

ARTICLE 5: BUILDING DESIGN STANDARDS

5.1. INTENT

The standards of Article 5 are intended to use building design in order to:

- 5.1.1.** Ensure that buildings foster the creation of a human-scale environment;
- 5.1.2.** Ensure that building entryways are convenient and easily accessible from the roadside pedestrian system;
- 5.1.3.** Ensure that trees or man-made shading devices are used alongside roadways and connecting roadside sidewalks to businesses to encourage pedestrian activity by providing a sheltered and comfortable walking environment;
- 5.1.4.** Ensure that buildings provide an interesting and engaging visual experience at the pedestrian level; and
- 5.1.5.** Ensure that the design and construction of ground floor building space near transit, at visible intersections, and along streets that lead to transit, accommodates for active pedestrian-oriented uses even if these types of uses may not be supported by current market conditions.
- 5.1.6.** Ensure green building techniques are considered in building design and decisions are made with health, energy-efficiency, long-term maintenance and the environment in mind.

5.2. APPLICABILITY

For the purpose of applying the standards in this Article, refer to Article 1 for descriptions and maps of NBG Subdistricts and NBG Roadway Types and refer to Subsection 4.3.2.A: Principal Street Determination.

5.3. BUILDING ENTRANCES

5.3.1. Building Entrance Standards for Pedestrians

A. Applicability

Standard	Applies if the NBG Subdistrict is:						Applies if the Adjacent Street is:				Applies to the following:
	TOD	CMU	NMU	NR	WMU	CI	CTC	PPC	UR	HWY	
Section 5.3.1 Building Entrance Standards for Pedestrians	●	●	●	●	●	●	●	●	●		<ul style="list-style-type: none"> - All development - Corner site provisions - Active Edge standards

B. Primary customer and/or resident entrances shall face the principal street and connect directly to the sidewalk clear zone or supplemental zone along the principal street. Supplemental customer and/or resident entrances are encouraged on any other building frontage.

C. Building entrances shall be provided for each separate ground floor commercial tenant space along the elevation facing the principal street and along any active edge designation.

D. For sites on one or more corners, a building entrance shall be provided for each separate ground floor commercial tenant space along all adjacent roadway types unless already provided along the principal street.

5.3.2. Building Entrance and Exit Standards for Vehicles

A. Applicability

Standard	Applies if the NBG Subdistrict is:						Applies if the Principal Street is:				Applies to the following:
	TOD	CMU	NMU	NR	WMU	CI	CTC	PPC	UR	HWY	
Section 5.3.2 Building Entrance & Exit Standards for Vehicles	●	●	●	●	●	●	●	●	●		<ul style="list-style-type: none"> - All development except Duplex, Single-Family Attached, Townhouse, and Two-Family Residential uses; and Emergency Service Providers - Corner site provisions

B. Building entrances and exits for vehicles shall be located to the rear or side of a building, except as provided in Subsection D below.

C. Where multiple street frontages are present, building entrances and exits for vehicles shall not face the

principal street or be located within 100 feet of the principal street, except as provided in Subsection D below.

- D.** Vehicle entrances and exits for structured parking may face a principal street only when no other feasible access is available on another street frontage or alley, as determined by the Director.

5.4. WINDOW GLAZING

5.4.1. Applicability

Standard	Applies if the NBG Subdistrict is:						Applies if the Principal Street is:			
	TOD	CMU	NMU	NR	WAMU	CI	CTC	PPC	UR	HWY
Section 5.4 Window Glazing	●	●	●	●	●	●	●	●	●	
	Applies to the following:					Application Details:				
	All mixed use and non-residential development and development along an active edge					-Corner site provisions -Exceptions include: building facades facing loading areas, rear service areas, or facades adjoining other buildings (attached to more than 50 percent of the sidewall)				
	Development containing only residential units not along an active edge. Exceptions include: Duplex, Single-Family Attached, Townhouse, and Two-Family Residential uses					-Same exceptions as above.				

5.4.2. Purpose

Glazing provides interest for the pedestrian, connects the building exterior and interior, puts eyes on the street, promotes reusability, and provides a human-scale element on building facades. Projects subject to this section shall meet the minimum glazing requirements as stipulated below:

5.4.3. Standards

- A.** All mixed use development, non-residential development, and development along an active edge shall satisfy the following:

1. At least 40 percent of the wall area along the principal street that is between two and ten feet above grade shall consist of glazing (see Figure 5-1).
 2. The second floor façade along the principal street must provide a minimum of 25 percent glazing between the finished second story floor and the finished third story floor or building eave (see Figure 5-1).
 3. At least one-half of the total area of all glazing on ground-floor facades that face the principal street shall have a Visible Transmittance (VT) of 0.6 or higher.
 4. For all other street facing facades, at least 25 percent of the wall area between two and ten feet above grade shall consist of glazing.
 5. Exception: For Emergency Service Providers, the glazing requirements of this section shall apply to the wall area excluding emergency vehicle overhead doors.
- B. Development containing only residential units that is not along an active edge shall satisfy the following:**
1. At least 25 percent of the principal street ground floor wall area between two and ten feet shall consist of glazing; and
 2. The second floor façade along the principal street must provide a minimum of 25 percent glazing between the finished second story floor and the finished third story floor or building eave (see Figure 5-1).

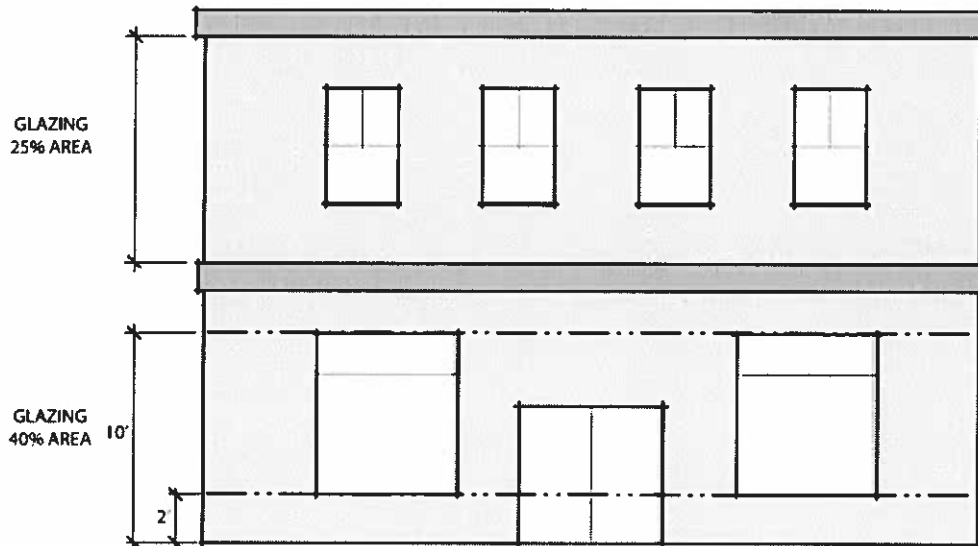


Figure 5-1: Commercial or mixed use building meeting glazing requirements

- C. The maximum sill height for any ground floor glazing necessary to meet the minimum glazing standards of this section shall be 4 feet.
- D. Any façade that is built up to an interior mid-block property line is not required to have glazing on that façade if not prohibitions and no contractual or legal impediments exist that would prevent a building being constructed on the adjacent property up to the wall of the façade.
- E. The requirements in this section shall not apply if the Building Code prohibits windows on such facades.
- F. The requirements in this section may be reduced to the extent necessary to comply with the Energy Code and/or Green Building Program Standards. Shading devices and/or the use of fritted glass are encouraged to mitigate solar impacts, particularly on south and west facing facades.

