

CITY OF AUSTIN

CASE # 2010-089528R
PLAN REVIEW # _____

**APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)**

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1615 Garden St.

LEGAL DESCRIPTION: Subdivision - L.M. Tobin Resubdivision of Riverside Addition

Lot(s) 8 Block 7 Outlot 47 Division O Riverside

LAND STATUS DETERMINATION CASE NUMBER (if applicable) 2010-089528R

I/We Angela + William Marshall on behalf of myself/ourselves as authorized agent for
Angela + William Marshall affirm that on Oct. 14, 2010,

hereby apply for a hearing before the Residential Design and Compatibility Commission
for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- _____ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
- _____ Maximum Linear feet of Gables protruding from setback plane
- _____ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

37 Ft. Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

We request a waiver of the § 2.7 requirement of
a 36 Ft. side wall length articulation to accomodate our
plan's 37 Ft. side wall length articulation. Our design
is a mostly one story, less than 2,000 sq ft. of gross floor area, ecologically friendly design.
in a SF-3 zoning district. LDC - 2.7 Sidewall Articulation
SUBCHAPTER

**Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) –
case goes to RDCC first. National Register Historical District (NRHD) Overlay:
without H or HD - case goes to Historic Landmark Commission first.**

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
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REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

respecting the side setback requirements a reasonable, comfortable, & economical design calls for a slight addition to the side wall length articulation.

REQUEST:

2. The request for the modification is unique to the property in that:

our design is an economical design set in a relatively slender lot in a subdivision with a number of homes that have side wall length articulations greater than 36 Ft.

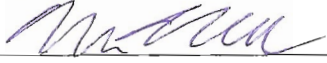
AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

the area in which the home will be built has many houses that are pre-1960 and have the characteristic of long, single-plane side walls; the design is consistent with the square footage of the ~~old~~ traditional homes in the area; and the design's use of porches is consistent with the area's ~~older~~ traditional home's use of the porch as a more public living space.

**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER**

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 1601 E 5th # 205
City, State Austin, TX Zip 78702
Phone 917-446-0280 Printed Name William Marshall
Signature  Date 10/14/10

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 1601 E 5th # 205
City, State Austin, TX Zip 78702
Phone 917-446-0280 Printed Name William Marshall
Signature  Date 10/14/10

Support Letters

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2010-089528R

ADDRESS 1615 Garden Street

Contact: Sylvia Benavidez, 974-2522

Public Hearing: November 3, 2010

Residential Design and Compatibility Commission

☒ I am in favor
☐ I object

Your Name (please print)

Your address(es) affected by this application

Signature

Date

Comments:

Jose Perez, 1702 Garden, de acuerdo
Sylvia Marcel, Sylvia Marcel, 1621 Garden, in favor
ELISABETH POLEZ 1613 GARDEN ST. IN FAVOR!
HEATHER FRAMBACH 1613 GARDEN ST.
Dolores Gonzales 1608 Garden St - in favor
JANE CARROLL - 1607 Garden St # A in favor
Morgan Scott - 1607 Garden St # A in favor
Christopher Jacob In Favor, 1617 GARDEN

If you use this form to comment, it may be returned to:

City of Austin

Sylvia Benavidez

P.O. Box 1088

Austin, TX 78767-8810

CITY OF AUSTIN

RESIDENTIAL PERMIT APPLICATION "A"

 PR. Number 2010-089528R
 Building Permit No. _____
 Plat No. _____ Date 10/15/10
 Reviewer SPB

PRIMARY PROJECT DATA

 Service Address 1615 Garden St., Austin, TX 78702 Tax Parcel No. 02020701070000
 Legal Description
 Lot 8 Block 7 Subdivision L.M. Tobin Resubdivision of Riverside Addition Section _____ Phase _____

 If in a Planned Unit Development, provide Name and Case No. _____
 (attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

 Description of Work
☒ New Residence
☐ Duplex
☐ Garage ☐ attached ☐ detached
☐ Carport ☐ attached ☐ detached
☐ Pool
☐ Remodel (specify) _____
☐ Addition (specify) _____
☐ Other (specify) _____

 Zoning (e.g. SF-1, SF-2...) SF-3-N/P

 - Height of Principal building 25 ft. # of floors 2 Height of Other structure(s) _____ ft. # of floors _____
 - Does this site currently have water and wastewater availability? ☒ Yes ☐ No. If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.
 - Does this site have a septic system? ☐ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

 Does this site have a Board of Adjustment ruling? ☐ Yes ☒ No If yes, attach the B.O.A. documentation

 Will this development require a cut and fill in excess of 4 feet? ☐ Yes ☒ No

 Does this site front a paved street? ☒ Yes ☐ No A paved alley? ☒ Yes ☐ No

 Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Yes ☐ No

VALUATIONS FOR REMODELS ONLY

 Building \$ _____
 Electrical \$ _____
 Mechanical \$ _____
 Plumbing \$ _____
 Driveway/
 Sidewalk \$ _____
 TOTAL \$ _____
 (labor and materials)

VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY

 Lot Size 6,978 sq.ft.
 Job Valuation - Principal Building \$ _____
 (Labor and materials)
 Job Valuation - Other Structure(s) \$ _____
 (Labor and materials)

 TOTAL JOB VALUATION
 (sum of remodels and additions)
 \$ 210,000
 (Labor and materials)
PERMIT FEES
(For office use only)

	NEW/ADDITIONS	REMODELS
Building	\$ _____	\$ _____
Electrical	\$ _____	\$ _____
Mechanical	\$ _____	\$ _____
Plumbing	\$ _____	\$ _____
Driveway & Sidewalk	\$ _____	\$ _____
TOTAL	\$ _____	\$ _____

OWNER / BUILDER INFORMATION

OWNER	Name <u>Angela + William Marshall</u>	Telephone (h) <u>917-446-0280</u> (w) <u>512-879-3567</u>
BUILDER	Company Name _____ Contact/Applicant's Name <u>Angela + William Marshall</u>	Telephone <u>917-446-0280</u> Pager _____ FAX _____
DRIVEWAY/ SIDEWALK	Contractor _____	Telephone _____
CERTIFICATE OF OCCUPANCY	Name _____ Address _____ City _____ ST _____ ZIP _____	Telephone _____

If you would like to be notified when your application is approved, please select the method:

☒ telephone ☒ e-mail: uarente@yahoo.com

 You may check the status of this application at www.ci.austin.tx.us/development/pierivr.htm

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "D"
FLOOR AREA RATIO INFORMATION

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY
STANDARDS ORDINANCE BOUNDARY AREA.

Service Address 1615 Garden St., Austin, TX 78702
Applicant's Signature [Signature] Date 10/16/10

GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.

	Existing	New / Addition
I. 1 st Floor Gross Area		
a. 1 st floor area (excluding covered or uncovered finished ground-floor porches)	<u>0</u> sq.ft.	<u>1480</u> sq.ft.
b. 1 st floor area with ceiling height over 15 feet.	<u>1</u> sq.ft.	<u>1</u> sq.ft.
c. TOTAL (add a and b above)	<u>1</u> sq.ft.	<u>1480</u> sq.ft.
II. 2 nd Floor Gross Area See note ¹ below		
d. 2 nd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	<u>1</u> sq.ft.	<u>287</u> sq.ft.
e. 2 nd floor area with ceiling height > 15 feet.	<u>1</u> sq.ft.	<u>1</u> sq.ft.
f. TOTAL (add d and e above)	<u>2</u> sq.ft.	<u>287</u> sq.ft.
III. 3 rd Floor Gross Area See note ¹ below		
g. 3 rd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	<u>1</u> sq.ft.	<u>1</u> sq.ft.
h. 3 rd floor area with ceiling height > 15 feet	<u>1</u> sq.ft.	<u>1</u> sq.ft.
i. TOTAL (add g and h above)	<u>2</u> sq.ft.	<u>2</u> sq.ft.
IV. Basement Gross Area		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	<u>1</u> sq.ft.	<u>1</u> sq.ft.
V. Garage		
k. attached (subtract 200 square feet if used to meet the minimum parking requirement)	<u>1</u> sq.ft.	<u>1</u> sq.ft.
l. detached (subtract 450 square feet if more than 10 feet from principal structure)	<u>1</u> sq.ft.	<u>1</u> sq.ft.
VI. Carport (open on two or more sides without habitable space above it subtract 450 square feet)	<u>1</u> sq.ft.	<u>0</u> sq.ft.
VII. TOTAL	<u>0</u> sq.ft.	<u>1767</u> sq.ft.

TOTAL GROSS FLOOR AREA (add existing and new from VII above)	<u>1767</u> sq. ft.
GROSS AREA OF LOT	<u>6978</u> sq. ft.
FLOOR AREA RATIO (gross floor area /gross area of lot)	<u>25</u> %

¹ If a second or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

- a. It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- b. It only has one floor within the roof structure
- c. It does not extend beyond the foot print of the floors below
- d. It is the highest habitable portion of the building; and
- e. Fifty percent or more of the area has a ceiling height of seven feet or less.

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "B"

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE [Signature] DATE 10/16/10

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) —

Rejection Notes/Additional Comments (for office use only):

2008-046217R - New SF Res - Withdrawn 12-18-2009
Setback Averaging - 2.3.B Average Front Yard Setback
(Shown on plans)
floodplain review - (Jay Baker - 500 yr. floodplain)
Tree Application Review -
Demo - Existing Asphalt, Concrete walls, covered concrete
N/P - East Cesar Chavez

Service Address 1615 Gardent St., Austin, TX 78702
Applicant's Signature [Signature] Date 10/16/10

SCOTT GOTCHER
CONSTRUCTION

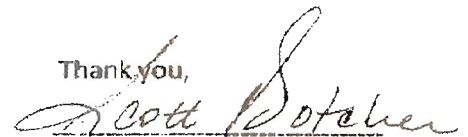
2008-046217R

To: Diana

From: Scott Gotcher

I'm writing this letter to formally withdraw the two permits (#2008-050621/#2008-050622) that are currently open on 1615 Garden St.

Due to monetary issues and the economy we were unsuccessful in achieving a loan for this project. I am sorry for any inconvenience, and we will pursue the necessary permits at a later time. Again, thank you for your attention to this matter.

Thank you,


Scott Gotcher

ONE STOP SHOP
505 Barton Springs
Austin, Texas 78701
(512) 974-2632 phone
(512) 974-9112 phone
(512) 974-9779 fax
(512) 974-9109 fax



Austin Energy
Electric Service Planning Application (ESPA)
For Residential and Commercial "SERVICE ONLY"
Under 350 amps 1 ϕ or 225 amps 3 ϕ

☐ Check this box if
this is for a
building permit
only.

(Please print or type. Fields left blank will be considered Not Applicable.)

Responsible Person for Service Request William Marshall Phone 917-446-0280
Email uarent@yahoo.com Fax _____
Project Name 1615 Garden St. ☒ New Construction ☐ Remodeling
Project Address 1615 Garden St., Austin, TX 78702 OR
Legal Description _____ Lot _____ Block _____
Requested Service Duration: ☒ Permanent Service ☐ Construction Power/Temp Service
(Usually less than 24 months)
Who is your electrical service provider? ☒ AE ☐ Other _____

☐ Overhead or ☐ Underground Voltage _____ ☐ Single-phase (1 ϕ) or ☐ Three-phase (3 ϕ)
Service Main Size(s) _____ (amps) Number of Meters? _____
AE Service Length _____ (ft.) Conductor _____ (type & size)
SqFt Per Unit _____ #Units _____ ☐ All Electric ☐ Gas & Electric ☐ Other _____
Total AC Load _____ (Tons) Largest AC unit _____ (Tons)
LRA (Locked Rotor Amps) of Largest AC Unit _____ (Amps)
Electric Heating _____ (kW) Other _____ (kW)

Comments: New Construction

ESPA Completed by (Signature & Print name) _____ Date _____ Phone _____
Approved: ☐ Yes ☐ No (Remarks on back) _____
AE Representative _____ Date _____

Application expires 180 days after date of Approval
(Any change to the above information requires a new ESPA)

Version 1.1.0.0

All structures etc. must maintain 7'5"
clearance from AE energized power
lines. Enforced by AE & NESC codes.

