

**ORDINANCE EXTENDING ENVIRONMENTAL VARIANCES
PREVIOUSLY APPROVED BY ORDINANCE NUMBER 040513-20**

PROJECT NAME: Camino Real / Old San Antonio Rd

CASE NUMBER: Resolution Number 20110303-032 / SP-06-0113C

ADDRESS: 10140 and 10300 Old San Antonio Rd

WATERSHED: Slaughter Creek (Suburban)

AREA: 5.6 acres gross site area

PROPOSED USE: Wedding Venue; Corporate and Family Retreat; Restaurant; Bed and Breakfast; Country Inn

OWNER: Moe Larry & Curly Ltd
1623 Toomey Rd
Austin, TX 78704
(512) 473-2783

APPLICANT: Land Strategies (Paul Linehan)
1010 Land Creek Cove #100
Austin, TX 78746
(512) 328-6050

APPLICABLE WATERSHED ORDINANCE: Current / Comprehensive Watershed Ordinance

BACKGROUND:

City Council adopted Ordinance Number 040513-20 on May 13th, 2004, granting certain environmental variances for this property, provided that the applicant obtained approval of a site plan by May 13, 2006. Subsequently the applicant received a site plan permit (case number SP-06-0113C) to construct two proposed restaurant buildings with associated parking and other facilities. The SP-06-0113C site plan permit was set to expire on May 10th, 2009; subsequently the applicant requested and received two extensions to the site plan permit. The maximum amount of time that the site plan permit can be extended is five years past the initial submittal date, or March 6th, 2011, per the Land Development Code. At this time, no construction has occurred under SP-06-0113C, and consequently the Ordinance has expired with the site plan permit.

To receive a new site plan permit and begin construction on the property, the applicant is seeking renewal of this Ordinance. If a renewal of Ordinance Number 040513-20 is granted, the applicant must submit a new site plan permit application for City staff review.

The City Council has requested that the Environmental Board and the Zoning and Platting Commission provide a recommendation to the City Council regarding the extension of Ordinance Number 040513-20 by June 7th, 2011.

ENVIRONMENTAL VARIANCES REQUESTED:

1. A variance to LDC Section 25-8-392 to allow a maximum impervious cover of 12,000 square feet in the critical water quality zone, provided that no new development of impervious cover is located within 100 feet of the existing FEMA 100-year floodplain.

2. A variance to LDC Section 25-8-393 to allow a maximum impervious cover of 43,000 square feet in the water quality transition zone.

3. A waiver from LDC Sections 25-1-213 and 25-8-41 regarding the processing of variances from requirements of LDC 25-8.

SUMMARY STAFF RECOMMENDATION: Recommended with conditions.

ENVIRONMENTAL BOARD DATE: 5-4-2011

ENVIRONMENTAL BOARD RECOMMENDATION: Recommend approval with conditions (5-0-0-2 – See attached Environmental Board Motion Form)

ZONING AND PLATTING COMMISSION DATE: 5-17-2011

ZONING AND PLATTING COMMISSION RECOMMENDATION: Recommend approval with conditions (6-0-0-0) as follows:

- 1) The conditions specified in Exhibit A of Ordinance No. 040513-20;
- 2) 609S and 604S.6 seeding and planting is required in areas disturbed by construction;
- 3) City of Austin “Do Not Mow” signs are to be placed on the property along Slaughter Creek at intervals and locations approved by City of Austin Environmental Resource Management Staff and by City of Austin Environmental Review staff based on proposed construction at the time of site plan permit review;
- 4) Riparian planting and revegetation is required in areas disturbed by construction in the Critical Water Quality Zone.
- 5) Clarify item number 5 of Exhibit A attached to Ordinance Number 040513-20, to state: “No new development of impervious cover is allowed in the critical water quality zone within 100 feet of the FEMA 100-year floodplain, as it existed when the Ordinance was approved on May 13, 2004.”

ENVIRONMENTAL CASE MANAGER: Mike McDougal 974-6380

PROJECT INFORMATION: 5.6 acres gross site area; 1.3 acres, this variance

EXIST. ZONING: GR-H-MU-CO; GR-MU-CO; GR-CO

MAX. BLDG. CVRG ALLOWED: 75% **PROPOSED BLDG. CVRG:** unknown

MAX. IMPERV. CVRG.: 90% - zoning * **PROPOSED IMP. CVRG:** unknown

MAX HEIGHT ALLOWED: 60 **PROPOSED HEIGHT:** unknown

REQUIRED PARKING: unknown

* EV impervious cover limits are much more restrictive.

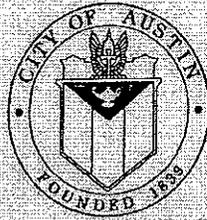
SUMMARY COMMENTS:

Land Use: The City annexed the property located at 10140 and 10300 Old San Antonio Road in December 1997. When annexed, the property was developed with a single-family residence, horse stable and related structures. These existing structures are primarily located in the critical water quality zone and the 100 year flood plain.

The property currently has commercial zoning. The tract of land that includes the house was given a historic zoning designation. The owner desires to redevelop the site to provide the following uses and services: wedding venue; corporate retreat venue; family retreat venue; restaurant; bed and breakfast; and country inn.

Under the proposed redevelopment, the owner would remove approximately 20,000 square feet of impervious cover, including structures, driveways, and riding arena, from the property.

Environmental: The property is located within the Slaughter Creek Watershed, a Suburban Watershed located in the City of Austin full purpose jurisdiction in the Desired Development Zone. It is not located over the Edwards Aquifer Recharge Zone. A portion of the property is located within the 100 year fully developed floodplain. Approximately 25% of the property is located within the water quality transition zone. The remaining 75% of the property is located within the critical water quality zone. Slopes vary from less than 2% to greater than 30%. Portions of the property have dense tree canopy coverage. Live Oaks, Ashe Junipers, Cedar Elms, Hackberries, and Pecans are the dominant woody vegetation. The north and east property lines are the centerline of Slaughter Creek. Rimrock critical environmental features and wetland critical environmental features are located on the property.



ENVIRONMENTAL BOARD MOTION FORM

Date: 5-4-11

Motion by: James Schissler

Agenda Item: 4A

Seconded by: Bob Anderson

Motion: Approval Approve with conditions Disapproval Consent Postponement

Recommend to grant extension to environmental variances previously approved under Ordinance No. 040513-20 with recommendations of Exhibit A.

Conditions: staff recommendations 1, 2, 3 and 5 with the changes to items 2 and 3 that the seeding and planting be limited to areas disturbed by the construction.

Rationale The city council has previously negotiated the project with the owner and the extension is reasonable given the current economic climate.

Vote:	CONSENTING	DISSENTING	ABSTAINING	ABSENT
Mary Gay Maxwell, Chair	(X)	()	()	()
James Schissler, P. E.	(X)	()	()	()
Eva Hernandez	()	()	()	(X)
J. Robert Anderson	(X)	()	()	()
Mary Ann Neely	()	()	()	(X)
Robin Gary	(X)	()	()	(X)
Jon Beall	(X)	()	()	()

Chair Sign Off

Friendly amendment by Bob Anderson to add item 4 of city staff recommendation with change to riparian planting and revegetation is required for areas disturbed by construction in the critical water quality zone.



ITEM FOR ENVIRONMENTAL BOARD AGENDA

BOARD MEETING

DATE REQUESTED: May 4, 2011

NAME & NUMBER OF PROJECT: Camino Real/Old San Antonio Road
SP-06-0113C

NAME OF APPLICANT OR ORGANIZATION: Paul Linehan (Land Strategies)
328-6050

LOCATION: 10140 and 10300 Old San Antonio Road

PROJECT FILING DATE: March 6, 2006

PDR/ENVIRONMENTAL STAFF: Mike McDougal, 974-6380
Mike.McDougal@ci.austin.tx.us

**PDR/
CASE MANAGER:** Nikki Hoelter, 974-2863
Nikki.Hoelter@ci.austin.tx.us

WATERSHED: Slaughter Creek, Suburban, Desired Development Zone

ORDINANCE: 040513-20

REQUEST: Make a recommendation to City Council, pursuant to Resolution 20110303-032, regarding an extension to environmental variances previously approved by Ordinance No. 040513-20 for a project at 10140 and 10300 Old San Antonio Road.

1. A variance to LDC Section 25-8-392 is granted to allow a maximum impervious cover of 12,000 square feet in the critical water quality zone provided that no new development of impervious cover is located within 100 feet of the existing FEMA 100-year floodplain.
2. A variance to LDC Section 25-8-393 is granted to allow a maximum impervious cover of 43,000 square feet in the water quality transition zone.
3. LDC Sections 25-1-213 and 25-8-41 (regarding the processing of variances from requirements of LDC 25-8) are waived.

STAFF RECOMMENDATION: Staff recommends that Ordinance Number 040513-20 be extended with staff conditions.



MEMORANDUM

TO: Betty Baker, Chairperson
Members of the Zoning & Platting Commission

FROM: Mike McDougal, Environmental Review Specialist Senior
Planning and Development Review Department

DATE: May 17, 2011

SUBJECT: Camino Real – Ordinance Number 040513-20

Recommendation Request: Per Resolution Number 20110303-032, the City Council has requested that the Environmental Board shall make a recommendation to the Zoning and Platting Commission, which shall provide a recommendation to the City Council regarding the extension of Ordinance Number 040513-20.

Ordinance Background and Property Information

The City annexed the property located at 10140 and 10300 Old San Antonio Road in December 1997. When annexed, the property was developed with a single-family residence, horse stable and related structures. These existing structures are primarily located in the critical water quality zone and the 100 year flood plain.

The property currently has commercial zoning. The tract of land that includes the house was given a historic zoning designation. The owner desires to redevelop the site to provide the following uses and services: wedding venue; corporate retreat venue; family retreat venue; restaurant; bed and breakfast; and country inn. Under the proposed redevelopment, the owner would remove approximately 20,000 square feet of impervious cover, including structures, driveways, and riding arena, from the property.

The 5.6 acre property is located approximately 0.25 miles west of the intersection of Old San Antonio Road and the Interstate Highway 35 frontage road. The property is located within the Slaughter Creek Watershed, a desired development zone, Suburban Watershed located in the City of Austin full purpose jurisdiction. It is not located over the Edwards

Aquifer Recharge Zone. A portion of the property is located within the 100 year fully developed floodplain. Approximately 25% of the property is located within the water quality transition zone. The remaining 75% of the property is located within the critical water quality zone. Slopes vary from less than 2% to greater than 30%. Portions of the property have dense tree canopy coverage. Live Oaks, Ashe Junipers, Cedar Elms, Hackberries, and Pecans are the dominant woody vegetation. The north and east property lines are the centerline of Slaughter Creek. Rimrock critical environmental features and wetland critical environmental features are located on the property.

After Council adopted Ordinance Number 040513-20 on May 13th, 2004, the applicant received an approved site plan permit (case number SP-06-0113C) to construct two proposed restaurant buildings with associated parking and driveway facilities prior to the expiration of Ordinance Number 040513-20. The SP-06-0113C site plan permit was set to expire on May 10th, 2009; consequently the applicant requested and received two extensions to the site plan permit. The maximum amount of time that site plan permit can be extended is five years past the initial submittal date. The initial submittal date for SP-06-0113C was March 6th, 2006. No extensions can be granted past March 6th, 2011, per the Land Development Code. The Ordinance has expired with the site plan permit.

To receive a site plan permit and begin construction on the property, the applicant is seeking renewal of this Ordinance. If a renewal of Ordinance Number 040513-20 is granted, the applicant must submit a new site plan permit application for City Staff review. At this time, no construction has occurred under SP-06-0113C.

The City Council has requested that the Environmental Board shall make a recommendation to the Zoning and Platting Commission, which shall provide a recommendation to the City Council regarding the extension of Ordinance Number 040513-20 by June 7th, 2011.

Existing Conditions

Based on a recent site visit, the property appears to be utilized as a single family residence with no recent construction activities and no indication of current equestrian use. The existing horse stables are in a state of disuse and the corral area is evenly vegetated and lacks bare patches that might indicate equestrian activities. Additionally, a review of aerial photographs from 2003 to the present indicates no new development or construction activities.

Ordinance Requirements and Benefits

The City Council approved Ordinance Number 040513-20 on May 13th, 2004. This Ordinance authorized variances to Land Development Code 25-8-392 and 25-8-393 and waivers to Land Development Code 25-1-213 and 25-8-41; specifically:

- (1) A variance to Section 25-8-392 (critical water quality zone) is granted to allow a maximum impervious cover of 12,000 square feet in the critical water quality zone.
- (2) A variance to Section 25-8-393 (water quality transition zone) is granted to allow a maximum impervious cover of 43,000 square feet in the water quality transition zone.
- (3) Sections 25-1-213 (Review by the Environmental Board) and 25-8-41 (Land Use Commission Variances) regarding the processing of variances from requirements of Chapter 25-8 (Environment) are waived.

In addition to the above variances, Ordinance Number 040513-20 establishes conditions that must be satisfied in exchange for these variances. The variances provide an economic incentive for the property to be redeveloped while the conditions set forth in the Ordinance improve water quality and water conservation.

As previously mentioned, the property is entirely within the critical water quality zone and the water quality transition zone. Except for very limited purposes, the Land Development Code allows no construction in the critical water quality zone (LDC 25-8-261) and only 30% impervious cover in the water quality transition zone (LDC 25-8-393). Without the variances established in the Ordinance, the impervious cover for this 5.6 acre property could not exceed approximately 0.4 acres or 17,424 square feet (water quality transition zone = 1.4 acres; $1.4 \text{ acres} \times 30\% = 0.4 \text{ acres}$). The Ordinance encourages redevelopment of the property by increasing the allowable impervious cover and by permitting impervious cover to be located in the critical water quality zone.

Per Ordinance Number 040513-20, redevelopment of the property with the above described variances requires measures that will improve water quality and water conservation. Exhibit A (attached) of Ordinance Number 040513-20 details redevelopment conditions. The water quality and water conservation benefits of these conditions are summarized below.

Removal of Equestrian Facilities and Revegetation

Exhibit A requires the removal of the equestrian facilities. Removal of these facilities prevents continuing equestrian-related erosion with subsequent sediment transport into Slaughter Creek. The removal of equestrian facilities would allow for riparian growth and revegetation. In addition, Exhibit A of Ordinance Number 040513-20 requires that all disturbed areas on the property be revegetated, further reducing erosion and off-site sediment transport.

Native Plants

Exhibit A requires the use of at least 90% native/adapted plants (excluding turf). Native/adapted plants require less irrigation, promoting water conservation. In addition, fewer fertilizers and fewer pesticides are required for native/adapted plants. This reduces the potential for fertilizer and pesticide runoff into adjacent waterways.

Water Quality Controls

Water quality control beyond Land Development Code requirements is required in Exhibit A. This includes enhanced water quality controls, pervious pavement to allow surface water infiltration/capture/treatment (with at least 6 water quality monitoring ports), and a prohibition of coal tar based pavement sealers. In addition, concentrated discharges of storm water runoff shall be dispersed into sheet flow spreaders or other devices through vegetated areas before reaching Slaughter Creek.

Integrated Pest Management

An Integrated Pest Management Plan must be approved prior to the issuance of a site plan permit. Integrated Pest Management Plans address the type and amount of fertilizers and pesticides that can be applied to the property. In addition, Integrated Pest Management Plans prescribe the least toxic methods of pest control.

Water Quality Monitoring

The applicant must provide the City with an access easement to allow the City to install any necessary monitoring equipment and to monitor the performance of the water quality facilities. This will provide for ongoing assessment of the effectiveness of water quality controls.

Impervious Cover and Floodplain Limits

The total impervious cover permitted in the critical water quality zone is 12,000 square feet. The total impervious cover permitted in the water quality transition zone is 43,000 square feet. No new development of impervious cover is allowed in the critical water quality zone within 100 feet of the existing FEMA 100-year floodplain. This allows the applicant to redevelop the property while maintaining an undisturbed riparian area adjacent to Slaughter Creek.

Additional Details

Please refer to the attached copy of Resolution Number 20110303-032, Ordinance Number 040513-20, and Ordinance Number 040513-20 Exhibit A for more details and specific language regarding variance requirements. Additionally, a vicinity map, driving directions, photographs, and the previously approved site plan (SP-06-0113C) are attached.

