

CITY OF AUSTIN

CASE # 2010-097381 PR
PLAN REVIEW # _____

APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1100 W. Stassney Ln.

LEGAL DESCRIPTION: Subdivision – Salem Center

Lot(s) B-1 Block A Outlot _____ Division _____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We _____ on behalf of myself/ourselves as authorized agent for
_____ affirm that on _____, _____,

hereby apply for a hearing before the Residential Design and Compatibility Commission
for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
☒ Maximum Linear feet of Gables protruding from setback plane
☒ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

☒ Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

We are requesting this waiver to allow for compatibility between the 20 homes we have already completed in the neighborhood and the remaining 22 homes to be built. The entire neighborhood consists of 42 platted lots. We have completed homes on 20 of them. Our request is simply to continue building the remaining homes using the design criteria we have used on the existing homes allowing for compatibility throughout the entire 42 lots.

in a _____ zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) – case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

CITY OF AUSTIN

**APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION**
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REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

The ordinance will force us to change our product offering after roughly ½ of the homes have been built. This will cause a detrimental shift in the character and continuity of the homes in the neighborhood as the existing plans were specifically designed to be built with each other. Plans under the new requirements will stand out in character, will be smaller and will negatively impact home values in the neighborhood. Additionally, current residents purchased in this neighborhood as they enjoyed the feel of the current building program. Interjecting a new program next door to existing homes will be problematic.

REQUEST:

2. The request for the modification is unique to the property in that:

This project was already well under way when the boundaries were expanded. As previously mentioned, roughly ½ of the homes have been completed as part of a master design plan. A change from that plan will cause existing and new homes to clash.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The new homes will be constructed using the same design criteria as in the current completed homes in the neighborhood. Considerations were given during the initial approval process to make this entire development compatible with existing development in the area. The items are listed in the Conditional Overlay as well as plat notes. We simply request we be allowed to complete the program we, and our homeowners, are ½ way through.

CITY OF AUSTIN

**APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION**

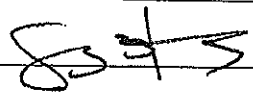
GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 Wild Basin Rd. S. Bldg 2, Suite A

City, State Austin, TX Zip 78746

Phone 512 684-3881 Printed Name Greg Hammonds

Signature  Date 11/10/2010

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 Wild Basin Rd S, Bldg 2, Suite A

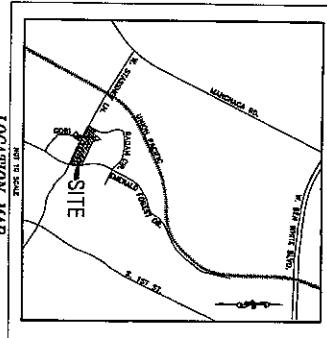
City, State Austin, TX Zip 78746

Phone 512 684-3880 Printed Name Greg Hammonds

Signature  Date 11/10/2010

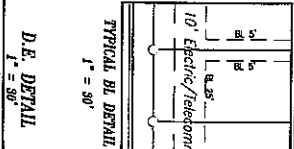
**GENERAL INFORMATION FOR SUBMITTAL OF A MODICATION REQUEST
TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION**

VICINITY MAP



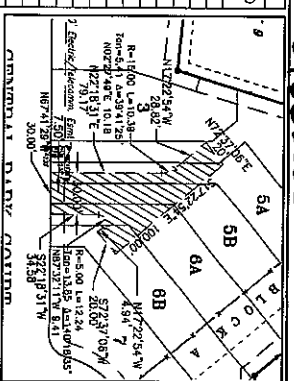
LOCATION MAP
N.T.S.

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DIST.
C1	80°00'18"	15.00'	22.56'	15.00'	N17°27'11"W	21.21'
C2	51°41'00"	278.00'	28.13'	12.87'	N65°04'24"W	25.12'
C3	27°11'35"	15.00'	20.21'	11.87'	N57°42'44"E	18.71'
C4	289°31'17"	60.00'	30.41'	42.39'	N00°07'24"W	69.24'
C5	32°19'24"	15.00'	8.48'	4.35'	N51°31'57"W	8.35'
C6	57°14'00"	325.00'	25.00'	16.36'	N65°04'24"W	28.69'
C7	57°14'00"	275.00'	16.36'	8.18'	S64°09'55"E	16.36'
C8	1°48'30"	70.00'	8.77'	4.39'	S66°40'40"E	8.77'
C9	84°16'07"	60.00'	88.25'	54.28'	S77°15'01"W	80.50'
C10	12°20'40"	60.00'	130.21'	113.67'	N01°33'24"E	106.12'
C11	20°20'30"	60.00'	21.41'	10.82'	N78°57'00"E	21.29'
C12	33°35'36"	60.00'	35.18'	18.11'	S79°01'57"E	34.68'
C13	28°52'24"	60.00'	28.14'	14.33'	S48°47'57"E	22.88'

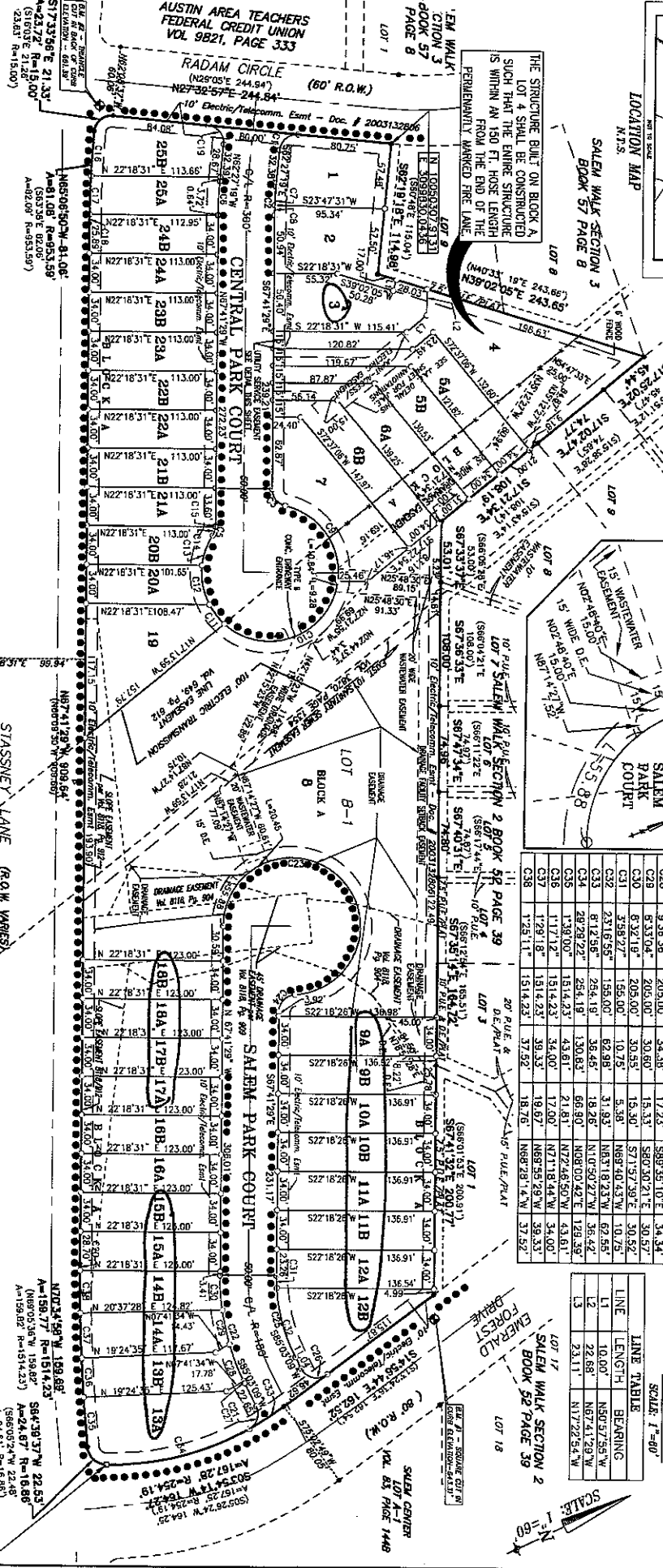


D.E. DETAIL
1" = 30'

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DIST.
C14	30°47'08"	15.00'	8.06'	4.13'	S60°45'19"W	7.98'
C15	1°32'36"	15.00'	0.40'	0.20'	N66°55'11"W	0.40'
C16	2°20'25"	953.59'	38.95'	19.48'	N63°50'34"W	38.95'
C17	2°02'18"	953.59'	34.02'	17.01'	S68°02'28"E	34.01'
C18	0°29'18"	953.59'	8.11'	4.06'	S67°18'22"E	8.11'
C19	89°59'44"	15.00'	23.56'	15.00'	S72°32'49"W	21.21'
C20	0°12'02"	15.00'	5.30'	2.65'	N67°39'38"W	5.30'
C21	88°12'52"	15.00'	23.09'	14.70'	S60°50'25"W	20.88'
C22	27°15'22"	205.00'	92.57'	49.70'	S61°19'10"E	69.60'
C23	266°10'41"	60.00'	278.72'	64.03'	S65°33'49"W	67.64'
C24	66°10'30"	15.00'	22.56'	14.01'	S67°18'22"E	20.88'
C25	27°15'22"	155.00'	73.78'	37.58'	S61°19'10"E	73.08'
C26	99°59'45"	15.00'	28.18'	17.86'	S65°03'12"E	22.99'
C27	0°12'02"	203.00'	1.89'	1.00'	N65°19'51"E	1.99'
C28	8°35'36"	203.00'	44.38'	17.23'	S60°55'10"E	34.34'
C29	8°35'36"	203.00'	30.60'	15.30'	S67°39'39"E	30.57'
C30	6°32'19"	205.00'	30.35'	15.30'	S71°37'39"E	30.52'
C31	3°58'27"	155.00'	10.75'	5.38'	N68°40'43"W	10.75'
C32	2°31'55"	254.19'	62.98'	31.93'	N63°18'23"W	62.95'
C33	6°12'56"	254.19'	36.45'	18.26'	N1°05'27"W	36.42'
C34	29°28'22"	254.19'	130.61'	66.90'	N08°00'42"E	129.39'
C35	1°32'00"	151.423'	43.61'	21.81'	N72°46'50"W	43.61'
C36	1°17'12"	151.423'	34.00'	17.00'	N71°18'44"W	34.00'
C37	1°29'18"	151.423'	39.33'	19.67'	N68°55'29"W	39.33'
C38	1°25'11"	151.423'	37.52'	18.76'	N68°28'14"W	37.52'



LINE TABLE
SCALE: 1" = 60'



NOTE: THIS LOT IS SUBJECT TO BLANKET TYPE ELECTRIC EASEMENTS OF RECORD IN VOLUME 8563, PAGE 819, & VOLUME 8643, PAGE 474.

STREET NAME
CENTRAL PARK COURT
SALEM PARK COURT

ROW
90'
30' - 2' CURB & GUTTER

PAVEMENT (FOC TO FOC)
30' - 2' CURB & GUTTER

OWNER:
GRASCO COMMUNITIES, LLC.
7171 HWY 6 NORTH, SUITE 100
HOUSTON, TX 77065

BEARING BASIS - TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83 (GROD), OBSERVATIONS.

ELEVATION BASIS - CITY OF AUSTIN BENCHMARK, TRIANGLE ON CURB MIDPOINT, SOUTHWEST CORNER OF SALEM HILL DRIVE & EMERALD FOREST DRIVE PER C.O.A. F.B. 3648, P.C. 42 ELEV. = 631.92'

LEGEND

- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- LOT LINE
- EASEMENT
- 6' WOOD FENCE
- 1/2" IRON ROD W/ PLASTIC CAP SET
- 1/2" IRON ROD FOUND
- CONCRETE MONUMENT SET
- UTILITY EASEMENT
- DRAINAGE EASEMENT
- JOINT ACCESS EASEMENT
- BUILDING LINE
- BENCH MARK

RESUBDIVISION OF LOT B-1 OF SALEM CENTER

HOWARD ENGINEERS, INC.
4305 Russell Drive
Austin, Texas 78704
Phone: (512) 448-0881
Fax: (512) 448-0888
Email: hie@howardengineers.com

CASE NO. CB-06-0102.1A
FLING DATE: NOVEMBER 2006

SHEET 2 OF 2

ORDINANCE NO. 020829-29

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP FOR THE PROPERTY LOCATED AT 1100 WEST STASSNEY LANE FROM NEIGHBORHOOD COMMERCIAL (LR) DISTRICT, MULTIFAMILY RESIDENCE LOW DENSITY (MF-2) DISTRICT, MULTIFAMILY RESIDENCE MEDIUM DENSITY (MF-3) DISTRICT AND COMMUNITY COMMERCIAL (GR) DISTRICT TO TOWNHOUSE AND CONDOMINIUM RESIDENCE-CONDITIONAL OVERLAY (SF-6-CO) COMBINING DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from neighborhood commercial (LR) district, multifamily residence low density (MF-2) district, multifamily residence medium density (MF-3) district and community commercial (GR) district to townhouse and condominium residence-conditional overlay (SF-6-CO) combining district on the property described in Zoning Case No. C14-02-0005, on file at the Neighborhood Planning and Zoning Department, as follows:

Lot B-2, Salem Center Subdivision, a subdivision in the City of Austin, Travis County, Texas, according to the map or plat of record in Plat Book 83, Pages 144B-144C, of the Plat Records of Travis County, Texas, (the "Property")

locally known as 1100 West Stassney Lane, in the City of Austin, Travis County, Texas, and generally identified in the map attached as Exhibit "A".

