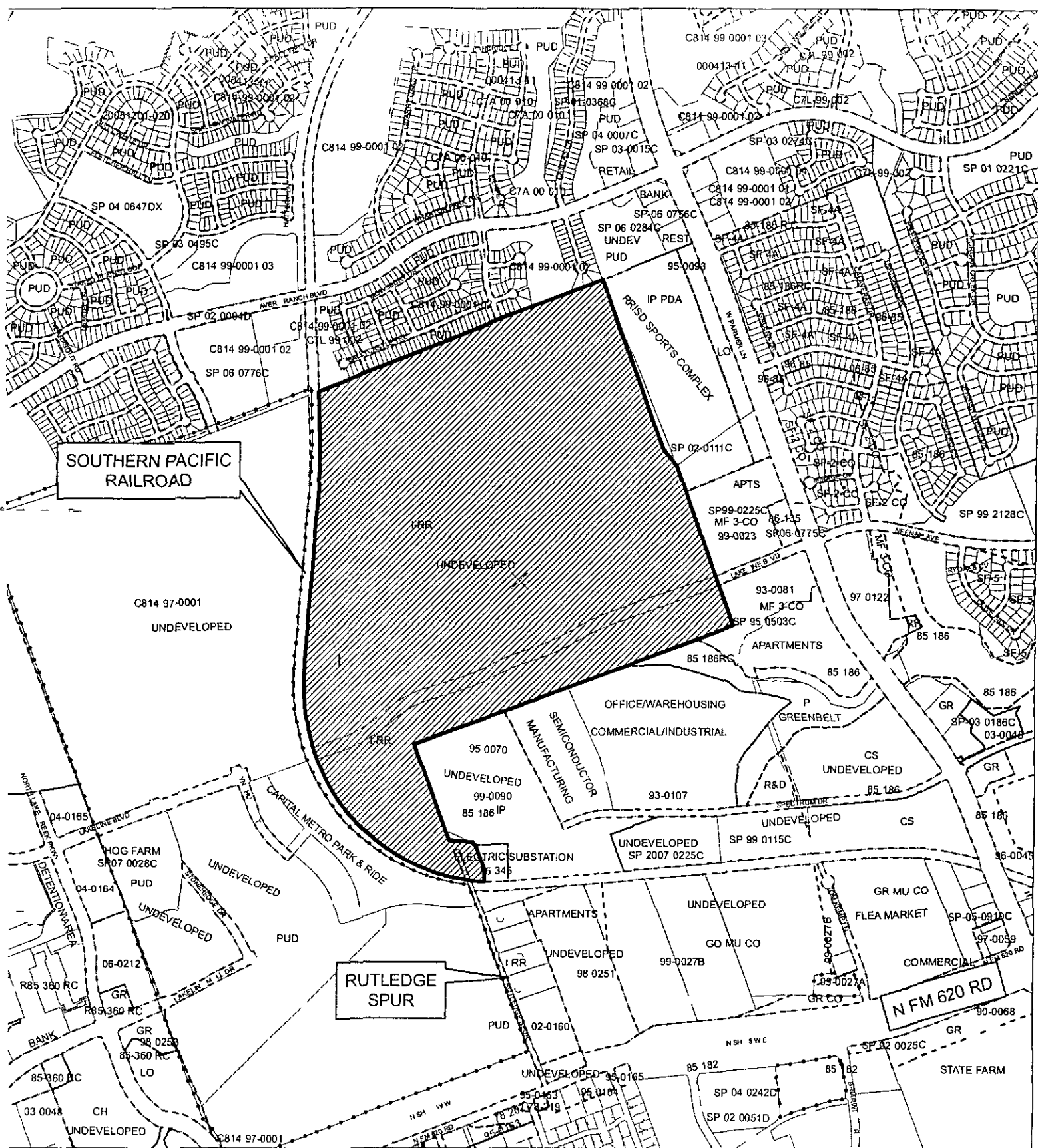
SHEET 6 OF 7

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ENGINEERING SOLUTIONS
3345 Bee Caves Road Suite 200
Austin Texas 78746
Tel (512)328 0011 Fax (512)328 0325
Bury+Partners Inc ©Copyright 2006

SKETCH TO ACCOMPANY DESCRIPTION

OF 326 798 ACRE OUT OF THE RACHEL SAUL SURVEY ABSTRACT NO 551 WILLIAMSON COUNTY TEXAS BEING A PORTION OF THAT CERTAIN 334 ACRE TRACT CONVEYED TO WILLIAM A SAVAGE OF RECORD IN DOCUMENT NOS 9666530 AND 9666531 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY TEXAS

**SUMMIT/PACIFIC
LAKELINE STATION**



PLANNED UNIT DEVELOPMENT
ZONING CASE# C814 06-0218
ADDRESS N FM 620 RD AND
 13713 RUTLEDGE SPUR
SUBJECT AREA 326 798 ACRES
GRID G41
MANAGER W WALSH

EXHIBIT B



1" = 1200' OPERATOR S MEEKS

This map has been produced by GIS Services for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