This document when printed is
uncontrolled and for reference
purposes only.





Austin Water Utility
Water & Wastewater Service Plan Verification
(W&WW SPV)

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

(Please Print or Type)

Customer Name: William Marshall Phone: 917-446-0280 Alternate Phone: 512-879-3567

Service Address: 1615 Garden St., Austin, TX 78702

Lot: 8 Block: 7 Subdivision/Land Status: L.M. Tobin Resubdivision of Riverside Addition Tax Parcel ID No.: 02020701070000

Existing Use: vacant single-family res. duplex garage apartment other _____
(Circle one)

Proposed Use: vacant single-family res. duplex garage apartment other _____
(Circle one)

Number of existing bathrooms: 0 Number of proposed bathrooms: 3

Use of a pressurized auxiliary water system (i.e. rainwater harvesting, well water, lake/river water, etc.) Yes ☒ No ☐

City of Austin Office Use

Water Main size: 6" Service stub size: 3/4" OR 1st service to legal lot Service stub upgrade required? Yes New stub size: _____

Existing Meter number: _____ Existing Meter size: _____ Upgrade required? N New size: 5/8"

WW Service: Septic System/On-Site Sewage Facility (OSSF) _____ or WW Collection System _____ WW Main size: 6"

If a pressurized auxiliary water system is or will be installed, please contact the Utility's Special Services Division (SSD) at 972-1060, 3907 South Industrial Blvd., Suite 100 for consultation and approval.

Auxiliary Water (if applicable) Approved by SSD (Signature & Print name) _____ Date _____ Phone _____

Approved: ☐ Yes (see attached approved documents) ☐ No

If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Creek Center, 625 E. 10th Street, Suite 715 for consultation and approval.

W&WWSPV Completed by (Signature & Print name) _____ Date _____ Phone _____

OSSF (if applicable) Approved by UDS (Signature & Print name) _____ Date _____ Phone _____

AWU Representative Curtis Dypala Date 10/18/2010 Phone 174-8734

Approved: ☐ Yes (see attached approved documents) ☐ No

NOTE: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

WATER & WASTEWATER UTILITY
CONSUMER SERVICES DIVISION

Verification expires 180 days after date of Submittal

RECEIVED
OCT 18 2010

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2



GeoProfile Search Results

Zoning Review Cases

Rec	SDE.amanda_zoning_cases.CASENUM	SDE.amanda_zoning_cases.NAME	SDE.amanda_zoning_cases.ZTYPE	SDE.amanda_zoning_cases.ADDRESS
1				

Zoning

Rec	SDE.ZONING.ZTYPE	SDE.ZONING.OBJECTID
1	SF-3-NP	5165917

Watersheds

Rec	SDE.WATERSHED.DCM_NAME	SDE.WATERSHED.OBJECTID_1
1	Town Lake	1305

Neighborhood Association

Rec	SDE.NEIGHASSOC.NUM	SDE.NEIGHASSOC.NAME	SDE.NEIGHASSOC.OBJECTID_12
1	975	East Cesar Chavez Neighborhood Planning Team	47749
2	786	Home Builders Association of Greater Austin	47775
3	511	Austin Neighborhoods Council	47802
4	742	Austin Independent School District	47810
5	1037	Homeless Neighborhood Organization	47815
6	30	Guadalupe Neighborhood Development Corp.	47833
7	744	Sentral Plus East Austin Koalition (SPEAK)	47841
8	1113	Austin Parks Foundation	47886
9	1228	Sierra Club, Austin Regional Group	47984
10	24	East Town Lake Citizens Neighborhood Organizations	48014
11	1075	League of Bicycling Voters	48049
12	1224	Austin Monorail Project	48051
13	972	PODER People Organized in Defense of Earth & Her R	48063
14	1189	Tejano Town	48067
15	1225	Cristo Rey Neighborhood Association	48146
16	477	El Conclio, Coalition of Mexican American Neigh. Assn.	48148
17	1199	United East Austin Coalition	48150
18	1236	The Real Estate Council of Austin, Inc	48153
19	1258	Del Valle Community Coalition	48207
20	1267	East Cesar Chavez Neighborhood Planning Area	48208
21	1220	Greater East Austin NA	48225
22	1017	East River City Citizens	48226
23	1200	Super Duper Neighborhood Objectors and Appeals Organization	48228
24	1223	East Cesar Chavez Neighborhood Association	48237

Annexation

Rec	SDE.ANNEXATION_HISTORY.CASENUM	SDE.ANNEXATION_HISTORY.ORDNUM	SDE.ANNEXATION_HISTORY.ACRES	SDE.ANNEXATION_HISTORY.DESCRPTIO	SDE.ANNEXATION_HISTORY.TYPE	SDE.ANNEXATION_HISTO
1			27974.052	AUSTIN CITY LIMITS	FULL	19851219
2			18581.426	FULL PURPOSE ON OR BEFORE 03/14/1946	FULL	19460314

Overlays

Rec	SDE.OVERLAYS.O_NAME	SDE.OVERLAYS.SUB_NAME	SDE.OVERLAYS.OBJECTID
1	NEIGHBORHOOD PLANNING AREAS	EAST CESAR CHAVEZ	9983
2	RESIDENTIAL DESIGN STANDARDS	NONE	10156

FEMA Floodplains

Rec	WPDR_ADMIN.GREATER_AUSTIN_FEMA_FP.FLD_ZONE	SHAPE.LEN	SHAPE.AREA	WPDR_ADMIN.GREATER_AUSTIN_FEMA_FP.OBJECTID
1	X	400094.497635292	377551291.221868	419
2	0.2 PCT ANNUAL CHANCE FLOOD HAZARD	67885.1146210046	16322655.4652211	894

Watershed Classification

Rec	SDE.WATERREG.WATERNAME	SDE.WATERREG.OBJECTID
1	URBAN	6

Jurisdiction

Rec	SDE.JURIS.CITY_NAME	SDE.JURIS.JURIS_TYPE
1	CITY OF AUSTIN	FULL PURPOSE

(BEARING BASIS, 140')
S 30°00'00" W, 139.99'

AE APPROVED
OCT 18 2010
291-207
JGM



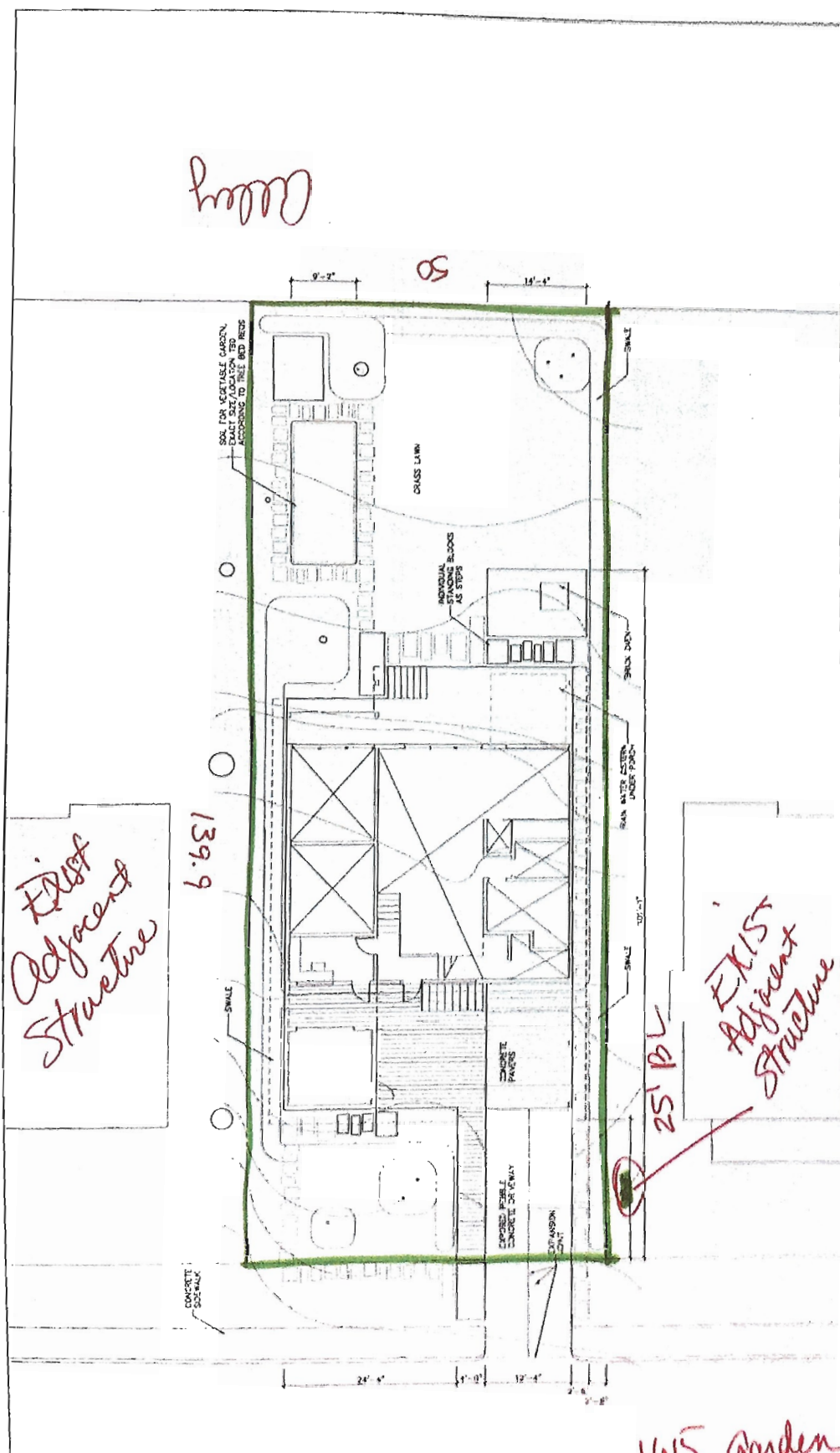
Drawing

McMANSION REQUIREMENTS

1" = 150'