5.5. SHADE AND SHELTER

5.5.1. Applicability

Standard	Applies if the NBG Subdistrict is:						Applies if the Adjacent Street is:				Applies to the following:
	TOD	CMU	NMU	NR	WMU	CI	CTC	PPC	UR	HWY	
Section 5.5 Shade and Shelter	●	●	●	●	●	●	●	●	●	●	<ul style="list-style-type: none"> - All mixed use and non-residential development - Development along an active edge - Corner site provisions

5.5.2. Purpose

Austin's climate requires shade and shelter amenities in order to accommodate and promote pedestrian activity. These amenities will provide greater connectivity between sites and allow for a more continuous and walkable network of buildings. Projects subject to this section shall meet the following shade and shelter requirements:

5.5.3. Standards

- A. A shaded sidewalk shall be provided alongside at least 50 percent of the following:
 1. All building frontages adjacent to the principal street
 2. All building frontages adjacent to off-street parking.
- B. When adjacent to parking, the shaded sidewalk shall be raised above the level of the parking by way of a defined edge. ADA ramps along the building must also be shaded (see Figure 5-2).
- C. On active edges, a shaded sidewalk shall be provided along at least 80 percent of the active edge designation.
- D. Building entrances on all roadway types shall be located under a shade device, such as an awning or portico.
- E. For Emergency Service Providers, Alternative Equivalent Compliance may be sought for relief from the principal street shaded sidewalk requirements in Subsections A and C above to the extent necessary for emergency service vehicle and overhead door clearance.



Figure 5-2: Example of an ADA ramp with shade structure

5.6. BUILDING FAÇADE ARTICULATION

5.6.1. Applicability

Standard	Applies if the NBG Subdistrict is:						Applies if the Adjacent Street is:			
	TOD	CMU	NMU	NR	WMU	CI	CTC	PPC	UR	HWY
Section 5.6 Building Façade Articulation	●	●	●	●	●	●	●	●	●	●
	Applies to the following:						Application Details:			
	Building facades greater than 100 feet in length						Required along the principal street			
	Building facades greater than 40 feet in length						Requirement must be met on all building facades adjacent to any roadway type			

5.6.2. Standards

So as to provide visual interest and create community character and pedestrian scale, a building shall comply with the following façade articulation requirements:

A. Along the principal street, building facades greater than 100 feet in length shall:

1. Include at least one vertical change in plane with a depth of at least 24 inches (see Figure 5-3).
2. The distance from the inside edge of a building projection to the nearest inside edge of an adjacent projection shall not be less than 20 feet and not greater than 100 feet (see Figure 5-4).
3. For the purposes of meeting the requirements of this section, changes in plane shall not be deducted from the net frontage length requirement in Section 4.3.3 Building Placement so long as they do not exceed the maximum allowable supplemental zone standards as established in Subsection 4.3.4.

B. Along all streets, building facades, or portions of building facades, greater than 40 feet in length shall include at least one discernible architectural element such as, but not limited to (see Figure 5-4):



Figure 5-3: Shows façade articulation with a change in plane and also change in color and material.

1. Changes in material, color, and/or texture either horizontally or vertically at intervals not less than 20 feet and not greater than 100 feet; or
2. Bay windows, display windows, arcades, balconies, cornices, bases, pilasters, and columns.

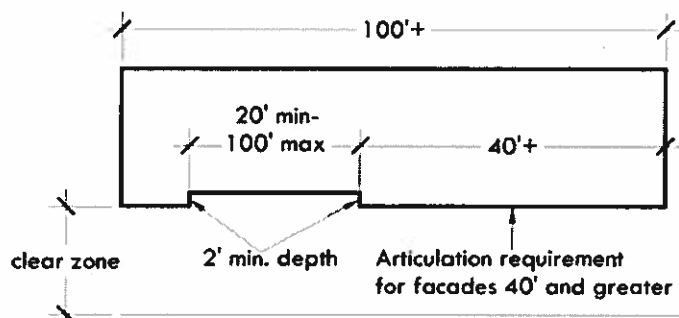


Figure 5-4: Illustration showing building façade articulation requirements.

C. Civic Buildings

In order to provide greater flexibility to create a distinctive architectural statement, civic buildings, as defined in Article 7 Definitions, are not required to meet the building façade articulation standards in this section. For buildings of a civic nature that do not fall under the definition of Civic in Article 7, Alternative Equivalent Compliance, as described in Article 1, may be sought for relief from the building façade articulation standards in this section. Alternative Equivalent Compliance may be granted if the intent of this Document is met.

5.7. GREEN BUILDING STANDARDS

5.7.1. Applicability

Standard	Applies if the NBG Subdistrict is:						Applies if the Adjacent Street is:				Applies to the following:
	TOD	CMU	NMU	NR	WMU	CI	CTC	PPC	UR	HWY	
Section 5.7 Green Building Standards	●	●	●	●	●	●	●	●	●	●	All development

5.7.2. Standards

All buildings must achieve a minimum One Star rating from Austin Energy Green Building using the rating system version in use at the time of application for building permit.

5.8. ACTIVE EDGE STANDARDS

5.8.1. Applicability

Standard	Applies if the NBG Subdistrict is:						Applies if the Adjacent Street is:				Applies to the following:
	TOD	CMU	NMU	NR	WMU	CI	CTC	PPC	UR	HWY	
Section 5.8 Active Edge Standards	●						●	●			<ul style="list-style-type: none"> - All development along all active edge designations, except Emergency Service Providers. - Off street parking provided as part of a building or parking structure adjacent to any roadway type.

5.8.2. Ground Floor Spaces

For that portion of a building façade that is along a street frontage designated as an active edge, the building must be designed and constructed to accommodate active uses such as retail and commercial services. The building, including the ground floor, may contain any use allowed on the property, as identified in Section 2.3 (see Figure 5-5).

A. Active Use Area

Each ground-floor space shall be designed according to the following standards (see Figure 5-6):

1. An entrance that opens directly onto the sidewalk according to Section 5.3;
2. A depth of not less than 24 feet measured from the street frontage wall;
3. A height of not less than 12 feet measured from the finished floor to the bottom of the structural members of the ceiling; and
4. A front façade that meets the window glazing requirements in Section 5.4.

B. Parking

1. Off-street surface parking is prohibited along an active edge designation.
2. Structured parking may be located along an active edge but it is not permitted in the required active use area described in this section.

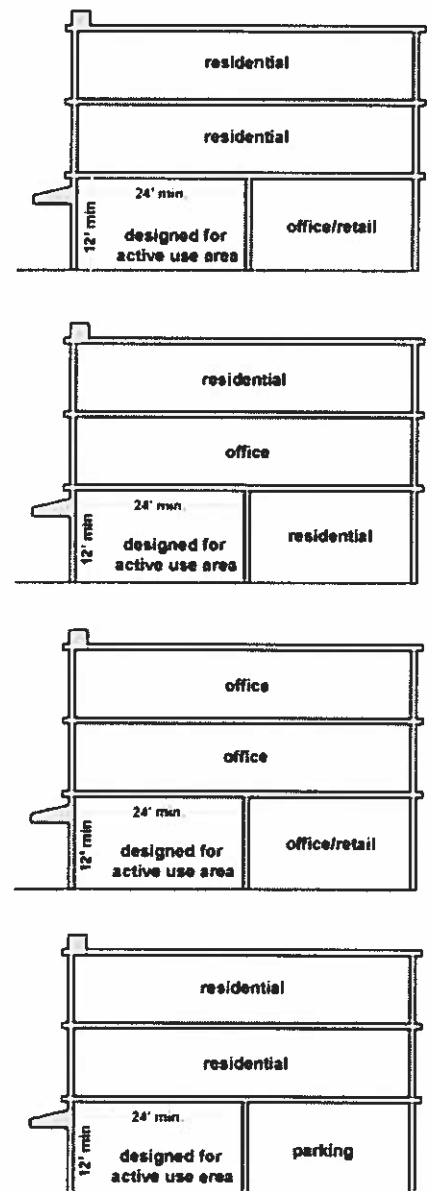


Figure 5-5: Showing required active use area along an active edge with possible mixed use building use combinations.

3. Off street parking provided as part of a building or parking structure adjacent to any roadway type must meet the ground floor space standards of this Section 5.8.