LAKELINE STATION PUD EXHIBIT D - SITE DEVELOPMENT REGULATIONS TABLE

Development District 1 IOD Mixed Use	Development District 2 Attached Cluster Residential/ MU
Maximum Height = 90 feet Maximum Floor to Area Ratio = 6 to 1 Maximum District Impervious Cover = 79 % Maximum Dwelling Units = 711	Maximum Height = 55 feet Maximum Floor to Area Ratio = 3 to 1 Maximum District Impervious Cover = 84 % Maximum Dwelling Units = 1211

Development District 3 Single Family Residential/ MU
Maximum Height = 45 feet Maximum Floor to Area Ratio = 2 to 1 Maximum District Impervious Cover = 73 % Maximum Dwelling Units = 853

BUILDING TYPE	Commercial/ Mixed use	Embedded Garage	Podium	Tuck Under	Lakeline Townhome	Townhome Court	Live-Work Townhomes	Green Court/ Paseo Court	Lakeline Small Lot	Lakeline Standard Lot	Estate Lot
GENERAL USE TYPES See Exhibit E for Code Defined Zoning Uses	Commercial / Mixed use	Multifamily / Mixed use	Multifamily / Mixed use	Multifamily / Mixed use	Attached Single Family	Attached Single Family	Attached Single Family / Mixed Use	Detached Single Family	Detached Single Family	Detached Single Family	Detached Single Family
Minimum Lot Size	30 000sf	68 000 sf	30 000 sf	3000 sf	1 200 sf	1 200 sf	960 sf	1 800 sf	3 600 sf	4 500 sf	7 000 sf
Maximum Lot Size								7 500 sf	10 000 sf	10 000 sf	15 000 sf
Minimum Lot Depth	200 ft	340 ft	150 ft	100 ft	60 ft	60 ft	60 ft	60 ft	90 ft	90 ft	100 ft
Maximum Lot Width	150 ft	200 ft	200 ft	30 ft	20 ft	20 ft	16 ft	30 ft	40 ft	50 ft	70 ft
Maximum Front Setback	0 ft Commercial 10 ft Residential	0 ft Commercial 10 ft Residential	0 ft Commercial 10 ft Residential	0 ft Commercial 10 ft Residential	10 ft	10 ft	0 ft Commercial 10 ft Residential	10 ft	12 ft	12 ft	15 ft
Minimum Front Setback	0 ft Commercial 4 ft Residential	0 ft Commercial 4 ft Residential	0 ft Commercial 4 ft Residential	0 ft Commercial 4 ft Residential	4 ft	4 ft	0 ft Commercial 4 ft Residential	6 ft	8 ft	8 ft	10 ft
Minimum Interior Side Setback	0 ft	0 ft	0 ft	0 ft	0 ft	0 ft	0 ft	3 ft	3 ft	5 ft	5 ft
Minimum Corner Side Setback	0 ft	10 ft	10 ft	10 ft	N/A	N/A	N/A	N/A	7 ft	10 ft	10 ft
Minimum Rear Setback to Primary Building	20 ft	20 ft	20 ft	4 ft	4 ft	4 ft	4 ft	4 ft	10 ft	15 ft	20 ft
Minimum Frontage Percentage	75 %	75 %	75 %	75 %	75 %	75 %	75 %	no requirement	no requirement	no requirement	no requirement
Minimum Porch/Stoop Setback	0 ft	0 ft	0 ft	4 ft	4 ft	4 ft	0 ft Commercial 4 ft Residential	4 ft	5 ft	5 ft	5 ft

An individual Lot may have a Maximum Allowable Impervious Cover that exceeds that allowed for the Property or Development District so long as Owner complies with maximum impervious cover for each of the Development Districts

6 Garage Placement Criteria

- A) Garage side yard setbacks may be reduced to zero feet provided that applicable fire rating and building codes are met. The wall of a garage built adjacent to a zero lot line or within 3 feet of a common side lot line must be solid and opaque and may not contain an opening.
- B) Residential garages shall be positioned to de-emphasize their visual presence on the street. This will allow the active visually interesting features of the house to dominate the streetscape. Garages may be sited in the following ways (as shown in Figure 2)
 - o Rear Alley loaded garages
 - o Front Loaded Side Drive garages (Minimum 35' behind front wall plane of the residence) with maximum 10' wide curb cut at the street
 - o Front Loaded Recessed garages (Minimum 5' behind front wall plane of the residence) with maximum 18' curb cut at the street