PART 2. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

1. The maximum height is 15 feet for a structure or a portion of a structure constructed within 50 feet of the north property line.
2. Development of the Property may not exceed 40 percent impervious coverage.
3. Development of the Property may not exceed 44 residential units.
4. A building may not contain more than one residential unit.

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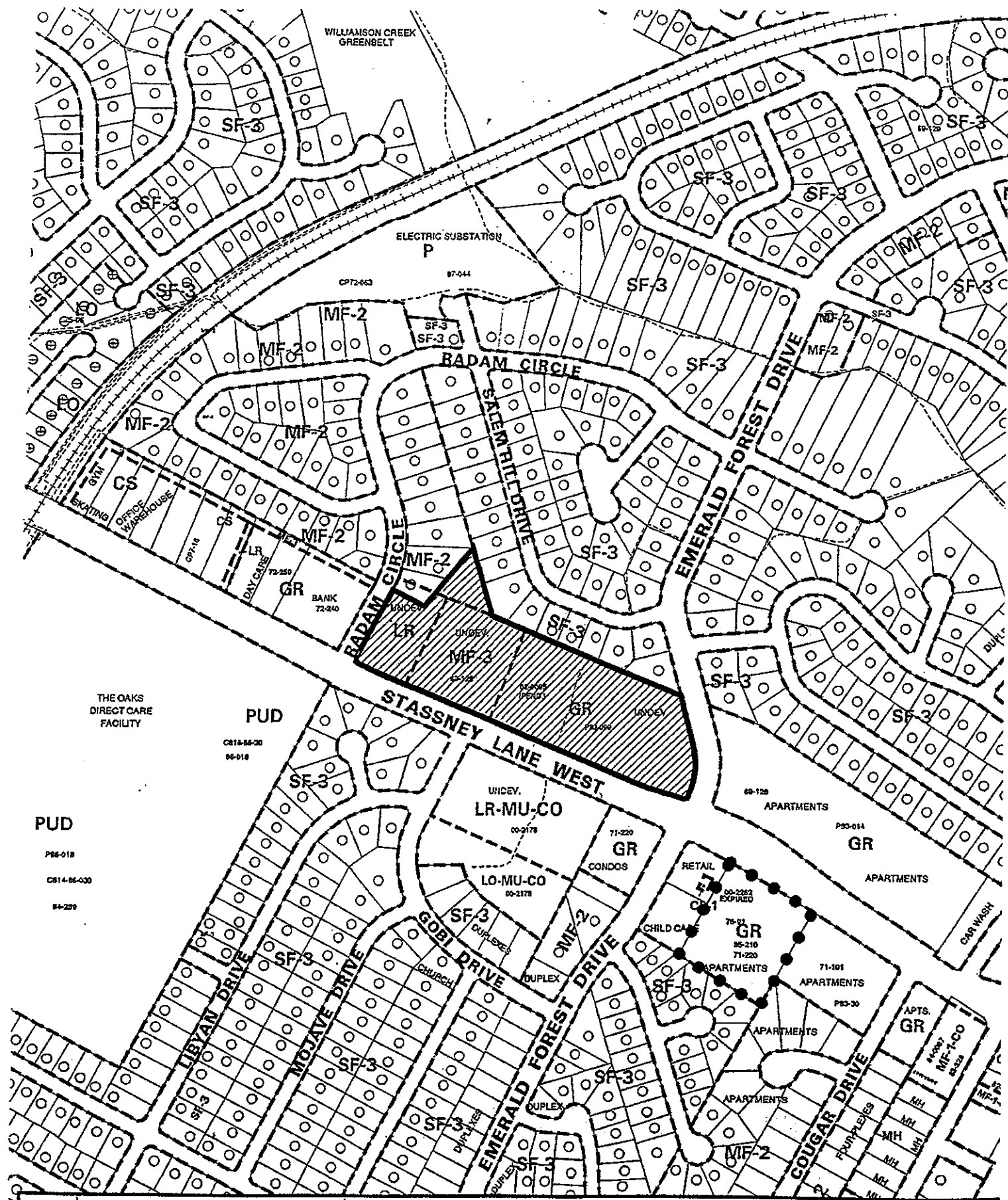
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 1" = 400'	SUBJECT TRACT PENDING CASE ZONING BOUNDARY CASE MGR: W. WALSH	ZONING EXHIBIT A		CITY GRID REFERENCE NUMBER G17
	CASE #: C14-02-0005 ADDRESS: 1100 W STASSNEY LANE SUBJECT AREA (acres): 8.195	DATE: 02-01 INTLS: SM		

C O N S T R U C T I O N

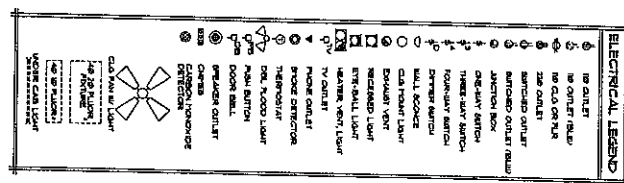
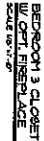
P L A N T Y P E 1 4 7 1



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AREAS AS INDICATED FOR
CURRENT INC CADD
IN RICHES HEDON AND PARALLEL TO
THE INTERIOR FLOOR LEVEL.

IN NOES FROM AND PARALLEL TO
THE INTERIOR FLOOR LEVEL.



SCALE 10' = 1"

RECEIVED LIGHTING FIXTURES TO BE
INSTALLED AS REQUIRED BY
ECC 502.13 (ARTIFICIAL LIGHTS OR
DETAILED SYMBOL BOX SHOWN
PERMITS BUILDING DEPARTMENT)
ELECTRICIAN TO PROVIDE UP TO
PLUS OTHER 35-4" FROM A/C
CONSIDER UNIT

At night, I received
a 7200 light, from Australia (U.S.)
by air transport. I decided
to use it for the purpose of
light from the house, as I
do not have a light in my
house. I am not a very
good person, but I am
not a very good person.

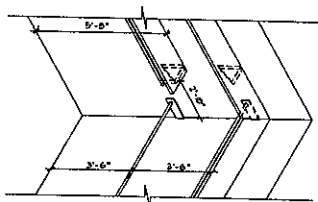
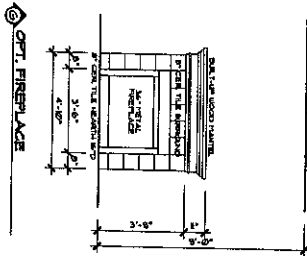
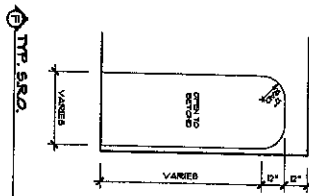
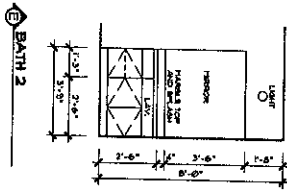
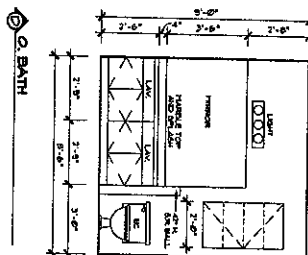
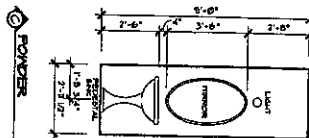
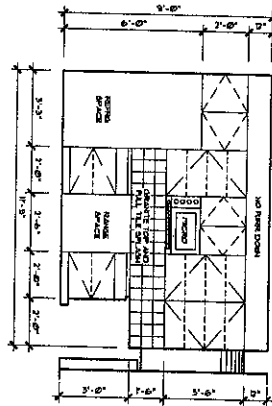
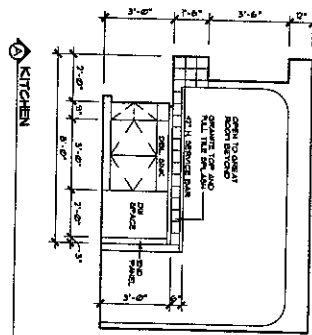
Date: 5/13/09

Sheet
4 of 10

KIPP★FLORES
ARCHITECTS
★ (512) 336-6477 fax (512) 335-6882
11770 Jollyville Rd. Suite 100 Austin, Texas 78760

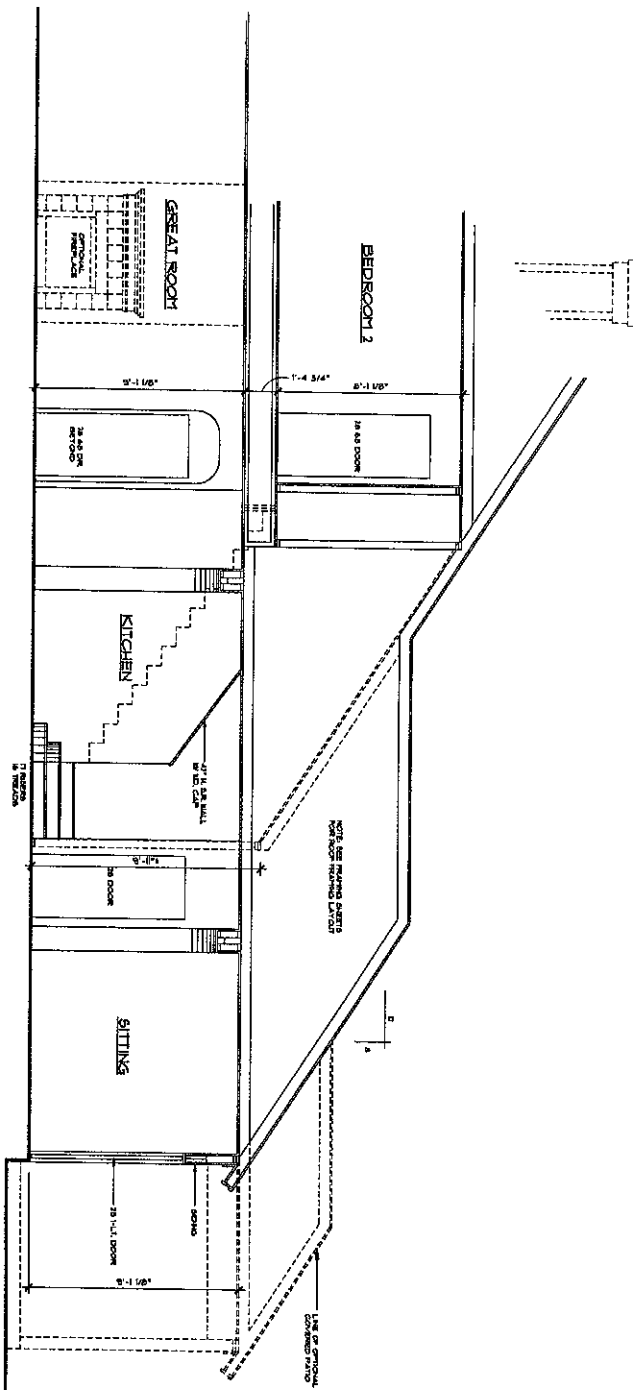
Due to variations in construction methods and density in construction materials, all dimensions and divisions are approximate and may vary per plan. Builder accepts full responsibility for checking plans to ensure conformity with local codes. Should any changes be made to these plans by Builder or his representatives, Builder assumes full liability for overruns and modifications.

GRASON COMMUNITIES, LTD.