Water Quality

Per City of Austin data (see attached watershed assessment), Slaughter Creek Watershed has an overall score of 'Good' with a 'Very Good' sediment quality. However, the habitat is listed as 'Fair' due to some sediment deposition. Prior to its expiration, Ordinance Number 040513-20 encouraged the removal equestrian uses from the critical water quality zone and the construction of water quality facilities that would offer superior pollutant removal over the current use. If Ordinance Number 040513-20 were

extended, redevelopment in accordance with this resolution would provide for further water quality treatment, revegetation, and erosion prevention.

Similar Cases

A review of previous variance requests yielded no similar cases.

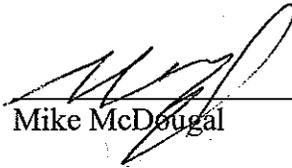
Recommendations

Based on the water quality and water conservation benefits of Resolution Number 040513-20, Staff recommends that Resolution Number 040513-20 be extended with the following conditions:

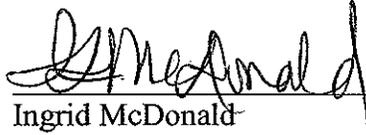
- 1) All previous conditions as stated in Exhibit A of Resolution Number 040513-20;
- 2) 609S seeding and planting on-site as determined necessary by City of Austin Environmental Resource Management Staff and by City of Austin Environmental Review Staff based on proposed construction at the time of site plan permit review;
- 3) 604S seeding and planting on-site as determined necessary by City of Austin Environmental Resource Management Staff and by City of Austin Environmental Review Staff based on proposed construction at the time of site plan permit review;
- 4) In addition to items 1 and 2 above, riparian planting and revegetation as determined necessary by City of Austin Environmental Resource Management Staff and by City of Austin Environmental Review Staff based on proposed construction at the time of site plan permit review; and
- 5) City of Austin "Do Not Mow" signs are to be placed on the property along Slaughter Creek at intervals and locations approved by City of Austin Environmental Resource Management Staff and by City of Austin Environmental Review Staff based on proposed construction at the time of site plan permit review.

If you need further details, please feel free to contact me at 974-6380.

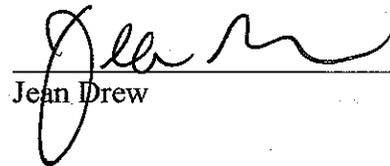
Environmental Review Specialist Senior:


Mike McDougal

Environmental Program Coordinator:


Ingrid McDonald

Environmental Officer:


Jean Drew

RESOLUTION NO. 20110303-032

WHEREAS, on May 13, 2004, the City Council adopted Ordinance No. 040513-20, granting environmental variances for a proposed project at 10140 and 10300 Old San Antonio Road; and

WHEREAS, approval of the variances was conditioned on reductions in impervious cover, elimination of equestrian uses, and other development restrictions which the Council found would result in an improvement in overall water quality for development on the property; and

WHEREAS, due to unforeseen delays, project construction did not commence within the required timeframes; and

WHEREAS, the applicant wishes to pursue development in accordance with the previously approved entitlements under Ordinance No. 040513-20, including all conditions included in Exhibit A thereto; **NOW, THEREFORE,**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

1. The city manager is directed to present the requirements of Ordinance No. 040513-20 to the Environmental Board and the Zoning & Platting Commission ("ZAP") for review, with an extended expiration date of December 23, 2011.
2. The Environmental Board shall make a recommendation to ZAP, which shall provide a recommendation to the City Council no later than June 7, 2011.

ADOPTED: March 3, 2011

ATTEST: *Shirley A. Gentry*
Shirley A. Gentry
City Clerk

ORDINANCE NO. 040513-20

AN ORDINANCE AUTHORIZING VARIANCES TO SECTIONS 25-8-392 AND 25-8-393 OF THE CITY CODE AND WAIVERS OF SECTIONS 25-1-213 AND 25-8-41 OF THE CITY CODE FOR PROPERTY LOCATED AT 10140 AND 10300 OLD SAN ANTONIO ROAD.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. FINDINGS.

- (A) The City annexed the property located at 10140 and 10300 Old San Antonio Road in December 1997 under Ordinance No. 971211-B. When annexed, the property was developed with a single-family residence and with horses and horse-related structures.
- (B) The existing structures are located in the critical water quality zone. The horses and related structures are also located in the 100 year flood plain.
- (C) Under Ordinance Nos. 011206-18 and 020822-27, the property has commercial zoning. The tract of land that includes the house was given a historic zoning designation.
- (D) The owner desires to redevelop the site to provide the following uses and services: wedding, corporate retreat, family retreat, restaurant, bed and breakfast, and country inn. Under the proposed redevelopment the owner would remove approximately 20,000 square feet of impervious cover, including structures, driveways, and riding arena, from the property.
- (E) The City Council finds that the immediate removal of the equestrian uses from the critical water quality zone and flood plain, the decrease of impervious cover in the critical water quality zone and the 100 year flood plain, and redevelopment of the property in accordance with the requirements of Exhibit A will result in an improvement of the water quality on the property.

PART 2. This part applies to the redevelopment of the property located at 10140 and 10300 Old San Antonio Road for the uses and services described in Part 1.

- (A) A variance to Section 25-8-392 (*Critical Water Quality Zone*) is granted to allow a maximum impervious cover of 12,000 square feet in the critical water quality zone.

- (B) A variance to Section 25-8-393 (*Water Quality Transition Zone*) is granted to allow a maximum impervious cover of 43,000 square feet in the water quality transition zone.
- (C) Sections 25-1-213 (*Review by the Environmental Board*) and 25-8-41 (*Land Use Commission Variances*) regarding the processing of variances from requirements of Chapter 25-8 (*Environment*) are waived.
- (D) Development must comply with Exhibit A of this ordinance, incorporated into this ordinance for all purposes.

PART 3. This ordinance will expire on May 13, 2006 if a site plan for the development described in this ordinance is not approved by that date.

PART 4. This ordinance takes effect on May 24, 2004.

PASSED AND APPROVED

_____ May 13 _____, 2004

Will Wynn
Pro Tem
Will Wynn
Mayor

APPROVED:

David Allan Smith
David Allan Smith
City Attorney

ATTEST:

Shirley A. Brown
Shirley A. Brown
City Clerk

EXHIBIT A

Exhibit A

1. Water quality controls shall be provided for all areas of new development or redevelopment. The water quality controls must include:
 - a) Use of pervious pavement with a subsurface gravel storage system capable of capturing and infiltrating, at a minimum, 1.3 inches of runoff from all new parking areas and driveways. The system must be designed so that infiltration of the design capture volume will occur within 72 hours after a rainfall event.
 - b) Capture of rainfall runoff from rooftops of the chapel and associated structures with reuse on-site. A minimum of 5,000 gallons of storage volume must be provided.
 - c) Discharge of storm water flows in excess of the capacity of the chapel rainfall capture system to water quality controls with a capture volume of 1.3 inches or greater. This treatment system shall include vegetated elements such as bioretention systems or vegetated filter strips to enhance nutrient removal.
 - d) All concentrated discharges of storm water runoff shall be dispersed into sheet flow with flow spreaders or other devices through vegetated areas before reaching Slaughter Creek, and
 - e) An Integrated Pest Management (IPM) Plan approved by the Director of the Watershed Protection and Development Review Department will be adopted by restrictive covenant for the site prior to issuance of a site plan.
 - f) The design of the pervious pavement/infiltration areas must incorporate at least 6 monitoring ports.
 - g) Before release of a site plan to construct the water quality facilities required in Section 1 of this Exhibit, the owner must provide the City with an access easement to allow the City to install any necessary monitoring equipment and to monitor the performance of the water quality facilities.

2. Ninety percent (90%) of the total plant material used in the project (exclusive of turf) shall be native to Central Texas, and/or native and adapted plants recommended in the Grow Green Native and Adapted Landscape Plants Guide prepared by the City of Austin and the Texas Cooperative Extension, and published August 2003. Plants listed on the Invasive Species list or the Problem Plants list in the Grow Green Plants Guide may not be included.

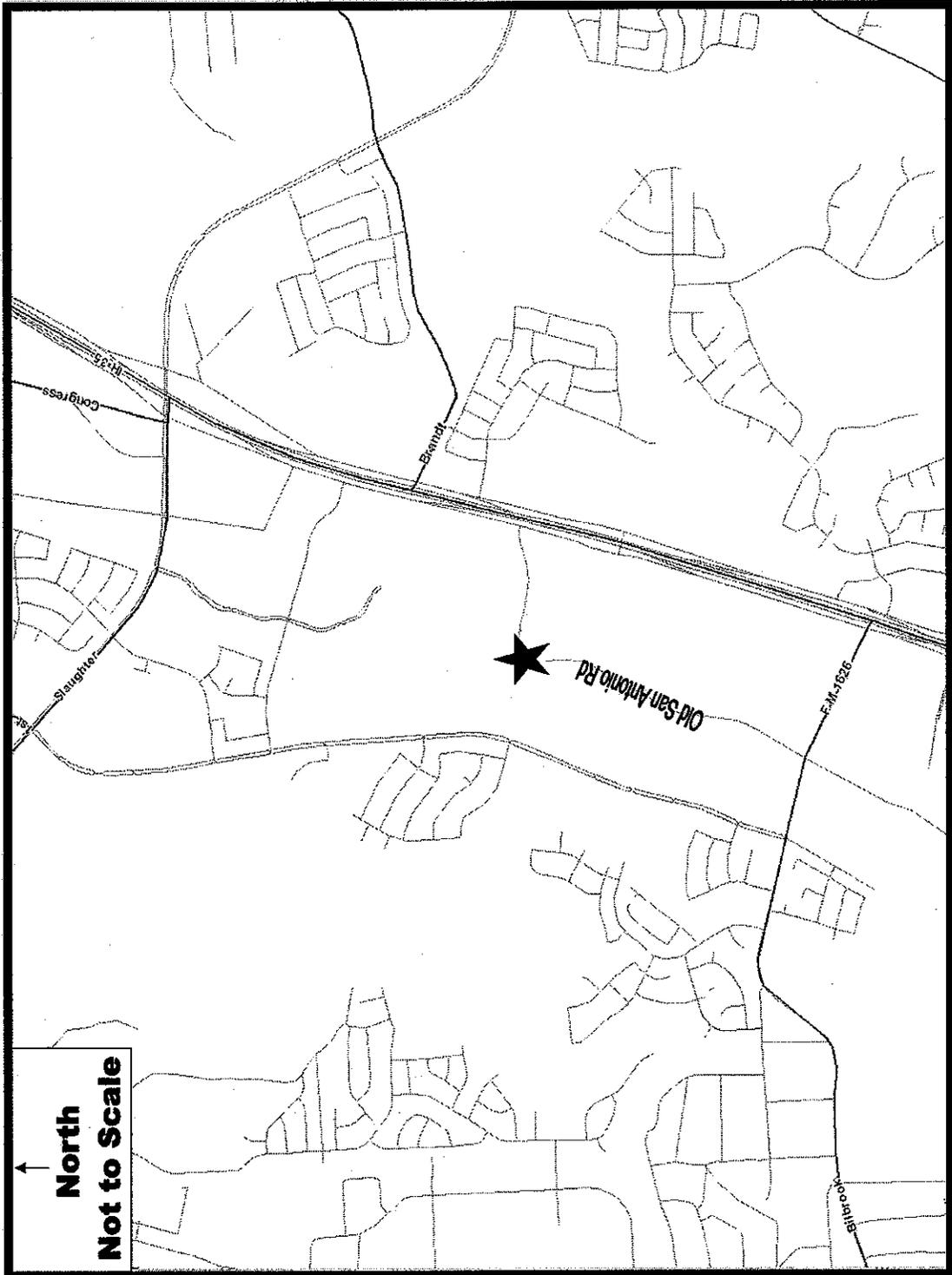
3. No coal tar-based pavement sealers will be allowed for new or existing pavement areas.

4. The total amount of impervious cover allowed in the critical water quality zone is 12,000 square feet.

5. No new development of impervious cover is allowed in the critical water quality zone within 100 feet of the existing FEMA 100-year floodplain.

6. The total amount of impervious cover allowed in the water quality allowed in the transition zone is 43,000 square feet.
7. Existing horse stables and all associated development, including but not limited to the riding arena, storage areas, and access, must be removed from the site and any disturbed areas must be revegetated before issuance of a certificate of occupancy for any new development.
8. All disturbed areas on the site must be restored with permanent vegetation.

**Camino Real
Vicinity Map**



North
↑
Not to Scale

Camino Real
Driving Directions

Beginning southbound on IH 35 at Cesar Chavez:

Drive south on IH 35 for 7.5 miles

Take exit 226

Drive south on IH 35 frontage for 0.7 miles

Turn right on Old San Antonio Road

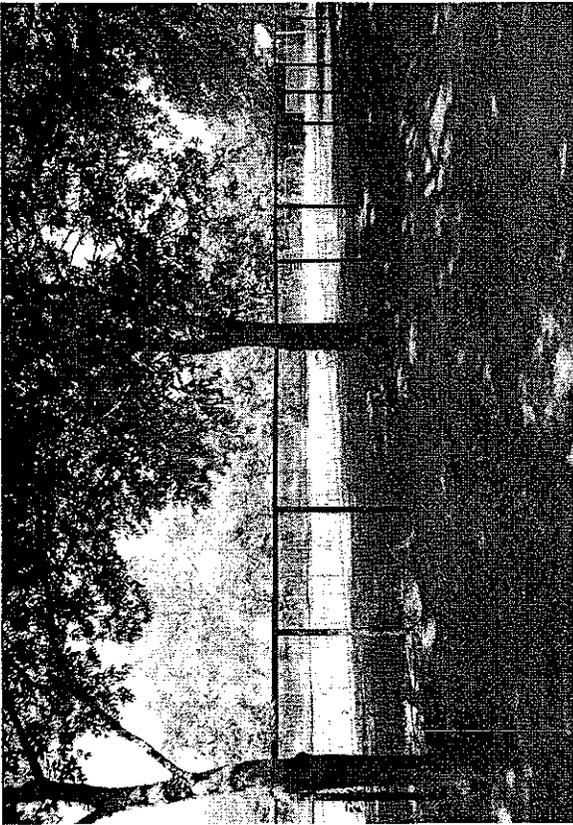
Continue on Old San Antonio Road for 0.3 miles

The Camino Real property will be on your right.