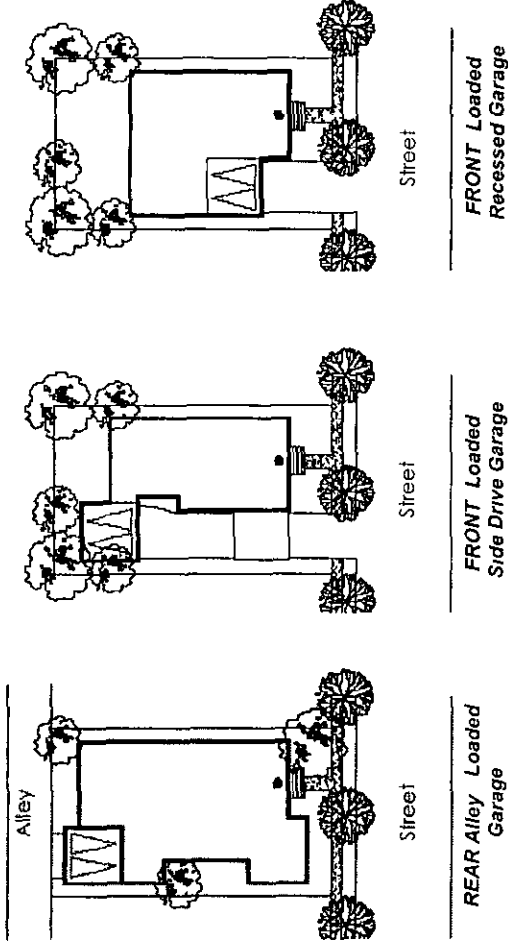


FIGURE 2 Examples of Garage Placement

7 Guidelines For Development within the TOD Mixed Use Development District

A) Building Entrances Minimum Ground Floor Height Fenestration

- Building entrances are required on connector streets and on streets with transit service (train or bus)
- o This paragraph applies to a building that is constructed along a front yard or street side yard setback line. For a depth of at least 20 feet, the minimum distance between the finished ground floor of the building and the structural portion of the ceiling is 15 feet. This requirement does not apply if the building is subject to Article 10 (Compatibility Standards) or if the director determines that the requirement is impractical because of site constraints.
 - o This paragraph applies to a commercial or mixed use building. For a ground level wall that faces a public street at least 50 percent of the wall area that is between two and ten feet above grade must be constructed of glass with a visible transmittance rating of 0.6 or higher.

C) Supplemental Zone (Optional)

A supplemental zone may be provided at the option of the applicant between the street facing facade line and the required clear zone as shown in Figures 6, 7 and 8. The following standards apply to supplemental zones.

- 1) If a supplemental zone is provided up to 30 percent of the linear frontage of the supplemental zone may be a maximum of 30 feet wide and the remainder of the supplemental zone shall be a maximum of 20 feet wide.
- 2) The following elements may be located within the supplemental zone:
 - a Accessory outdoor dining provided that the dining area may be separated from the sidewalk only with planters, shrubs or fencing with a maximum height of 42 inches as shown in Figure 8)
 - b Balconies, pedestrian walkways, porches, handicap ramps and stoops provided however that no such feature shall extend beyond the supplemental zone without a license agreement.
 - c Terraces provided that they have a maximum finished floor height of 24 inches above the sidewalk elevation and shall be surrounded by a guardrail that meets city specifications.
 - d Landscape and water features.
 - e Plazas and
 - f Incidental display and sales.
- 3) Any features in the supplemental zone must not obstruct the open pedestrian connection between the building's primary entrance and the clear zone.
- 4) If a supplemental zone is provided the building can be pushed back farther than the stipulated maximum front setback but not farther than the edge of the supplemental zone (20' 30' max from the setback line).

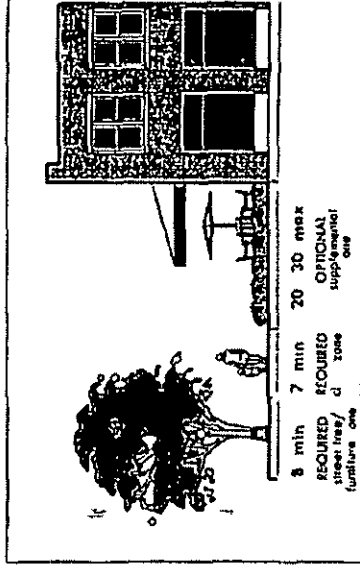


Figure 6 Optional Supplemental Zone (Section)

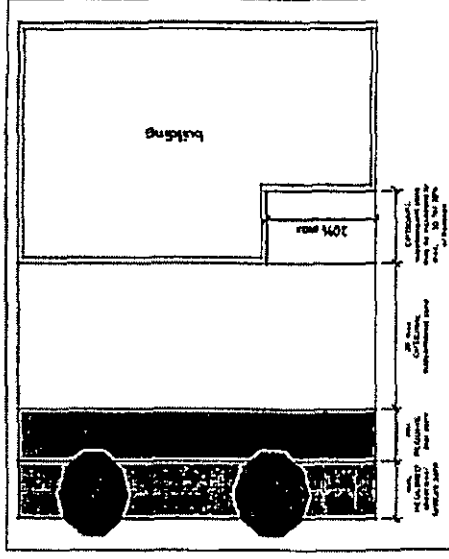


Figure 7 Optional Supplemental Zone may be expanded to 30 ft for a maximum of 30% of frontage



Figure 8 Example of Supplemental Zone outdoor dining

E) Utilities

- 1) All utility lines shall be underground from the building to the property line. Utility lines within the right of way shall be placed underground or relocated to the rear of the site to the maximum extent practicable. Figure 11 illustrates this principle.
- 2) Where electric utilities remain overhead and are located behind the curb, an overhead utility zone shall be provided so that no portion of the building is located within a 10 foot radius of the energized conductor. This overhead utility zone shall be in addition to the minimum street tree/furniture zone, clear zone, and supplemental zone (if provided). Options for street tree planting and sidewalk placement in combination with overhead utilities are illustrated in the Figures 12 and 13.
- 3) On lots with a depth of 120 feet or less and where electric utilities remain overhead and are located behind the curb, alternate trees may be used so that the trees can be located beneath rather than offset from the overhead electric utilities. Alternate trees shall be selected in conformance with Appendix N, City of Austin Preferred Plant List from the Environmental Criteria Manual.