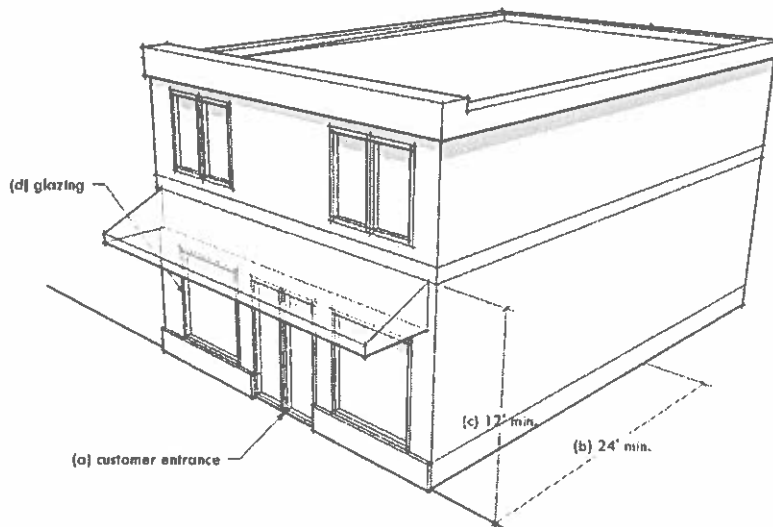


Figure 5-6: Along an active edge, a building must be designed to accommodate pedestrian-oriented non-residential uses (illustrates active use area).

ARTICLE 6: DEVELOPMENT BONUS

6.1. INTENT

- 6.1.1. Enable developers in the NBG Zoning District to build projects with density higher than previously allowed by zoning in exchange for the provision of community benefits.
- 6.1.2. Encourage the provision of affordable housing and mixed income communities;
- 6.1.3. Accommodate additional density while allowing new development to support "public benefits" that are important to achieve as the North Burnet/Gateway area transforms in to a high-density urban neighborhood. These public benefits include vehicular, bicycle and pedestrian connectivity, stormwater management, parks and open space, civic facilities, green building/ sustainability, and transit.
- 6.1.4. Provide interim development bonus standards for the NBG Zoning District until the City of Austin develops a development bonus framework for the city and sets specific ratios for the NBG area of public benefit provision requirements (or fee-in-lieu payments) to bonus FAR/additional height granted.

6.2. INTERIM DEVELOPMENT BONUS STANDARDS

6.2.1. Development Bonus

A. Applicability

Standard	Applies if the NBG Subdistrict is:						Applies if the Adjacent Street is:				Applies to the following:
	TOD	CMU	NMU	NR	WMAU	CI	CTC	PPC	UR	HWY	
Section 6.2.1 Development Bonus	●	●	●	●	●	●	●	●	●	●	All properties or portions of properties in the NBG Zoning District are eligible for a development bonus.

B. Interim Development Bonus Standards

1. A development bonus shall be granted to a development that meets the NBG Design Standards as required in Subsection C and one of the collector street, affordable housing or fee-in-lieu standards in Subsections D, E, or F below.
2. The development bonus allows development on a site to exceed its "maximum floor-area-ratio (FAR) by right" limitation and "maximum height by right" limitation up to the "maximum FAR with development bonus" limitation and "maximum height with development bonus" limitation established in Section 4.2 (Development Standards) for each subdistrict.
3. For purposes of applying standards in this section, the bonus area is:
 - a. The gross floor area that exceeds the site's "maximum FAR by right" limitation; or
 - b. The gross floor area that exceeds the "maximum height by right" limitation; or

- c. In cases where both the "maximum FAR by right" limitation and "maximum height by right" limitation are exceeded, the bonus area is the greater of the gross floor area calculations of either subsections a. or b. above.

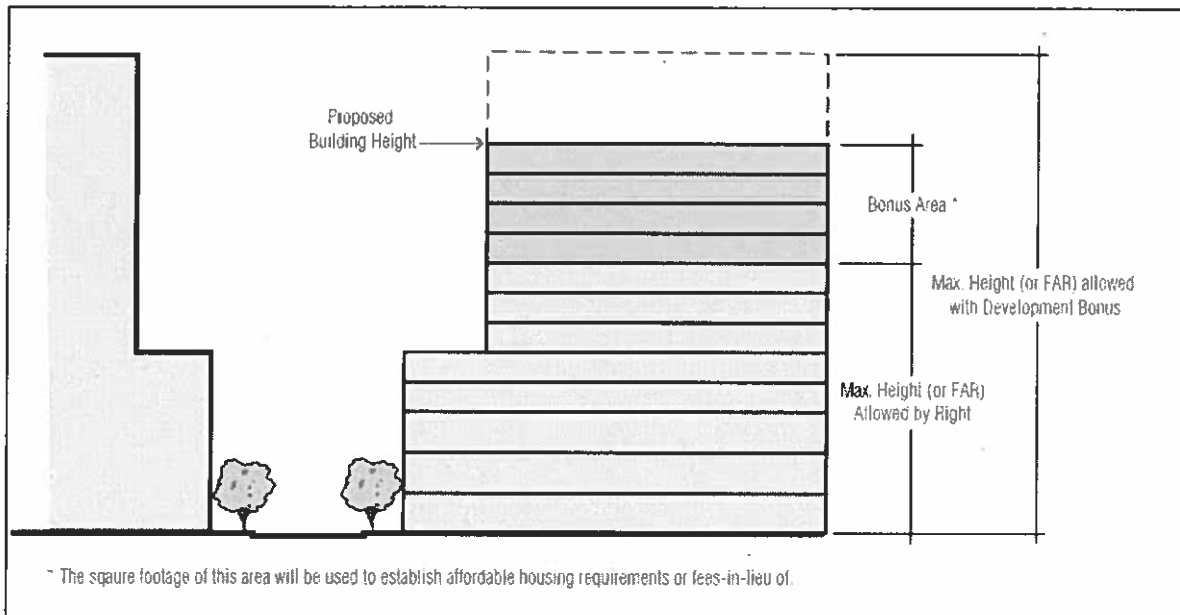


Figure 6-1 Illustration of Development Bonus Area

C. NBG Design Standards

Unless exempted by Section 1.2.3.B, all development shall comply with the NBG Design Standards in this Document to be eligible for a development bonus. (For redevelopment or major rehabilitation, the Director shall determine the portion of the site to which the standard applies, based on the extent of change proposed).

D. Construction of New Collector Streets

As described in Section 3.5.1 Project Circulation Plan, right-of-way shall be dedicated for collector streets identified on the NBG Collector Street Plan (Figure 3-12). If a site is less than five acres in size, or would otherwise not be required to provide a new street(s) on the site in compliance with the block size standards in Section 3.5.2 or any other requirement, and the project builds the collector street in accordance with one of the Primary Collector Street cross-sections provided in Appendix A, the site may be eligible for a development bonus described in Subsection B above. In exchange for building the collector street in the required collector street ROW, a development bonus shall be granted to the "maximum FAR with development bonus and "maximum height with development bonus" limits established in Section 4.2 (General Development Standards). FAR calculations for the non-dedicated portion of the site shall be made based on the total site area prior to the dedication.

E. Provision of Affordable Housing

To be eligible for the development bonus described in Subsection B above through the provision of affordable housing, habitable space equal to a minimum of ten percent of the bonus area granted shall be reserved as affordable in residential or residential mixed-use developments. The ten percent requirement may be met by providing affordable owner-occupied units, rental units, or a combination of both. The following requirements assign the specific level of affordability for each unit type, which shall run with the land:

1. Affordability Requirements for Owner-Occupied Units

Habitable space equal to a minimum of ten percent of the bonus area of the development shall be reserved as affordable through a City approved affordable housing land trust or other similar entity approved by the Director of NHCD, for not less than 99 years from the date a certificate of occupancy is issued, for ownership and occupancy by households earning no more than 80 percent of the Annual Median Family Income for the City of Austin Metropolitan Statistical Area as determined by the Director of the Neighborhood Housing and Community Development Department (NHCD); and

2. Affordability Requirements for Rental Units

Habitable space equal to a minimum of ten percent of the bonus area of the development shall be reserved as affordable, for a minimum of 40 years following the issuance of the certificate of occupancy, for rental by households earning no more than 60 percent of the Annual Median Family Income; and

3. Other Requirements

- a. The development must comply with the City's S.M.A.R.T. Housing Program; and
- b. The City may elect to subsidize an additional ten percent of residential units in the building for ownership or rental purposes for residents at any level of affordability pursuant to criteria and procedures established by the Director of the NHCD.
- c. The director may require the developer to execute an agreement, restrictive covenant, or other binding restriction on land use that preserves affordability for the required period.