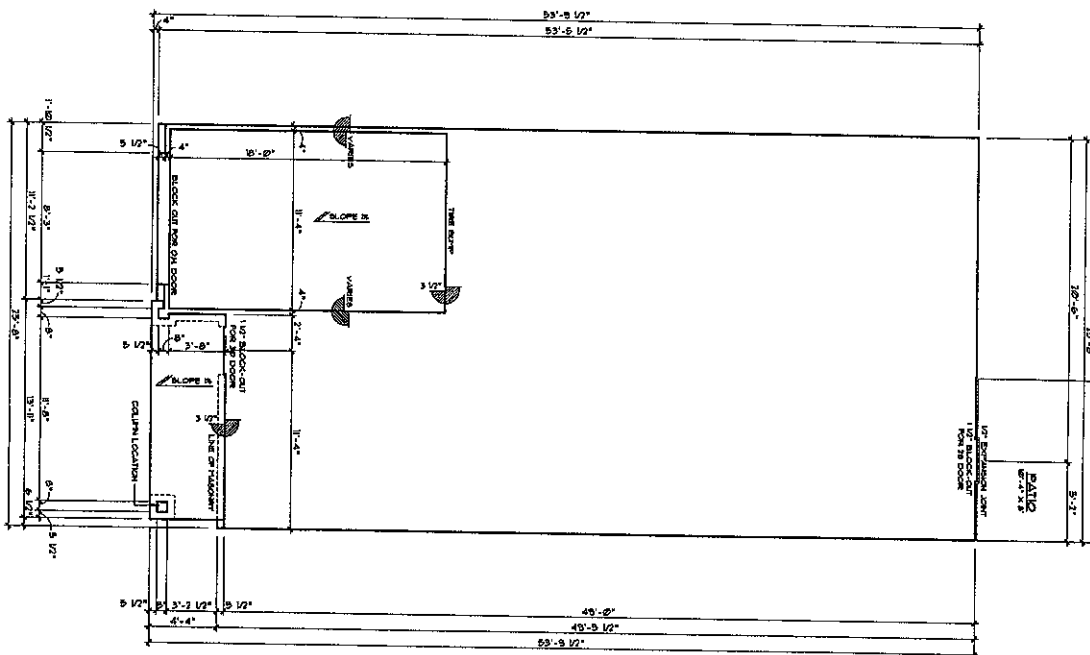
1. BEDROOM CLOSET ROD & SHELF DETAIL
SCALE 3/8"=1'-0"

NOTES:
1. SEE DETAIL TO ALTERNATE ON EACH WALL
AND ROTATE AS REQUIRED
2. VERTICAL PANELS FOR BATHING SPEC.



CROSS SECTION

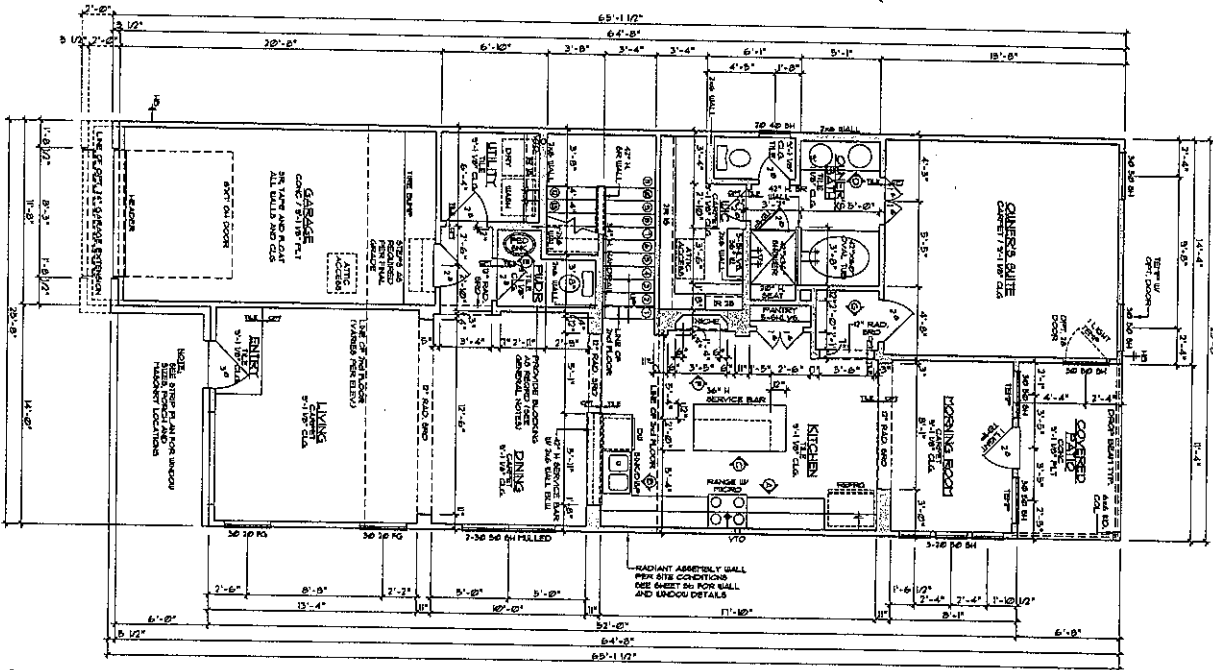
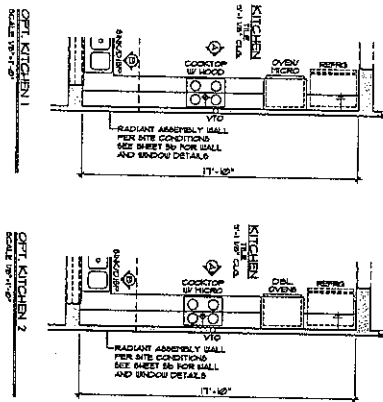
1. DO NOT SCALE THESE DIMENSIONS IN THE EVENT OF DISCREPANCY BETWEEN DIMENSIONS AND NOTES.
2. ALL DIMENSIONS TO CENTER UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS TO CENTER UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS TO CENTER UNLESS OTHERWISE NOTED.

[illegible]

NOTICE: INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. DATE 08-28-2001 BY 60322 UCBAW

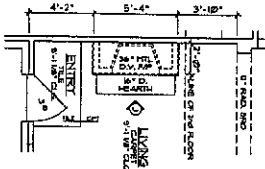
C O N S T R U C T I O N

P L A N T Y P E 1 7 0 6



FIRST LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

OPT. DIRECT VENT FIREPLACE
SCALE 1/8" = 1'-0"

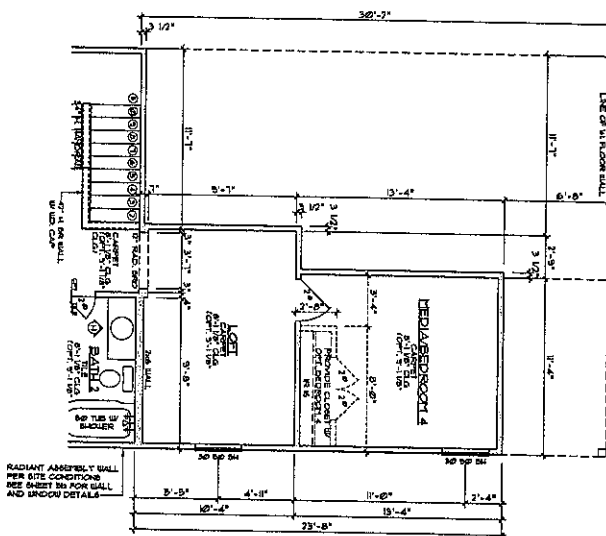


NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
3. ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
4. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.
5. ALL WINDOWS AND DOORS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
6. ALL EXTERIOR WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
7. ALL INTERIOR WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
8. ALL CEILING ARE 8" THICK UNLESS NOTED OTHERWISE.
9. ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
10. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.

Square Footage Chart		
Elevation 1A	PROJE	W/ THICKNESS
1ST FLOOR	1088	874
2ND FLOOR	432	412
TOTAL LIVING	1520	1286
GARAGE	232	241
PORCH	81	81
COV. PATIO	16	16
TOTAL	1857	1624
OPT. 1	43	44
OPT. 2	43	44
OPT. 3	43	44

Square Footage Chart		
Elevation 1B	PROJE	W/ THICKNESS
1ST FLOOR	1088	874
2ND FLOOR	432	412
TOTAL LIVING	1520	1286
GARAGE	232	241
PORCH	81	81
COV. PATIO	16	16
TOTAL	1857	1624
OPT. 1	43	44
OPT. 2	43	44
OPT. 3	43	44

RADIANT HEATING SYSTEM		
ROOM	AREA	W/ THICKNESS
1ST FLOOR	1088	874
2ND FLOOR	432	412
TOTAL LIVING	1520	1286
GARAGE	232	241
PORCH	81	81
COV. PATIO	16	16
TOTAL	1857	1624
OPT. 1	43	44
OPT. 2	43	44
OPT. 3	43	44



Scale 10-15, 0

NOTES

INVOICE 12170012 01.0000
UNION RECORD

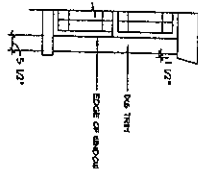
RADIANT ASSEMBLY WALL
PER SITE CONDITIONS
SEE SHEET 513 FOR WALL
AND WINDOW DETAILS—

Due to variations in construction methods and diversity in construction materials, all dimensions and elevations are approximate and may vary per plan. Bidder accepts full responsibility for checking plans to ensure conformity with local codes. Should any changes be made to these plans by Bidder or its representatives, Bidder assumes full liability for corrected plans and specifications.



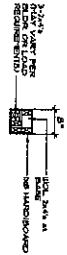
WINDOW TRIM DETAIL

SCALE: N1/4"



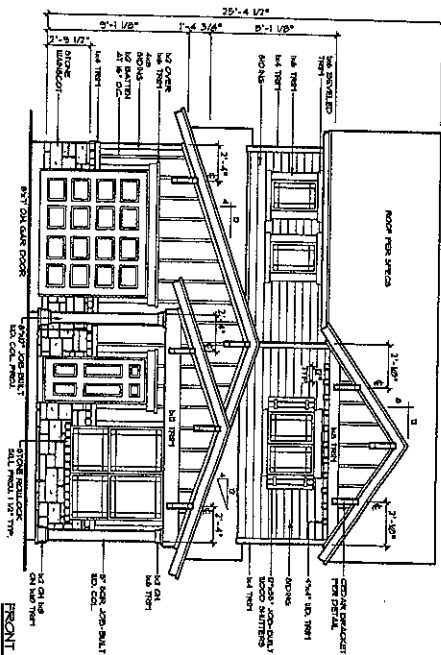
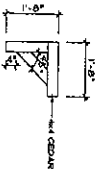
8" JOB-BUILT COLUMN

SCALE: N1/4"



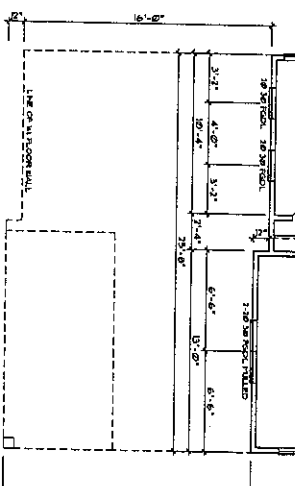
CEDAR BRACKET

SCALE: N1/4"



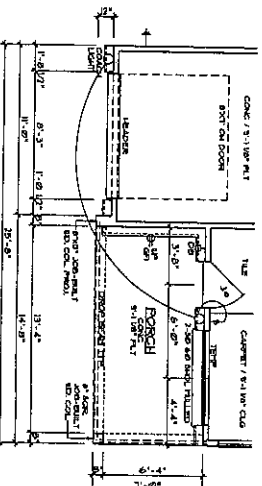
FRONT ELEVATION

NOTE: 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL FINISHES ARE TO BE AS SHOWN ON THE SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE OF THE BEST QUALITY AVAILABLE.
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE BUILDING CODE.
5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE MECHANICAL CODE.
6. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ELECTRICAL CODE.
7. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE PLUMBING CODE.
8. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE HEATING, VENTILATING AND AIR CONDITIONING CODE.
9. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FIRE PROTECTION CODE.
10. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE SAFETY CODE.