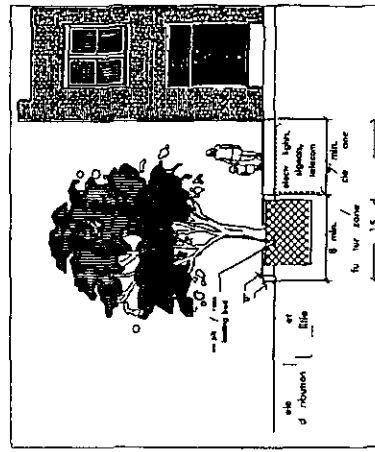


Figure 11 Underground Utilities

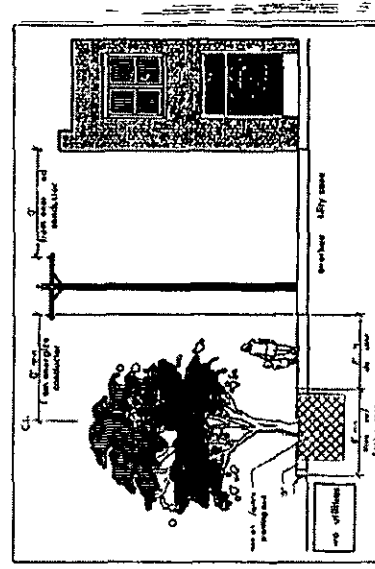


Figure 12 Overhead Utility Zone

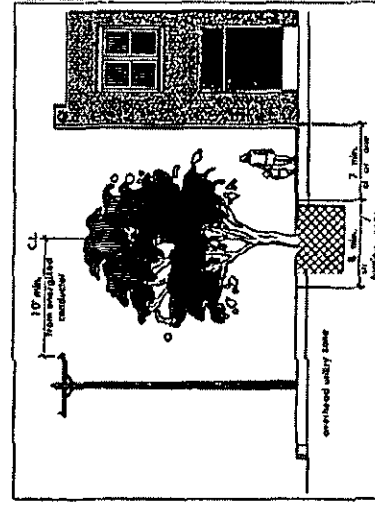


Figure 13 Overhead Utility Zone at Curb

Land Use	TOD Mixed Use District	Attached/Cluster Residential/Mixed Use District	Single Family Residential/Mixed Use District	Parks/Open Space/ Detention	Civic
Automotive Washing (of any type)	NP	NP	NP	NP	NP
Bail Bond Services	NP	NP	NP	NP	NP
Building Maintenance Services	P	NP	NP	NP	NP
Business or Trade School	P	NP	NP	NP	NP
Business Support Services	P	NP	NP	NP	NP
Campground	NP	NP	NP	NP	NP
Carriage Stable	NP	NP	NP	NP	NP
Cocktail Lounge	P	NP	NP	NP	NP
Commercial Blood Plasma Center	P	NP	NP	NP	NP
Commercial Off Street Parking	C ^d	NP	NP	NP	C
Communications Services	P	P	NP	NP	NP
Construction Sales and Services	NP	NP	NP	NP	NP
Consumer Convenience Services	P	C	P	NP	NP
Consumer Repair Services	P	P	P	NP	NP
Convenience Storage	C	NP	NP	NP	NP
Custom Manufacturing and Printing	P	P	NP	NP	NP
Drop-Off Recycling Collection Facility	NP	NP	NP	NP	NP
Electronic Prototype Assembly	P	C	NP	NP	NP
Equipment Repair Services	NP	C	NP	NP	NP
Equipment Sales	NP	C	NP	NP	NP
Exterminating Services	P	NP	NP	NP	NP
Financial Services	P	P	P	NP	NP
Food Preparation	P	NP	NP	NP	NP
Food Sales	P	NP	NP	NP	NP
Funeral Services	NP	NP	NP	NP	NP
General Retail Sales (Convenience)	P	C	NP	NP	NP
General Retail Sales (General)	P	C	NP	NP	NP
Hotel Motel	P	NP	NP	NP	NP