4. Affordability Definition

For purposes of this section, a unit is affordable for purchase or rental if the household is required to spend no more than 30 percent of its gross monthly income on mortgage or rental payments for the unit, or up to 35% of its gross income on mortgage if a household member receives City-approved homebuyer counseling, in addition to meeting the requirements of this section.

F. Fee-in-lieu Payments for Affordable Housing and Community Benefits

Subject to the approval of the Director of the NHCD, a developer may pay a fee-in-lieu payment instead of complying with Subsections D or E above.

1. For a residential use, the developer shall pay into the Housing Assistance Fund 100 percent of the fee prescribed by Subsection F .3 below for each square foot of the bonus area; or
2. for a commercial or mixed use:
 - a. The developer shall pay into the Housing Assistance Fund 50 percent of the fee prescribed by Subsection F .3 for each square foot of the bonus area granted; and
 - b. Pay into the Community Benefits Fund 50 percent of the fee prescribed by Subsection F .3 for each square foot of the bonus area granted.
3. The current fee to be paid into the City funds for each square foot of bonus area is established as six dollars (\$6). This fee is adjusted annually in accordance with the Consumer Price Index All Urban Consumers, US City Average, All Items (1982-84 = 100), as published by the Bureau of Labor Statistics of the United States Department of Labor. The City Manager shall annually determine the new fee amounts for each fiscal year, beginning October 1, 2008, and report the new fee amounts to the City Council.

G. Allocation of City Funds

1. The Director of the Austin Neighborhood Housing and Community Development Dept. (NHCD) may allocate money from the Housing Assistance Fund collected under Subsection F for the financing or production of affordable units within 2 miles of the intersection of Burnet Rd. and Braker Ln. that meet the following criteria:
 - a. Owner-occupied units are reserved as affordable for a period of not less than 99 years by a family whose gross household income does not exceed 80 percent of the median family income for the Austin metropolitan statistical area; or
 - b. Renter-occupied units are reserved as affordable for a period of not less than 40 years by a family whose gross household income does not exceed 60 percent of the median family income for the Austin metropolitan statistical area.
2. The Director of the Neighborhood Planning and Zoning Dept. (NPZD) may allocate money from the Community Benefits Fund collected under Subsection F for programs that serve one or more of the following purposes for the North Burnet/Gateway Planning Area:
 - a. Vehicular, bicycle and/or pedestrian connectivity
 - b. Stormwater management
 - c. Parks and open space
 - d. Civic facilities
 - e. Green building/Sustainability
 - f. Transit

ARTICLE 7: DEFINITIONS

Active Edge

An active edge imposes specific land use and design requirements for development on specific street frontages in the TOD Subdistrict. The locations of active edges are shown on the NBG Subdistricts map (Figure 1-2). It requires building facades to be located adjacent to or near to the clear zone, building entrance and window treatment oriented to the street, and active ground floor uses (or their accommodation through building design and construction) along the street frontage, including, but not limited to: commercial, retail, restaurant, entertainment, and lobbies for civic, hotel, or multi-family uses.

Building

A structure that has a roof and walls, which is constructed in a permanent position on the ground. A building also includes parking structures that may or may not have fully enclosed walls.

Civic Buildings

For purposes of this Document, civic buildings shall consist of the following:

- College or University facilities
- Community Recreation (Public)
- Cultural Services
- Local Utility Services
- Parks and Recreation Services (General)
- Postal Services
- Public Primary Education Facilities
- Public Secondary Education Facilities
- Safety Services
- Transportation Terminal

Clear Zone

The area dedicated for an unobstructed sidewalk.

Collector Street

A street as defined in Section 25-1-21 (15) of the LDC.

Commercial Use

A use that appears in Section 25-2-4, *Commercial Uses Described*, of the LDC.

Director

Unless otherwise specified, the Director of the Watershed Protection and Development Review Department, or his or her designee.

Drive-Through Facility

Drive-through facilities provide services where the motorist generally waits in the car before and while the service is performed.

Fully-Shielded Light Fixture

A lighting fixture constructed in such a manner that the light source is not visible when viewed from the side and all light emitted by the fixture, either directly from the lamp or a diffusing element, or indirectly by reflection or refraction from any part of the luminaire, is projected below the horizontal as determined by photometric test or certified by the manufacturer. Any structural part of the light fixture providing this shielding must be permanently affixed.

Full Cut-off

A luminaire light distribution where zero candela intensity occurs at or above an angle of 90 above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10%) at or above a vertical angle of 80 above nadir. This applies to all lateral angles around the luminaire.

Glazing

The panes or sheets of glass or other transparent material made to be set in window frames, which allow visibility of interior building spaces or window displays.

Hardscape

Nonliving components of a streetscape or landscape design, such as paved walkways, walls, sculpture, patios, stone and gravel areas, benches, fountains, and similar hard-surface areas and objects.

Internal Block

One or more lots, tracts, or parcels of land bounded by streets, railroads, or subdivision boundary lines.

Joint Use Driveway

Refer to Section 25-6-417 of the Land Development Code.

LDC

The City of Austin Land Development Code.

Light Fixture

The complete lighting assembly (including the lamp, housing, reflectors, lenses and shields), less the support assembly (pole or mounting bracket); a light fixture.

Maximum Extent Feasible

No feasible and prudent alternative exists, and all possible efforts to comply with the regulation or minimize potential harm or adverse impacts have been undertaken. Economic considerations may be taken into account but shall not be the overriding factor in determining "maximum extent feasible."

Maximum Extent Practicable

Under the circumstances, reasonable efforts have been undertaken to comply with the regulation or requirement, that the costs of compliance clearly outweigh the potential benefits to the public or would unreasonably burden the proposed project, and reasonable steps have been undertaken to minimize any potential harm or adverse impacts resulting from the noncompliance.

Mixed Use Building

A building containing more than one type of use. This may include, but is not limited to, a combination of residential, commercial, light manufacturing, office, and/or civic land uses.

Net Site Area

Refer to Section 25-8-62 of the Land Development Code.

Net Frontage Length

Determined by subtracting required streets to meet block standards, compatibility setbacks, easements, drive aisles, sidewalks, and stairs that occur at the building perimeter from the total property length, as measured along the front lot line from property line to property line (see Figure 6-1). In the case of a curved corner, the Director may determine the end point for purposes of measuring net frontage.

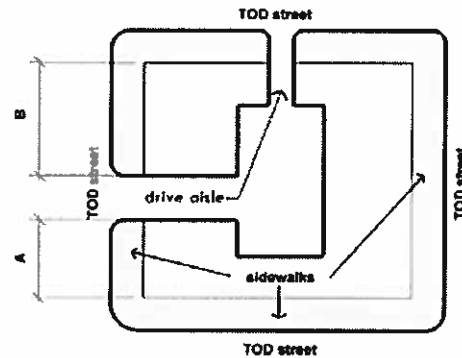


Figure 6-1: The net frontage length for this property is the total of lengths A and B. Required streets, drive aisles, and perimeter sidewalks are not included.

North Burnet/Gateway Master Plan

A document that creates a development vision, plan and recommendations specific to the North Burnet and Gateway neighborhood planning areas in Austin, TX and adopted by the City Council on November 1, 2007 (Ordinance no. 20071101-050).

North Burnet/Gateway (NBG) Zoning District

A designation of land within the North Burnet/Gateway planning area in which additional land development requirements and standards intended to implement the vision and recommendations of the North Burnet/Gateway Master Plan are applied.

North Burnet/Gateway (NBG) Planning Area

The study area boundary for the North Burnet/Gateway Master Plan. The Master Plan boundaries combine the North Burnet and Gateway neighborhood planning areas, which were established when the City Council passed the resolution that commenced the neighborhood planning process in January, 2002 (Resolution no. 020117-27).