1

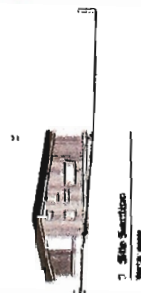
Cherry



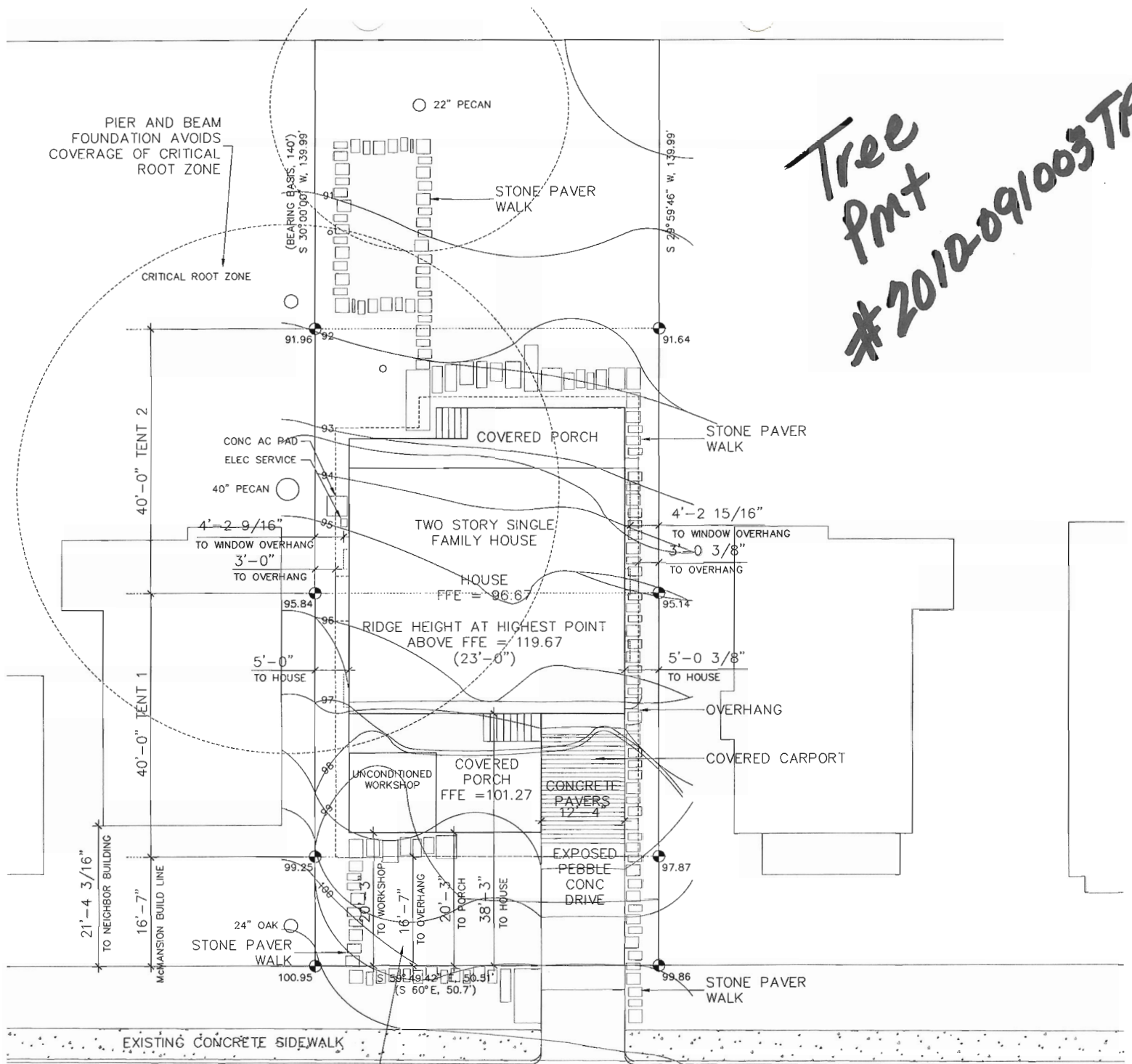
1415 garden

Just
Height
Spot levelled line
No. ~~1000~~ 1000
40' 1000
Set back line

Free Review
RDS - McManis (25th)
East Case Charge N/A
SF3N/p



Jay Baker
floorplain -
Lot - 6979 &
Trac to remove
improvements



Tree
pmt
#2012-091003TP



N

BUILDING SETBACK
WITHIN BLOCK AVERAGE
SEE BLOCK DRAWING

BUILDING COVERAGE

LOT SQ FT	6978	100%
LOT BUILDING COVERAGE	2374	34%

Designer

Low Design Office

3526 B Sierra Dr
Honolulu, HI 96816
Telephone +1 512 553 5026
www.lowdo.net

Project

GARDEN STREET RESIDENCE

1615 Garden St
Austin, TX 78702

Job Number

100526

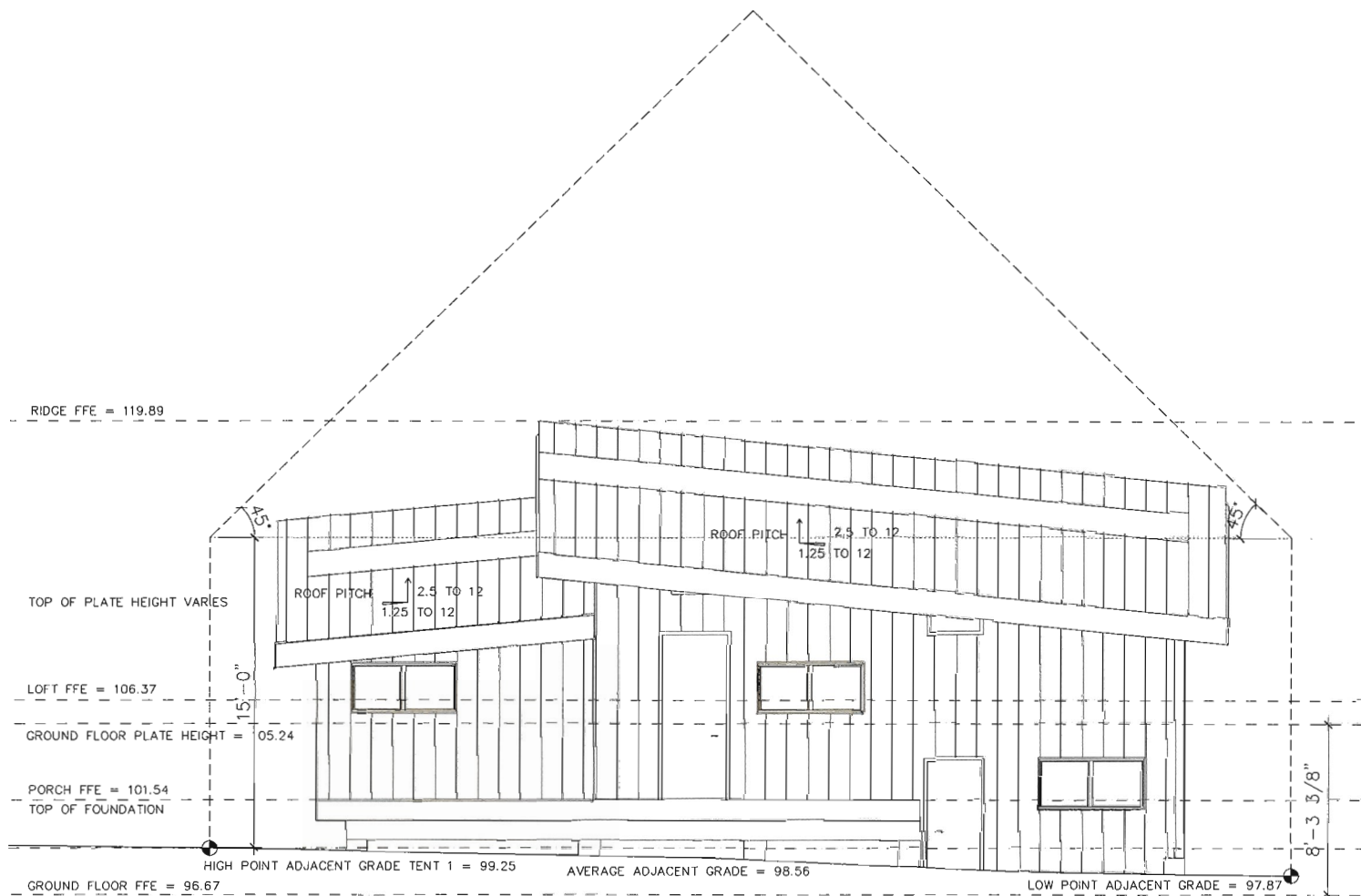
Drawing

McMANSION REQUIREMENTS

1" = 150'

PROPERTY ZONING: SF-2

LOWDO



1 Tent 1 Elevation Requirements

1/8" = 1' - 0"

NORTH ELEVATION

Designer

Low Design Office

3526 B Sierra Dr

Honolulu, HI 96816

Telephone +1 512 553 5026

www.lowdo.net

Project

GARDEN STREET RESIDENCE

1615 Garden St

Austin, TX 78702

PROPERTY ZONING: SF-2

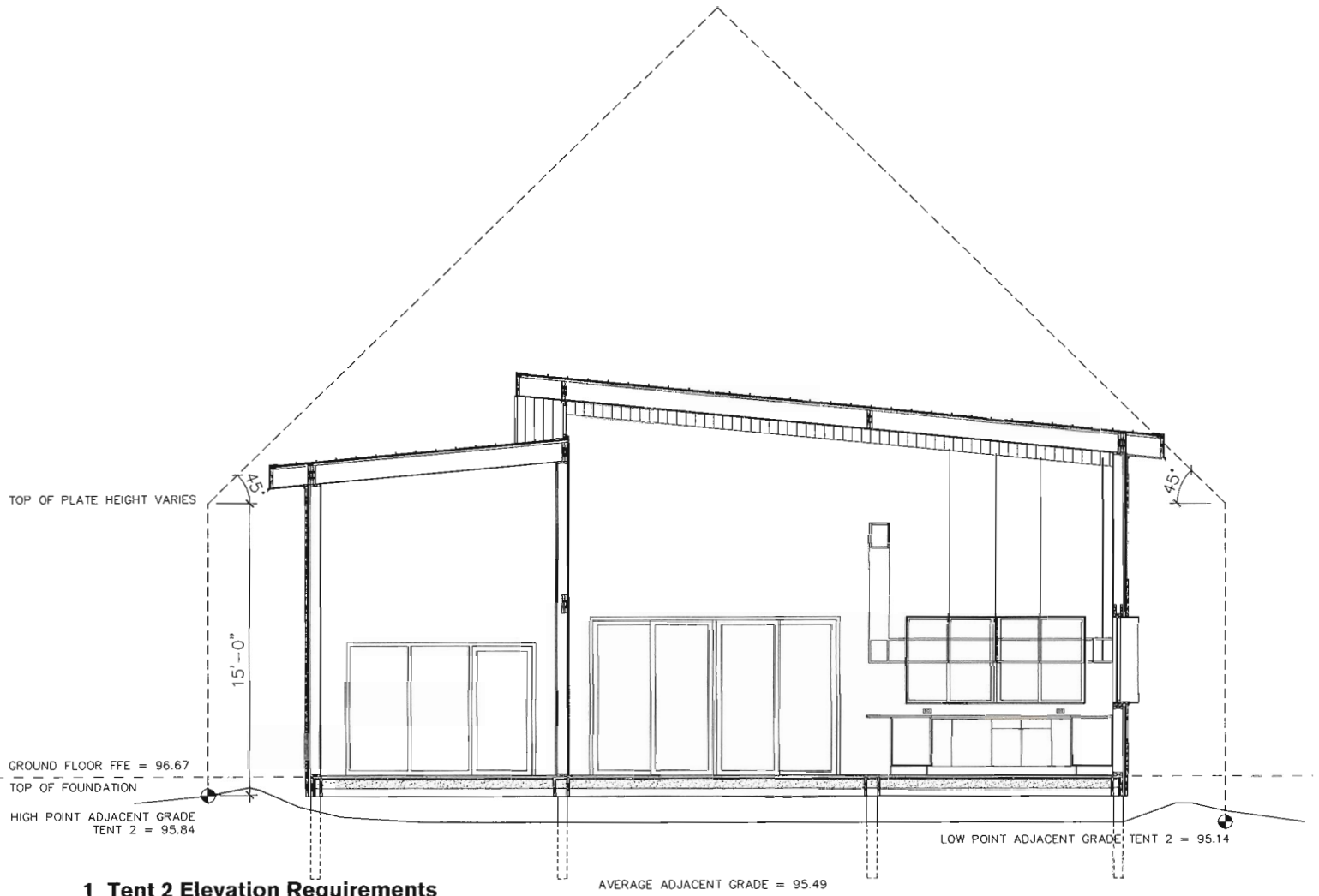
Job Number

100526

Drawing

**McMANSION REQUIREMENTS:
ENVELOPE REQUIREMENTS**

LOWDO



1 Tent 2 Elevation Requirements

1/8" = 1' - 0"