Land Use	TOD Mixed Use District	Attached/Cluster Residential/Mixed Use District	Single Family Residential/Mixed Use District	Parks/Open Space/ Detention	Civic
Special Use Historic	NP	NP	NP	NP	NP
Stables	NP	NP	NP	NP	NP
Theater	P	NP	NP	NP	NP
Vehicle Storage	NP	NP	NP	NP	NP
Veterinary Services	NP	C	NP	NP	NP
INDUSTRIAL USES					
Basic Industry	NP	NP	NP	NP	NP
Custom Manufacturing	P	NP	NP	NP	NP
General Warehousing and Distribution	NP	NP	NP	NP	NP
Light Manufacturing	NP	NP	NP	NP	NP
Limited Warehousing and Distribution	NP	NP	NP	NP	NP
Recycling Center	NP	NP	NP	NP	NP
Resources Extraction	NP	NP	NP	NP	NP
CIVIC USES					
Administrative Services	P	P	P	NP	P
Aviation Facilities	NP	NP	NP	NP	NP
Camp	NP	NP	NP	NP	NP
Cemetery	NP	NP	NP	NP	NP
Club or Lodge	P	NP	NP	NP	P
College and University Facilities	P	NP	NP	NP	P
Communication Service Facilities	P	P	P	NP	NP
Community Recreation (Private)	P	P	P	P	P
Community Recreation (Public)	P	P	P	P	P
Congregate Living	P	NP	NP	NP	P
Convalescent Living	P	NP	NP	NP	P
Convention Center	NP	NP	NP	NP	NP
Counseling Services	P	NP	NP	NP	NP
Cultural Services	P	P	NP	P	P
Day Care Services (Commercial)	P	NP	NP	NP	NP
Day Care Services (General)	P	C	C	NP	NP

Land Use	TOD Mixed Use District	Attached/Cluster Residential/Mixed Use District	Single Family Residential/Mixed Use District	Parks/Open Space/ Detention	Civic
Safety Services	P	P	P	NP	P
Telecommunication Tower – subject to SS 25-2-839 (13-2 273)	PC ^g	NP	NP	C	C
Transitional Housing	C	NP	NP	NP	NP
Transportation Terminal	P	NP	NP	NP	NP
All other Civic Uses	NP	NP	NP	C	C
AGRICULTURAL USES					
Urban Farm	NP	NP	NP	NP	NP
P = Permitted NP = Not Permitted C = Conditional Use					

- (a) 25 3 105 (D) An open colonnade may extend into the front setback a maximum of five feet (5) An unenclosed balcony with a minimum clearance of nine feet (9) above finished grade may extend five feet (5) over a public sidewalk An awning or walkway covering with a minimum clearance of eight feet (8) above finished grade may extend five feet (5) over a public sidewalk 25 3 105 (G) A residential use with street level living space must have a finished first floor elevation not less than eighteen inches (18) above the elevation of the sidewalk at the front lot line A residential use may not front at ground level on a square
- (b) 25 3 105 (A) An automotive rental use may keep not more than 20 vehicles on site
- (c) 25 3 105 (B) An automotive repair services use may not exceed 2 400 square feet of gross building area
- (d) 25 3 105 (E) A commercial off street parking use may not exceed one acre in site size Not more than one commercial off street parking use site may be located in a block A site must be screened from the street by low hedges or walls not less than three feet (3) and not more than four feet (4) in height
- (e) 25 3 105 (F) A kennel use must be conducted entirely within an enclosed structure
- (f) 25 3 105 (H) A service station use may have the capability of fueling not more than eight vehicles at one time
- (g) 25 3 105 (I) A telecommunications tower must be located on top of a building or be an architectural component of the building Free standing towers are prohibited

LAKELINE STATION AREA PLAN PUD
EXHIBIT F – STREET STANDARDS AND PARKING REGULATIONS

PARKING REGULATIONS

- A For the TOD Mixed Use Development District parking regulations proposed for various uses are described as follows
- 1) Off street parking is prohibited between the Right of Way and the corresponding street facing façade line (Ref Chapter 25 2 Subchapter E Article 2 Subsection 2 2 2 E 1)
 - 2) All Use types within this zone may apply adjacent on street parking towards the minimum parking requirements within this district
 - 3) A commercial building use must provide at least one bicycle parking space for every 5 motor vehicle parking spaces
 - 4) Except as approval by the Director parking in alleys is prohibited
 - 5) At grade structured parking or parking lots must be lined with commercial or residential uses (with building entrances) or must be visually screened from the street by a landscape buffering in accord with Section 25 2 1006 of the LDC between the clear zone (or the supplemental zone if provided) and the parking area The buffering method chosen must include shade trees
- B For the Attached/ Cluster Residential/ Mixed Use and Single Family/ Mixed Use Development Districts parking requirements from Section 25 3 83(A)(1) and (3) of the City code shall apply
- C The Director shall determine the parking requirement for an amphitheater and/or auditoriums based on similar uses location and characteristics of the use and the appropriate traffic engineering and planning data
- D The Director shall determine the parking requirement for community centers auditoriums based on similar uses location and characteristics of the use and the appropriate traffic engineering and planning data
- E The Director shall determine the parking requirement for neighborhood parks pavilions picnic shelters or tables playgrounds swimming pools boat rental facilities basketball/sports courts or bike rental facilities based on similar uses location and characteristics of the use and the appropriate traffic engineering and planning data
- F Unless expressly stated in this PUD the general regulations design and construction standards for off street parking and loading in Section 25 3 of the City Of Austin Code shall apply However the Director may determine the parking requirement for any use not listed in this subsection