North Burnet/Gateway (NBG) Subdistrict

A designation of land within the NBG Zoning District used for applying design and development standards within a specific part of the NBG area. The following is a listing of NBG Subdistricts:

- Transit-Oriented Development (TOD) Subdistrict
- Commercial Mixed Use Subdistrict
- Neighborhood Mixed Use Subdistrict
- Neighborhood Residential Subdistrict
- Warehouse Mixed Use Subdistrict
- Commercial Industrial Subdistrict

Pedestrian-Oriented Business or Use:

A business or use which is commonly accessed by pedestrians from the street sidewalk and have a high customer use rate.

Principal Building

A building in which is conducted the principal use of the lot on which it is located.

Principal Entrance

The place of ingress and egress most frequently used by the public.

Principal Street

In this Document, the principal street of a lot or site is the street with the highest priority that is adjacent to the lot or site. Street priorities are established in Section 4.3.2 of this Document.

Shaded Sidewalk

For purposes of this Document, a shaded sidewalk shall be either of the following:

- A sidewalk at least five feet in width with street trees at 30-foot intervals; or
- A sidewalk at least five feet wide covered with weather-protection materials such as awnings.

Significant Stand of Trees

Three or more Class 1 or Class 2 tree specimens with a minimum measurement of two-inch Diameter at Breast Height, meeting the standards outlined within Section 3.5.2 of the Environmental Criteria Manual and a minimum of 150 square feet of critical root zone preserved.

Streetscape

The elements within and along the street right-of-way that define its appearance, identity, and functionality, including street furniture, landscaping, trees, sidewalks, and pavement treatments.

Story

That portion of a building, other than a basement, included between the surface of any floor and the surface of the floor next above it, or if there is no floor above it, then the space between the floor and the ceiling above the floor of such story. For the purposes of this Document, a story is a minimum of 8 feet in height.

Street

For the purposes of this Document, a street includes public and private streets and private drives, but does not include alleys.

Street-Facing Facade

A wall of a building that is within 60 degrees of parallel to a street lot line; and is not behind another wall, as determined by measuring perpendicular to the street lot line. The length of a street-facing facade is measured parallel to the street lot line.

Street Tree/Furniture Zone

An area adjacent to the curb in which street trees may be planted. The zone is also intended for the placement of street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.

Supplemental Zone

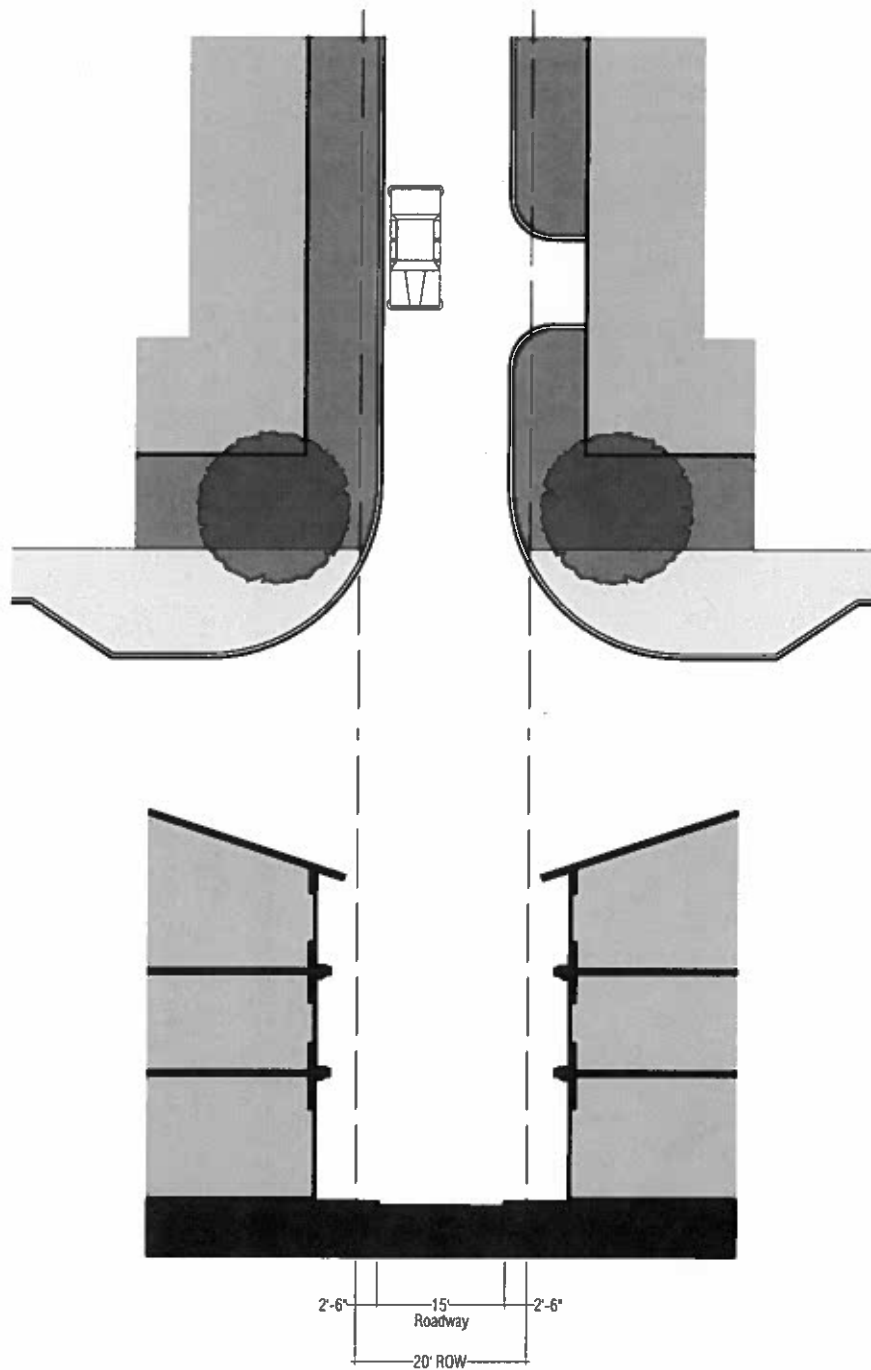
An area between the clear zone and the building edge for active public uses such as a plaza, outdoor café or patio.

Transit-Oriented Development (TOD)

Transit-oriented development (TOD) is the functional integration of land use and transit via the creation of compact, walkable, mixed-use communities within walking distance of a transit stop or station. A TOD bring together people, jobs, and services and is designed in a way that makes it efficient, safe, and convenient to travel on foot or by bicycle, transit, or car.