SECOND LEVEL STRIP PLAN

SCALE: 1/8" = 1'-0"



FIRST LEVEL STRIP PLAN

SCALE: 1/8" = 1'-0"

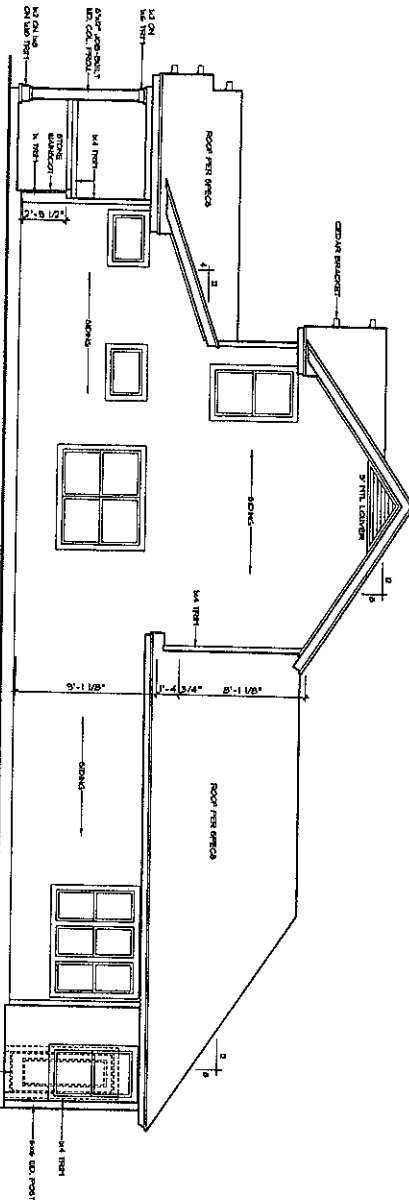
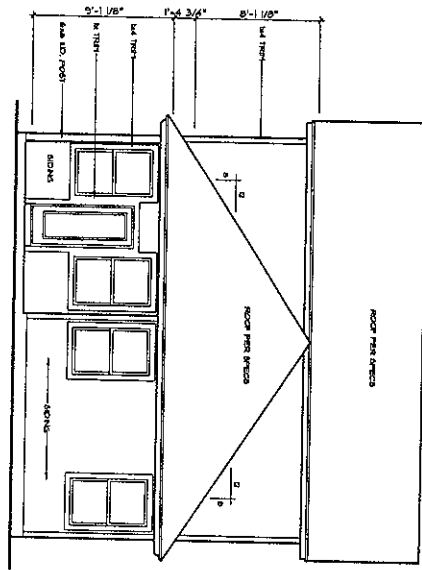
GLAZING SCHEDULE			
FROM EXTERIOR TO INTERIOR			
ROOM AND CEILING	ROOM CEILING AND ROOFING	ROOM CEILING AND ROOFING	ROOM CEILING AND ROOFING
1. 1st FLOOR	2. 2nd FLOOR	3. 3rd FLOOR	4. 4th FLOOR
5. 5th FLOOR	6. 6th FLOOR	7. 7th FLOOR	8. 8th FLOOR
9. 9th FLOOR	10. 10th FLOOR	11. 11th FLOOR	12. 12th FLOOR
13. 13th FLOOR	14. 14th FLOOR	15. 15th FLOOR	16. 16th FLOOR
17. 17th FLOOR	18. 18th FLOOR	19. 19th FLOOR	20. 20th FLOOR
21. 21st FLOOR	22. 22nd FLOOR	23. 23rd FLOOR	24. 24th FLOOR
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GLAZING SCHEDULE	
ROOM AND CEILING	ROOM CEILING AND ROOFING
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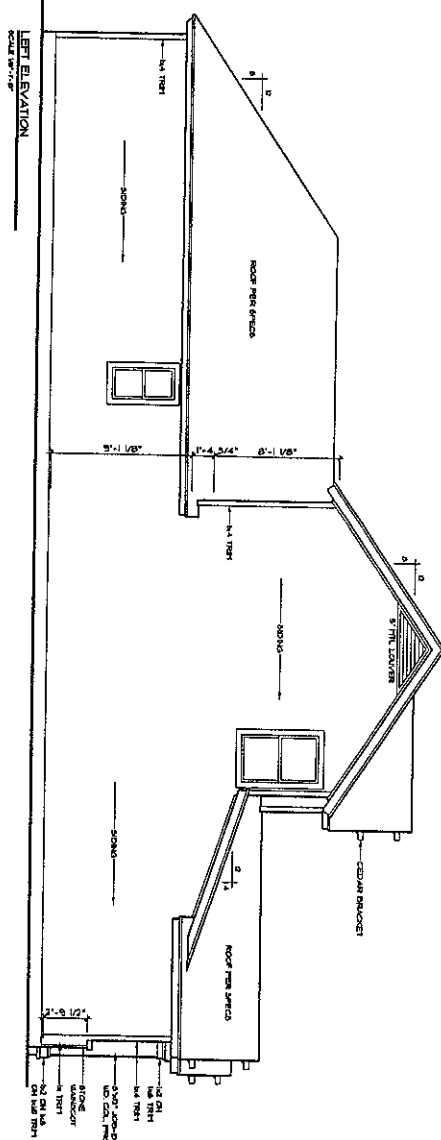
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ROOM AND CEILING	ROOM CEILING AND ROOFING	ROOM CEILING AND ROOFING	ROOM CEILING AND ROOFING
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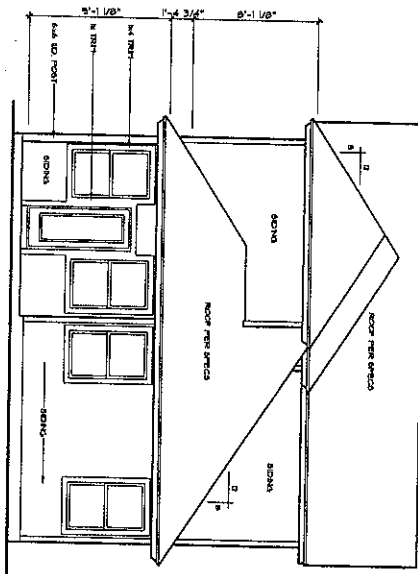
GLAZING SCHEDULE	
ROOM AND CEILING	ROOM CEILING AND ROOFING
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95. 95th FLOOR	96. 96th FLOOR
97. 97th FLOOR	98. 98th FLOOR
99. 99th FLOOR	100. 100th FLOOR

NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

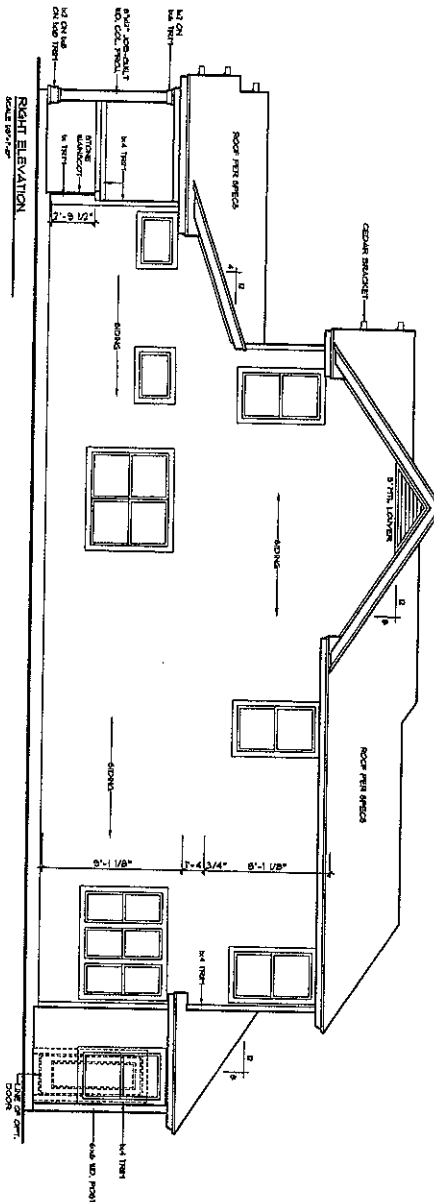


NOTES:
1. ALL ROOFING SHALL BE 1/2" MIN. THICKNESS.
2. ALL ROOFING SHALL BE 1/2" MIN. THICKNESS.
3. ALL ROOFING SHALL BE 1/2" MIN. THICKNESS.
4. ALL ROOFING SHALL BE 1/2" MIN. THICKNESS.
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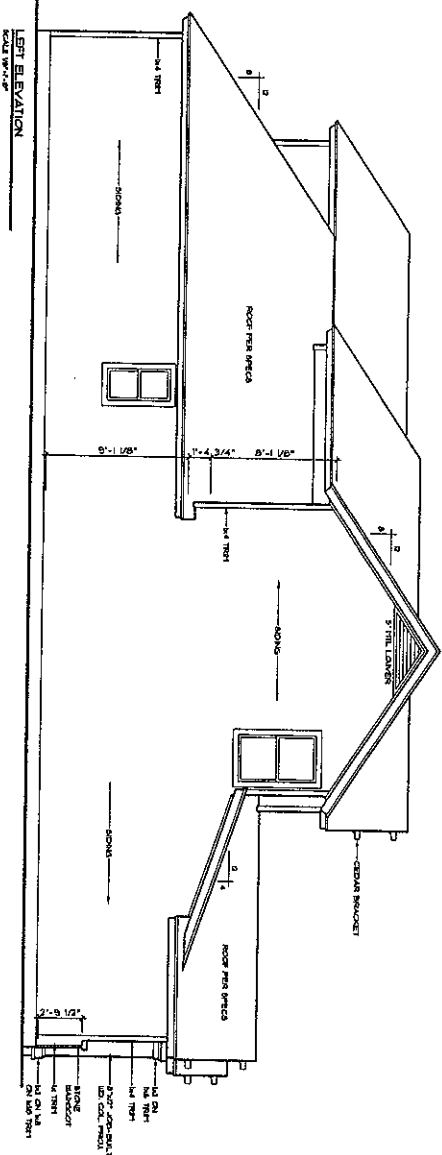


REAR ELEVATION
SCALE 1/8" = 1'-0"



RIGHT ELEVATION
SCALE 1/8" = 1'-0"

NOTES:
1. ALL ROOF FLASHING SHALL BE
INSTALLED IN ACCORDANCE WITH
MANUFACTURER'S INSTRUCTIONS.
2. NO LEAKS OF AIR OR WATER
SHALL BE ALLOWED TO OCCUR
THROUGH THE ROOF OR AT THE
JUNCTIONS OF THE ROOF WITH
WALLS OR OTHER VERTICAL SURFACES.
3. PROVIDE STEEL LATHING AND GROUT
FOR ALL CRACKS IN CONCRETE
FLOORS AND WALLS.



LEFT ELEVATION
SCALE 1/8" = 1'-0"

OPT. LOFT/MEDIA/
BEDROOM 4/CAME ROOM
PLAN 1706 LPA

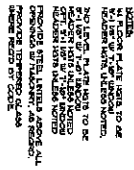


**KIPP*FLORES
ARCHITECTS**
© (512) 335-6477 fax (512) 335-6002
11778 Jollyville Rd. Suite 100 Austin, Texas 78750

Due to variations in construction materials and methods in construction materials, all dimensions
and elevations are approximate and may vary slightly. Buyer accepts full responsibility for
discrepancies between drawings and actual construction. These drawings are intended to be used
only by the owner or its representative. Buyer assumes full liability for any errors
and omissions.

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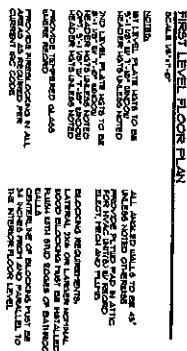
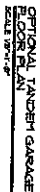
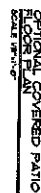
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C O N S T R U C T I O N

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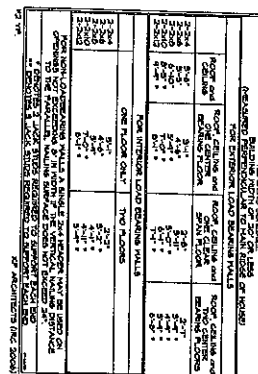
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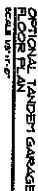
	PLAYING	WIN DROCK
1st FLOOR	24.8	8.6
2nd FLOOR	10.0	4.6
TOTAL PLAYS	197	16.6
GLASS	2.8	2.0
POUCH	184	14.4
COV. BALLNET	8.8	8.6
POUCH COCK-ING	8.0	4.0
TOTAL	258	25.6
OFF COV. PLAYS	103	10.1

A's Square Focuses Chart with TANDEN GARAGE		
	FRONT	BACK
1 ST. ROOM	64.8	87.7
1 NO. LIVING	80.9	106.0
TOTAL LIVING	145.7	193.7
KITCHEN	43.7	43.7
BEDROOM	57	57
COV. BALCONY	8.6	8.6
TOTAL	266.6	264
OFF COV. PATIO	23	23

B ² Squares Facilities Data	
Facility	Web Service
18 th FLOOR	84%
2 nd FLOOR	69%
TOTAL LIVING	76%
CLASSED	75%
POBOL	5%
DOWN SALOON	4%
POWER-COORDINATE	5%
TOTAL	76%
PER DAY PAID	5%

		FLOORING	
		PAVING	WALL BRICKS
1st FLOOR	665	671	
2nd FLOOR	500	500	
TOTAL FLOOR	765	761	
Garage	471	471	
Porches	64	64	
COY. BALCONY	6	6	
TOTAL	2544	2544	
GR. COY. PAVD	50	50	





NOTE

PROVIDE 24" AC ALTUD. PAD IN
ATK FOR IN AC UNIT(S) IF REQUIRED
ELECTRICAL, PITCH, & SURFA.