[illegible]

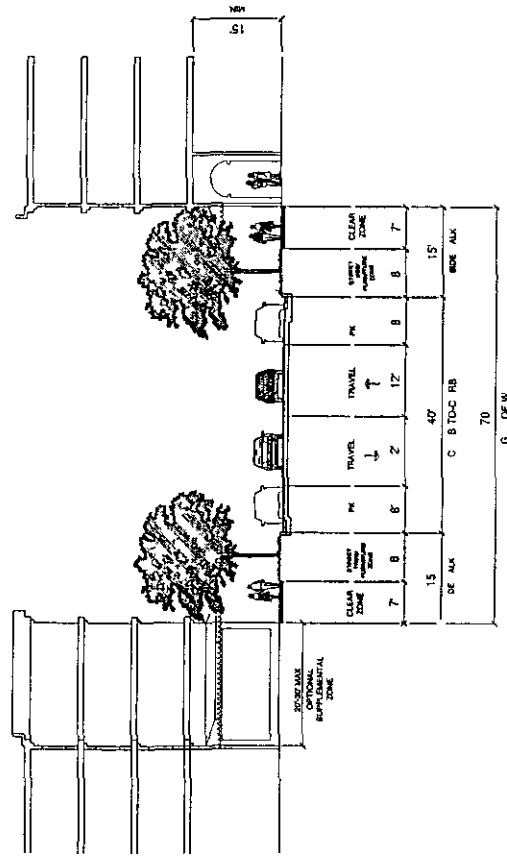
LAKELINE STATION
PUD
Exhibit G Street Cross
Section Illustrations

Austin Texas

April 06, 2007



C
Connector Street at
TOD Mixed Use Zone



CONNECTOR STREET @ TOD MIXED USE ZONE

SUMMIT PROPERTIES
Irvine California

Exhibit G - Street Cross Section Illustrations

Austin Texas

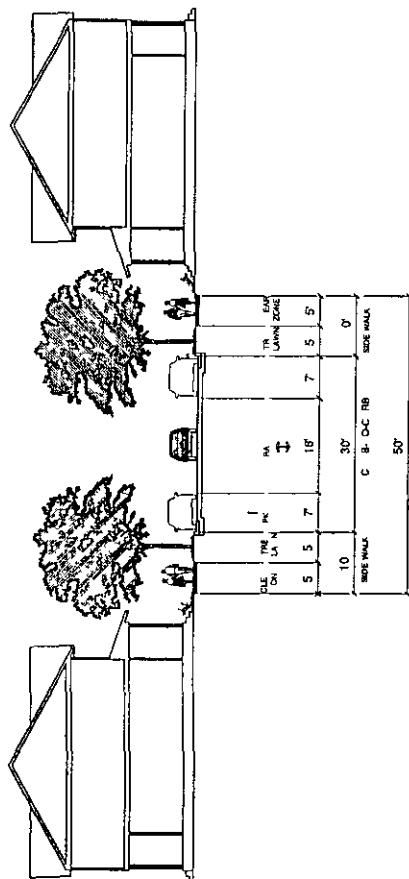
April 06, 2000



Local Street with Driveways

SUMMIT PROPERTIES
Irv Calif

65



LOCAL STREET WITH DRIVEWAYS

[illegible]

CALIFORNIA RIFLE ASSOCIATION

LAKELINE STATION
PUD
Exhibit G - Street Cross
Section Illustrations

Austin Texas

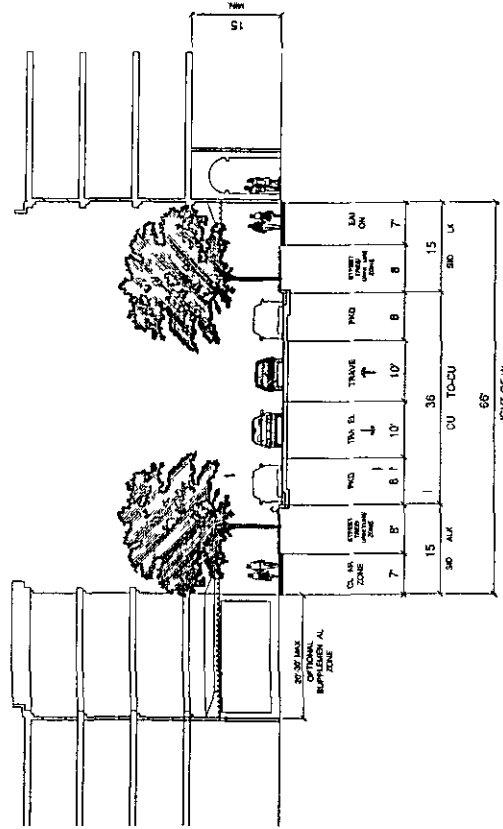
pr 06, 200



G
Local Street at
TOD Mixed Use Zone

SUMMIT PROPERTIES
Irvine Calif 92614

8-5



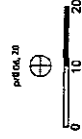
LOCAL STREET @ TOD MIXED USE ZONE
(without Driveways)