NORTH SECTION AT TENT 2

Designer

Low Design Office

3526 B Sierra Dr

Honolulu, HI 96816

Telephone +1 512 553 5026

www.lowdo.net

Project

GARDEN STREET RESIDENCE

1615 Garden St

Austin, TX 78702

PROPERTY ZONING: SF-2

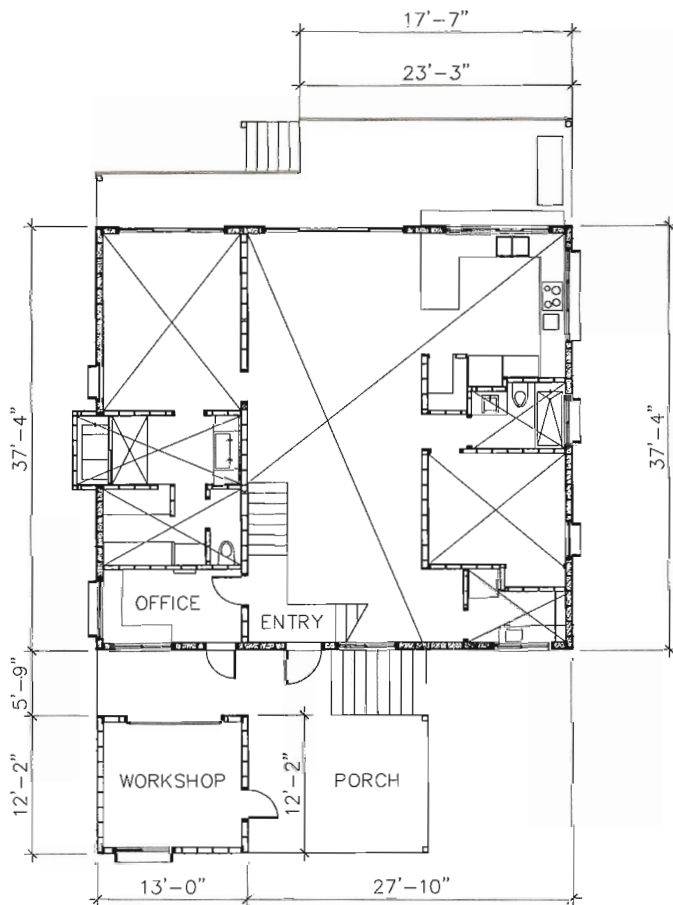
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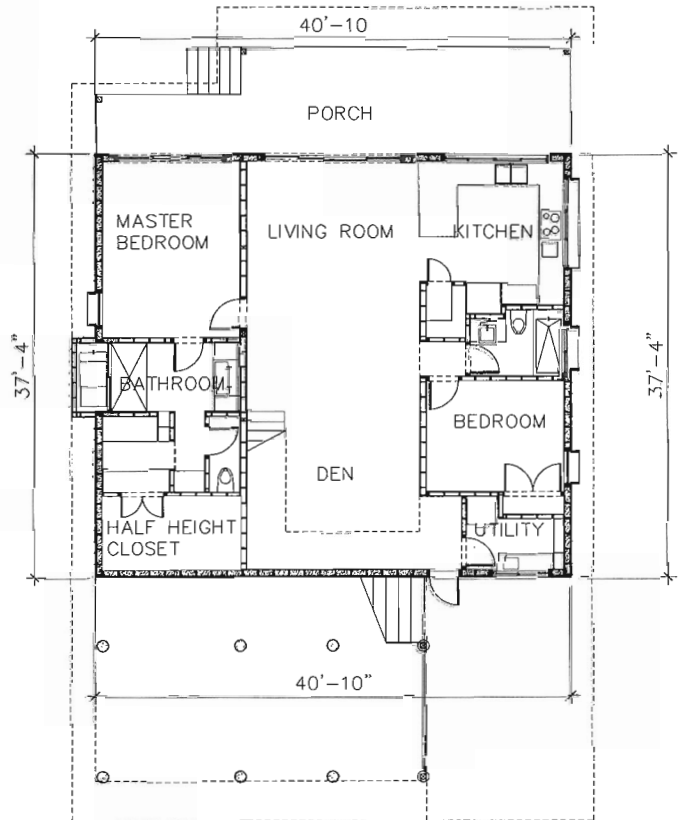
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**McMANSION REQUIREMENTS:
ENVELOPE REQUIREMENTS**

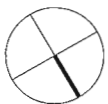
LOWDO



ENTRY LEVEL PLAN (HALF HEIGHT ABOVE GROUND FLOOR)
1/16" = 1'-0"



GROUND FLOOR PLAN
1/16" = 1'-0"



N

Designer

Low Design Office

3526 B Sierra Dr

Honolulu, HI 96816

Telephone +1 512 553 5026

www.lowdo.net

Project

GARDEN STREET RESIDENCE

1615 Garden St

Austin, TX 78702

PROPERTY ZONING: SF-2

Job Number

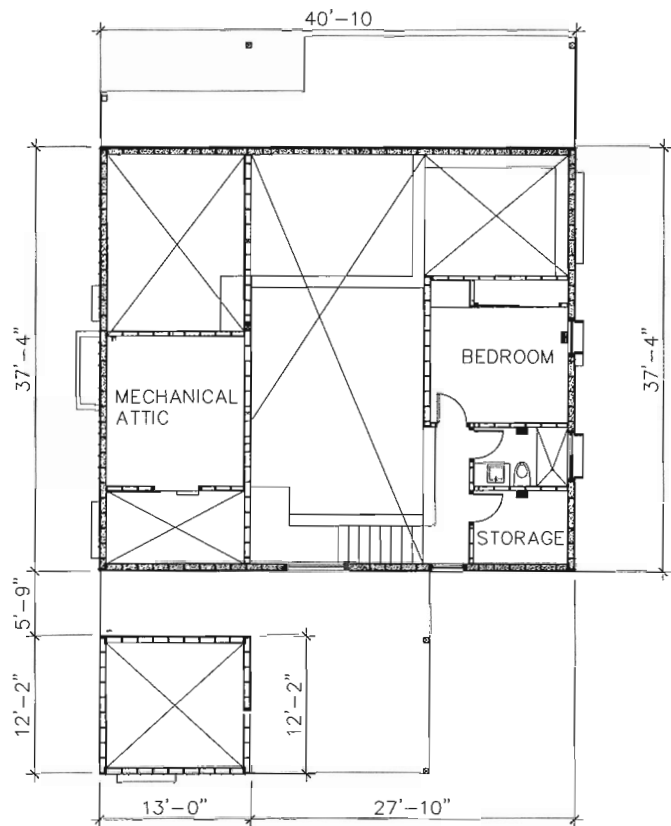
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Drawing

BUILDING FLOOR PLANS

1/16" = 1'-0"

LOWDO



LOFT LEVEL PLAN
1/16" = 1'-0"



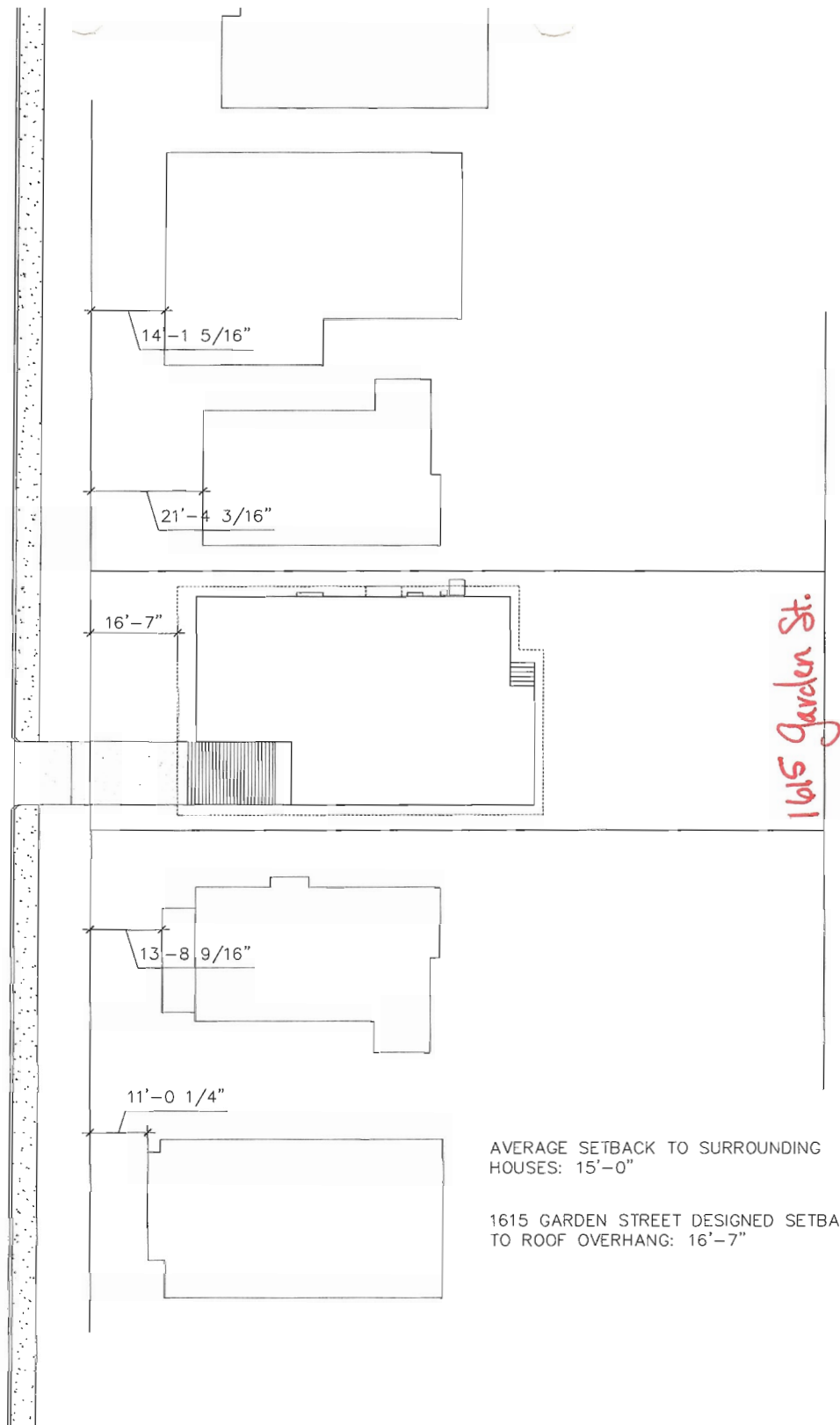
Designer
Low Design Office
 3526 B Sierra Dr
 Honolulu, HI 96816
 Telephone +1 512 553 5026
 www.lowdo.net

Project
GARDEN STREET RESIDENCE
 1615 Garden St
 Austin, TX 78702

PROPERTY ZONING: SF-2

Job Number
100526
 Drawing
BUILDING FLOOR PLANS
1/16" = 1'-0"

LOWDO



AVERAGE SETBACK TO SURROUNDING
HOUSES: 15'-0"