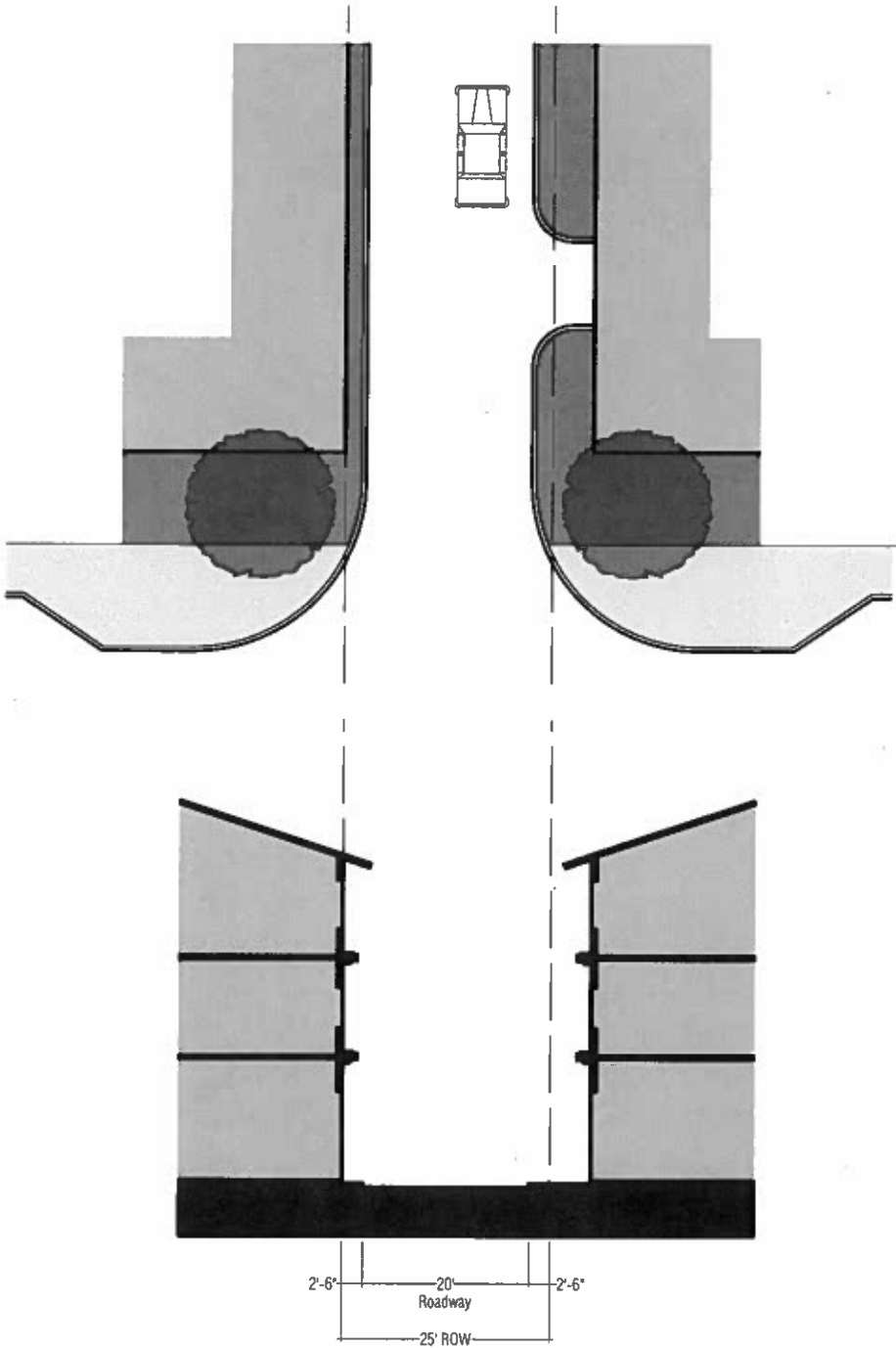
APPENDIX A

This appendix includes NBG Street Cross-Section Standards for new streets built within the North Burnet/Gateway Zoning District.

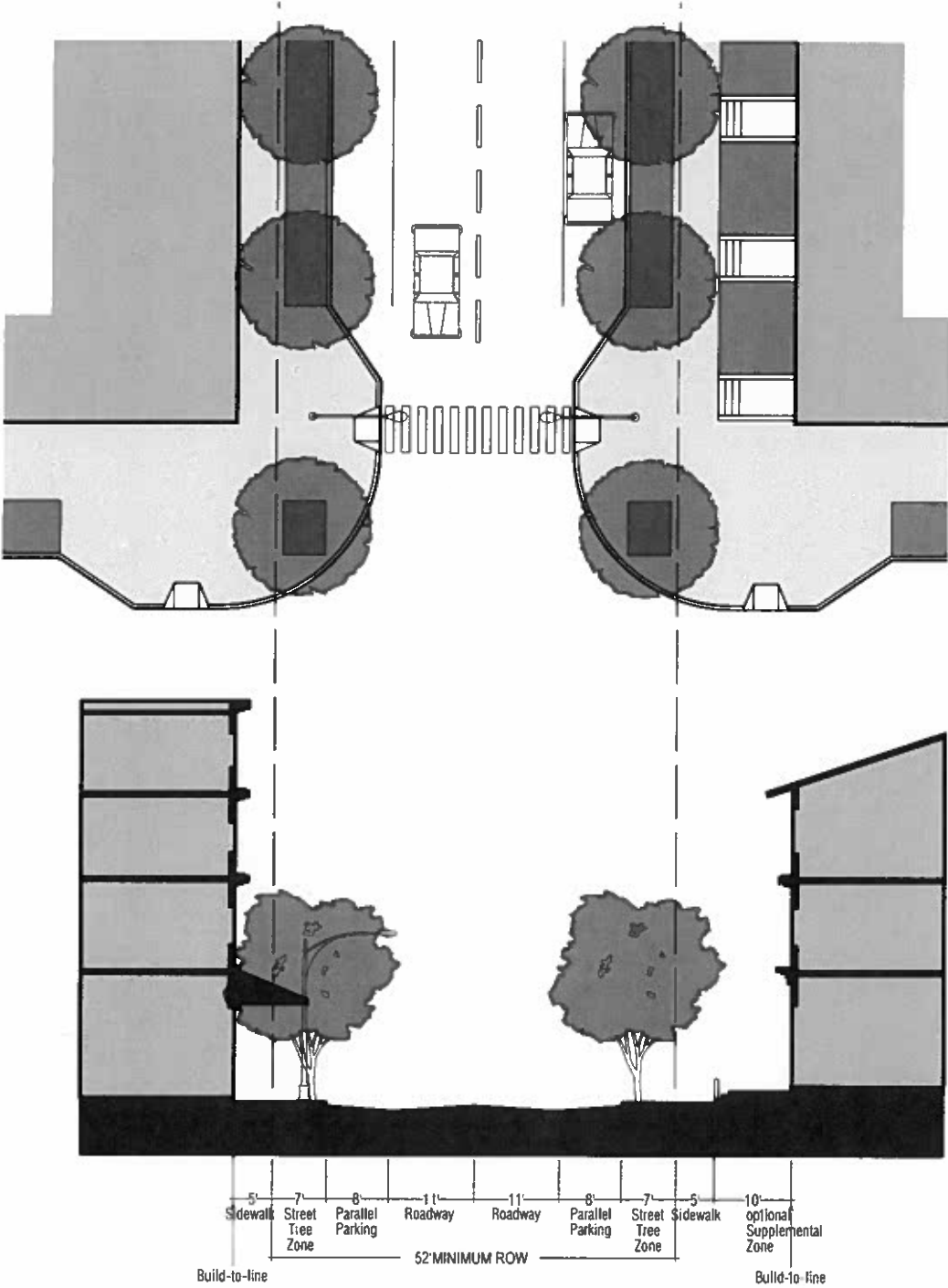


STREET CHARACTERISTICS

Right of Way	20'
Pavement Width	15'
Target Speed	10 mph
Parking	none
Curb Radius	20'