The first two (1920-1929) and the last (1970-1979) are
 the most common, but the middle (1930-1969) is the

CARL HORTON ASSOCIATES
 17100 13TH AVE. S.W. #100
 SEATTLE, WA 98148

LAKELINE STATION PUD Exhibit G Street Cross Section Illustrations

Austin, Texas

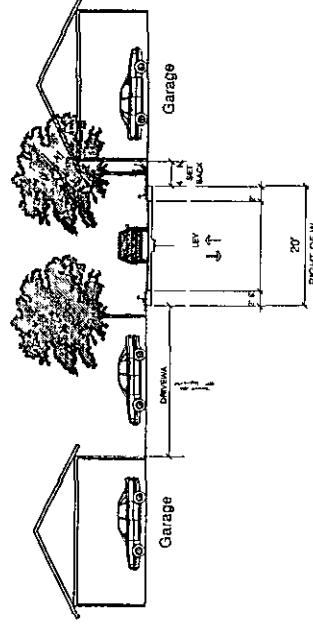


Residential Alley

NOTE This street section matches
Mixed Residential Alley from the
City of Austin TND Standards

SUMMIT PROPERTIES
IN CIP 10

G 10



TYPICAL RESIDENTIAL ALLEY
(20' Right of Way)

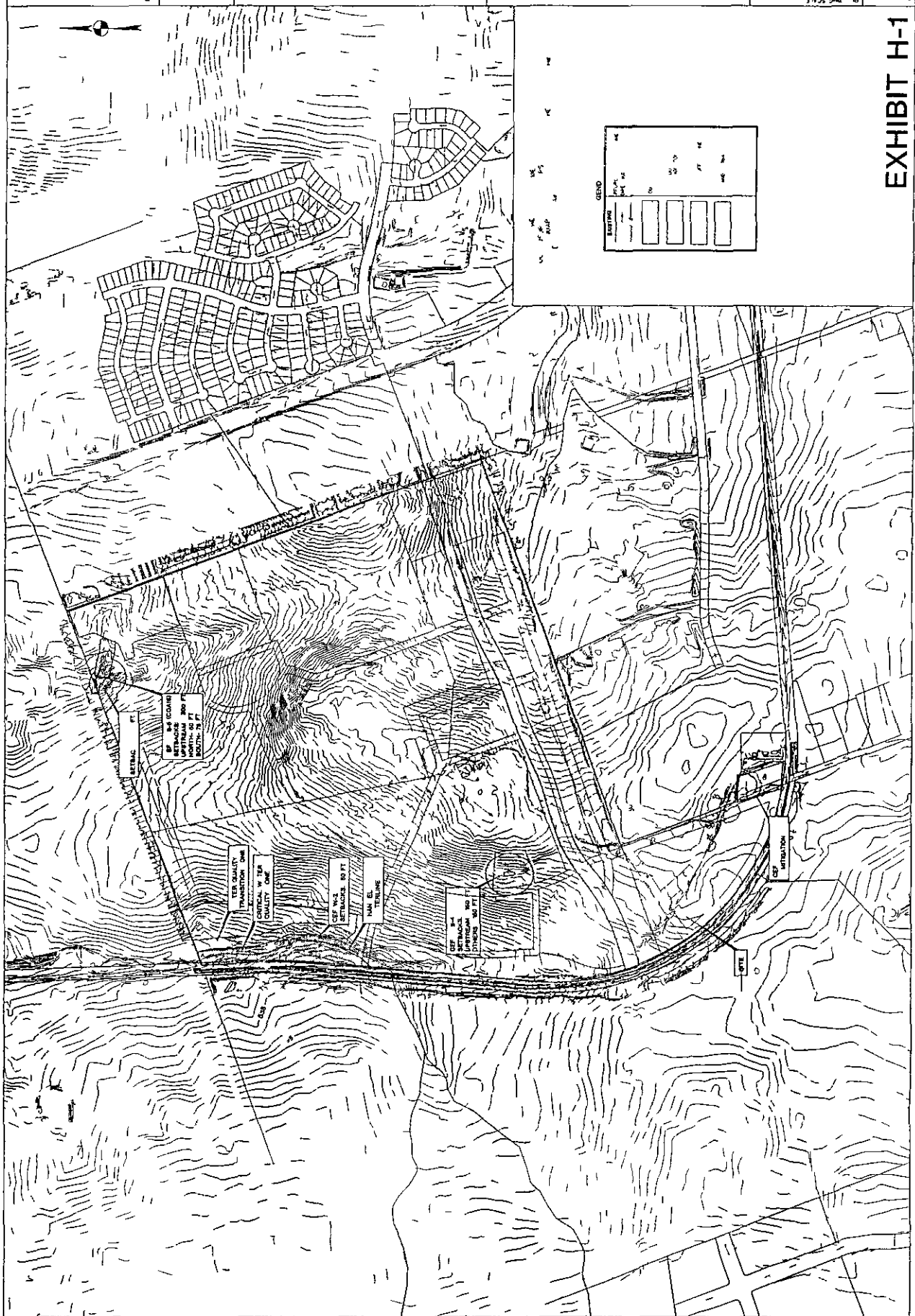


PL	INAC SCALE
PL	06 08
PL	7W-06 08M 1229 10-JUL-74
DA	WA
DE	CN
RE	VAL WA
PR	3'