Camino Real
Aerial Photo



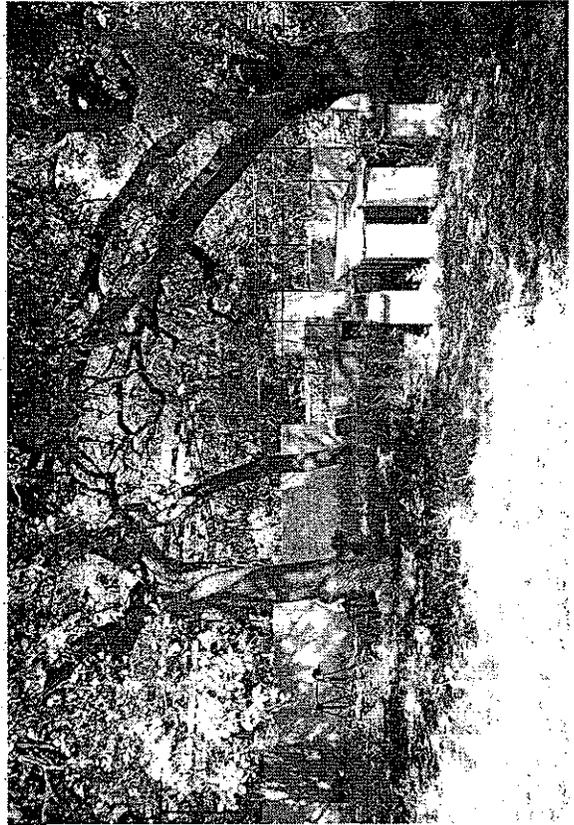
**Camino Real
Site Photos**



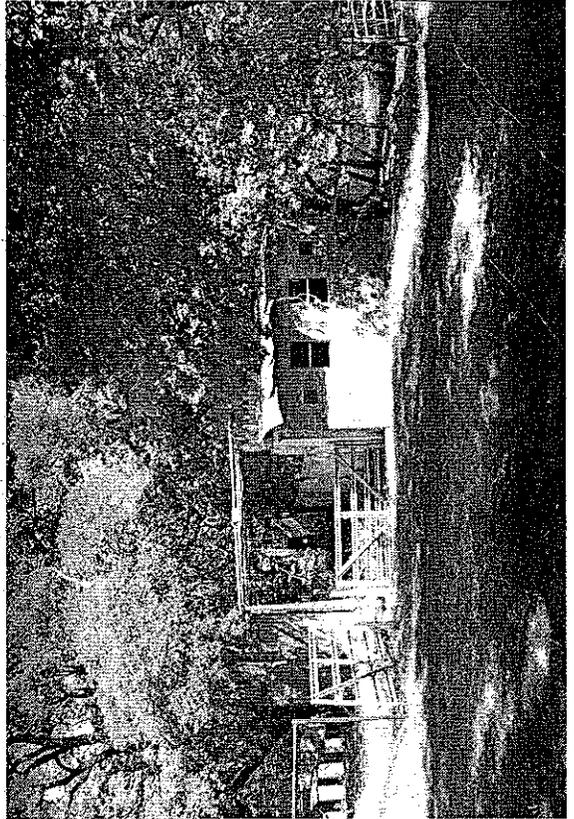
Horse Corral Photo 1



Horse Corral Photo 2



White stable located near Onion Creek

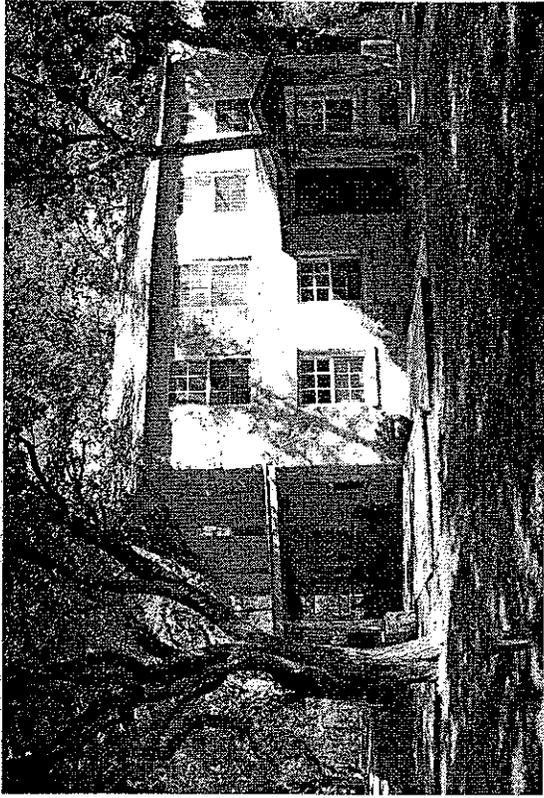


Red stable located near Onion Creek

**Camino Real
Site Photos (continued)**



Onion Creek as seen from adjacent to the red stable



House

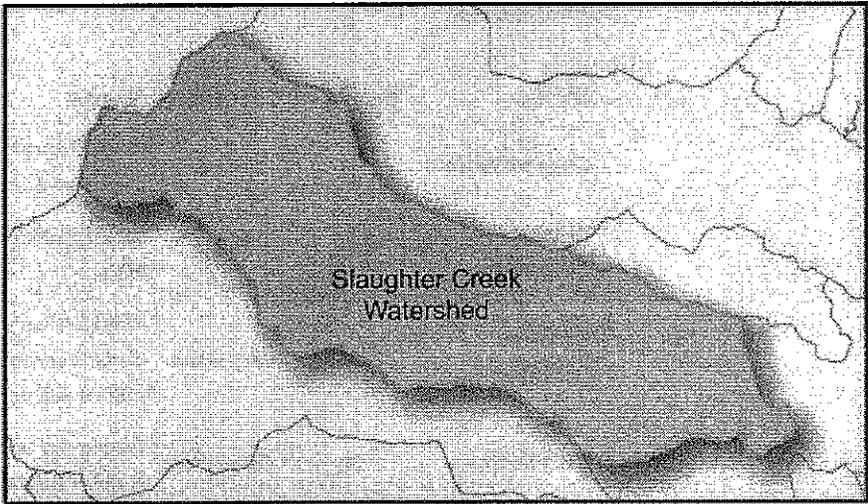


Undeveloped area


WATERSHED PROTECTION
Education

Flood
Erosion
Master Plan
Water Quality

Austin's Watersheds



- [Fast Facts](#)
- [Photo Gallery](#)
- [Environmental Creek Assessments](#)

Fast Facts

Population 2000: 33,471
 2030: 76,579

Creek Length 18 miles

Drainage Area 31 square miles

Drains To Onion Creek just east of I-35

Well Known Sites

LBJ Wildflower Center, Slaughter Creek Metro Park, Mary Moore Searight Park, Veloway, Bowie H.S., Akins HS, Kiker and Casey Elementary Schools, Bending Oaks

Conservation Easement, Paschall Conservation Easement, Baker Water Quality Protection Land, Hafif Water Quality Protection Land, Hielscher Water Quality Protection Land

Land Use	Residential	26%
	Business	1%
	Civic	1%
	Parks	5%
	Roadways	8%
	Undeveloped	59%

Watershed Facts

- The creek is named for Augustine B. Slaughter, a Texas Ranger from the 1840s. It is said that he is buried on the banks of the creek.
- The Slaughter Creek watershed passes through the environmentally sensitive Edwards Aquifer Recharge Zone where water travels through caves and sinkholes to "recharge" the aquifer.
- The creek is typically dry in the recharge zone.
- In response to citizen calls, investigators find an average of 28 spills each year; the most common spill type is petroleum, followed by sewage then trash.

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Creek Assessments

Environmental

Index	Score	Category	Notes
Overall Score	72	Good	Slaughter ranks 8 out of 46 watersheds in overall quality
Water Chemistry	63	Good	Water quality is average, ammonia is high
Sediment Quality	86	Very Good	PAHs are very low, herbicides/pesticides are very low, metals are very low
Recreation	80	Very Good	During dry weather conditions, bacteria is not a threat
Aesthetics	83	Very Good	Litter is not a problem, no odor, algae covers 10-20% of creek
Habitat	57	Fair	Some sediment deposition
Aquatic Life	60	Fair	Benthic macroinvertebrate community is good, diatom community is good

- Although Slaughter Creek is listed on the State 303(d) List of Impaired Waterbodies for an impaired macrobenthos community, the State is conducting more sampling to better characterize the aquatic life.
- Residential developments downstream of the recharge zone impact water quality and may contribute to elevated nutrient concentrations.

[Learn More](#)

Environmental scores are based on a full range of chemical, biological, and physical assessments.

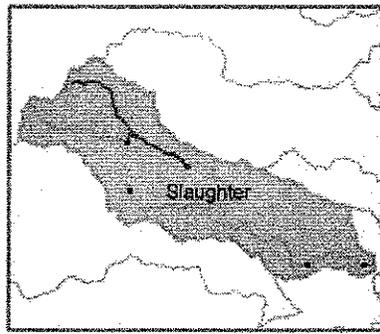
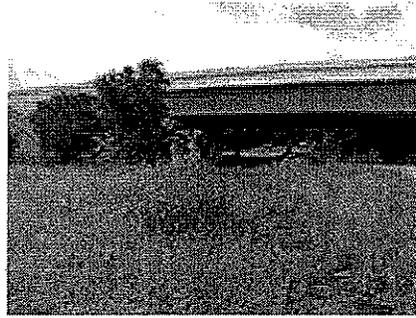


Photo Gallery



Slaughter Creek Branch at Hwy 45 West

Home :: Flood :: Erosion :: Master Plan :: Water Quality



Austin City Connection - The Official Web site of the City of Austin

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P.O. Box 1088, Austin, TX 78767 (512) 974-2000

CAMINO REAL

ADMINISTRATIVE CONSOLIDATED SITE PLAN 10140 Old San Antonio Road Austin, Texas

NOTES:

- This site is not located over the Edwards and/or Balcones Zone.
- LEGAL DESCRIPTION:** A survey of 5.632 acres in the S. F. ... survey in Travis County, Texas, being a portion of a 6.392 acre tract described in warranty deed with vendor's name as Moe, Lumy & Cully, Inc., dated September 30, 2005 and recorded under document no. 2005186518 of the official public records of Travis County, Texas.
- WATER STATUS:** The project is located in the Slaughter Creek Watershed and is classified as a suburban watershed. It is subject to the Comprehensive Watershed Ordinance as a suburban watershed as granted by ordinance No. 040513-30.
- FLOOD PLAIN:** No flood plain is shown on the site plan. The project is not located in any flood plain as determined by the Federal Emergency Management Agency (FEMA) on the basis of the Flood Insurance Rate Study (FIRMS) for Travis County, Texas and incorporated herein.
- LEGAL LOT STATUS:** The City of Austin has established that these are legal lots (see file no. CA-01-0050) and CA-04-0151).
- Establishing horse stables and all associated development, including but not limited to the riding arena, exercise areas, and access, will be removed from the site and any disturbed areas must be revegetated before issuance of a Certificate of Occupancy for any new development.
- Ordinance No. 040513-30 (May 13, 2004) granted a variance to Impervious cover in the Comprehensive Watershed Ordinance, Sections 25-5-302 and 25-5-303A, for the purpose of developing a total of 12,000 sq. ft. of impervious cover in the Critical Water Quality Zone, and a total of 42,000 sq. ft. of impervious cover in the Water Quality Transition Zone.
- Outdoor systems to include best guard in order to prevent debris from entering.
- All utilities within the CEF setback will comply with Section 25-5-281(C)(2) of the Austin LDC, regarding among other things, the protection and retention of the natural vegetative cover. However, partitioning utility lines and stormwater re-infiltration is allowed.
- Three documents are required to be provided with Travis County prior to the start of construction occurring for this project. No construction shall occur on this project without the following documents being received and the document numbers listed below:
 - Resubmittal Consent regarding Unified Development and Maintenance of Drainage Facilities - Document No., 2004041701
 - Access Easement - Document No., 2004124171
 - Easement Easement - Document No., 2004124170
- Five walls will be installed in Bldg. #1 in order to prevent the area from exceeding 6000 sq. ft.
- Administrative Variance has been granted. No affidavits will be constructed in R.O.M. need for this site plan have been satisfied by participation in the City of Austin Stormwater Management Program. Detention requirements for the 2-year frequency storm runoff for this site plan are provided on-site via the water quality controls.

FIRE FLOW TEST DATE: 4/21/08
FIRE FLOW REQUIRED PER 2003 IFC TABLE B106.1: 1500 gpm
NET CHARGE: 1000 GPM BUFFER AREA (SEE NOTE 11)
BULK STORAGE: 1000 GPM BUFFER AREA (SEE NOTE 11)
HYDRANT 12357: STATIC PRESSURE: 110 PSI; RESIDUAL PRESSURE: 100 PSI
HYDRANT 12358: STATIC PRESSURE: 117 PSI; VELOCITY PRESSURE: 100 PSI
FLOW RATE: 1800 GPM

REVISIONS/CORRECTIONS

NO.	DESCRIPTION	REVISION/ADD (V) OR DELETION (D)	TOTAL SITE IMP. COVER (SQ FT)	CITY OF AUSTIN APPROVAL/DATE	DATE
C1	Change water main size from 12" to 14" for the entire length of the water main.	14"	12,000 sq. ft.	05/14/08	05/14/08
C2	Change water main size from 12" to 14" for the entire length of the water main.	14"	12,000 sq. ft.	05/14/08	05/14/08
C3	Change water main size from 12" to 14" for the entire length of the water main.	14"	12,000 sq. ft.	05/14/08	05/14/08
C4	Change water main size from 12" to 14" for the entire length of the water main.	14"	12,000 sq. ft.	05/14/08	05/14/08

Fire flow requirements per IFC 105.1

Building Use	Water Pressure Zone	Static Pressure	Flow Rate
Building A - Restaurant	Zone South	110 P.S.I.	1500 gpm
Building B - Restaurant	Zone South	110 P.S.I.	1500 gpm
Building C - Historic Residence	Zone South	110 P.S.I.	1500 gpm
Building D - Historic Residence	Zone South	110 P.S.I.	1500 gpm

ZONING and SITE MAP
 Completeness Check Submitted 2/28/06
 Formal Submittal Submitted 3/6/06

TEXAS WATER CODE 13.522
SUBMETERING IS REQUIRED ON THIS PROJECT.

APPROVED BY:
 [Signature]
 [Signature]
 [Signature]

DATE: 05/14/08
TIME: 5:10 PM

SP-06-0113C

COVER SHEET

OWNER:
 Moe, Lumy & Cully, Inc.
 10140 Old San Antonio Road
 Austin, TX 78758
 PHONE NUMBER: 512-471-8684

AGENT/GENERAL CONTRACTOR:
 Mitch Wright
 Land Strategies, Inc.
 100 Land Creek Cove, Suite 100
 Austin, TX 78758
 PHONE NUMBER: 512-328-6172

DESIGNER AND LANDSCAPE ARCHITECT:
 Mitch Wright
 Land Strategies, Inc.
 100 Land Creek Cove, Suite 100
 Austin, TX 78758
 PHONE NUMBER: 512-328-6172

ENGINEER:
 F. Walker, HWA, P.E.
 1000 West Avenue
 Austin, TX 78703
 PHONE NUMBER: 512-472-0000

UTILITIES:
 Water & Sewer: City of Austin, 500 West Avenue, Austin, TX 78703, Phone: 512-472-0000
 Gas: Southern Utility Gas, 1000 West Avenue, Austin, TX 78703, Phone: 512-465-1122
 Electric: Austin Energy, 500 West Avenue, Austin, TX 78703, Phone: 512-472-0000
 Telephone: AT&T, 1201 North Mojos Way, Austin, TX 78703, Phone: 512-472-0000

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NOTES:

- 1. Driveways located on existing drive cuts.
- 2. This site is composed of two lots/tracks. It has been approved as one cohesive development. If portions of the lots/tracks are sold, application for subdivision and site plan approval may be required.
- 3. There are no buildings within 50 feet of the site.