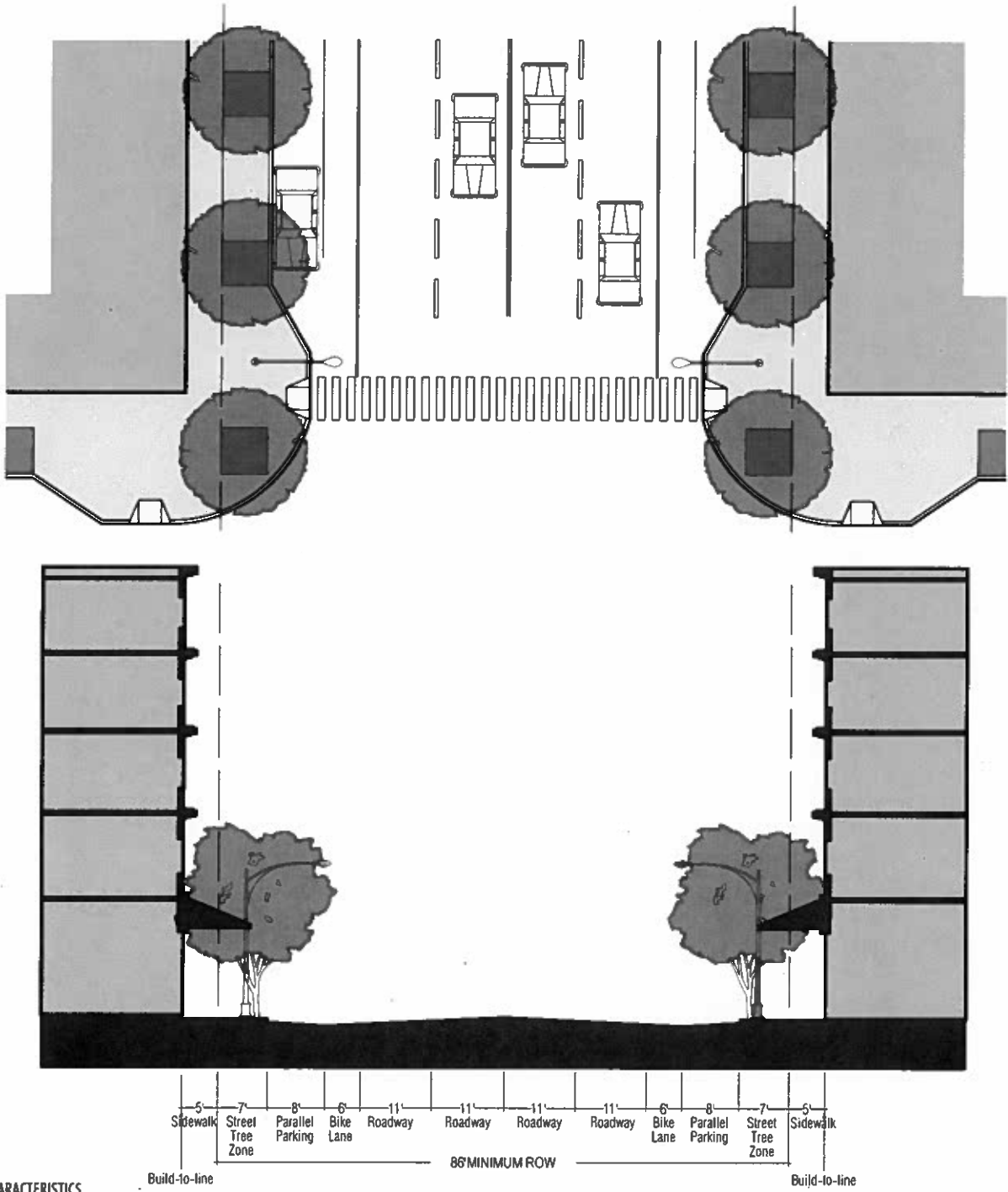


STREET CHARACTERISTICS	
Right of Way	25'
Pavement Width	20'
Target Speed	10 mph
Parking	none
Curb Radius	20'

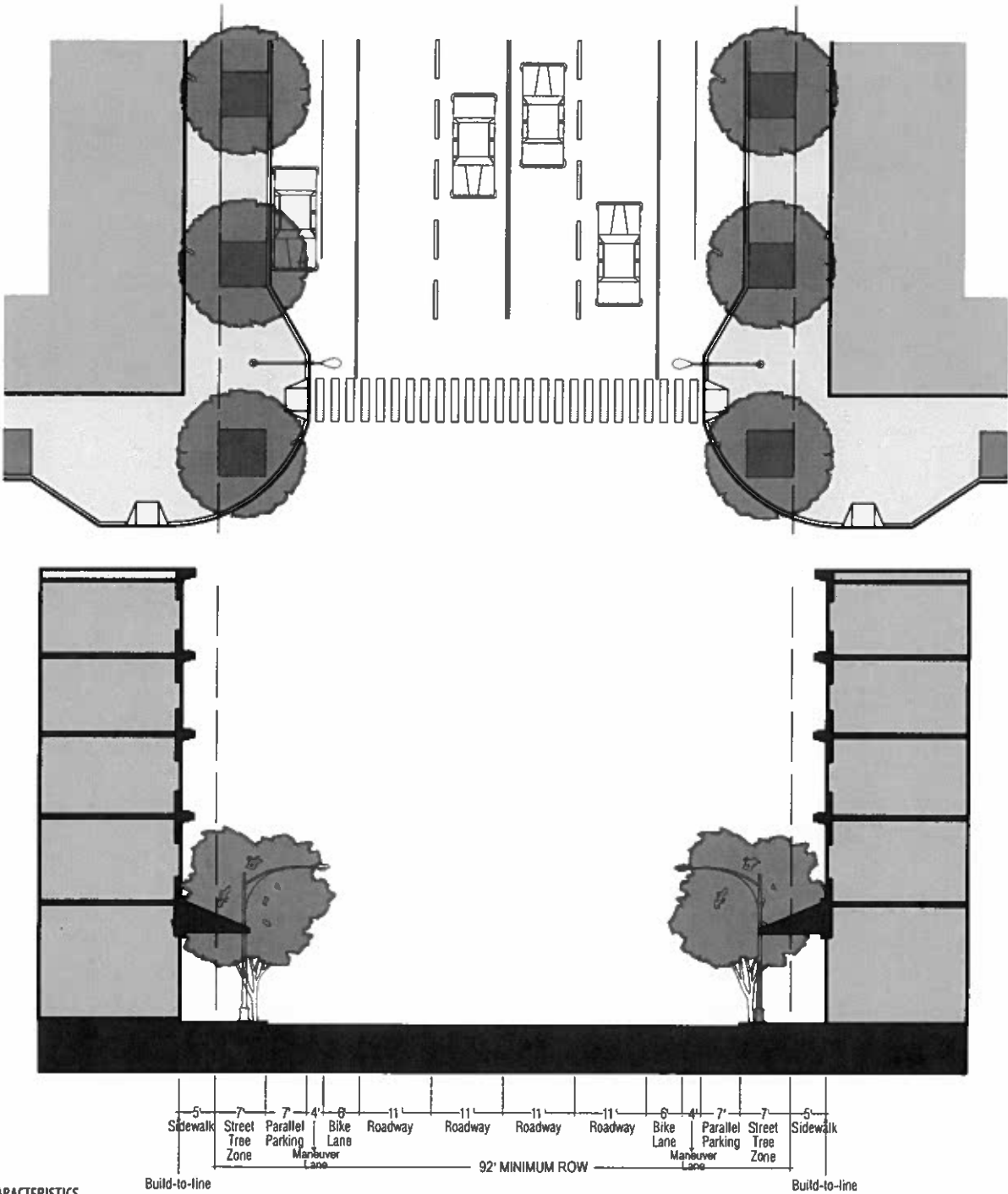


STREET CHARACTERISTICS

Min. Right of Way	52'
Pavement Width	38'
Target Speed	25 mph
Parking	parallel, both sides
Curb Radius	20'



STREET CHARACTERISTICS	
Min. Right of Way	86'
Pavement Width	72'
Target Speed	30 mph
Parking	parallel, both sides
Curb Radius	20'



STREET CHARACTERISTICS	
Min. Right of Way	92'
Pavement Width	78'
Target Speed	greater than 30 mph
Parking	parallel, both sides
Curb Radius	20'





APPENDIX B :

2035 CONCEPTUAL MASTER PLAN

from the North Burnet/ Gateway Master Plan, adopted Nov. 1, 2007.