1615 GARDEN STREET DESIGNED SETBACK
TO ROOF OVERHANG: 16'-7"



Designer

Low Design Office

3526 B Sierra Dr

Honolulu, HI 96816

Telephone +1 512 553 5026

www.lowdo.net

Project

GARDEN STREET RESIDENCE

1615 Garden St

Austin, TX 78702

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Job Number

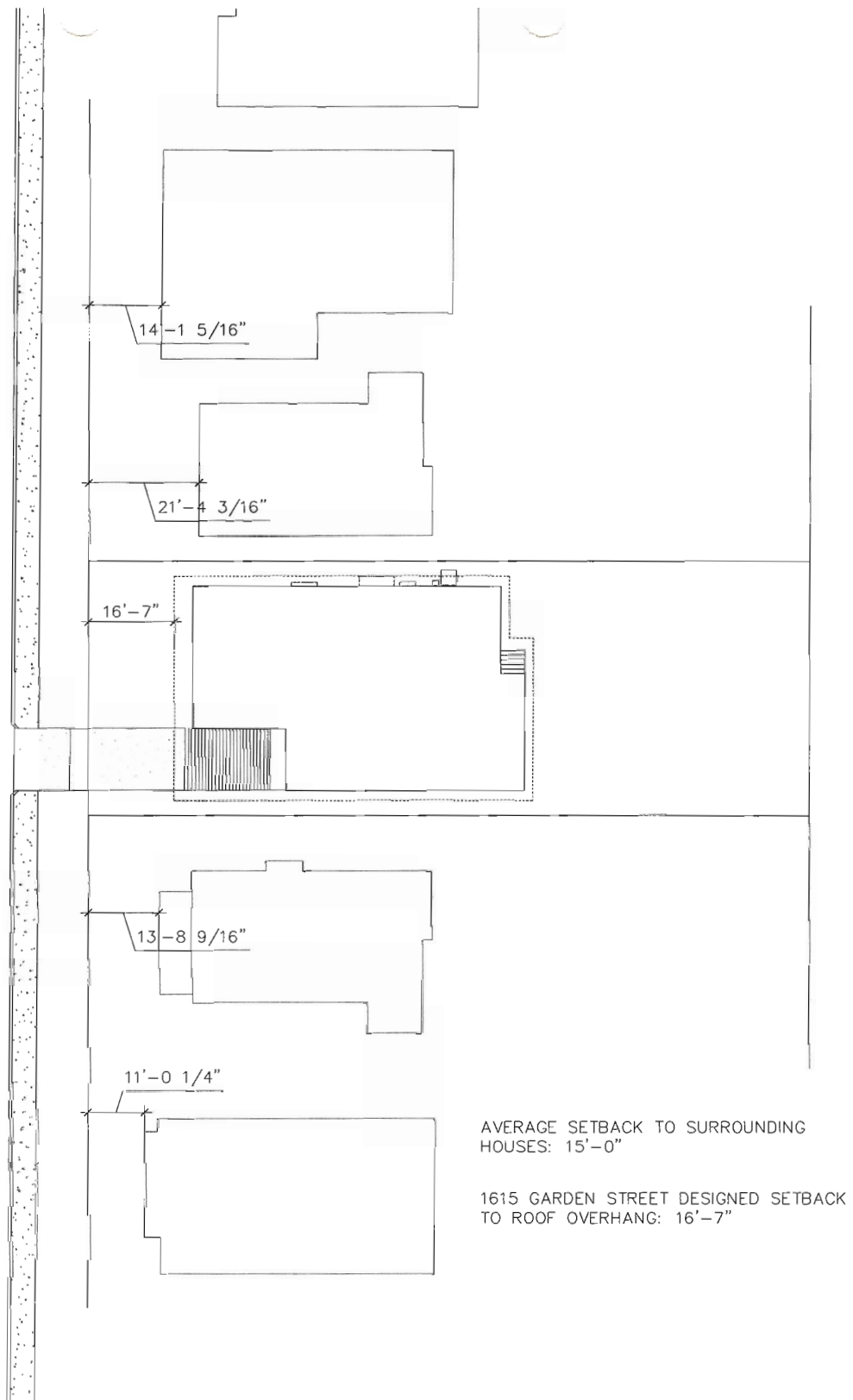
100526

Drawing

AVERAGE BLOCK SETBACK

1 to 375

LOWDO



Designer

Low Design Office

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Honolulu, HI 96816
Telephone +1 512 553 5026
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Project

GARDEN STREET RESIDENCE

1615 Garden St
Austin, TX 78702

PROPERTY ZONING: SF-2

Job Number

100526

Drawing

**AVERAGE BLOCK SETBACK
1 to 375**

LOWDO

Angela and William Marshall
1001 East 5th Street
Austin, Texas 78702
Mobile: 1 (317) 448-8333
Website: 1 (317) 448-0053

Low Design Office
3809 South Dr B
Vancouver, WA 98616
Telephone: 1 (317) 553-5206
Website: www.lowdo.us

JM Structural Engineering
1505 N. Lamar Blvd., Suite 101
Austin, TX 78705
Phone: 512-379-
Fax: 512-828-0053

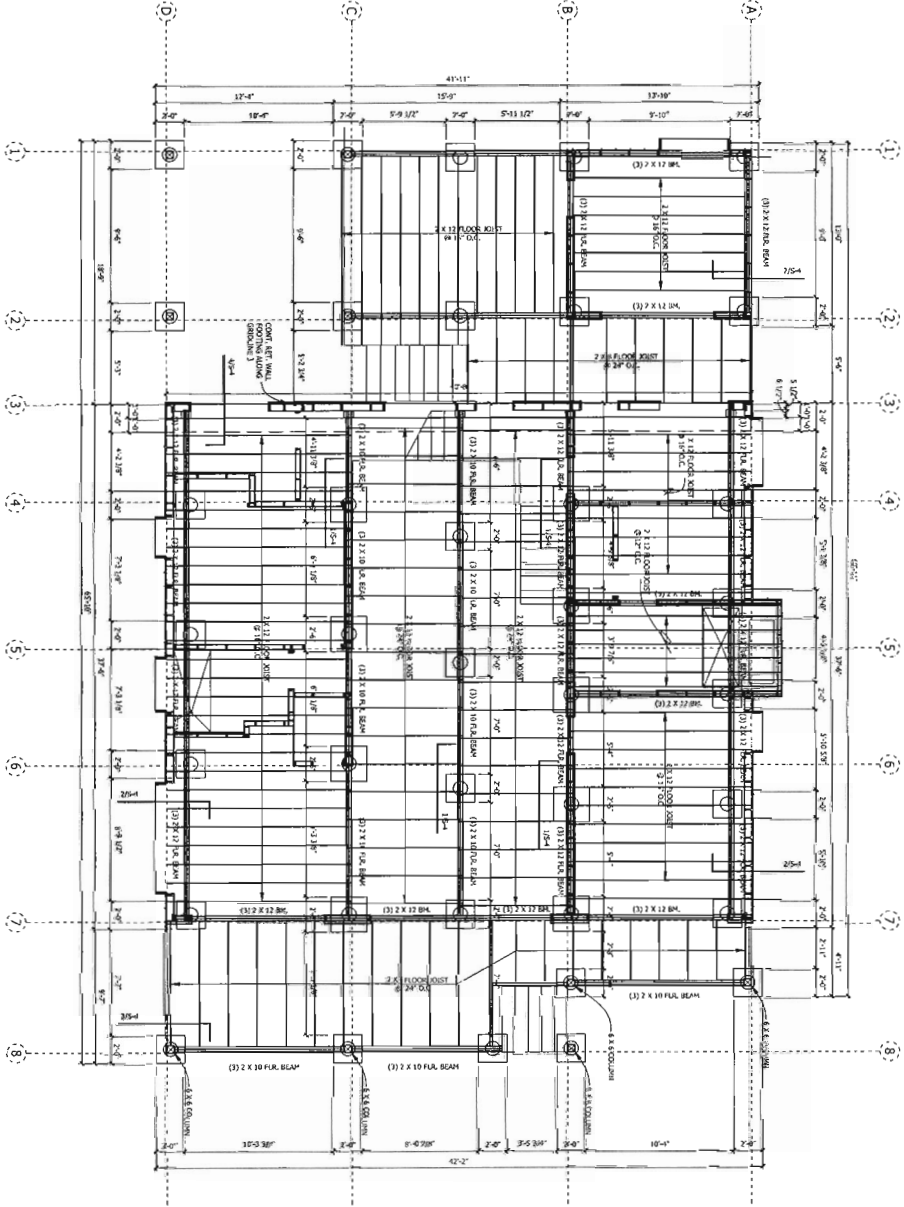


10/28/10 BD Set

GARDEN STREET RESIDENCE
1615 Garden St
Austin, Texas 78702

100558
Framing Plan: Foundation
1/2" = 1'-0"
10/28/10 10/28/10

S1.1



1. Framing Plan: Foundation
1/2" = 1'-0"

Low Design Office
3525 South Dr B
Hendrix, TN 36816
Telephone +1 512 553 5026
www.lowdesign.net

JM Structural Engineering
1635 N. Lamar, Bldg. 2, Suite 101
Austin, TX 78705
Firm # 9979
Telephone: +1 512 828 7666
Fax: +1 512 828 7075



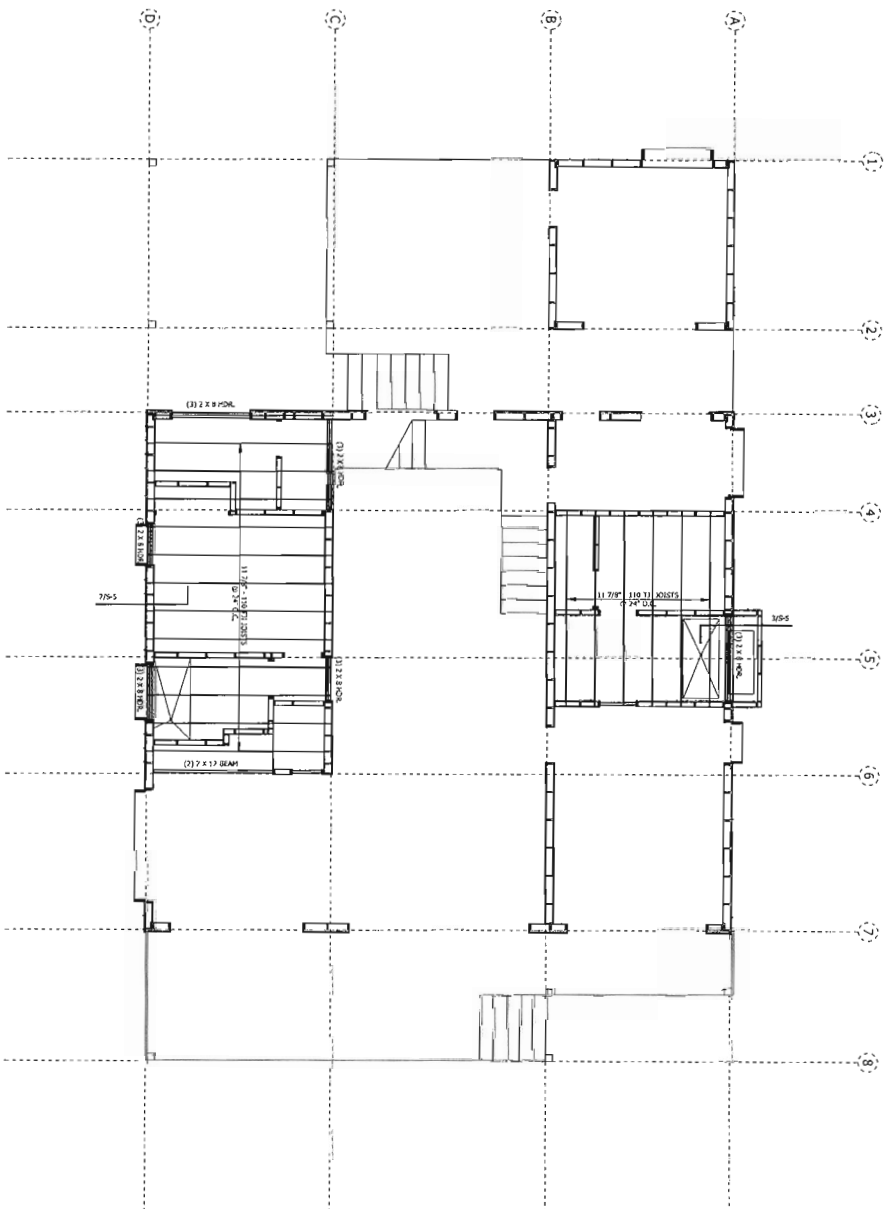
10/25/10 Bid Set

GARDEN STREET RESIDENCE
1615 Garden St
Austin, Texas 78702

100526
Framing Plan; Loft and Mechanical

1/4" = 1'-0"	1/2" = 1'-0"
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49 3/4" = 1'-0"	50" = 1'-0"
50 1/4" = 1'-0"	50 1/2" = 1'-0