BLDG A 2.46 ACRES
 use: general restaurant
 area: 3440 sf
 slab: slab on grade
 floor: single story
 not to exceed 35' height

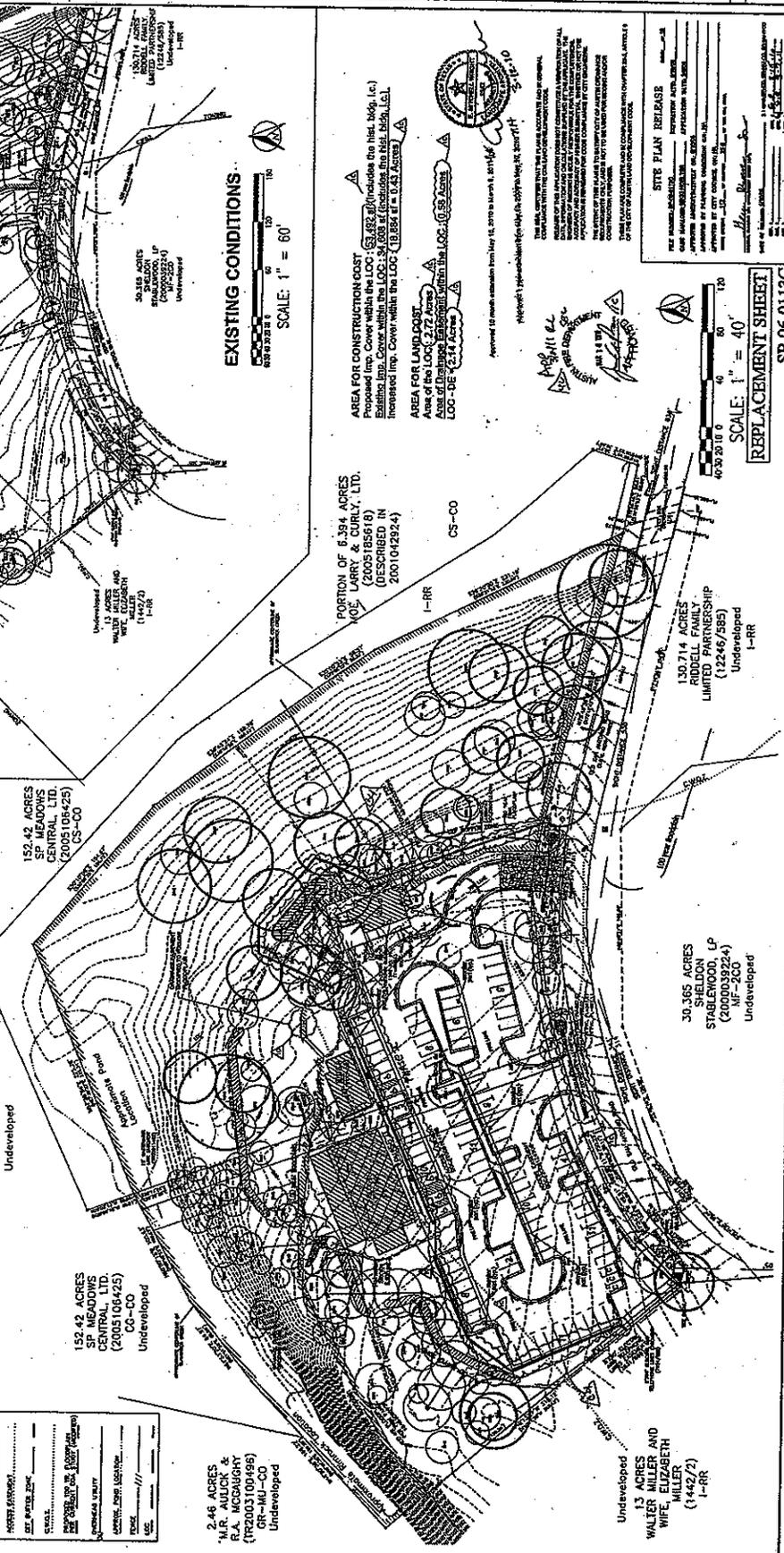
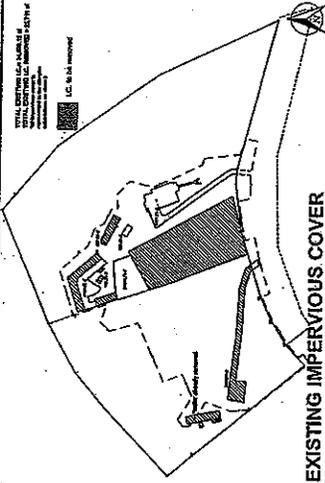
BLDG B 13.36 ACRES
 use: general restaurant
 area: 1206 sf
 slab: slab on grade
 floor: two story (historic)

BLDG C 152.42 ACRES
 use: residence
 area: 1206 sf
 slab: slab on grade
 floor: not to exceed 35' height

LAND USE LEGEND

	EXISTING DRIVEWAY
	DRIVEWAY
	PARKING AREA
	UTILITY
	WETLAND
	FLOOD ZONE
	EASEMENT
	BOUNDARY
	ROAD
	RAILROAD
	OTHER

EXISTING IMPERVIOUS COVER



EXISTING CONDITIONS
 SCALE: 1" = 60'

REPLACEMENT SHEET
 SCALE: 1" = 40'

AREA FOR CONSTRUCTION FOOT
 Proposed Imp. Cover within the LOC: 65,487 sq. ft. (Includes the 164,366 sq. ft.)
 Existing Imp. Cover within the LOC: 5,888 sq. ft. (Includes the 64,598 sq. ft.)
 Increased Imp. Cover within the LOC: 59,600 sq. ft. (1.36 Acres)

AREA FOR LAND COVER
 Proposed Land Cover within the LOC: 27,782 sq. ft. (0.63 Acres)
 Existing Land Cover within the LOC: 1,344 sq. ft. (0.03 Acres)



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 (2005185618)
 (DESCRIBED IN
 2001042824)

130.714 ACRES
 RODELL FAMILY
 LIMITED PARTNERSHIP
 (12246/285)
 Undeveloped
 I-RR

30.365 ACRES
 STARBUCKS
 (20003924)
 NF-200
 Undeveloped

Undeveloped
 13 ACRES
 WALTER MILLER AND
 WIFE, ELIZABETH
 MILLER
 (1442/2)
 I-RR

2.46 ACRES
 M.R. AULICK &
 R.A. MCGAUGHEY
 (122001100498)
 GR-NJ-CO
 Undeveloped

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 Undeveloped

OWNER INFORMATION:
 1501 LARRY CREEK ROAD
 WEST LAKENBY, TEXAS 75167
 PHONE: 972-477-8888

REVISION BLOCK

NO.	DATE	DESCRIPTION
1	05/11/11	ISSUED FOR PERMITS

LAND STRATEGIES INC.
 1510 LARRY CREEK ST.
 AUSTIN, TX 78740
 FAX: (512) 328-4950
 TEL: (512) 328-4972
 LANDSTRAT@aol.com

Site Plan Notes and Calculations
 1010 Old Sam Antonio Road
 CAMINO REAL

3 OF 4 SHEET

TABLE 1

Area	Area (sq ft)	Volume (cu yd)
Excavation	1,200	10
Fill	3,800	45
Clearing	1,500	15
Grading	2,500	25
Asphalt	1,000	10
Concrete	2,000	20
Drainage	500	5
Other	1,000	10
Total	11,500	115

TABLE 2

Area	Area (sq ft)	Volume (cu yd)
Excavation	1,200	10
Fill	3,800	45
Clearing	1,500	15
Grading	2,500	25
Asphalt	1,000	10
Concrete	2,000	20
Drainage	500	5
Other	1,000	10
Total	11,500	115

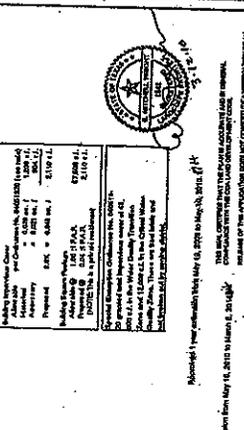
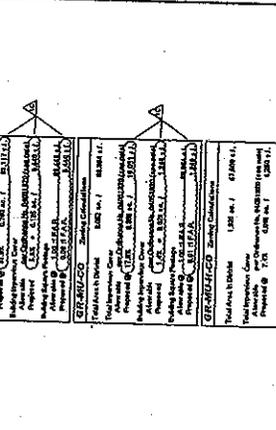


TABLE 3

Area	Area (sq ft)	Volume (cu yd)
Excavation	1,200	10
Fill	3,800	45
Clearing	1,500	15
Grading	2,500	25
Asphalt	1,000	10
Concrete	2,000	20
Drainage	500	5
Other	1,000	10
Total	11,500	115

SITE PLAN RELEASE
 This site plan release is for the use of the applicant only. It is not to be used for any other purpose without the written consent of Land Strategies Inc.
 Land Strategies Inc.
 1510 Larry Creek St.
 Austin, TX 78740
 Tel: (512) 328-4972
 Fax: (512) 328-4950

STANDARD CONSTRUCTION METHODS AROUND TREES

- Prior to excavation within the 6-foot buffer of the trunk of these adjacent to other trees, the contractor shall install a trench box or trench shields to protect the trunk of the tree. A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree. A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree. A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree.
- In critical root zones, the contractor shall install a trench box or trench shields to protect the trunk of the tree. A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree. A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree.
- A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree. A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree.
- When excavating within the critical root zone, the contractor shall install a trench box or trench shields to protect the trunk of the tree. A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree.
- When excavating within the critical root zone, the contractor shall install a trench box or trench shields to protect the trunk of the tree. A trench box or trench shields shall be placed in a trench excavated to a depth of 4 feet below the trunk of the tree.

DEVELOPER INFORMATION

OWNER: Name: Larry, Cheryl
 Address: 1010 Old Sam Antonio Road
 Phone: 972-477-8888

DESIGNER: Name: Land Strategies Inc.
 Address: 1510 Larry Creek St., Austin, TX 78740
 Phone: 512-328-4972

ORDINANCE REQUIREMENTS

1. Any proposed (new) building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
2. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
3. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
4. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
5. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
6. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
7. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
8. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
9. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
10. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.

CONCRETE CALCULATION

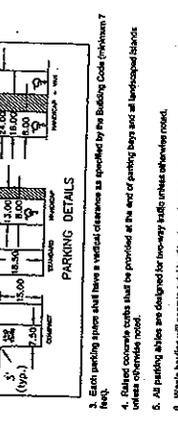
Area	Area (sq ft)	Volume (cu yd)
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Clearing	1,500	15
Grading	2,500	25
Asphalt	1,000	10
Concrete	2,000	20
Drainage	500	5
Other	1,000	10
Total	11,500	115

APPROVED FOR CONSTRUCTION
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 Fax: (512) 328-4950

GENERAL NOTES AND ORDINANCE REQUIREMENTS

1. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
2. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
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9. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.
10. The proposed building shall be constructed in accordance with the Ordinance of the City of Austin, Texas, and all applicable ordinances.



AMERICANS WITH DISABILITIES ACT

The proposed building shall be constructed in accordance with the Americans with Disabilities Act (ADA) and all applicable regulations. The proposed building shall be constructed in accordance with the Americans with Disabilities Act (ADA) and all applicable regulations. The proposed building shall be constructed in accordance with the Americans with Disabilities Act (ADA) and all applicable regulations.

CONCRETE CALCULATION

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LAND STRATEGIES INC.
 1010 LAND CREEK CV.
 ALBANY, NY 12244
 PAUL LINDEMAN & ASSOCIATES
 PAE (612) 223-0172
 EPL@landscapes.com

CAMINO REAL
 10140 Old San Antonio Road
 Landscape Ordinance & Tree Protection Plan
 05.12.10

OWNER INFORMATION:
 MOSE LARSEN CLARY
 1525 ROCKY HILL
 PHOENIX, AZ 85024

REVISION BLOCK:
 NO. DATE BY COMMENTS

SITE PLAN RELEASE

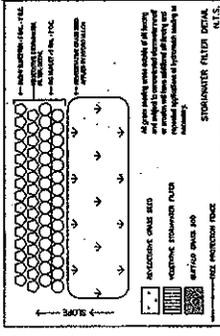
THIS SITE PLAN RELEASE IS A STATEMENT BY THE ENGINEER THAT THE SITE PLAN SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY OF ALBANY, NEW YORK, ON 05/12/10, IS THE SAME AS THE SITE PLAN SUBMITTED TO THE CITY OF ALBANY, NEW YORK, ON 05/12/10.

DATE: 05/12/10
 ENGINEER: [Signature]
 PROJECT: CAMINO REAL

TREE REPLACEMENT INFORMATION

ALL TREES TO BE REMOVED SHALL BE REPLACED WITH THE FOLLOWING SPECIFICATIONS:

- 1" DBH: 1" DBH
- 2" DBH: 2" DBH
- 3" DBH: 3" DBH
- 4" DBH: 4" DBH
- 5" DBH: 5" DBH
- 6" DBH: 6" DBH
- 7" DBH: 7" DBH
- 8" DBH: 8" DBH
- 9" DBH: 9" DBH
- 10" DBH: 10" DBH
- 11" DBH: 11" DBH
- 12" DBH: 12" DBH
- 13" DBH: 13" DBH
- 14" DBH: 14" DBH
- 15" DBH: 15" DBH
- 16" DBH: 16" DBH
- 17" DBH: 17" DBH
- 18" DBH: 18" DBH
- 19" DBH: 19" DBH
- 20" DBH: 20" DBH
- 21" DBH: 21" DBH
- 22" DBH: 22" DBH
- 23" DBH: 23" DBH
- 24" DBH: 24" DBH
- 25" DBH: 25" DBH
- 26" DBH: 26" DBH
- 27" DBH: 27" DBH
- 28" DBH: 28" DBH
- 29" DBH: 29" DBH
- 30" DBH: 30" DBH
- 31" DBH: 31" DBH
- 32" DBH: 32" DBH
- 33" DBH: 33" DBH
- 34" DBH: 34" DBH
- 35" DBH: 35" DBH
- 36" DBH: 36" DBH
- 37" DBH: 37" DBH
- 38" DBH: 38" DBH
- 39" DBH: 39" DBH
- 40" DBH: 40" DBH
- 41" DBH: 41" DBH
- 42" DBH: 42" DBH
- 43" DBH: 43" DBH
- 44" DBH: 44" DBH
- 45" DBH: 45" DBH
- 46" DBH: 46" DBH
- 47" DBH: 47" DBH
- 48" DBH: 48" DBH
- 49" DBH: 49" DBH
- 50" DBH: 50" DBH



THESE TREES SHALL BE REPLACED:

Tree No.	Tree Size	Tree Species	Tree Location
1	1" DBH	...	...
2	2" DBH	...	...
3	3" DBH	...	...
4	4" DBH	...	...
5	5" DBH	...	...
6	6" DBH	...	...
7	7" DBH	...	...
8	8" DBH	...	...
9	9" DBH	...	...
10	10" DBH	...	...
11	11" DBH
12	12" DBH
13	13" DBH
14	14" DBH
15	15" DBH
16	16" DBH
17	17" DBH
18	18" DBH
19	19" DBH
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25	25" DBH
26	26" DBH
27	27" DBH
28	28" DBH
29	29" DBH
30	30" DBH
31	31" DBH
32	32" DBH
33	33" DBH
34	34" DBH	...	...
35	35" DBH	...	...
36	36" DBH	...	...
37	37" DBH	...	...
38	38" DBH	...	...
39	39" DBH	...	...
40	40" DBH	...	...
41	41" DBH	...	...
42	42" DBH	...	...
43	43" DBH	...	...
44	44" DBH	...	...
45	45" DBH	...	...
46	46" DBH	...	...
47	47" DBH	...	...
48	48" DBH	...	...
49	49" DBH	...	...
50	50" DBH	...	...

REPLACEMENT SHEET
 SP-06-0113C

PROPERTY INFORMATION

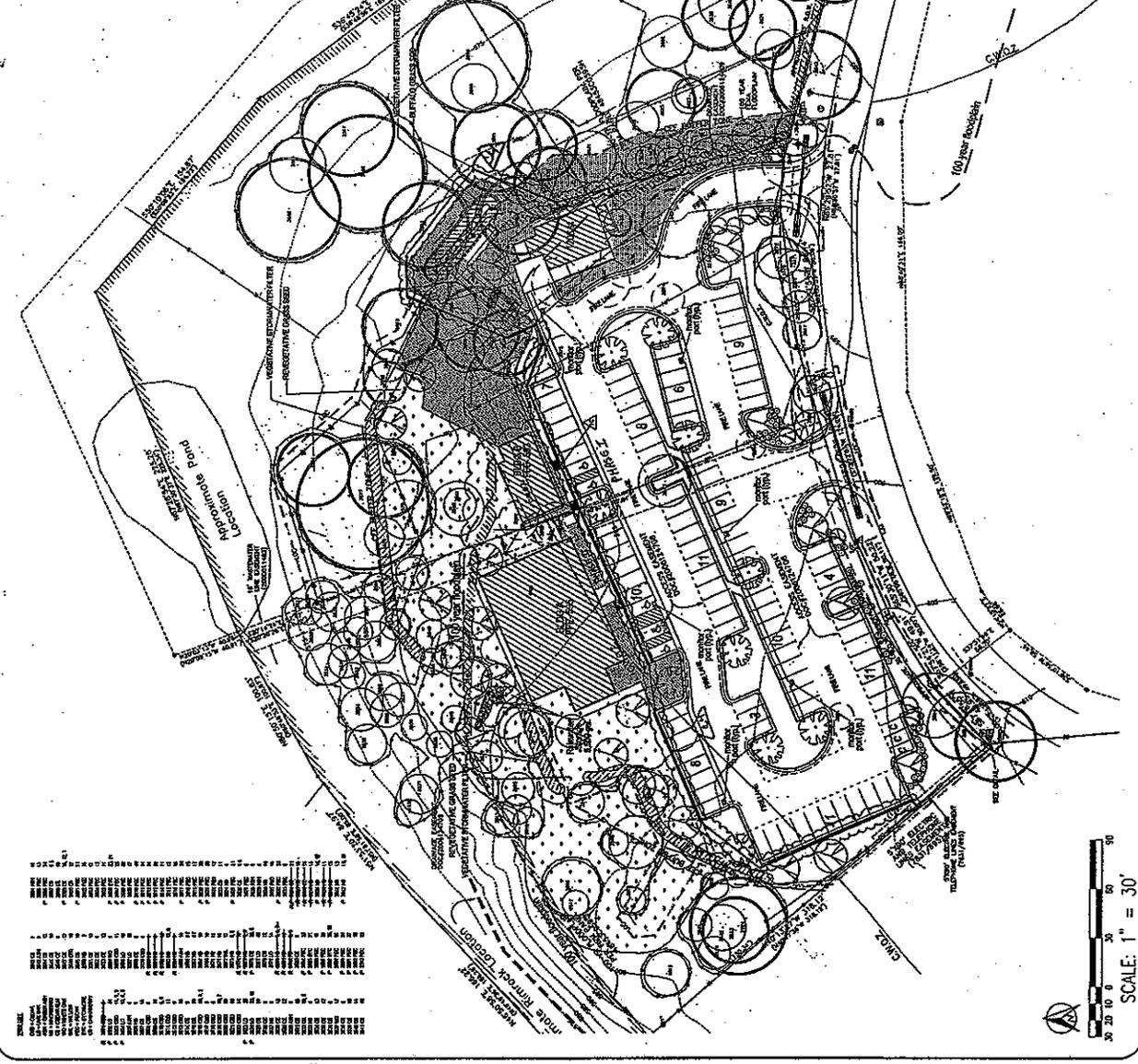
OWNER: MOSE LARSEN CLARY
 ADDRESS: 1525 ROCKY HILL, PHOENIX, AZ 85024
 PROJECT: CAMINO REAL