PROMPT: NOY OUTLET AND LIGHT NEAR HVAC UNIT FOR

INTERVIEW. A LOCATION REQUIRED PROVIDE TWO LOCATIONS, ONE AT UNIT AND ONE AT ACCESS POINTS, ON ONE EQUIPMENT

GROUND ALARMS TO BE INSTALLED IN BATTERY ROOMS ACCORDING WITH NFPA 7. ALL GROUND ALARMS SHALL BE INTERCONNECTED TO THE FIRE ALARM SYSTEM.

ALWAYS USE ACTIVATED CARBON

THE CELEBRATED LIVINGSTON FORTUNES TO BE INSTALLED AS
RECALLED BY W.C. BULL (AFTERMONT GARDENS ONE OF THE
GREAT BOX BATHS IN THE BUILDING BUILDING BUILDING)

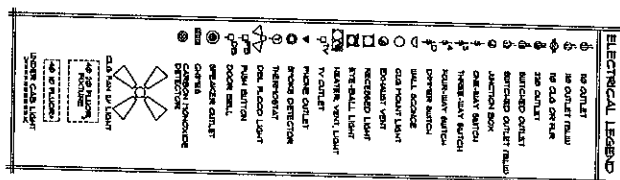
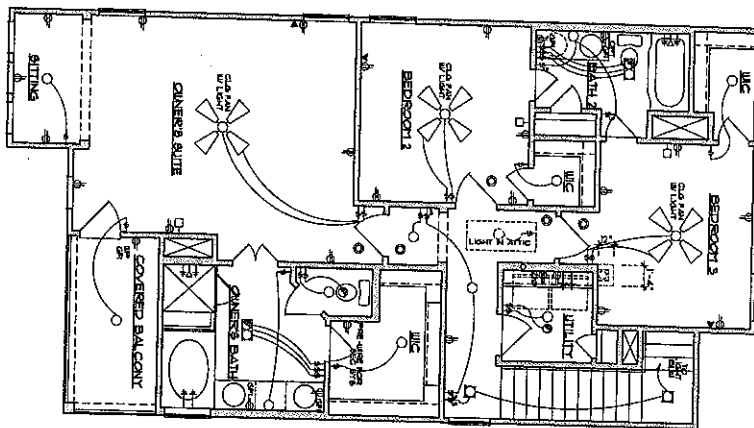
**ELECTRICIAN TO PROVIDE WUPON PULS WITHIN 20' FROM
THE CONDUITS LAST**



DCALM 157-07-01

NOTES

PROVIDER 1/4" AC PLYWOOD, PAD IN
ATTN FOR HVAC UNIT IN REARWALL
ELECTRICAL PANEL 1 PLUMB

[illegible]

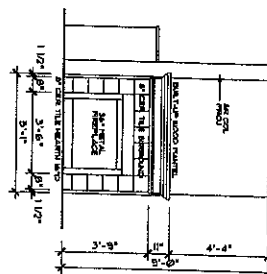
REVISED 03-03-09 ADJUST FLOORING LINES IN KITCH (ZAM)
REVISED 04-04-09 / REVERSAL (MLR)
REVISED 04-04-09 / MT BLDR CKT (MLR)



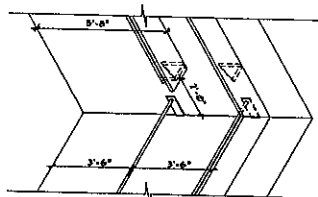
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ARCHITECTS
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Due to variations in construction methods and thereby in construction materials, all dimensions and elevations are approximate and may vary per plan. Bidder accepts full responsibility for checking plans to assure conformity with local codes. Should any changes be made in these plans by Bidder or his representatives, Bidder assumes full liability for structural plans and specifications.

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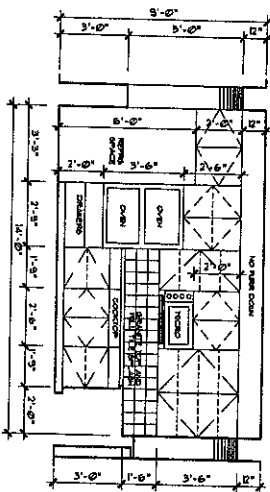


OPT. FIREPLACE

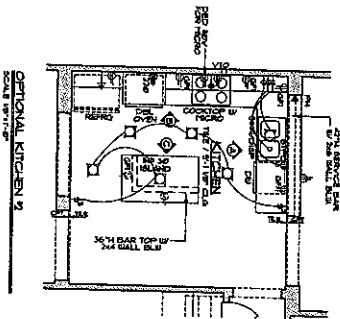
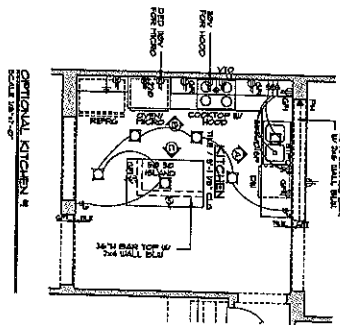


BATH 2

11 BEDROOM CLOSET ROD & SHELF DETAIL
SCALE 3/8" = 1'-0"
NOTES:
SHELF DETAIL TO ALTERNATE ON EACH WALL
AND ROTATE CLOSET ROD.
VERTICALS ARE VHS FOR BATHING AREA.



OPTIONAL KITCHEN #2



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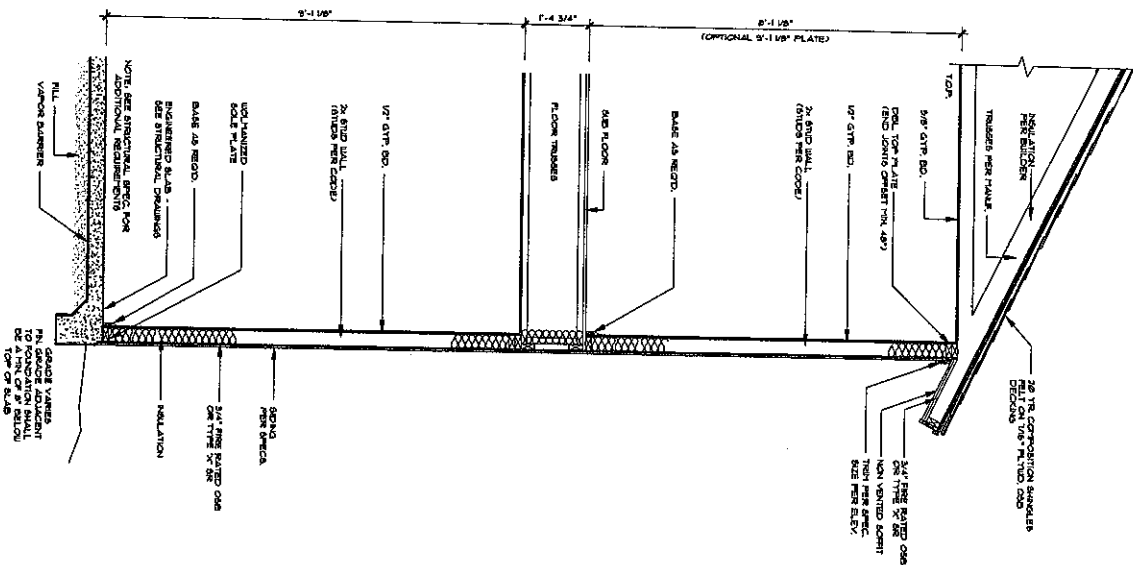
Due to variations in construction methods and materials, all dimensions and elevations are approximate and may vary on site. Grason accepts no responsibility for checking plans in regard to construction details. Should any changes be made in these plans by Grason or its representatives, Grason assumes full liability for all associated costs and specifications.

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 © (512) 336-5477 Fax (512) 336-5552
 11770 Jollyville Rd. Suite 100 Austin, Texas 78758

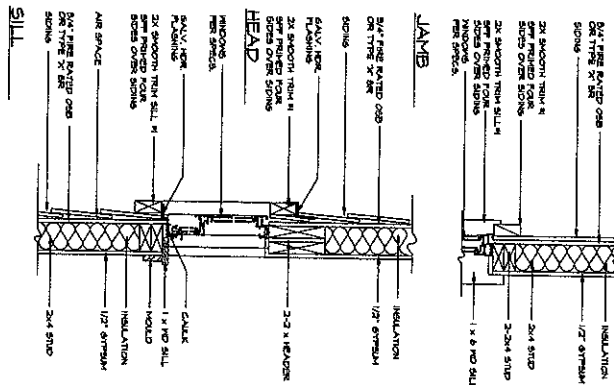
OPTIONS
 PLAN 1930 RF

Sheet
 05-28-08
 5b of 11

TYPICAL FIRE RATED / RADIANT ASSEMBLY
2 STORY EXTERIOR WALL SECTION W/ SIDING
 SCALE 3/8" = 1'-0"
 REFER TO PLANS & DETAILS FOR ROOF PITCHES



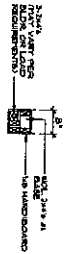
TYPICAL FIRE RATED / RADIANT ASSEMBLY
EXTERIOR WINDOW DETAIL W/ SIDING
 SCALE 3/8" = 1'-0"



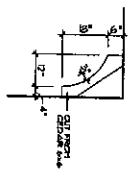
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 11778 Jubilee Rd. Suite 100 Austin, Texas 78758
 Tel: (512) 335-5477 Fax: (512) 335-5862

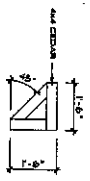
Not to reliance in construction methods and details in construction methods, all dimensions and conditions are approximate and may vary per site. Grason Communities Ltd. responsibility for obtaining plans is to ensure compliance with all local codes. Grason Communities Ltd. shall not be held responsible for any errors or omissions in the plans or specifications.



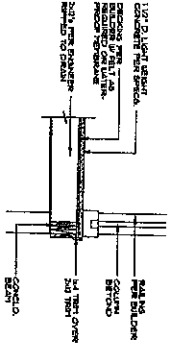
8" JOB-BUILT COLUMN
SCALE: 1/4" = 1'-0"



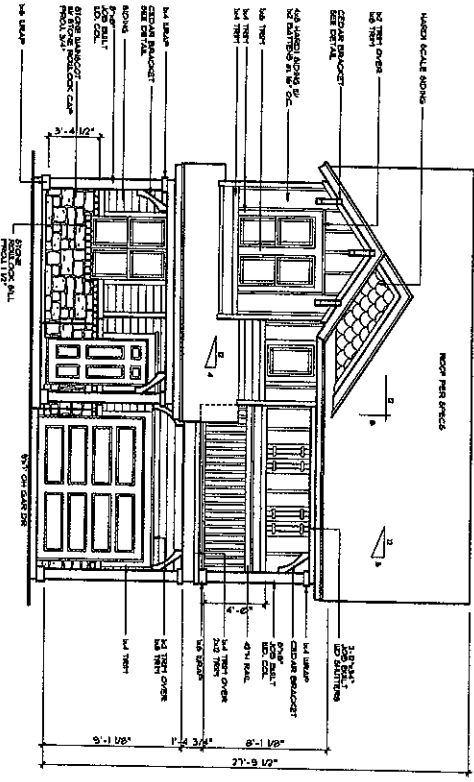
CEDAR PORCH BRACKET DETAIL
SCALE: 1/4" = 1'-0"



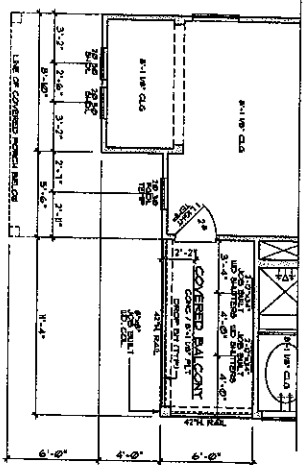
BRACKET DETAIL
SCALE: 1/4" = 1'-0"