ST2



1 Framing Plan: Loft and Mechanical

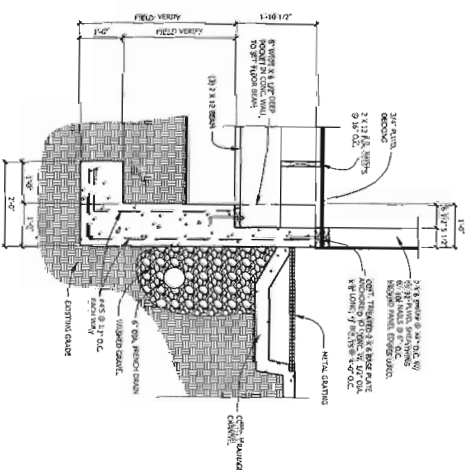
Angela and William Marshall
1601 East 5th Street
Austin, Texas 78702
Mobile +1 832 971 8955
Mobile +1 917 446 0260

Low Design Office
3526 Sierra Dr B
Honolulu, HI 96816
telephone +1 512 553 5026
www.bondco.net

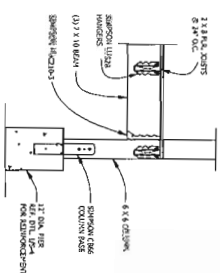
JM Structural Engineering
1875 N Lamar Blvd., Suite 1029
Austin, TX 78705
Phone 512 6979
Telephone +1 512 828 7666
Fax +1 512 828 7075



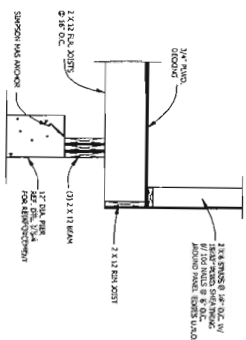
10/25/10 Bid Set



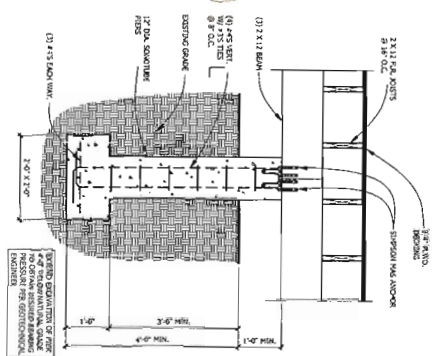
4 Typ Retaining Wall Thru Gridline 3
2/4" = 1'-0"



3 Typ Pier at 6x6 Column
3/4" = 1'-0"



2 Typ Perimeter Detail



1 Typ Footing Detail
2/4" = 1'-0"

GARDEN STREET RESIDENCE
1615 Garden St
Albany, TN 37605 78702

100526
Foundation Details

3/4" x 1.0" x 1.0" 10/25/10 10/25/10

514

Angela and William Marshall
 1601 East 5th Street
 Austin, Texas 78702
 Mobile +1 512 397 0565
 Mobile +1 512 460 0560

Low Design Office
 3905 Shinn Dr B
 Heidelberg, TX 78046
 Telephone +1 512 553 5026
 www.lowdo.com

Low Structural Engineering
 1905 W. Lamar Blvd., Suite 101
 Austin, TX 78703
 Fax # 5077
 Telephone +1 512 628 7656
 Fax -1 512 628 7075



10/28/10 Bid Set

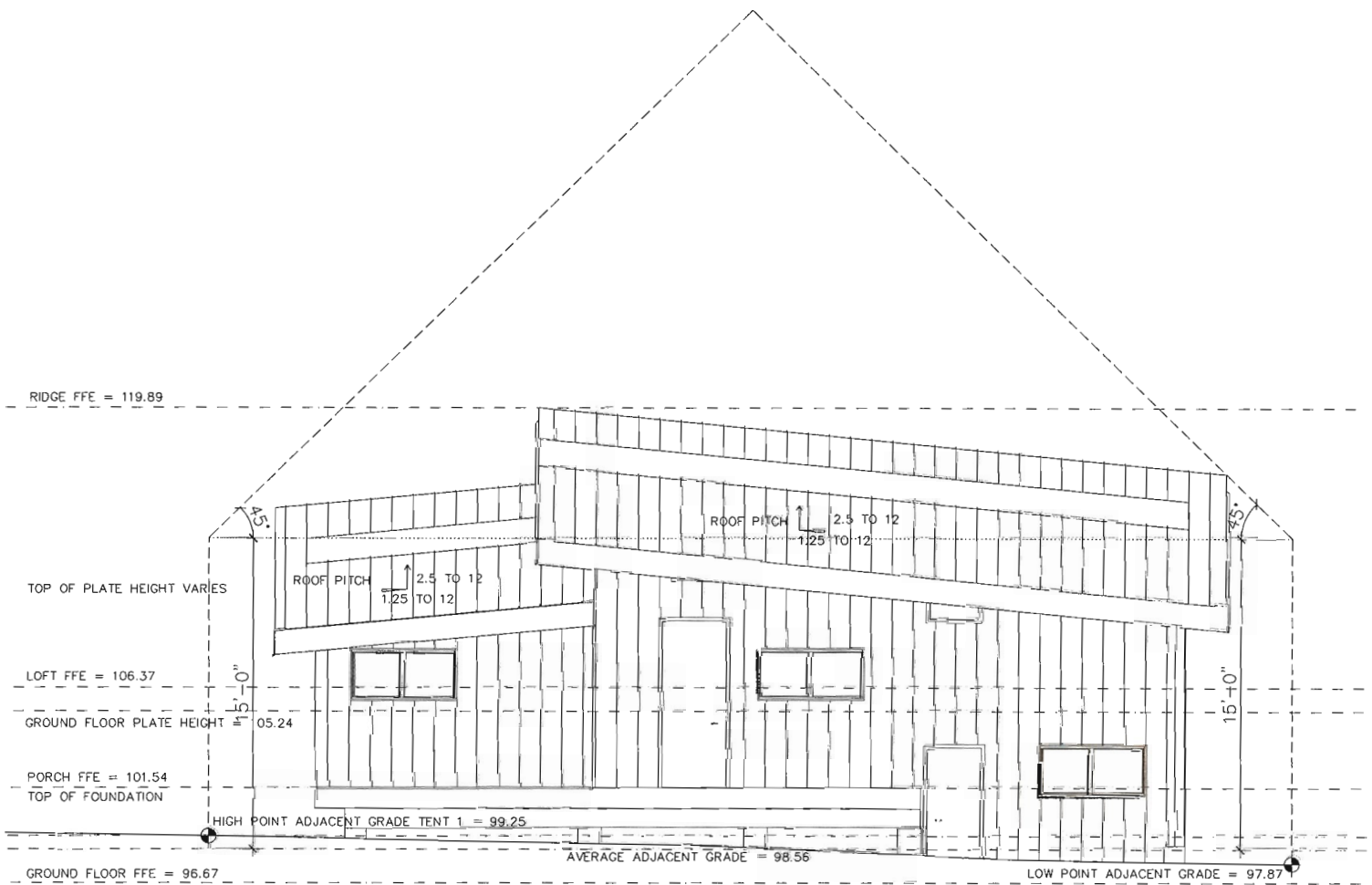
GARDEN STREET RESIDENCE
 1615 Garden St
 Austin, Texas 78702

General Notes
 100525
 10/26/10 10/28/10

\$1.6

STRUCTURAL SPECIFICATIONS

A. General THESE STRUCTURAL SPECIFICATIONS SHALL APPLY UNLESS SPECIFICALLY NOTED ON THE PLANS AND DETAILS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL CORRECT ALL ERRORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. B. Design Criteria 1. Building Code: International Residential Code, 2006 Edition 2. Seismic Hazard: 1.0 3. Wind Load: 15 psf 4. Dead Load: 15 psf 5. Live Load: 40 psf 6. Snow Load: 20 psf 7. Flood Load: 5 psf 8. Impact Load: 5 psf 9. Other Loads: 5 psf	C. Foundation 1. ALL FOUNDATION DIMENSIONS SHALL BE EXPANDED TO INCLUDE THE DIMENSIONS OF THE FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. 2. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. 3. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. 4. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. 5. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS. THE FOUNDATION SHALL BE CONSTRUCTED TO WITHSTAND THE DESIGN LOADS.	D. Reinforced Concrete 1. ALL CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. 2. ALL CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. 3. ALL CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. 4. ALL CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. 5. ALL CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08. THE CONCRETE SHALL BE CONCRETE TO THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08.
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1 Tent 1 Elevation Requirements

1/8" = 1' - 0"