PERMIT INFORMATION

PERMIT NO.: [Blank]
 CITY: ALBANY, NY
 COUNTY: [Blank]

DATE

DATE: 05/12/10



NO.	DESCRIPTION	DATE

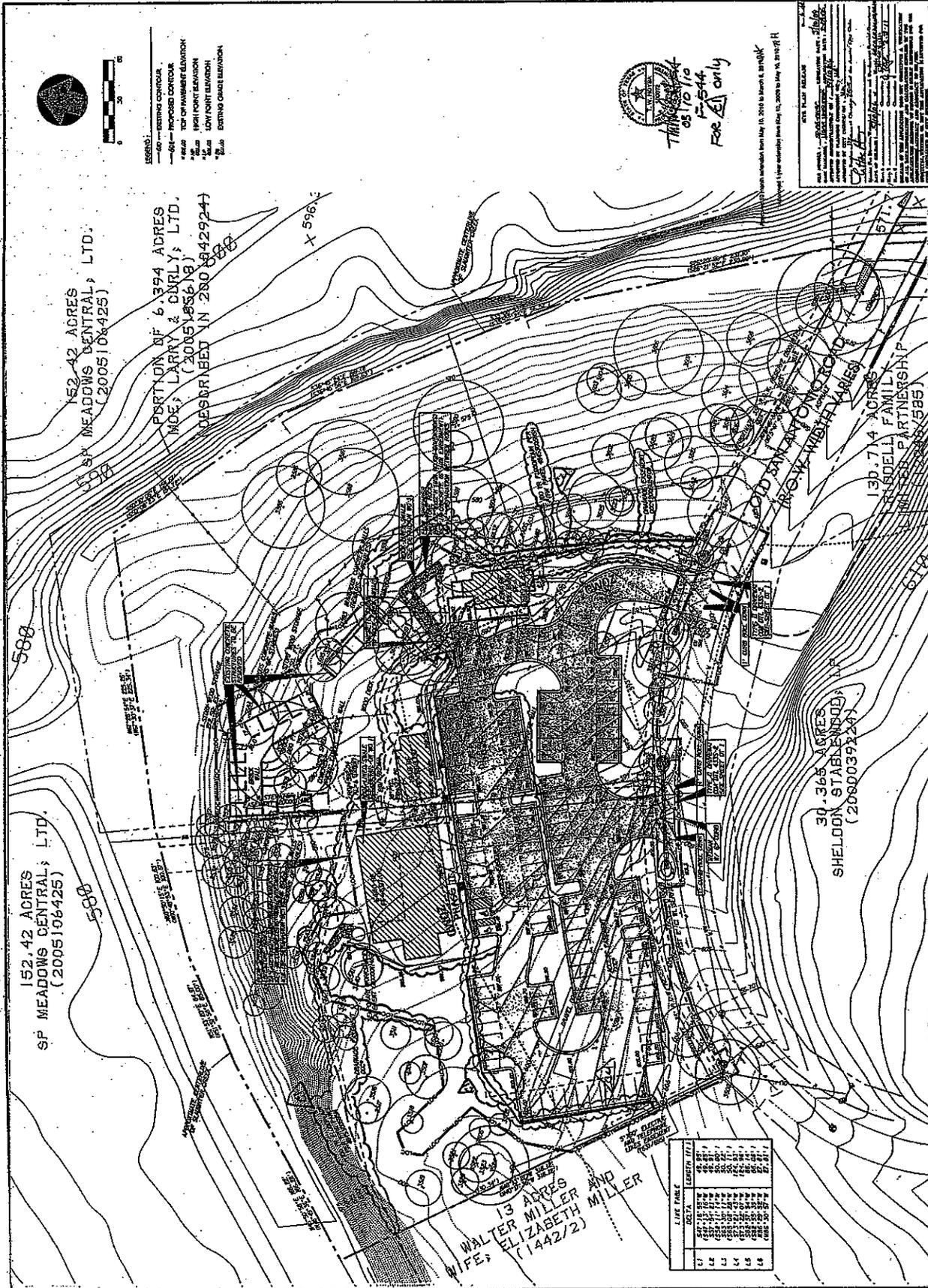
DATE	
SCALE	
PROJECT	
CLIENT	
DESIGNER	
CHECKER	
APPROVER	

CAMINO REAL
SITE IMPROVEMENTS
10140 OLD SAN ANTONIO ROAD
GRADING PLAN



LONGARO & CLARK
 Consulting Engineers
 10000 Wilshire Blvd., Suite 1000
 Los Angeles, California 90024
 Phone: (213) 475-1111
 Telex: 251111

GPI
 19A



LEGEND:
 --- EXISTING CONTOUR
 --- PROPOSED CONTOUR
 --- TOP OF FINISH ELEVATION
 --- HIGH POINT ELEVATION
 --- LOW POINT ELEVATION
 --- EXISTING GRADE ELEVATION

THOMAS
 05/10/10
 P-544
 Fee All only

DATE	
SCALE	
PROJECT	
CLIENT	
DESIGNER	
CHECKER	
APPROVER	

152.42 ACRES
 SP MEADOWS CENTRAL, LTD.
 (2005106425)

PORTION OF 6.394 ACRES
 MOE, LARRY & CARLY, LTD.
 (2005185618)
 DESCRIBED IN 280 (42924)

30.366 ACRES
 SHELDON STABLEWOOD, INC.
 (206003924)

130.714 ACRES
 BRADDELL FAMILY
 PARTNERSHIP
 (2005106425)

13 ACRES
 WALTER MILLER AND
 ELIZABETH MILLER
 WIFE (1442/2)

LINE	FROM	TO	LENGTH
1	100	101	10.00
2	101	102	10.00
3	102	103	10.00
4	103	104	10.00
5	104	105	10.00
6	105	106	10.00
7	106	107	10.00
8	107	108	10.00
9	108	109	10.00
10	109	110	10.00

CAMINO REAL
 SITE IMPROVEMENTS
 10140 OLD SAN ANTONIO ROAD
 DRAINAGE AREA MAP



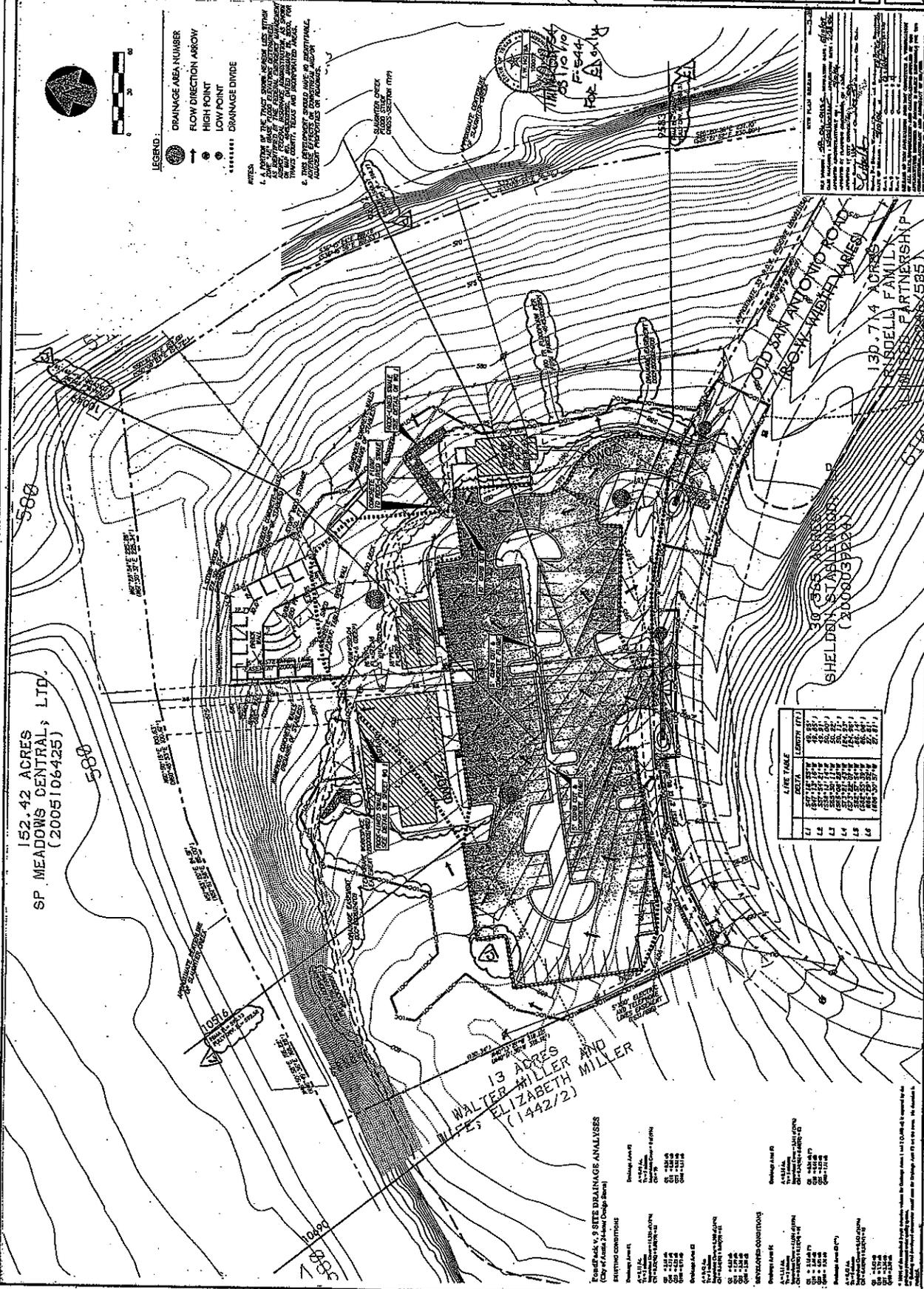
LONGARO & CARRÉ
 Consulting Engineers
 10000 Wilshire Blvd., Suite 1000
 Los Angeles, California 90024
 Telephone: (213) 475-1100
 Fax: (213) 475-1101

DM1
 7
 18

- LEGEND:**
- DRAINAGE AREA NUMBER
 - FLOW DIRECTION ARROW
 - HIGH POINT
 - LOW POINT
 - DRAINAGE DIVIDE

NOTES:

1. A PORTION OF THE TRACT SHOWN ON THESE LINES IS SET OFF AS A PUBLIC HIGHWAY BY THE STATE OF CALIFORNIA. THE STATE OF CALIFORNIA HAS THE RIGHT TO TAKE ANY PORTION OF THE TRACT SHOWN ON THESE LINES AS A PUBLIC HIGHWAY AT ANY TIME.
2. THIS ENGINEERING WORK WAS PREPARED FOR THE PROJECT DESCRIBED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



LINK TABLE

LINK	LENGTH (FT)
L1	100.00
L2	100.00
L3	100.00
L4	100.00
L5	100.00
L6	100.00
L7	100.00
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L10	100.00
L11	100.00
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L96	100.00
L97	100.00
L98	100.00
L99	100.00
L100	100.00

FOR EACH OF 3 SITE DRAINAGE ANALYSES
 (City of Los Angeles, 24-hour Design Storm)

EXISTING CONDITIONS

Drainage Area #1

- A = 1.11 AC
- B = 1.11 AC
- C = 1.11 AC
- D = 1.11 AC
- E = 1.11 AC
- F = 1.11 AC
- G = 1.11 AC
- H = 1.11 AC
- I = 1.11 AC
- J = 1.11 AC
- K = 1.11 AC
- L = 1.11 AC
- M = 1.11 AC
- N = 1.11 AC
- O = 1.11 AC
- P = 1.11 AC
- Q = 1.11 AC
- R = 1.11 AC
- S = 1.11 AC
- T = 1.11 AC
- U = 1.11 AC
- V = 1.11 AC
- W = 1.11 AC
- X = 1.11 AC
- Y = 1.11 AC
- Z = 1.11 AC

Drainage Area #2

- A = 1.11 AC
- B = 1.11 AC
- C = 1.11 AC
- D = 1.11 AC
- E = 1.11 AC
- F = 1.11 AC
- G = 1.11 AC
- H = 1.11 AC
- I = 1.11 AC
- J = 1.11 AC
- K = 1.11 AC
- L = 1.11 AC
- M = 1.11 AC
- N = 1.11 AC
- O = 1.11 AC
- P = 1.11 AC
- Q = 1.11 AC
- R = 1.11 AC
- S = 1.11 AC
- T = 1.11 AC
- U = 1.11 AC
- V = 1.11 AC
- W = 1.11 AC
- X = 1.11 AC
- Y = 1.11 AC
- Z = 1.11 AC

Drainage Area #3

- A = 1.11 AC
- B = 1.11 AC
- C = 1.11 AC
- D = 1.11 AC
- E = 1.11 AC
- F = 1.11 AC
- G = 1.11 AC
- H = 1.11 AC
- I = 1.11 AC
- J = 1.11 AC
- K = 1.11 AC
- L = 1.11 AC
- M = 1.11 AC
- N = 1.11 AC
- O = 1.11 AC
- P = 1.11 AC
- Q = 1.11 AC
- R = 1.11 AC
- S = 1.11 AC
- T = 1.11 AC
- U = 1.11 AC
- V = 1.11 AC
- W = 1.11 AC
- X = 1.11 AC
- Y = 1.11 AC
- Z = 1.11 AC