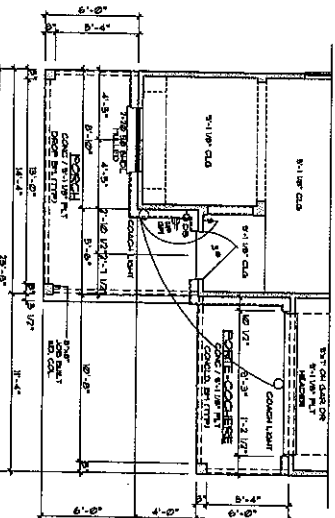
LIGHTWEIGHT CONC. DECK DETAIL
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



SECOND LEVEL STRIP PLAN
SCALE: 1/4" = 1'-0"

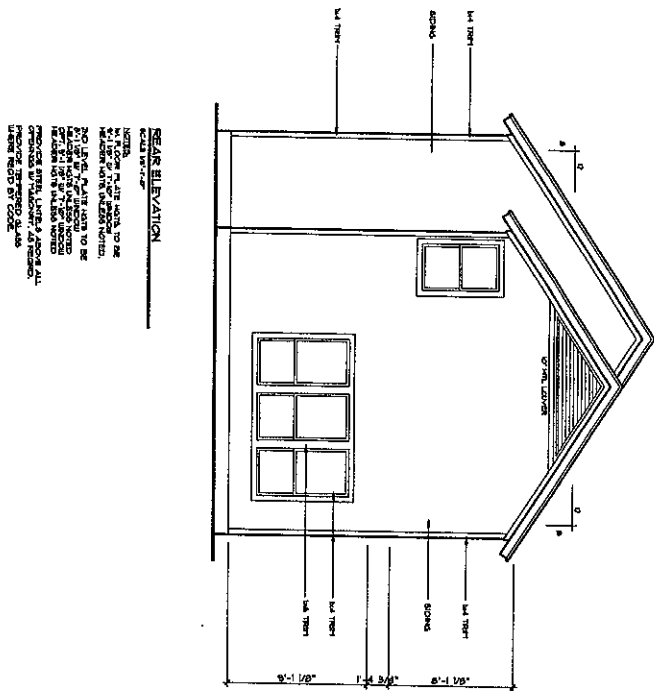


FIRST LEVEL STRIP PLAN
SCALE: 1/4" = 1'-0"

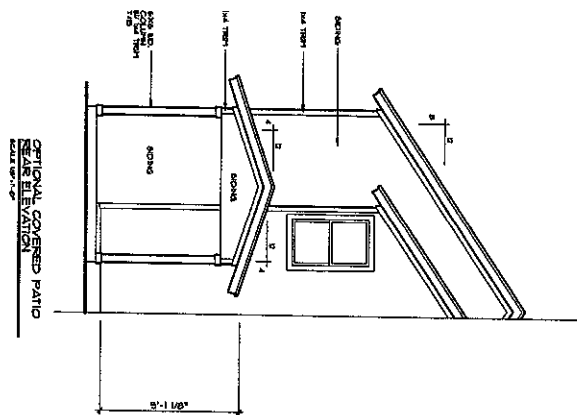
GLAZING PERCENTAGE			
AREA OF GLAZING	GOOD AIR CONDITIONED	77%	
GLAZING PERCENTAGE	10.10%		

NET AREA	AREA OF	AREA OF	PERCENTAGE
1.19	1.03	1.03	8.7%
1.19	1.03	1.03	8.7%

NET AREA	AREA OF	AREA OF	PERCENTAGE
1.19	1.03	1.03	8.7%
1.19	1.03	1.03	8.7%

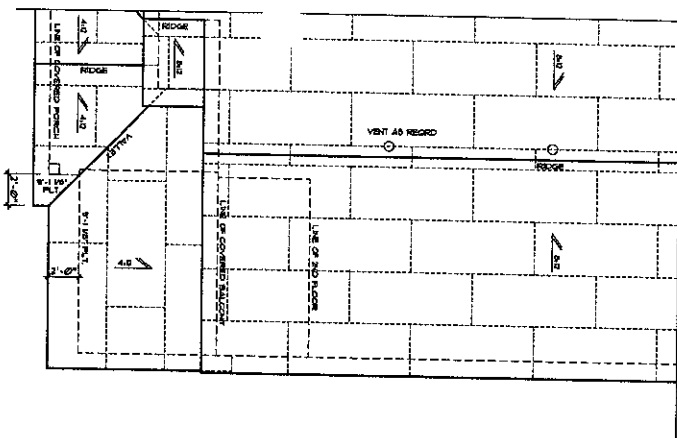


REAR ELEVATION
 NOTES:
 1. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.
 2. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.
 3. ALL DIMENSIONS ARE TO BE
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 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.
 7. ALL DIMENSIONS ARE TO BE
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 SURFACE OF THE WALLS.
 8. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.
 9. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.
 10. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.



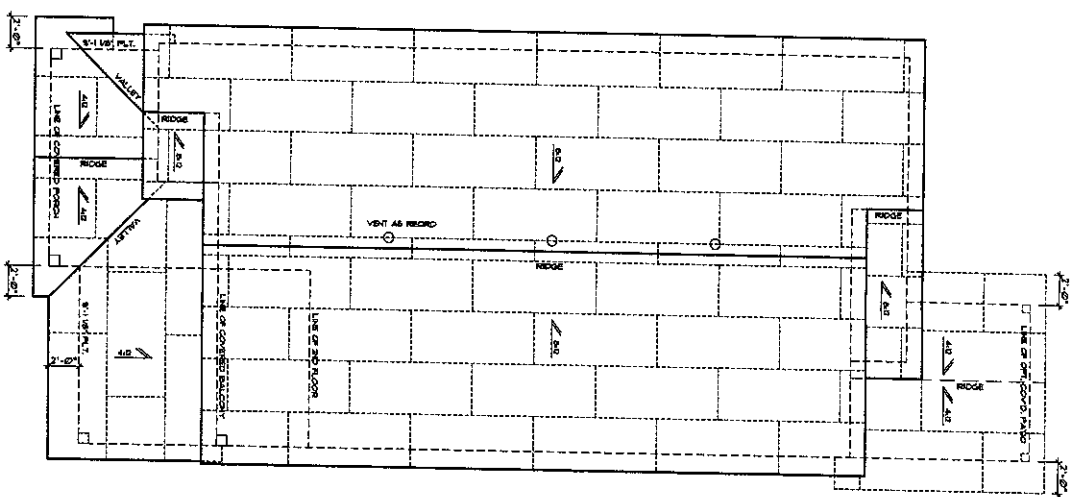
OPTIONAL COVERED PATIO
 REAR ELEVATION
 NOTES:
 1. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.
 2. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.
 3. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
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 MEASURED FROM THE EXTERIOR
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 9. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.
 10. ALL DIMENSIONS ARE TO BE
 MEASURED FROM THE EXTERIOR
 SURFACE OF THE WALLS.

OPTIONAL TANDEN GARAGE
ROOF PLAN
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"

NOTES:
ALL ROOF PITCHES TO MATCH ADJ.
OVERLAP TO BE MAINTAINED
OVERLAP TO BE MAINTAINED
OVERLAP TO BE MAINTAINED
VENT AS REQUIRED



REVISED 05-09-08 ADJUST FLOORING LINES IN KITCH / 2APU
REVISED 05-04-08 / SOLVERAL (P.L.S.)
REVISED 05-04-08 / ST. BLAIR (CON) (14-07)

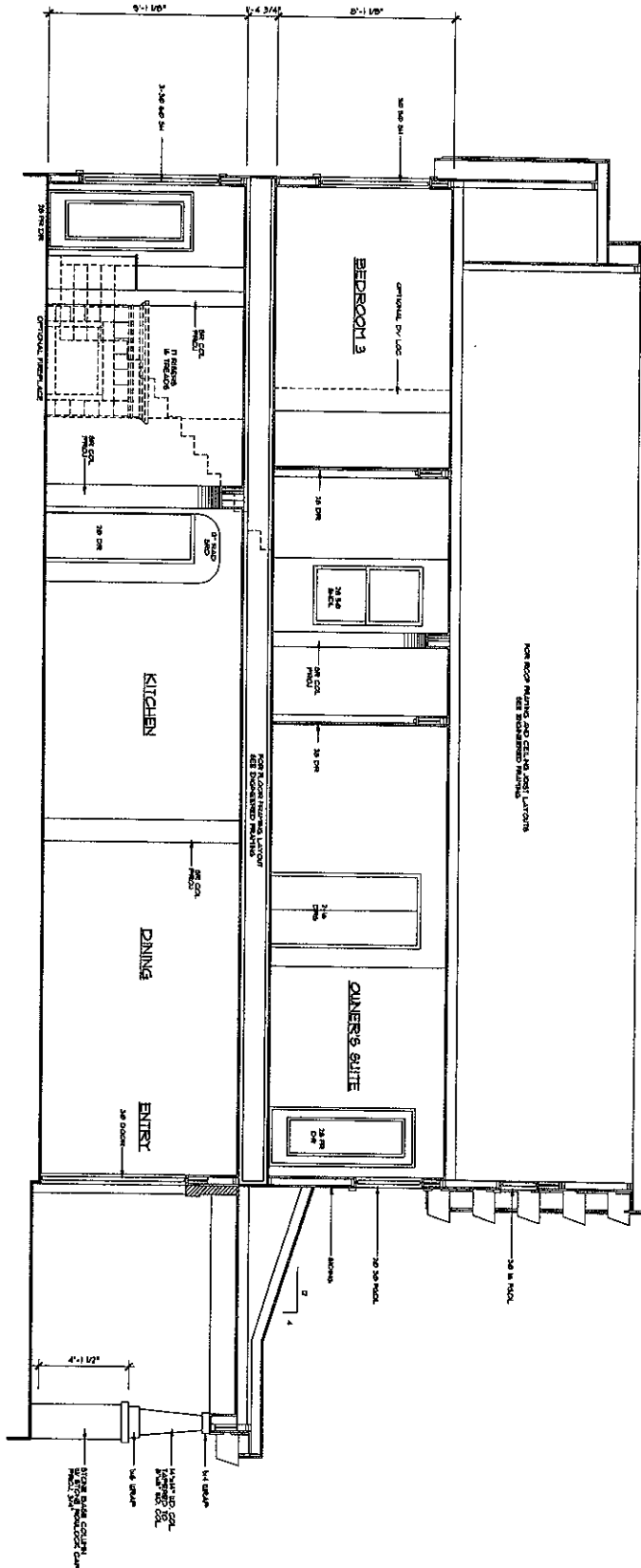
KIPP FLORES ARCHITECTS
© (2010) 558-5477 Fax: (514) 535-8888
11776 Jollyville Rd. Suite 100 Austin, Texas 78759

Not to reliance in construction methods and details in construction materials, all dimensions and elevations are approximate and may vary per plan. Builder accepts full responsibility for checking plans to verify conformity with local codes. Should any changes be made to these plans by builder or its representative, builder assumes full liability for amended plans and specifications.

GRASON COMMUNITIES, LTD.

PLAN 1930 RFB

9Bc1.1
Sheet
05-28-08



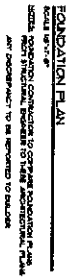
CROSS SECTION
 SCALE 1/8" = 1'-0"
 - DO NOT SCALE THESE DIMENSIONS IN THE FIELD
 - ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
 - ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
 - ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE

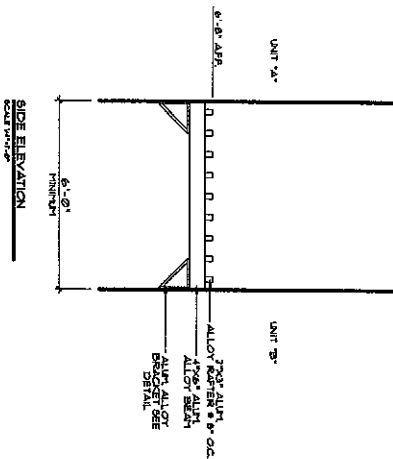
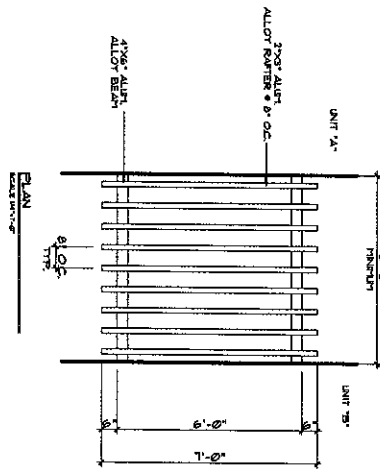
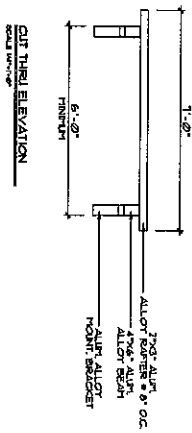
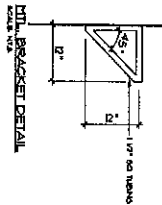


KIPP FLORES
 ARCHITECTS
 © (512) 335-0477 Fax: (512) 335-0552
 11770 Jollyville Rd. Suite 100 Austin, Texas 78759

See the various construction methods and details in construction materials, all dimensions and elevations are approximate and may vary any per plan. Builder accepts full responsibility for checking plan to ensure conformity with local codes. Should any changes be made to local plan by builder or its representatives, builder assumes full liability for compliance with codes and specifications.