This map presents a potential redevelopment vision and does not constitute regulatory standards

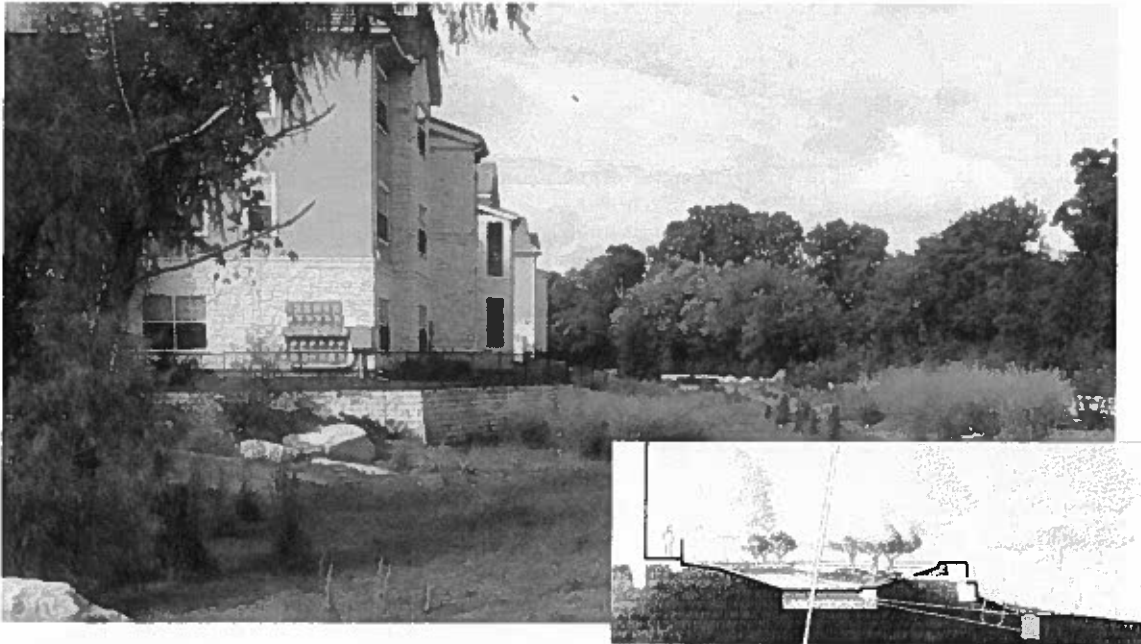
LEGEND

-  CONCEPTUAL BUILDING MASSING FOR RE-DEVELOPMENT
-  CONCEPTUAL LOCATIONS FOR DISTRIBUTED PARKS AND OPEN SPACE
-  EXISTING BUILDINGS
-  LOCATION OPTIONS FOR POSSIBLE FUTURE RAIL STATIONS
(These are conceptual locations; Capital Metro and ASACRD have not yet selected the final station locations)

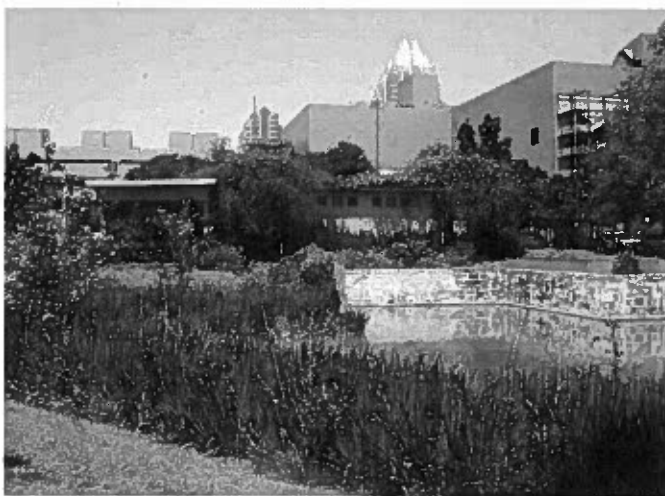


Appendix C: Examples of Urban Water Quality Control Best Management Practices (BMPs)

Development projects and new streets within the NBG Overlay District are encouraged to incorporate Innovative Water Quality Controls as described in the City of Austin Environmental Criteria Manual Section 1.6. This appendix provides examples of projects in Austin that have incorporated these BMPs.



Biofiltration Pond at Blunn Creek Apartments (Woodward Street). Biofiltration enhances the traditional sedimentation/sand filter design, adding an organic filtration media with vegetation to remove pollutants. Biofiltration systems can serve as aesthetic amenities and, unlike sed./sand ponds, may be eligible for landscaping credit. These systems are excellent candidates for dense, highly impervious sites because they can be flexibly incorporated into numerous small landscaped areas and islands. Other examples of urban projects using biofiltration include Star Riverside at IH-35 and Riverside Drive as well as a regional biofiltration pond being constructed as part of the Sand Beach Improvements at Lamar Blvd. and Sandra Muraida Way. For design criteria, see Environmental Criteria Manual 1.6.7(C).



Wet Pond at the Austin Convention Center (3rd and Red River). Instead of using a clay liner, this compact wet pond was constructed with a concrete basin. It treats 35 acres of downtown drainage that is almost entirely impervious (99 percent). Wet ponds can treat from 20 to 320 acres of drainage—making them an attractive regional water quality solution. Other examples of urban projects with wet ponds include Central Park, Mueller, and the Triangle, each featuring wet ponds as a significant public amenity. For design criteria, see Environmental Criteria Manual 1.6.6.



Rooftop Garden and Non-Required Vegetation at Whole Foods Market (Lamar and 5th). Besides creating a unique landscaping feature for the site, this rooftop garden and additional non-required plantings at ground-level were used to mitigate the urban heat island effect as well as to treat stormwater runoff. Stormwater can be collected in either a retention basin or, in this case, a rainwater harvesting tank and then used to irrigate rooftop and ground-level vegetation. Examples of other planned urban projects that will utilize this technique are the Market Place at 6th and Lamar and Crescent Austin at Riverside and S. Congress. For non-required vegetation criteria, see Environmental Criteria Manual 1.6.7(G). For rainwater harvesting criteria, see Environmental Criteria Manual 1.6.7(D).



Rainwater Harvesting Tank at Escarpment Village (Slaughter and Escarpment). Although rainwater tanks can be located underground to save space, they can also serve as attractive, above-ground features. Several sites with rainwater harvesting tanks develop accompanying signage for public education purposes. Rainwater harvesting also promotes water conservation by using stormwater runoff instead of potable water for landscaping irrigation or cooling water. For design criteria, see Environmental Criteria Manual 1.6.7(D).



Porous Pavement at Escarpment Village. Porous pavement is a permeable concrete surface with underlying layers of gravel and rock that reduces pollutants in stormwater runoff and provides ground water recharge through infiltration. Porous pavement for pedestrian use (e.g. sidewalks and trails) can be counted as pervious area. Although porous pavement does not directly receive water quality credit, it can reduce the overall water quality volume required for the site—thus decreasing the amount of space needed for on-site controls. For design criteria, see Environmental Criteria Manual 1.6.7(E).



Vegetative Filter Strip/Disconnected Impervious Cover at Rosedale Village (Burnet and 49th). Vegetative filter strips (VFS) use the filtration properties of plants and soils to remove pollutants from runoff. They are typically used in relatively low-density developments as a passive, low maintenance water quality control. However, partial water quality credit can be received for the disconnection of impervious cover that allows stormwater runoff to filter over smaller vegetated strips. For design criteria, see Environmental Criteria Manual 1.6.7(F).



Rain Garden Example. Rain gardens are small, landscaped infiltration or filtration areas similar to biofiltration, but with a drainage area of less than an acre and a ponding depth not to exceed 6 inches. Unlike conventional centralized systems (i.e. sedimentation/sand filtration), this approach can employ multiple controls dispersed across a development, and incorporated into the landscape, providing aesthetic as well as ecological benefits. For design criteria, see Environmental Criteria Manual 1.6.7(H).



Partial Sedimentation/Sand Filtration Pond in the parking lot of the REI/Bookpeople Site (Lamar and 5th). The pond is located between the surface parking and the street, taking up approximately one percent of the total site area. Rather than being placed below ground, this pond is left open—making inspection and maintenance significantly easier. The wall of the pond facing Lamar Blvd. is landscaped to blend into the surroundings. Utilizing a biofiltration media and plantings within the pond would allow it to further serve as a site amenity and landscaping feature. Sedimentation/sand filtration ponds can be constructed underground if space is not available on the site. Examples of urban projects with subsurface sedimentation/sand filtration ponds include AMLI Residential at 3rd and Guadalupe and The Shore at Davis and Rainey Street. For design criteria, see Environmental Criteria Manual 1.6.5(B).

APPENDIX D

Illustrations of impervious cover and drainage pattern assumptions for regional stormwater detention ponds near MoPac (Z-K, PSP 1, PSP 2, and MoPac ponds).

Properties included on these illustrations, if developed in accordance with the assumptions, may be able to utilize the regional ponds to fulfill stormwater management requirements instead of building individual detention ponds on site.