NO.	REVISIONS	DATE

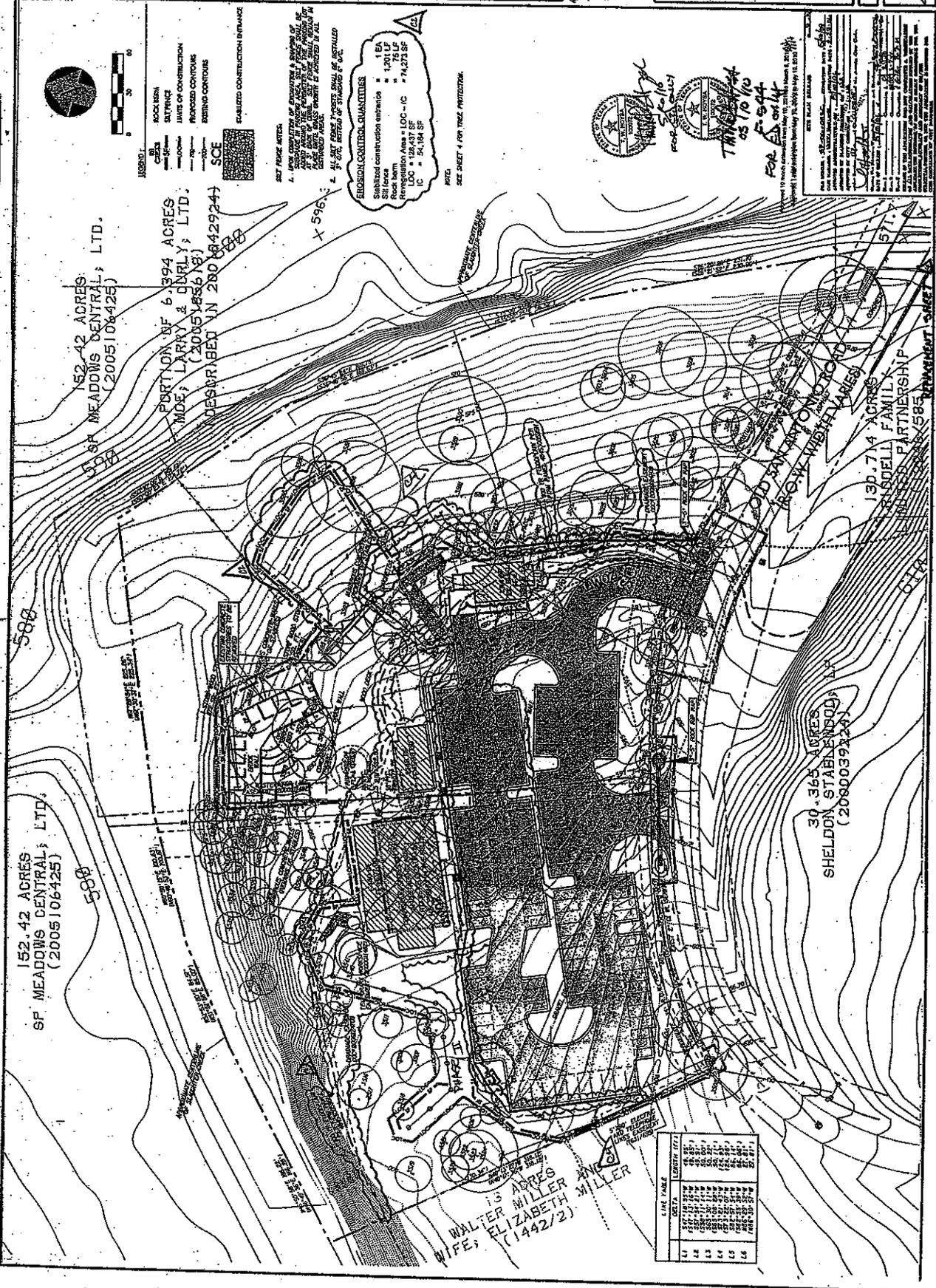
NO.	REVISIONS	DATE

CAMINO REAL
SITE IMPROVEMENTS
10450 OLD SAN ANTONIO ROAD
EROSION/SEDPIMENT CONTROL PLAN



F. LONGARD & CLARKE
 Consulting Engineers
 10000 Old San Antonio Road, Suite 200, San Diego, CA 92127
 Telephone: (619) 451-1111
 Fax: (619) 451-1112

8
 12



LEGEND:
 CHINA
 ROCK BLEN
 SATURATE
 LIMITS OF CONSTRUCTION
 PROPOSED CONTOURS
 EXISTING CONTOURS
 SCALED CONSTRUCTION ENTRANCE

SET BACKS:
 1. FROM COMPLETION OF CONSTRUCTION & STABILIZATION OF EROSION CONTROL MEASURES TO THE CENTERLINE OF THE ADJACENT ROAD SHALL BE 10 FEET.
 2. FROM THE CENTERLINE OF THE ADJACENT ROAD TO THE CENTERLINE OF THE ADJACENT ROAD SHALL BE 10 FEET.

EROSION CONTROL QUANTITIES
 Stabilized construction entrance = 1,201 LF
 Rock berm = 78 LF
 Revegetation Area = LDC - C = 74,273 SF
 LDC = 54,184 SF
 C = 20,089 SF

SEE SHEET # FOR TREE PROTECTION

Handwritten notes:
 10/10/10
 05/10/10
 FOR EX-1011
 10/10/10

DATE SCALE: 1" = 40'

DATE: 10/10/10

PROJECT: 10450 Old San Antonio Road, San Diego, CA

CLIENT: F. Longard & Clarke

DESIGNED BY: F. Longard & Clarke

CHECKED BY: F. Longard & Clarke

DATE: 10/10/10

152.42 ACRES
 SF MEADOWS CENTRAL, LTD.
 (2005106425)

152.42 ACRES
 SF MEADOWS CENTRAL, LTD.
 (2005106425)

X 596

30.365 ACRES
 SHELDON STABLEWOOD
 (2080039224)

130.74 ACRES
 RUSSELL FAMILY PARTNERSHIP
 (2085185688)

13 ACRES
 WALTER MILLER AND
 ELIZABETH MILLER
 WIFE: (1442/2)

LINE	AREA	LENGTH	AREA
11	117.15	10.00	1171.50
12	117.15	10.00	1171.50
13	117.15	10.00	1171.50
14	117.15	10.00	1171.50
15	117.15	10.00	1171.50
16	117.15	10.00	1171.50

**CAMINO REAL
SITE IMPROVEMENTS
1040 OLD SAN ANTONIO ROAD
UTILITY PLAN**



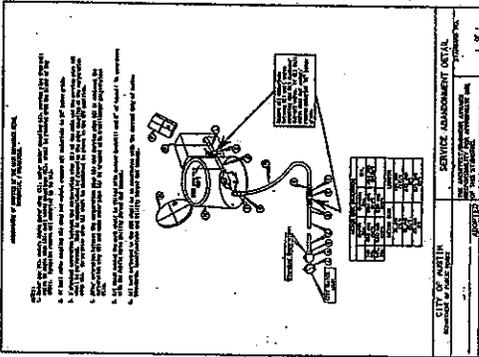
E.C. LONGARO & CLARK
Consulting Engineers
1040 Old San Antonio Road, Suite 200
San Antonio, Texas 78228
Tel: (214) 343-1100
Fax: (214) 343-1101

UTI
18

NO.	DATE	REVISION



- LEGEND:**
- ◊ EXISTING FIRE HYDRANT
 - EXISTING OVERHEAD
 - EXISTING FLOOD DECK
 - EXISTING WATERWATER MAIN
 - EXISTING WATERLINE
 - EXISTING SLOPE
 - PROPOSED FLOOD DECK
 - PROPOSED WATER MAIN
 - PROPOSED WATERLINE
 - PROPOSED SLOPE
 - PROPOSED STORM SEWER LINE



SERVICE AMENDMENT DETAIL

DATE: 11/11/03
PROJECT: 1040 OLD SAN ANTONIO ROAD
SCALE: 1" = 10'-0"

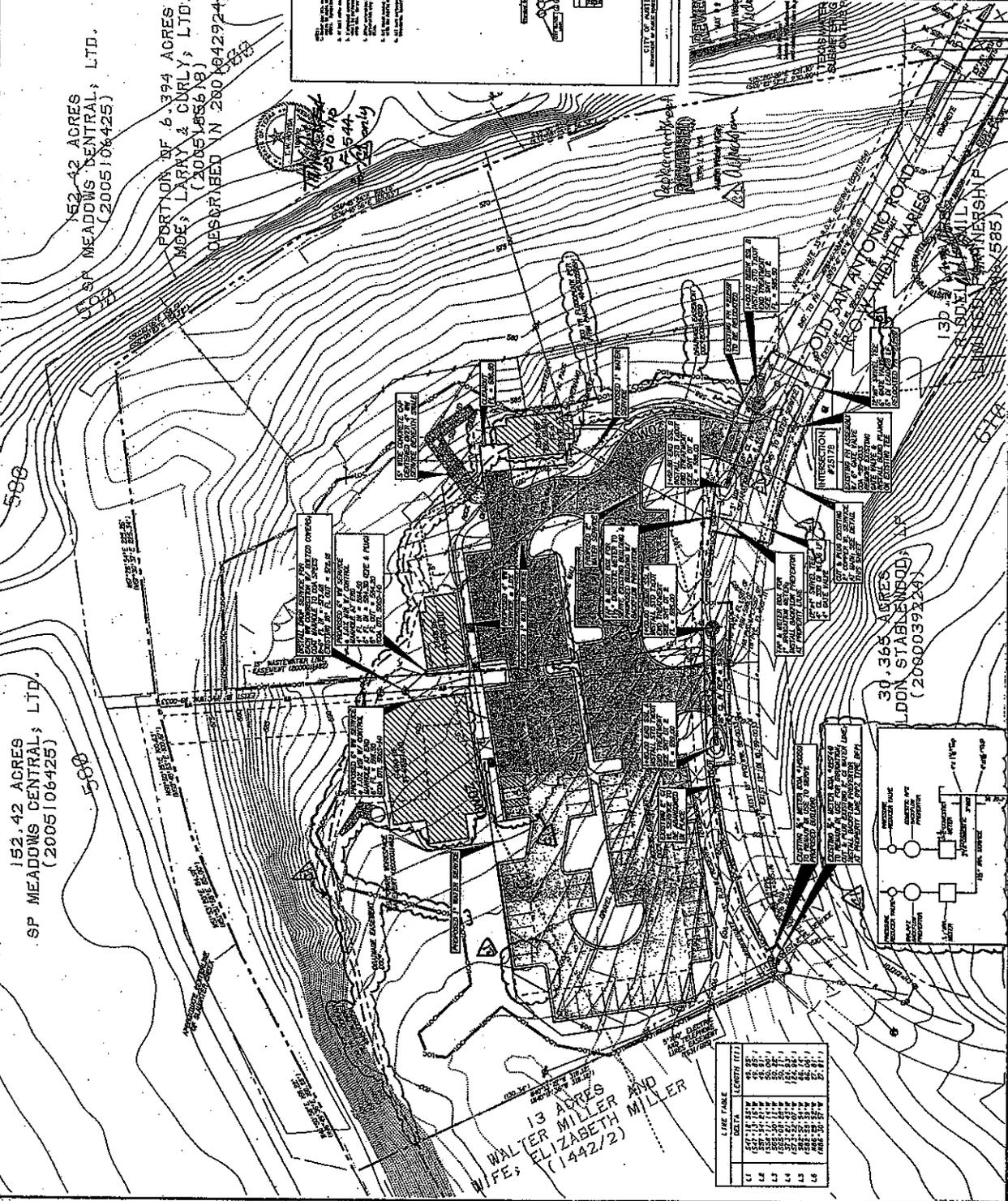
REVIEWED
DATE: 11/11/03
BY: [Signature]

APPROVED
DATE: 11/11/03
BY: [Signature]

TECHNICAL CODE 18.508
SUBMITTING IS REQUIRED
FOR THIS PROJECT.

APPROVED
DATE: 11/11/03
BY: [Signature]

TECHNICAL CODE 18.508
SUBMITTING IS REQUIRED
FOR THIS PROJECT.



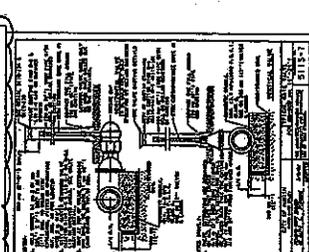
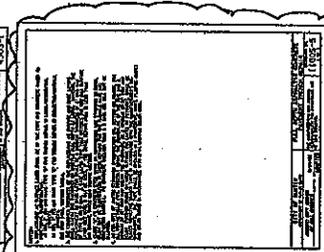
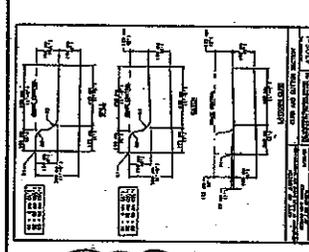
DATE	DESCRIPTION

CAMINO REAL
 SITE IMPROVEMENTS
 1040 OLD SAN ANTONIO ROAD
 GENERAL DETAILS



F.C. Longaro & Clark
 Consulting Engineers
 12345 Main Street, Suite 100
 San Francisco, California 94102
 Telephone: (415) 123-4567

DTI
 10/18



REPLACEMENT SHEET
 THIS SHEET IS A REPLACEMENT SHEET FOR SHEET NO. 10/18. IT IS TO BE USED IN PLACE OF THE ORIGINAL SHEET. THE ORIGINAL SHEET IS TO BE DESTROYED. THE NEW SHEET IS TO BE USED IN ALL CONSTRUCTION WORK. THE ORIGINAL SHEET IS TO BE DESTROYED. THE NEW SHEET IS TO BE USED IN ALL CONSTRUCTION WORK.

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN THE SURFACE OF THE ROAD AND ADJACENT AREAS AT ALL TIMES.

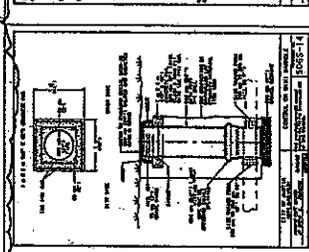
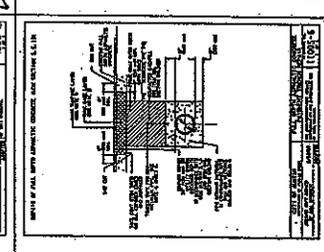
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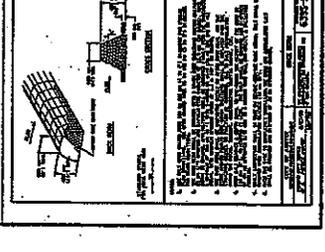
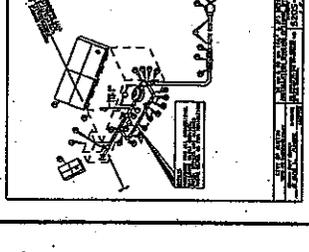
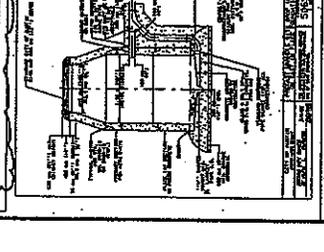
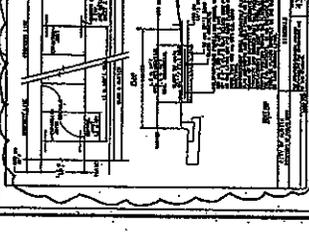
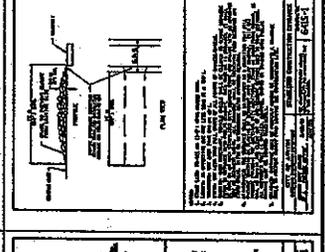
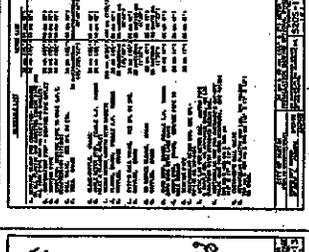
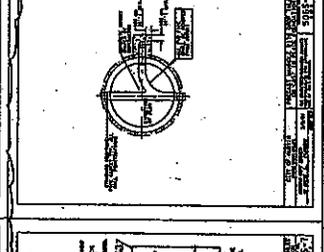
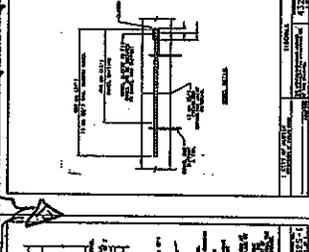
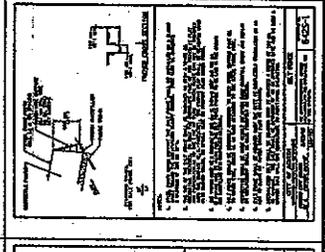
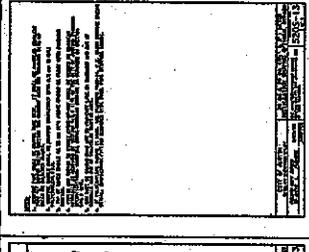
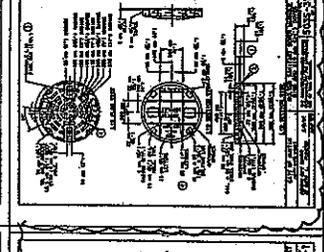
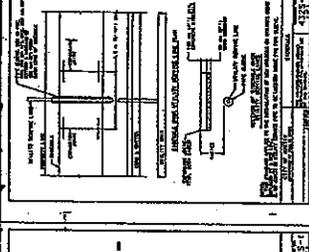
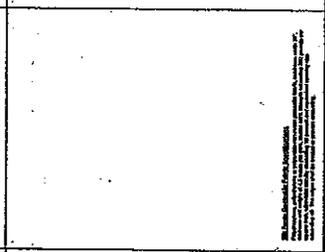
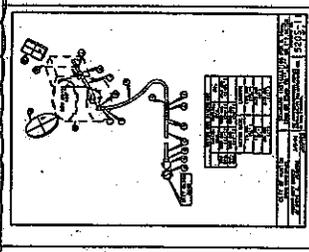
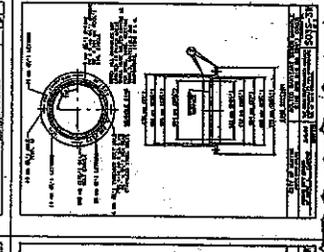
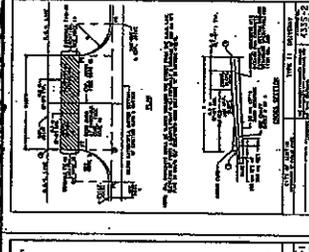
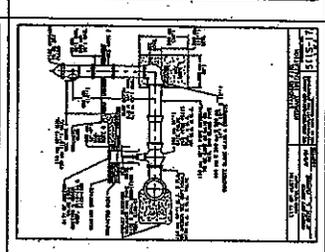
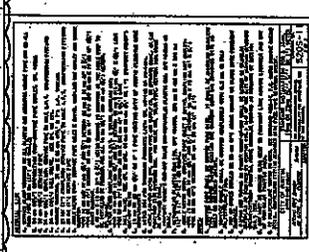
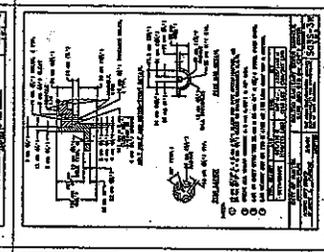
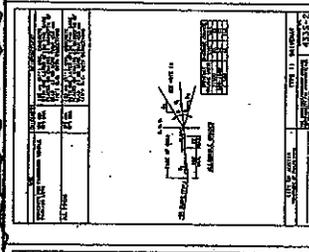
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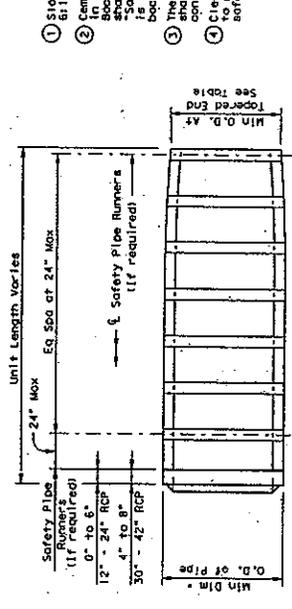
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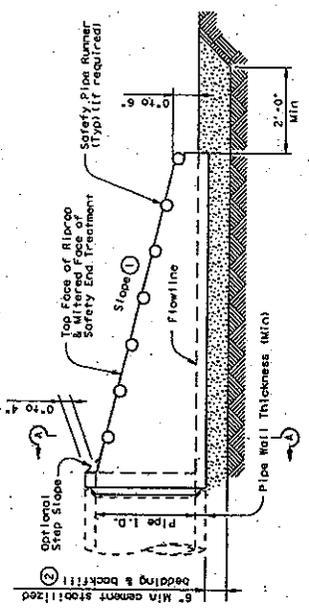
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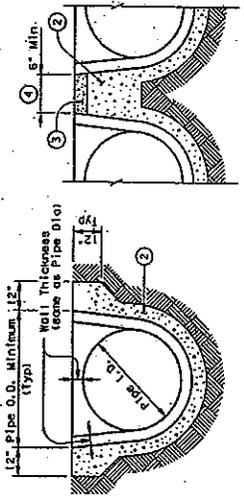