NORTH ELEVATION

Designer

Low Design Office

3526 B Sierra Dr
Honolulu, HI 96816
Telephone +1 512 553 5026
www.lowdo.net

Project

GARDEN STREET RESIDENCE

1615 Garden St
Austin, TX 78702

PROPERTY ZONING: SF-2

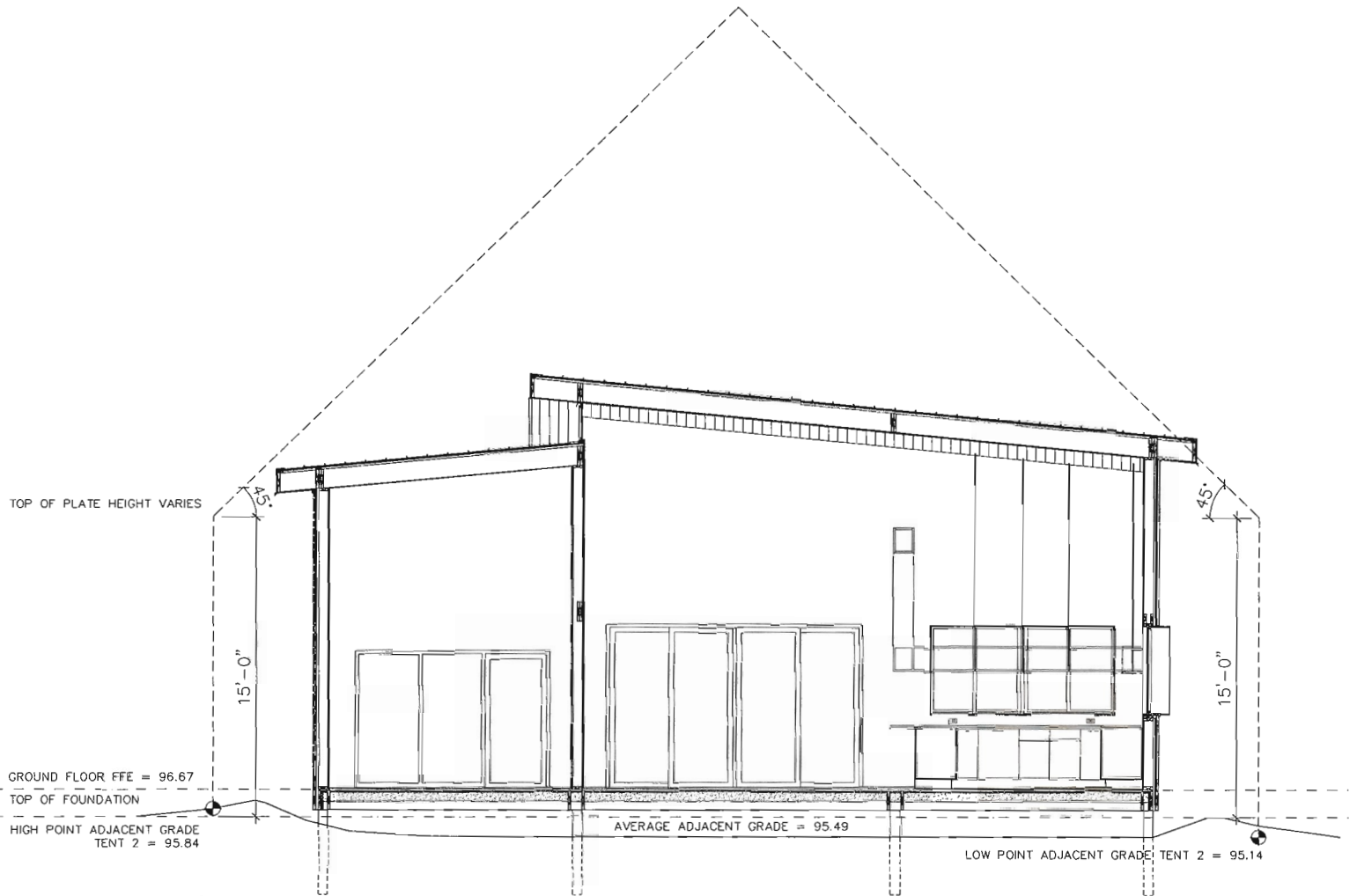
Job Number

100526

Drawing

**McMANSION REQUIREMENTS:
ENVELOPE REQUIREMENTS**

LOWDO



1 Tent 2 Elevation Requirements

1/8" = 1' - 0"

NORTH SECTION AT TENT 2

Designer

Low Design Office

3526 B Sierra Dr
Honolulu, HI 96816
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Project

GARDEN STREET RESIDENCE

1615 Garden St
Austin, TX 78702

PROPERTY ZONING: SF-2

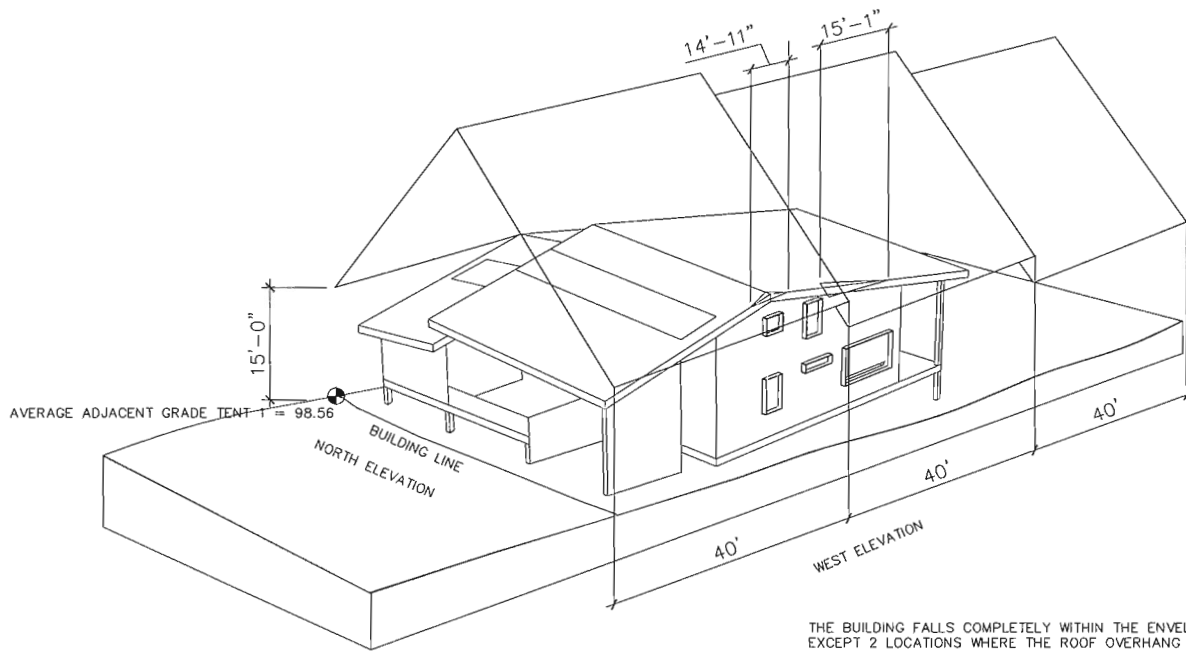
Job Number

100526

Drawing

**McMANSION REQUIREMENTS:
ENVELOPE REQUIREMENTS**

LOWDO

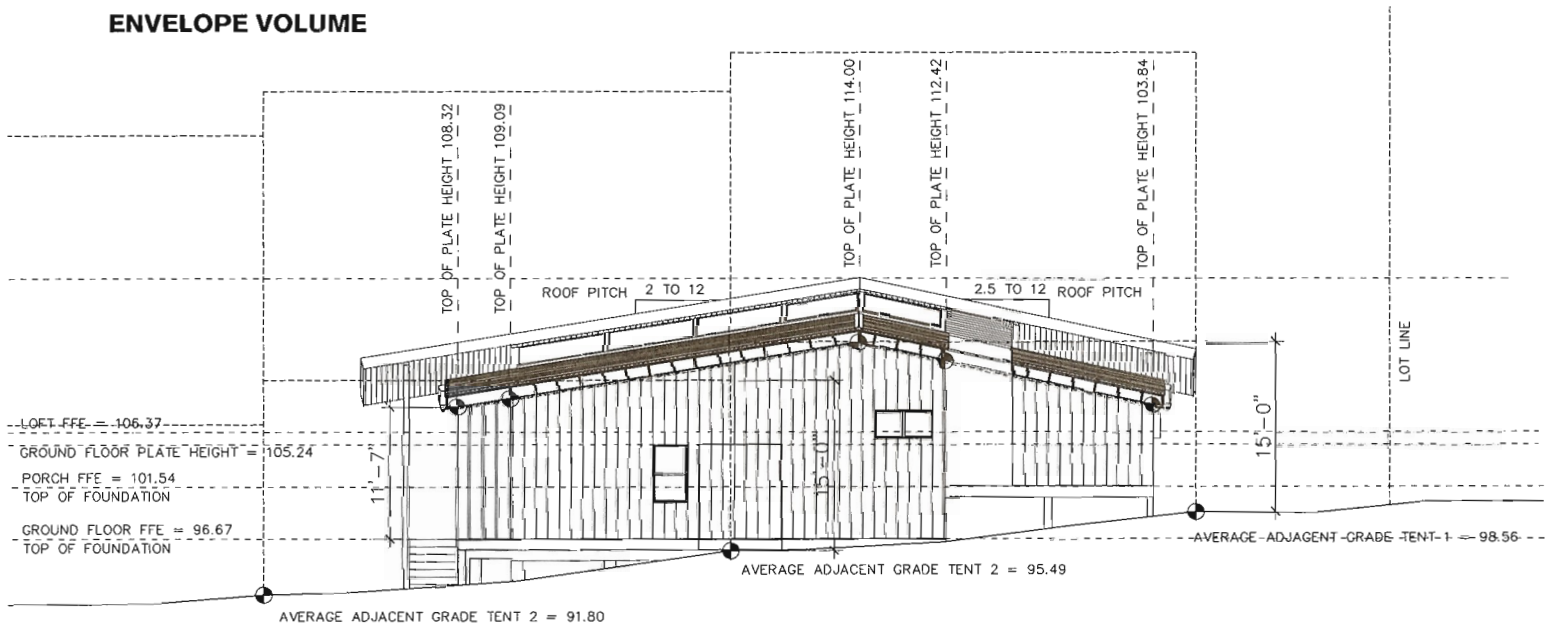


THE BUILDING FALLS COMPLETELY WITHIN THE ENVELOPE EXCEPT 2 LOCATIONS WHERE THE ROOF OVERHANG PROTRUDE, BUT THEY ARE BOTH LESS THAN 18' WIDE

2 Tent Requirements

NTS

ENVELOPE VOLUME



1 Tent Requirements

1/16" = 1' - 0"

EAST ELEVATION

Designer

Low Design Office

3526 B Sierra Dr

Honolulu, HI 96816

Telephone +1 512 553 5026

www.lowdo.net

Project

GARDEN STREET RESIDENCE

1615 Garden St

Austin, TX 78702

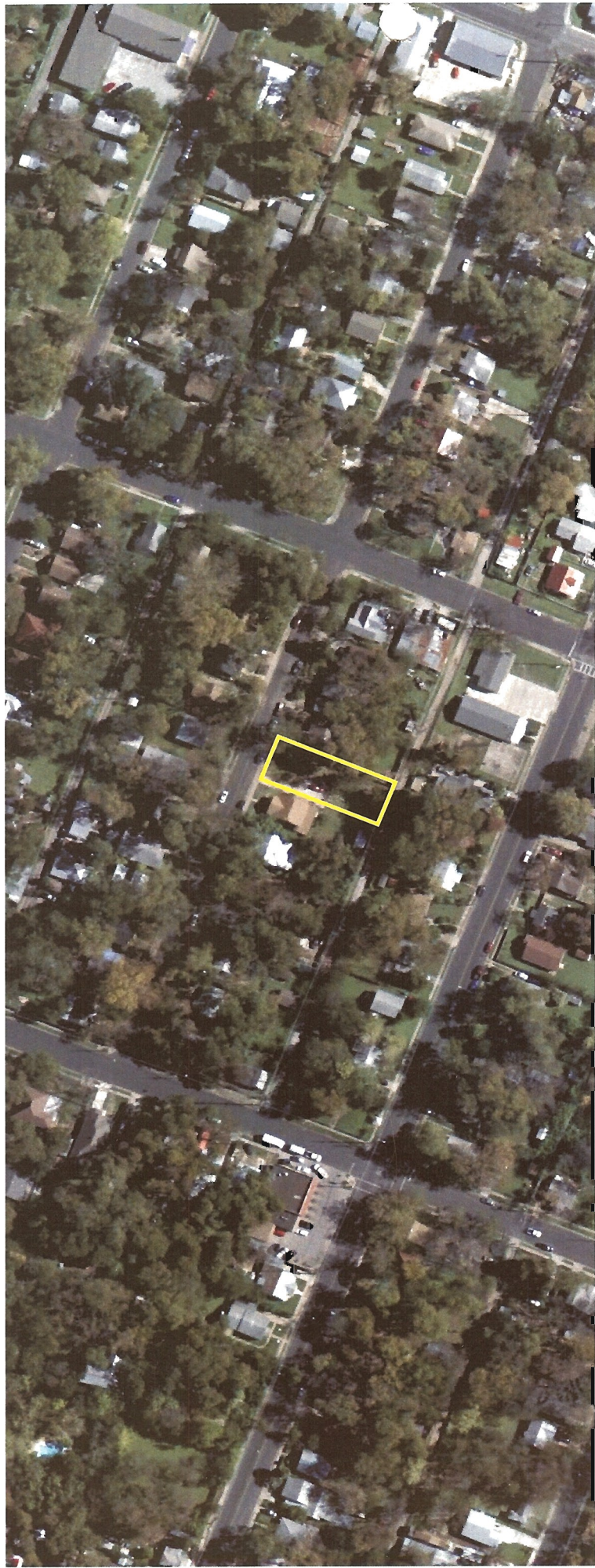
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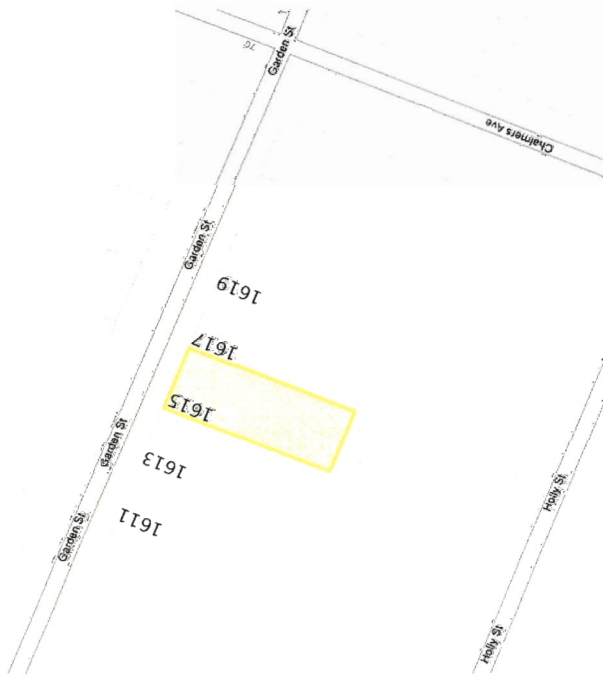
Drawing