LAKELINE STATION PUD

CRITICAL ENVIRONMENTAL
FEATURES
MAP

Bury+Partners



INTRODUCTION

The proposed Lakeline Station Planned Unit Development (PUD) is approximately 326.8 acres in size and is located near the northwest corner of Parmer Lane and RM620 within the City of Austin in Williamson County, Texas. The Lakeline Station PUD is a transit-oriented development (TOD) located adjacent to Capital Metro's Northwest Park and Ride Station. The proposed PUD land use plan is included in the Appendix of this report as *Exhibit C*.

The Lakeline Station PUD measures and commitments to environment and water quality enhancements described below will insure that the proposed PUD will be an environmentally superior project to what could be achieved with existing ordinances.

CRITICAL ENVIRONMENTAL FEATURE PROTECTION

The proposed Lakeline Station PUD recognizes the existence of several Critical Environmental Features (CEFs) and will commit to the setbacks recommended by staff as presented in Table 1 and shown in *Exhibits H and H-1*. The following are the items that Lakeline Station PUD is committed to provide:

1. No residential lots may include a CEF or be located within 50 feet of a CEF.
2. Residential lots should not include any portion of a CEF buffer. Setback distance must be 150 feet radius unless stated otherwise in Critical Environmental Feature Summary Table (Table 1).

Feature ID	Feature Type	Buffer Zone	Feature Description
W 1	Wetland	150 ft or 1:1 mitigation	200 x 400 man-made wetland along the southern tip of the site
W 2	Wetland	50 ft from stream centerline	Northwest corner on the unnamed tributary to Brushy Creek
W 3	Wetland	150 ft	Northeast corner pond with extended periods of water retention
S 4 (aka COA 3)	Karst Collapse Sinkhole	150 ft upslope, 150 ft in all other directions	Shallow elongated sink hole depression (85 x 20 x 2 deep)
COA 16	Karst Sinkhole	300 ft upslope, 75 ft south, 50 ft north	located in drainageway above stocktank (15 x 12.5 x 2.3 deep) northeast corner

Table 1 Lakeline Station PUD - Critical Environmental Feature Summary Table

INTEGRATED PEST MANAGEMENT PLAN

An Integrated Pest Management (IPM) Plan shall be prepared in accordance with the Pollution Prevention Measures listed in the Environmental Criteria Manual Section 1 6 9 2 D

GREEN BUILDER PROGRAM

The Lakeline Station PUD will achieve a two-star rating in Austin Energy's Green Building Program. This will apply to the entire PUD area recognizing that only a portion of the site is located within the Austin Energy service area.

WATER CONSERVATION

On August 24, 2006 the City of Austin Council passed Resolution #20060824-061 that created a taskforce with the goal of drafting a policy document consisting of strategies and implementation plans for reducing peak water use by 1% per year for 10 years. Lakeline Station PUD has recognized this future policy and has committed to implement the following strategies immediately:

- 1 Prohibit inefficient plumbing fixtures
- 2 Establish efficiency requirements for cooling tower management
- 3 Establish efficiency standard for commercial clothes washers
- 4 Limit frequency, timing, and method of outdoor watering
- 5 Require new residential irrigation systems to meet design standards and permitting requirements
- 6 Require homebuilders to offer a WaterWise landscape option
- 7 Require analysis of automatic irrigation systems
- 8 Require water audits for high-volume residential customers
- 9 Native and/or naturalized plants for landscaping in commercial areas

The environmental impacts to these strategies are seen in several aspects. First, the reduction in water use helps reduce the energy needed for water treatment and pumping and therefore increasing air quality. The landscaping and irrigation measures will help reduce the amount of runoff and also limit the need for lawn fertilizer/chemicals. Finally, these water conservation strategies will help keep lake levels higher which will help preserve wetland habitats.

Development District	COA Water Quality Volume (cubic feet)	PUD Water Quality Volume (cubic feet)	Increase
TOD Mixed Use Zone	92,786	112,287	21 0%
Attached/Cluster Residential	331,426	399,234	20 5%
Single Family Residential	549,875	659,850	20 0%
Parks/Open Space/Detention	53,807	53,807	0%
Civic	35,131	40,944	16 5%

Rainwater Harvesting

In an effort to provide additional controls for water quality, the developer has proposed the use of rainwater harvesting for 100% of the commercial use buildings within the Lakeline Station PUD. The system shall be designed to accept the water quality volume within seventy-two (72) hours after the end of the rainfall event and to detain and treat the water quality volume in accordance with the PUD requirements. The collected water may be used to irrigate landscaped or natural areas on the site. Irrigation systems shall be designed in accordance with standard irrigation practices considering such factors as soil type, slope, and vegetation.