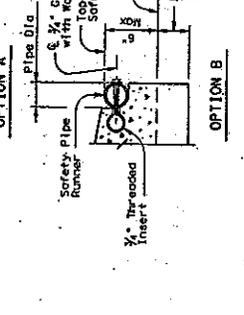
PLAN VIEW - 12" THRU 24"



LONGITUDINAL ELEVATION - 12" THRU 24"

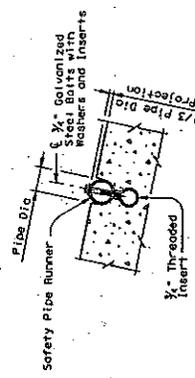


SECTION A-A MULTIPLE PIPE INSTALLATION

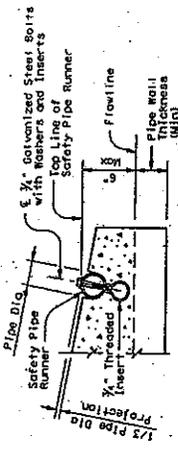


END DETAILS FOR INSTALLATION OF SAFETY PIPE RUNNERS

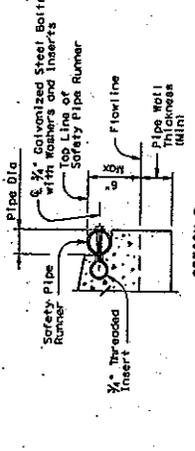
- Slope as shown elsewhere in the plans. Slope of 6:1 or flatter is required for vehicle safety.
- Cement stabilized bedding and backfill shall be placed in the structure. The bedding and backfill shall be considered subsidiary to the flowline. Safety End Treatment shall be considered subsidiary to the flowline. Safety End Treatment shall be as directed by the Engineer.
- The top 4" of void between Precast End Treatment shall be filled with concrete Riprap and shall be considered subsidiary to Safety End Treatment, to provide for the minimum distance between safety end treatments.



INSTALLATION DETAIL FOR SAFETY PIPE RUNNERS (if required)



OPTION A



OPTION B

PIPE L.D. THICKNESS	MINIMUM O.D.	MINIMUM WALL THICKNESS	MIN. Q.D. TAPERED END	MAX. REIN. REQ. (Eq. 507)	MAXIMUM SLOPE	MINIMUM LENGTH OF UNIT	PIPE RUNNERS REQUIRED	REQUIRED PIPE RUNNER SIZES
							SINGLE PIPE MULTIPLE PIPE	NOMINAL DIA. O.D.
12"	16"	2"	18"	0.07 CIRC.	6:1	4'-0"	No Yes, for >2 pipes	3" STD 3.500"
15"	19 1/2"	2 1/4"	19"	0.07 CIRC.	6:1	5'-8"	No Yes, for >2 pipes	3" STD 3.500"
18"	23"	2 1/2"	21 1/2"	0.07 CIRC.	6:1	7'-3"	No Yes, for >2 pipes	3" STD 3.500"
24"	30"	3"	27"	0.07 CIRC.	6:1	10'-6"	No Yes, for >2 pipes	3" STD 3.500"
30"	37"	3 1/2"	31"	0.18 CIRC.	6:1	12'-1"	No Yes	4" STD 4.500"
36"	44"	4"	36"	0.19 ELIP.	6:1	15'-4"	Yes	4" STD 4.500"
42"	51"	4 1/2"	41 1/2"	0.23 ELIP.	6:1	18'-7"	Yes	4" STD 4.500"

GENERAL NOTES:

Precast safety end treatment for reinforced concrete pipes may be used only if the treatment is specified in Item "Safety End Treatment" to mirrored RCP. Riprap will not be required unless noted otherwise on the plans.

Reinforcing steel and sections shall be manufactured in accordance with Item "Reinforcement" and shall be provided with a spiral or ASTM Specification E-76, Class III, Wall B for circular pipes with bell and flange concrete end sections. All reinforcement shall be provided with sufficient annual scope to allow for mortar and concrete applied joint compound or pre-formed plastic gasket material.

Pipe runners are designed for a traversing load of 10,000 lbs on yield strength by Research Report 280-25, "Safety Treatment of Roadside Parallel-Drainage Structures", Texas Transportation Institute, March 1981.

Pipe runners shall conform to the requirements of ASTM A53 (Type E or Type X) galvanized steel pipe, except for the galvanized after fabrication. Galvanizing damaged during transport or construction shall be repaired in accordance with the specifications.

THIS DRAWING IS THE PROPERTY OF THE TEXAS DEPARTMENT OF TRANSPORTATION. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE TEXAS DEPARTMENT OF TRANSPORTATION.



TEXAS Department of Transportation
Bridge Division
PRECAST SAFETY END TREATMENT
TYPE II - PARALLEL DRAINAGE

PSET-RP

SCALE	DATE	DESIGNER	CHECKER
1" = 10'-0"	11/15/00	J. L. ...	M. ...
PROJECT NO.	SECTION NO.	SHEET NO.	TOTAL SHEETS
...

MDT 2

DISCLAIMER: The use of this standard is governed by the Texas Engineering Practice Act. No warranty or responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

DATE	DESCRIPTION



Table with columns for DATE, TIME, and LOCATION.

Table with columns for NAME, ADDRESS, CITY, STATE, ZIP, PHONE.

EC LONGARO & CLARKE Consulting Engineers
1040 Old San Antonio Road
San Antonio, Texas 78204
Phone: (512) 341-1234

GENERAL CONTRACTOR NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN ANTONIO AND THE TEXAS DEPARTMENT OF TRANSPORTATION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO CODES AND ORDINANCES, THE TEXAS DEPARTMENT OF TRANSPORTATION DESIGN MANUAL, AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

GENERAL CONTRACTOR NOTES (continued)
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REVIEWED MAY 11 1998 Austin Water Utility Department
Reviewed by: [Signature]
Date: MAY 11 1998



F-544
FOR ED ONLY

NO.	DATE	REVISION
1		
2		
3		
4		
5		
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10		

**CAMINO REAL
SITE IMPROVEMENTS
1040 OLD SAN ANTONIO ROAD
WATER QUALITY PLAN**



F. LONGARO & CARKE
Consulting Engineers
10000 West Loop West, Suite 1000, Houston, Texas 77042
Tel: (713) 865-1100
Fax: (713) 865-1101
www.flongaro.com

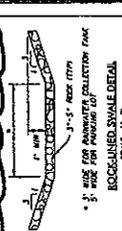
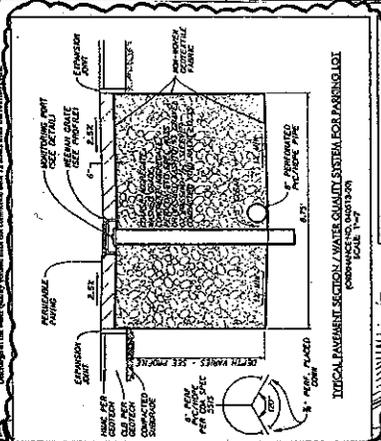
WQ1

13 18

TABLE 1 - WATER QUALITY CALCULATION

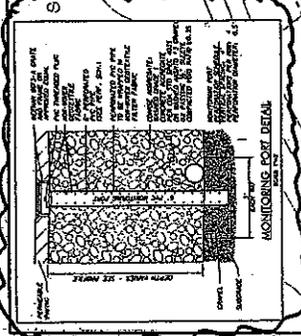
Parameter	Concentration (mg/L)	Flow (MGD)	Load (lb/day)
BOD5	150	0.05	7.5
TSS	150	0.05	7.5
Ammonia Nitrogen	1.0	0.05	0.5
Phosphorus	0.5	0.05	0.25
Calcium	100	0.05	5.0
Magnesium	100	0.05	5.0
Total Hardness	200	0.05	10.0
Chloride	100	0.05	5.0
Sulfate	100	0.05	5.0
Total Solids	300	0.05	15.0

WATER QUALITY CALCULATION
 1. **Flow** = 0.05 MGD
 2. **Concentration** = 150 mg/L
 3. **Load** = 7.5 lb/day
 4. **Design Flow** = 0.05 MGD
 5. **Design Concentration** = 150 mg/L
 6. **Design Load** = 7.5 lb/day



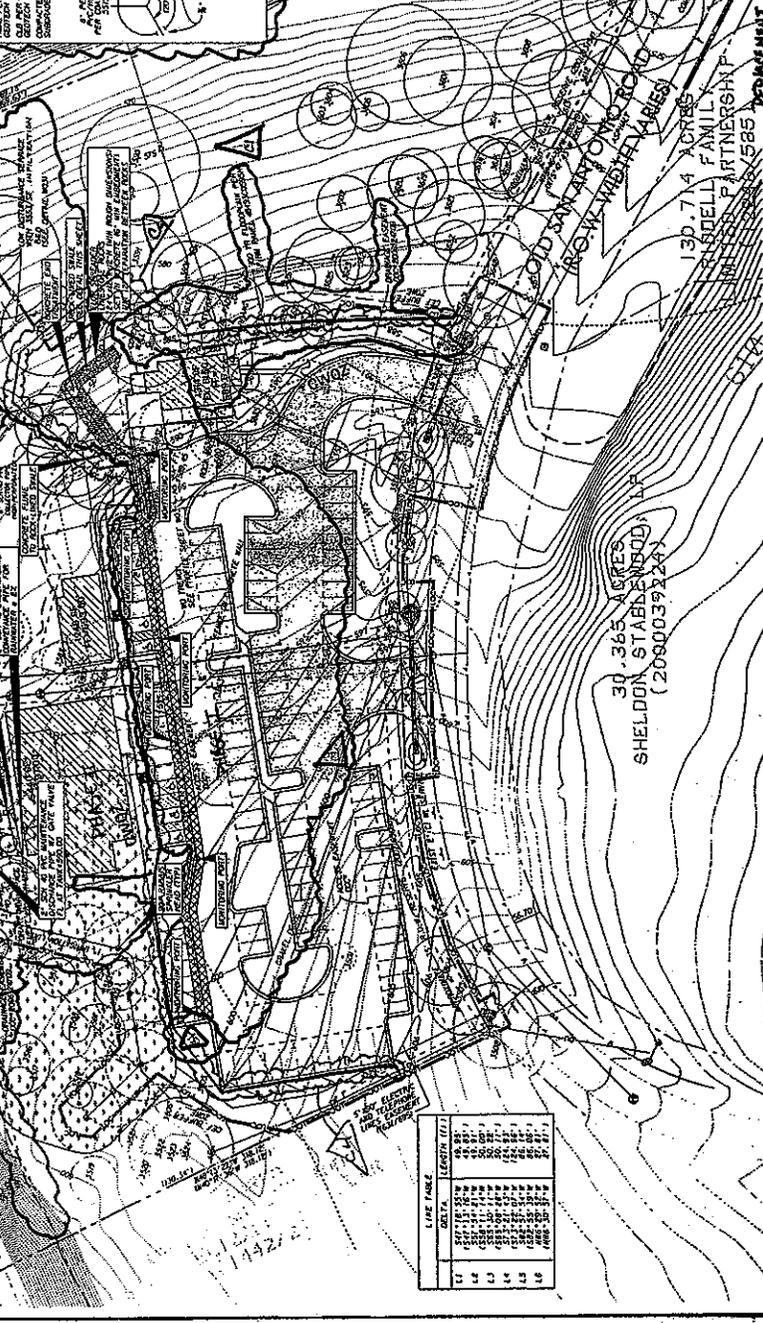
1. ALL PLANTS MUST BE PLANTED IN THE FALL OR WINTER MONTHS.
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10. ALL PLANTS MUST BE PLANTED IN THE FALL OR WINTER MONTHS.