GRASON COMMUNITIES, LTD.

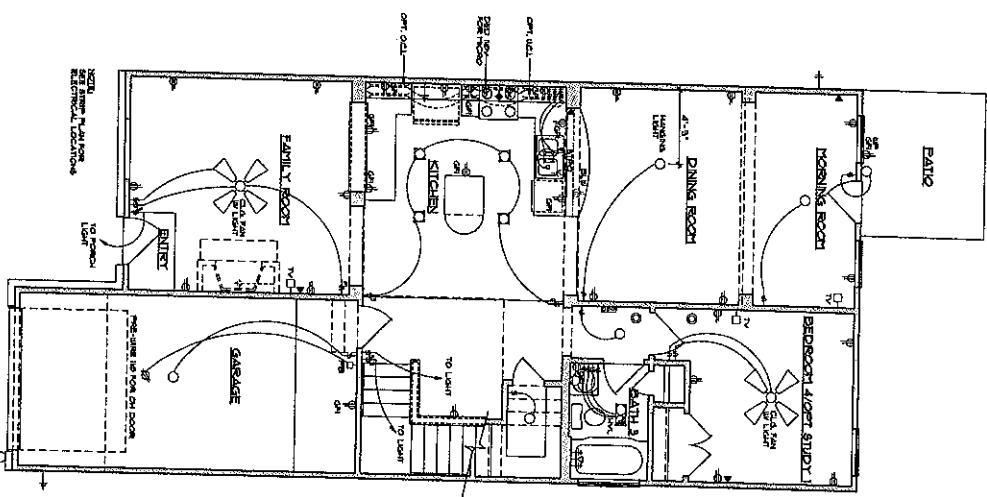
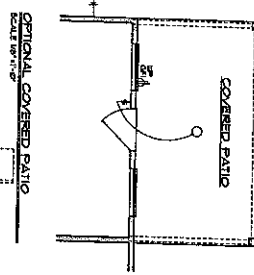




BREEZEWAY DETAIL

C O N S T R U C T I O N

P L A N T Y P E 2 0 7 7

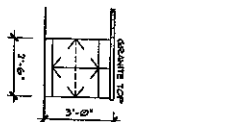
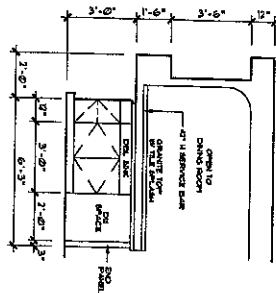
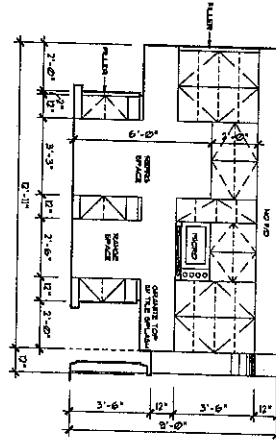
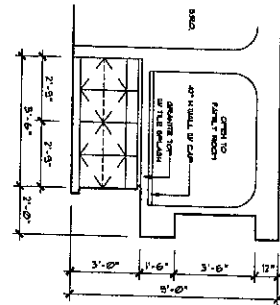


FIRST LEVEL ELECTRICAL PLAN

NOTES:
1. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).
2. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).
3. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).
4. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).
5. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).
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7. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).
8. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).
9. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).
10. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE (H.E.C.).

ELECTRICAL LEGEND

1	NO OUTLET
2	NO OUTLET (FLOOR)
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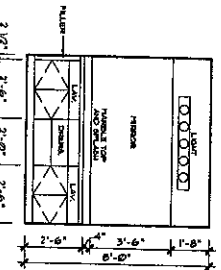
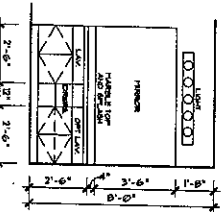
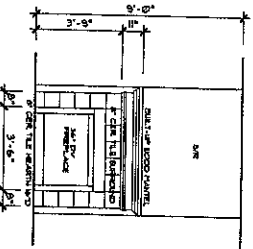
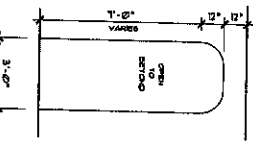
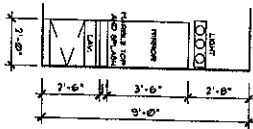
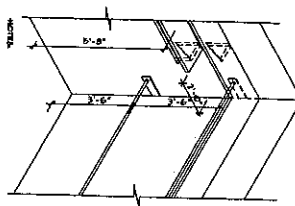
KITCHEN

KITCHEN

KITCHEN

ISLAND

NOTE: SEE DETAIL TO ALTERNATE ON EACH WALL. HIDDEN CLOSET ROD & SHELF DETAIL.



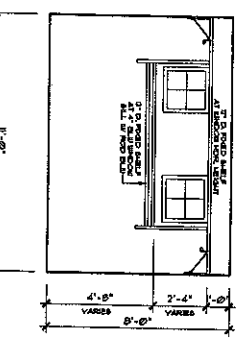
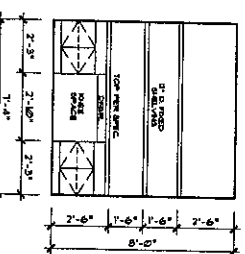
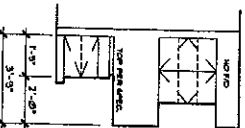
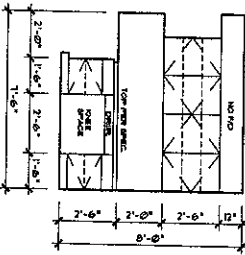
BATH 3

TYP. BRO.

OPT. FIREPLACE

BATH 2

CHANGING BATH



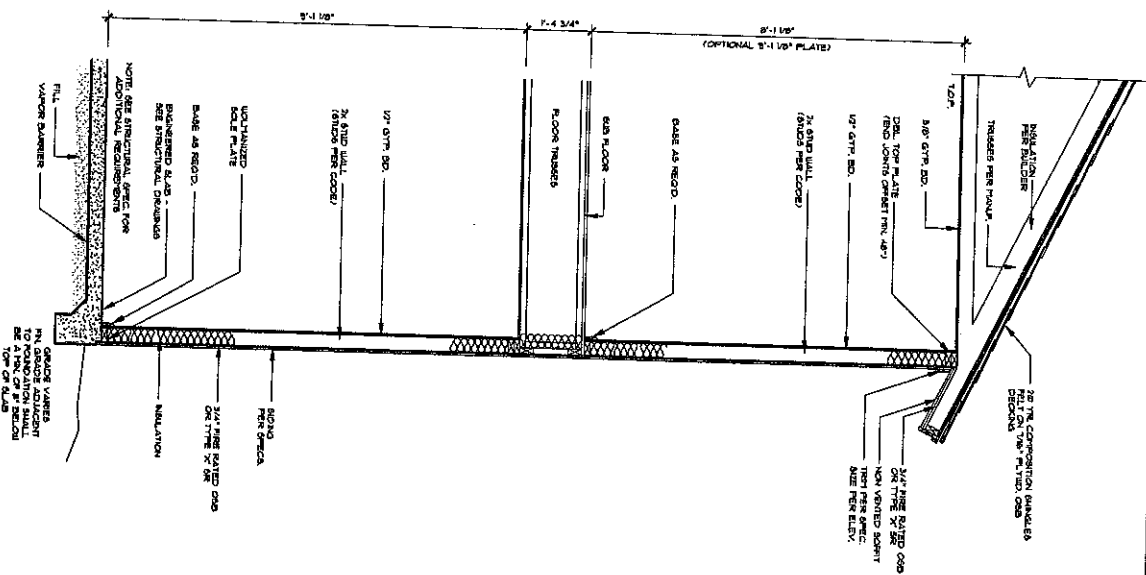
OPTIONAL DESK

OPTIONAL DESK

DESK AT OPT. STUDY 2

MASTER CLOSET

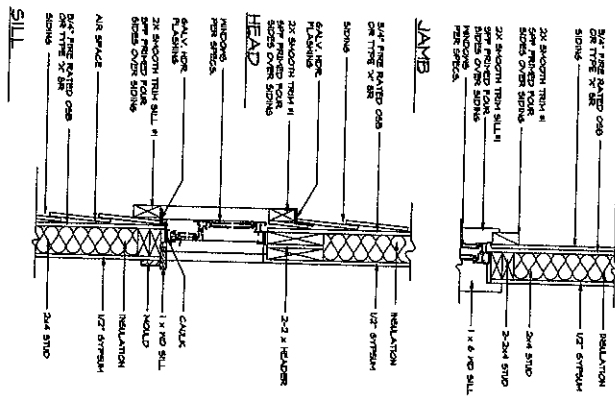
CABINET ELEVATIONS



① TYPICAL FIRE RATED / RADIANT ASSEMBLY
2 STORY EXTERIOR WALL SECTION W/ SIDING

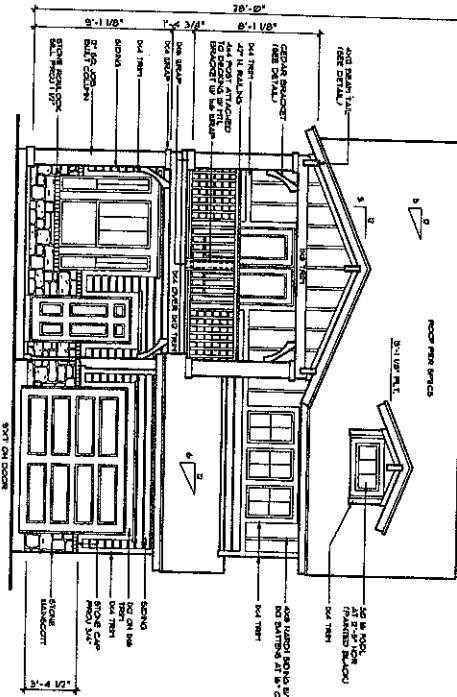
SCALE 3/8\"/>

REFER TO PLANS & ELEV. FOR ROOF PITCHES



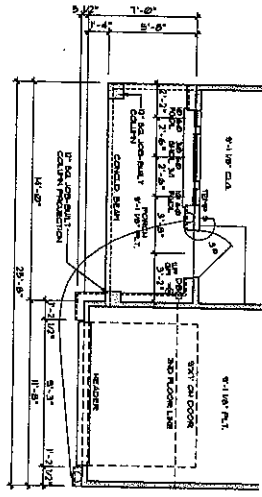
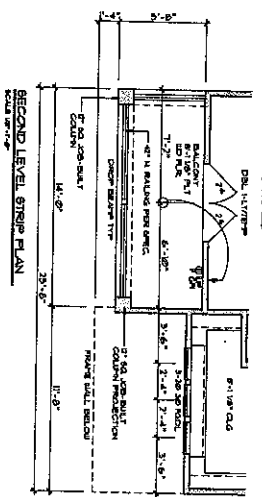
① TYPICAL FIRE RATED / RADIANT ASSEMBLY
EXTERIOR WINDOW DETAIL W/ SIDING

SCALE 3/8\"/>



FRONT ELEVATION
 SCALE 1/8" = 1'-0"

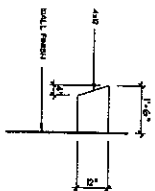
NOTE: ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 ALL MATERIALS AND FINISHES TO BE AS SHOWN ON THE SPECIFICATIONS.
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.