**McMANSION REQUIREMENTS:
ENVELOPE REQUIREMENTS**

LOWDO



SUBJECT PROPERTY: 1615 GARDEN ST
new construction: 2 story home
1767 sf



1611 GARDEN ST
1 story home
938 sf



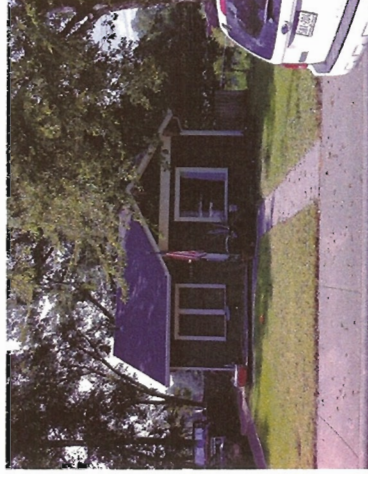
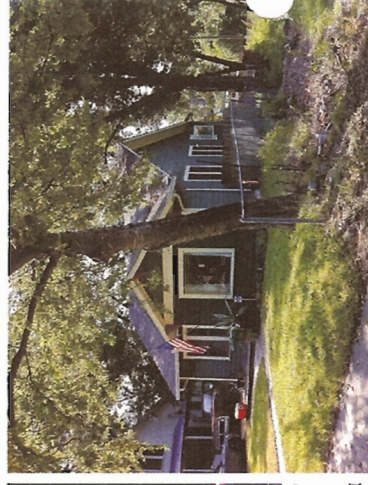
1613 GARDEN ST
2 story home
1688 sf



SUBJECT PROPERTY: 1615 GARDEN ST
new construction: 2 story home
1767 sf

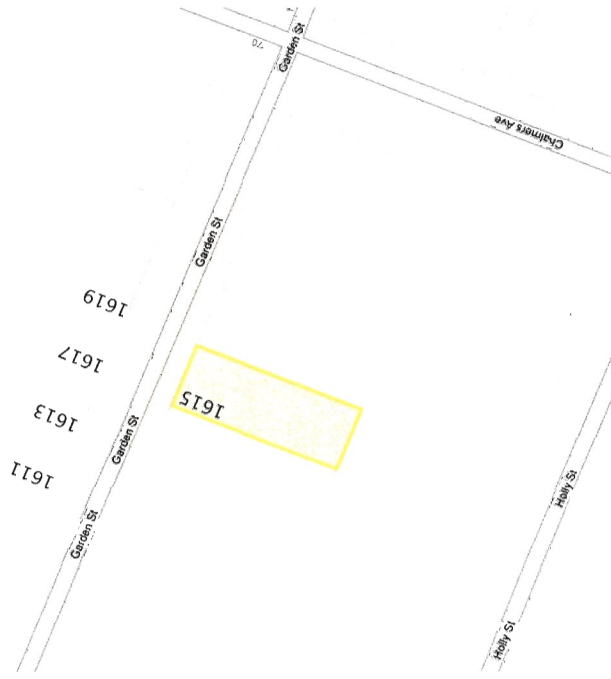


1617 GARDEN ST
1 story home
944 sf



1619 GARDEN ST
1 story home
1192 sf





1610 GARDEN ST
2 story home
1778 sf



1612 GARDEN ST
1 story home
784 sf



1614 GARDEN ST
2 story home
784 sf



1616 GARDEN ST
1 story home
868 sf



SUBJECT PROPERTY: 1615 GARDEN ST
new construction: 2 story home
1767 sf



Owner's Name

DOMBEK STEVEN

Mailing Address

2138 EASTSIDE DR UNIT A
AUSTIN, TX 78704-4328

Location

1815 GARDEN ST 78702

Legal

LOT 8 BLK 7 OLT 47 DIV O RIVERSIDE

Property Details

Deed Date 11/20/2007

Deed Volume F

Deed Page F

Exemptions 9

Freeze Exempt 0.1502

ANS Protest 7

Agent Code 8

Land Acres 29972129477R

Block S11518

Tract or Lot E9122

Docket No.

Abstract Code

Neighborhood Name

2010 Preliminary

Land Value 90,000.00

Improvement Value 2,818.00

AC Value 0.00

AC Productivity Value 0.00

Timber Value 0.00

Timber Productivity Value 0.00

Assessed Value 92,818.00

19% Cap Value 0.00

Total Value 92,818.00

AGRICULTURAL (1-D-1)

PRINTER FRIENDLY REPORT

FREEDOM EXEMPTION

RELIGIOUS EXEMPTION FORM

PLAT MAP

(TIF)

HOMESTEAD EXEMPTION FORM

(PDF)

PLAT MAP

Data up to date as of 2010-09-30

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		92,818.00	92,818.00	92,818.00	92,818.00
01	AUSTIN ISD	1.020000	92,818.00	92,818.00	92,818.00	92,818.00
02	CITY OF AUSTIN	0.420000	92,818.00	92,818.00	92,818.00	92,818.00
03	TRAVIS COUNTY	0.421500	92,818.00	92,818.00	92,818.00	92,818.00
2J	TRAVIS CO HEALTHCARE DIST	0.067400	92,818.00	92,818.00	92,818.00	92,818.00
58	AUSTIN COMM COLL DIST	0.094500	92,818.00	92,818.00	92,818.00	92,818.00

Improvement Information

Improvement ID
772912State Category
A1

Segment Information

Imp ID	Seq ID	Type Code	Description	Class	Effective Year Built	Area
772912	4252276	1ST	1st Floor	XX0	2008	1,435
772912	4252277	2ND	2nd Floor	XX0	2008	1,153
772912	4252278	RSBLW	Residence Below	XX0	2008	
772912	4252279	011	PORCH OPEN 1ST F	*9	2008	336
772912	4252280	011	PORCH OPEN 1ST F	*9	2008	529
772912	4252281	040	CARAGE BELOW CRD	XX0	2008	1
772912	4252282	522	FIREPLACE	*0	2008	3,238
772912	4252283	035	HVAC RESIDENTIAL	**	2008	1
772912	4252284	413	STAIRWAY EXT	*0	2008	4
772912	4252285	251	BATHROOM	**	2008	42
772912	4252287	512	DECK UNCOVERED	*0	2008	15
772912	4252288	581	STORAGE ATT	XX0	2008	1
772912	4252317	413	STAIRWAY EXT	*0	2008	1
772912	4252318	413	STAIRWAY EXT	*0	2008	1

Total Living Area 3,238

Land Information

Land ID	Type Code	SPTB Code	Homestead	Size Acres	Front	Depth	Size Sqft
187056	LAND	A1	T	0.160	0	0	6,979

Show history

TaxNetUSA: Travis County Property Information

Property ID Number: 188908 Ref ID2 Number: 02029701070000

Owner's Name

DOMBEK STEVEN

Mailing Address

2106 EASTSIDE DR UNIT A
AUSTIN, TX 78704-4328

Location

1615 GARDEN ST 78702

Legal

LOT 8 BLK 7 OLT 47 DIV O RIVERSIDE

Property Details

Deed Date

11202007

Deed Volume

Deed Page

Exemptions

Freeze Exempt

F

ARB Protest

F

Agent Code

0

Land Acres

0.1602

Block

7

Tract or Lot

8

Docket No.

2007212047TR

Abstract Code

S11518

Neighborhood Code

E0124

Value Information

2010 Preliminary

Land Value

90,000.00

Improvement Value

2,818.00

AG Value

0.00

AG Productivity Value

0.00

Timber Value

0.00

Timber Productivity Value

0.00

Assessed Value

92,818.00

10% Cap Value

0.00

Total Value

92,818.00

Data up to date as of 2010-09-30

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEDOM EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF)

PLAT MAP

(PDF)

PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		92,818.00	92,818.00	92,818.00	92,818.00
01	AUSTIN ISD	1.202000	92,818.00	92,818.00	92,818.00	92,818.00
02	CITY OF AUSTIN	0.420900	92,818.00	92,818.00	92,818.00	92,818.00
03	TRAVIS COUNTY	0.421500	92,818.00	92,818.00	92,818.00	92,818.00
2J	TRAVIS CO HEALTHCARE DIST	0.067400	92,818.00	92,818.00	92,818.00	92,818.00
68	AUSTIN COMM COLL DIST	0.094600	92,818.00	92,818.00	92,818.00	92,818.00

Improvement Information

Improvement ID

772912

State Category

A1

Description

1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
772912	4252276	1ST	1st Floor	XX9	2009	1,495
772912	4252277	2ND	2nd Floor	XX9	2009	1,153
772912	4252278	RSBLW	Residence Below	XX9	2009	590
772912	4252279	011	PORCH OPEN 1ST F	*9	2009	77
772912	4252280	011	PORCH OPEN 1ST F	*9	2009	336
772912	4252281	040	GARAGE BELOW GRD	XX9	2009	529
772912	4252282	522	FIREPLACE	*9	2009	1
772912	4252283	095	HVAC RESIDENTIAL	**	2009	3,238
772912	4252284	413	STAIRWAY EXT	G*	2009	1
772912	4252286	251	BATHROOM	**	2009	4
772912	4252287	512	DECK UNCOVERED	*9	2009	40
772912	4252288	581	STORAGE ATT	XX9	2009	16
772912	4252317	413	STAIRWAY EXT	G*	2009	1
772912	4252318	413	STAIRWAY EXT	G*	2009	1

Total Living Area 3,238

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
187056	LAND	A1	T	0.160	0	0	6,979

show history