**152.42 ACRES
MEADOWS CENTRAL, LTD.
(2005106425)**



**PORTION OF 6
ACRES LARRY & LARRY
(2005185)**

DESIGN BED IN



LINE TABLE

LINE NO.	LENGTH (FEET)
1	100.00
2	100.00
3	100.00
4	100.00
5	100.00
6	100.00
7	100.00
8	100.00
9	100.00
10	100.00

**30.365 ACRES
SHELDON STABLES WOOD, LP
(2000039224)**

**130.74 ACRES
RUSSELL FAMILY
BUSINESS PARTNERSHIP
(200515585)**

100' WIDE RIGHT WAY

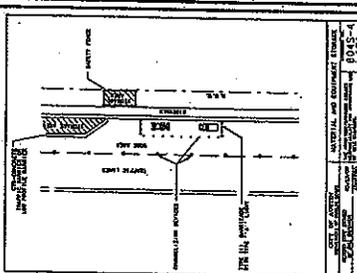
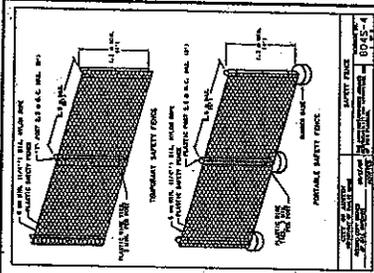


LONGARDO & CLARKE
 Consulting Engineers
 10000 Wilshire Blvd., Suite 1000, Los Angeles, CA 90024
 (310) 206-1000
 www.longardoandclarkeng.com

PROJECT NO. 17188
 SHEET NO. 17188-001
 DATE: 7/16/10

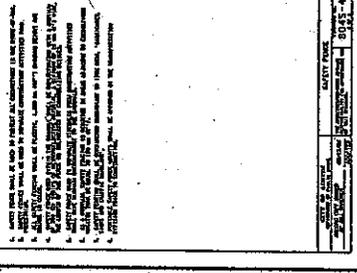
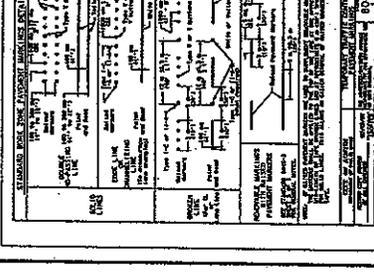
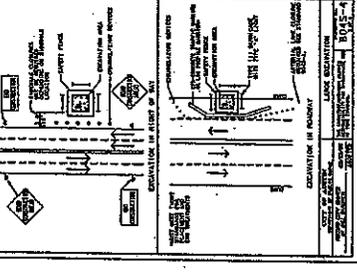
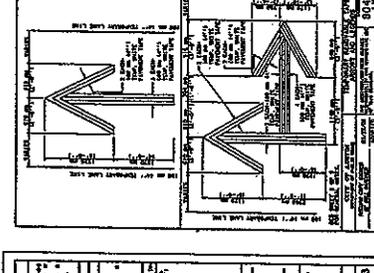
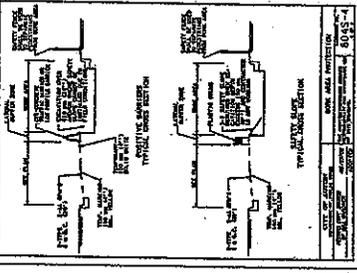
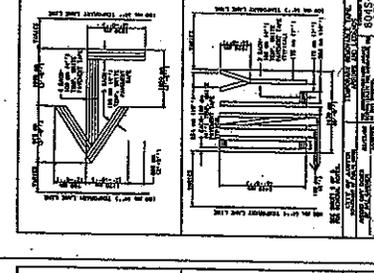
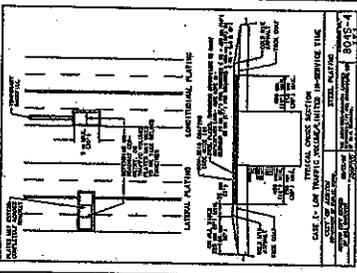
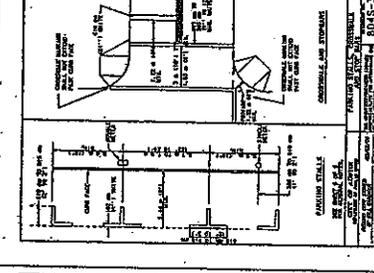
CAMINO REAL
SITE IMPROVEMENTS
1040 OLD SAN ANTONIO ROAD
TEMPORARY TRAFFIC CONTROL DETAILS

NO.	DESCRIPTION	DATE	BY	CHKD.



C-5108
 TEMPORARY SAFETY FENCE
 PORTABLE SAFETY FENCE

C-5109
 VERTICAL AND OBLIQUE BARRICADE



C-5108
TEMPORARY SAFETY FENCE
PORTABLE SAFETY FENCE

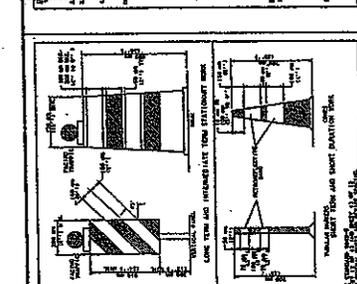
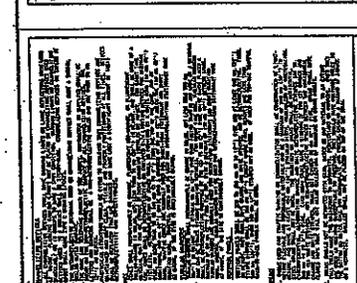
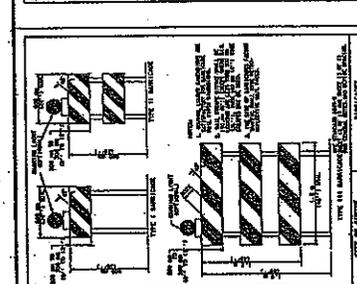
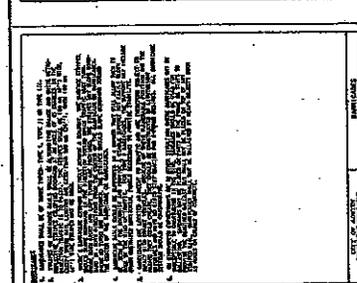
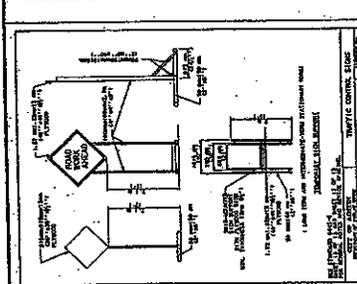
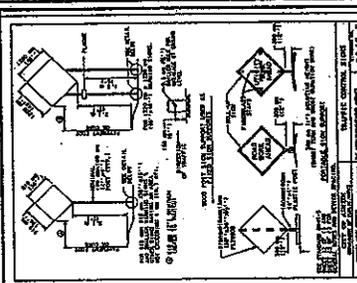
C-5109
VERTICAL AND OBLIQUE BARRICADE



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 12000 22nd Avenue South, Suite 100
 Phoenix, Arizona 85034
 Telephone: (602) 998-1111
 Fax: (602) 998-1112

TC 4
 18/18

CAMINO REAL
 SITE IMPROVEMENTS
 1040 OLD SAN ANTONIO ROAD
 TEMPORARY TRAFFIC CONTROL DETAILS



NO.	DESCRIPTION	QUANTITY	UNIT
1	18" x 24" SIGN	10	EA
2	36" x 48" SIGN	5	EA
3	TRAFFIC CONE	100	EA
4	WATER BARRIER	100	EA
5	FLARE	50	EA
6	STAKE	100	EA
7	CONCOURSE	10	EA
8	WATER BARRIER	100	EA
9	FLARE	50	EA
10	STAKE	100	EA
11	CONCOURSE	10	EA

GENERAL TRAFFIC CONTROL NOTES:
 1. ALL TRAFFIC CONTROL DEVICES SHALL BE PLACED IN ACCORDANCE WITH THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 2. ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD WORKING ORDER.
 3. ALL TRAFFIC CONTROL DEVICES SHALL BE PLACED AT THE APPROPRIATE LOCATIONS AND AT THE APPROPRIATE TIMES.
 4. ALL TRAFFIC CONTROL DEVICES SHALL BE REMOVED AT THE APPROPRIATE TIMES.

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11	CONCOURSE	10	EA

TRAFFIC CONTROL PLAN - 8045-5

1. LANE CLOSURE: Shows a diagram of a road with one lane closed. Traffic is directed to the open lane. A sign is placed at the start of the closed lane.

2. DETOUR: Shows a diagram of a road with a section closed. Traffic is directed onto a detour route and then back onto the main road.

TRAFFIC CONTROL PLAN - 8045-5

1. CONSTRUCTION ZONE: Shows a diagram of a road with a construction zone. Traffic is directed around the zone using signs and cones.

2. ONE-WAY TRAFFIC: Shows a diagram of a road where traffic is restricted to one direction during construction.

TRAFFIC CONTROL PLAN - 8045-5

1. UTILITY WORK: Shows a diagram of a road with utility work. Traffic is directed around the work area.

2. SIGN PLACEMENT: Shows a diagram of a road with signs placed at specific intervals to control traffic flow.

TRAFFIC CONTROL PLAN - 8045-5

1. WORK ZONE: Shows a diagram of a road with a work zone. Traffic is directed around the zone using signs and cones.

2. TRAFFIC FINES DOUBLE: Shows a diagram of a road with a sign indicating that traffic fines are doubled in the work zone.

TRAFFIC CONTROL PLAN - 8045-5

1. LANE SHIFT: Shows a diagram of a road where a lane is shifted. Traffic is directed into the new lane configuration.

2. CONE PLACEMENT: Shows a diagram of a road with cones placed to guide traffic through a narrow section.

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1	18" x 24" SIGN	10	EA
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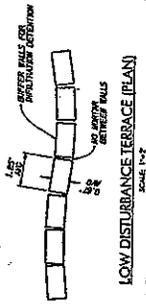
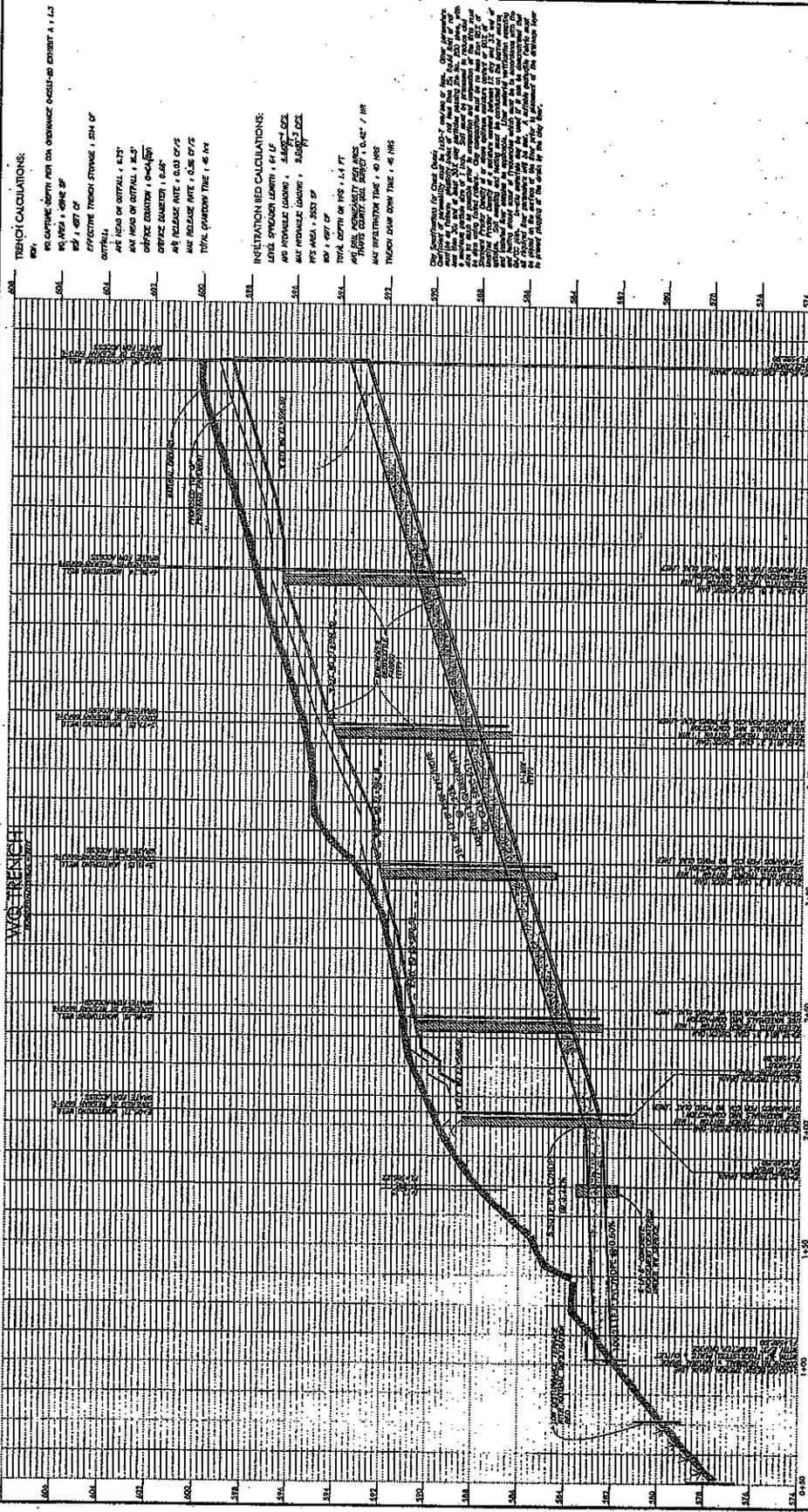
CAMINO REAL
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10140 OLD SAN ANTONIO ROAD
WQ TRENCH PEOPLE



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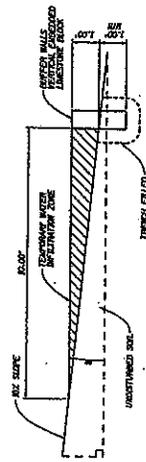
WQ 3
 10/20/2014

NO.	REVISION	DATE



LOW DISTURBANCE TERRACE (PLAN)
 SCALE 1"=4'

- NOTES:
1. IF DISTURBANCE TERRACES ARE NECESSARY, THEY SHALL BE PROVIDED TO CONTAIN THE TRENCH AND PREVENT EROSION OF THE ADJACENT AREAS.
 2. LOW DISTURBANCE TERRACES TO BE PROVIDED TO BE 10' WIDE TRENCHES OF A MINIMUM OF 10' WIDE CONCRETE CURB AND SHALL BE LOCATED ON THE SIDE OF THE TRENCH.



LOW DISTURBANCE TERRACE (100% SECTION)
 SCALE 1"=4'

TRENCH CALCULATIONS:
 1. TRENCH WIDTH: 10.00 FT
 2. TRENCH DEPTH: 4.00 FT
 3. TRENCH VOLUME: 40.00 CU YD
 4. TRENCH PERIMETER: 140.00 FT
 5. TRENCH SURFACE AREA: 140.00 SQ FT
 6. TRENCH SIDE AREA: 140.00 SQ FT
 7. TRENCH END AREA: 40.00 SQ FT
 8. TRENCH TOTAL AREA: 320.00 SQ FT
 9. TRENCH PERIMETER: 140.00 FT
 10. TRENCH SURFACE AREA: 140.00 SQ FT
 11. TRENCH SIDE AREA: 140.00 SQ FT
 12. TRENCH END AREA: 40.00 SQ FT
 13. TRENCH TOTAL AREA: 320.00 SQ FT

INSULATION BED CALCULATIONS:
 1. INSULATION BED THICKNESS: 4.00 FT
 2. INSULATION BED VOLUME: 40.00 CU YD
 3. INSULATION BED PERIMETER: 140.00 FT
 4. INSULATION BED SURFACE AREA: 140.00 SQ FT
 5. INSULATION BED SIDE AREA: 140.00 SQ FT
 6. INSULATION BED END AREA: 40.00 SQ FT
 7. INSULATION BED TOTAL AREA: 320.00 SQ FT
 8. INSULATION BED PERIMETER: 140.00 FT
 9. INSULATION BED SURFACE AREA: 140.00 SQ FT
 10. INSULATION BED SIDE AREA: 140.00 SQ FT
 11. INSULATION BED END AREA: 40.00 SQ FT
 12. INSULATION BED TOTAL AREA: 320.00 SQ FT

ESTIMATION OF COSTS:
 1. TRENCH: \$100.00
 2. INSULATION BED: \$100.00
 3. MANHOLES: \$100.00
 4. UTILITY: \$100.00
 5. TOTAL: \$400.00

CONSTRUCTION NOTES:
 1. TRENCH SHALL BE 10' WIDE AND 4' DEEP.
 2. INSULATION BED SHALL BE 4' THICK.
 3. MANHOLES SHALL BE 4' DIA.
 4. UTILITY SHALL BE 4" DIA.

NOTICE:
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WQ 3
 10/20/2014
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ADD SHEET