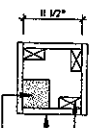
BUILDING INFORMATION			
PROJECT NAME	GRASON COMMUNITIES, LTD.		
PROJECT ADDRESS	11778 JOEYVILLE RD., SUITE 100, AUSTIN, TEXAS 78760		
DATE	06/04/09		
DESIGNER	KIPP FLORES ARCHITECTS		
CLIENT	GRASON COMMUNITIES, LTD.		
PROJECT TYPE	COMMERCIAL BUILDING		
PROJECT STATUS	UNDER CONSTRUCTION		
PROJECT PHASE	ARCHITECTURAL DRAWINGS		
PROJECT LOCATION	JOEYVILLE RD., AUSTIN, TEXAS		
PROJECT SIZE	2,300 SQ. FT.		
PROJECT COST	\$1,200,000		
PROJECT OWNER	GRASON COMMUNITIES, LTD.		
PROJECT CONTACT	JOHN GRASON, PRESIDENT		
PROJECT PHONE	(512) 335-6477		
PROJECT FAX	(512) 335-6478		
PROJECT EMAIL	JOHN.GRASON@GRASONCOMMUNITIES.COM		
PROJECT WEBSITE	WWW.GRASONCOMMUNITIES.COM		

GLAZING PERCENTAGE	AREA OF GLAZING
FRONT ELEVATION	2,300
REAR ELEVATION	2,300
LEFT ELEVATION	2,300
RIGHT ELEVATION	2,300
GLAZING PERCENTAGE	4.28%

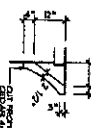
GLAZING PERCENTAGE	AREA OF GLAZING
FRONT ELEVATION	2,300
REAR ELEVATION	2,300
LEFT ELEVATION	2,300
RIGHT ELEVATION	2,300
GLAZING PERCENTAGE	4.28%



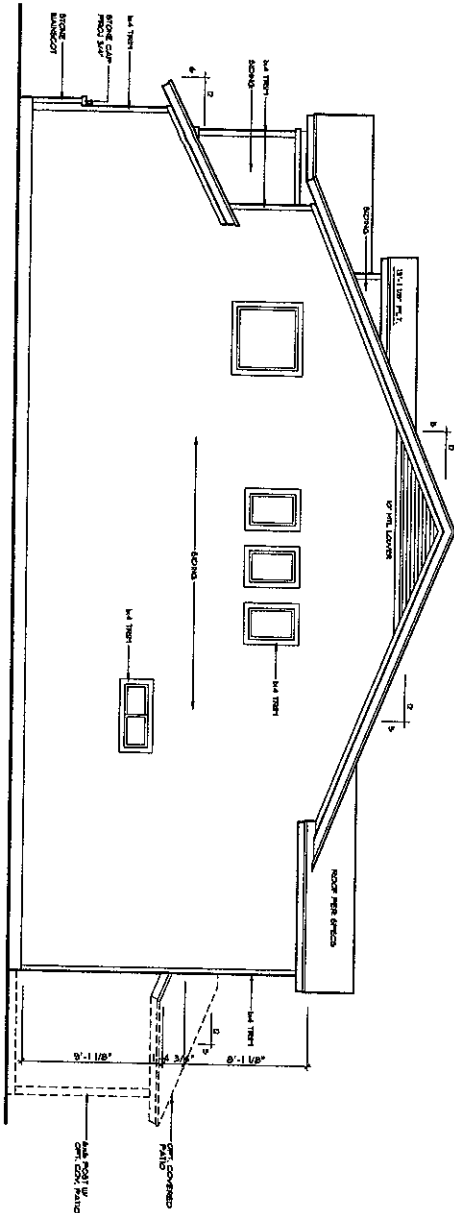
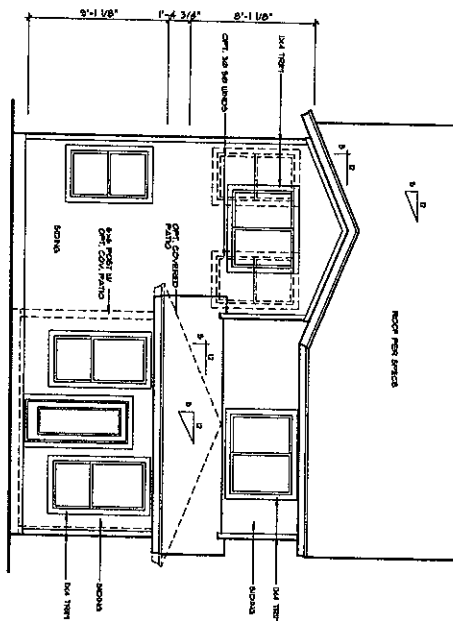
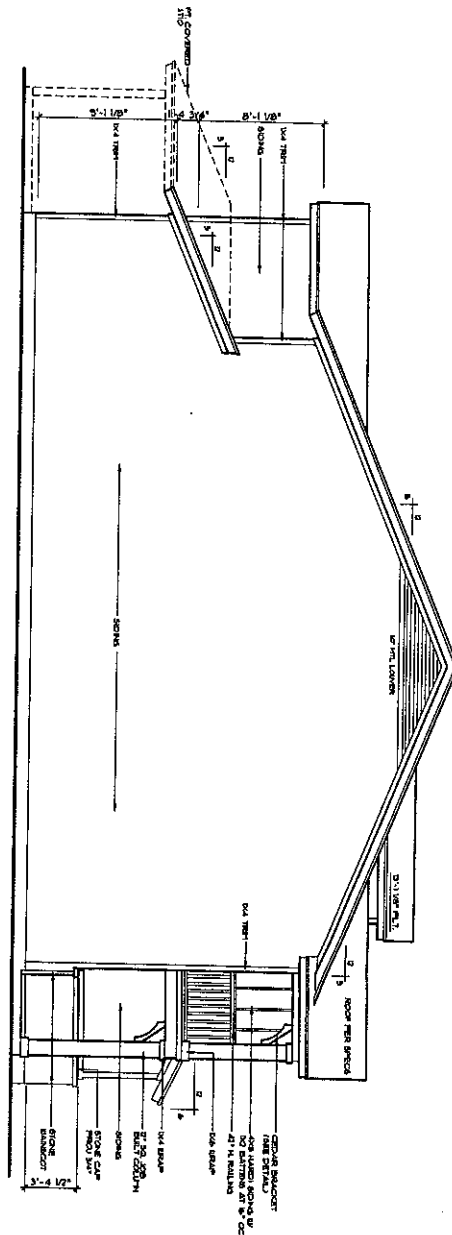
DETAIL
 SCALE 1/8" = 1'-0"

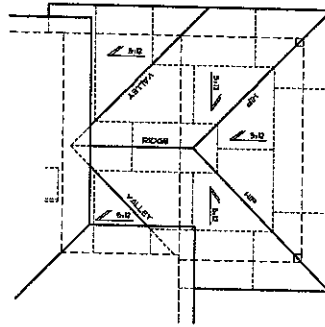


DETAIL
 SCALE 1/8" = 1'-0"

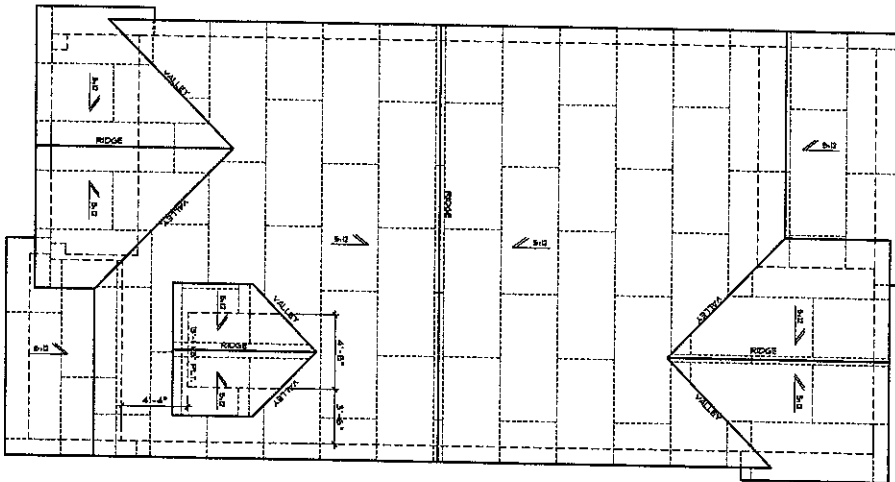


DETAIL
 SCALE 1/8" = 1'-0"



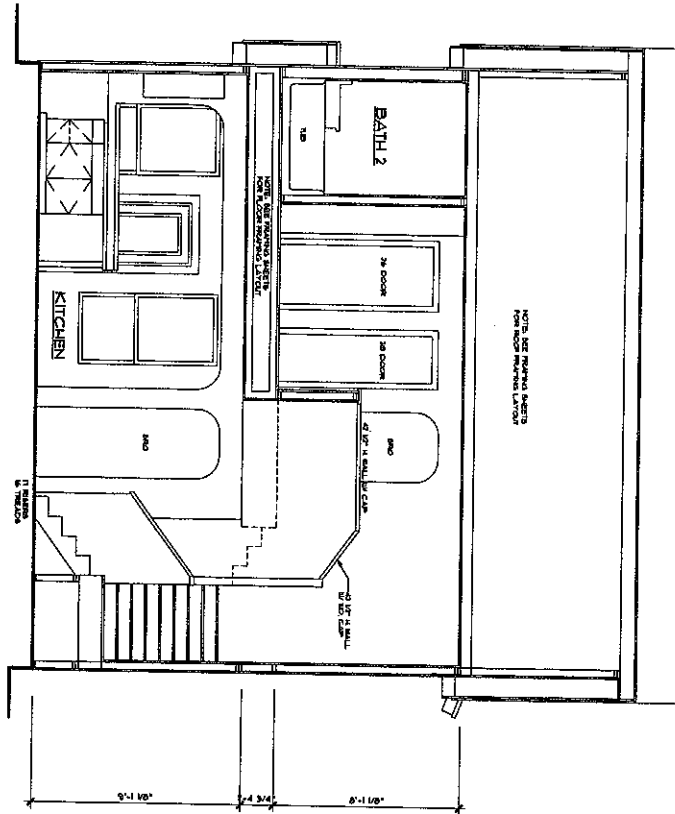


OPTIONAL COVERED PATIO
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"

NOTES:
ALL ROOF PITCHES TO HAVE 1/4" L.P.
OVERLAP AND 1/4" L.P. NOTED ON ROOF
ALL ROOF PITCHES TO HAVE 1/4" L.P.
OVERLAP AND 1/4" L.P. NOTED ON ROOF
ALL GABLE ENDS TO HAVE 1/4" L.P.
OVERLAP AND 1/4" L.P. NOTED ON ROOF
1/4" L.P. AS REQUIRED



GROSS SECTION
 SCALE: 1/8" = 1'-0"
 * DO NOT SCALE THESE DIMENSIONS IN THE FLOOR
 CLIPPING.
 * ALL DIMENSIONS TO CENTER UNLESS OTHERWISE
 NOTED.
 * ALL DIMENSIONS TO CENTER UNLESS OTHERWISE
 NOTED.

PLAN 2077 RFA

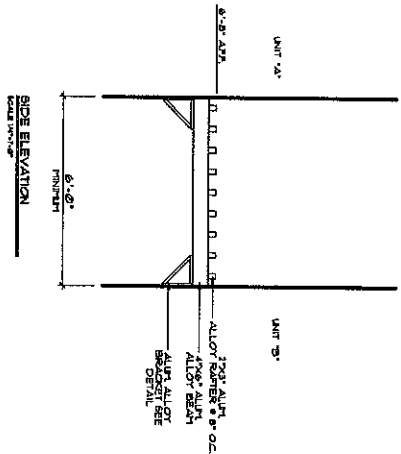
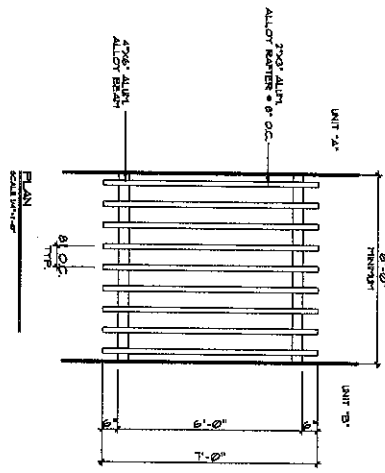
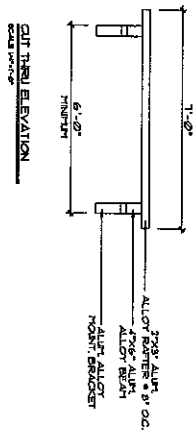
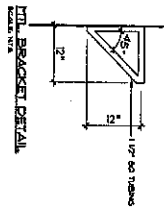
GRAS-0003-100.0W 02/04/09



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Use to indicate construction methods and details in construction materials, of dimensions
 and divisions are approximate and may vary per plan. Refer except all responsibility for
 building plans to owner, contractor and local codes. Study any changes in made to these
 plans by owner or its representative. Other systems not likely to be included
 plans and specifications.

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BREEZEWAY DETAIL