

CITY OF AUSTIN
ROW # 10619982 CASE #
TCAD # 0223090501

2011-061165RA

APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 4903 Avenue G

LEGAL DESCRIPTION: Subdivision - The Highlands

Lot(s) 31, 32 Block 53 Outlot Division

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We _____ on behalf of myself/ourselves as authorized agent for

affirm that on _____,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
____ Maximum Linear feet of Gables protruding from setback plane
____ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

____ Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

in a SF SF3-NCCD-NP zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation)
- case goes to RDCC first. National Register Historical District (NRHD) Overlay:
without H or HD - case goes to Historic Landmark Commission first.

**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION**

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 4903 Avenue G
City, State AUSTIN, TX Zip 78751
Phone 5127714291 Printed Name David Peña
Signature David Peña Date 10-13-11

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 4903 Avenue G
City, State AUSTIN, TX Zip 78751
Phone 5127714291 Printed Name David Peña
Signature David Peña Date 10-13-11

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

- I. **Year of property construction:** The property was designed in 2004 prior to the residential zoning changes that have occurred during the period between 2006 and 2010. The property design therefore was unable to take the zoning changes under reasonable consideration for intended long term personal use.
- II. **Personal Use:** Personal use hardships include but are not limited to:
 - a. Change of status due to additional dependants including but not limited to a newborn baby girl (born July 17, 2011) and a 12 year boy.
 - b. Based on the owner's telecommuting needs, the property was purchased based on confirmation from the builder and structural engineer that the garage would support a 2nd story addition to support owner's family planning.
 - c. Telecommuting is required by owner's employer
 - d. Telecommuting is required for self employed spouse
 - e. The existing structures do not take advantage of extending the existing development to within 5' of the unpaved alley. This space could have been utilized for additional storage.
 - f. All the above is compliant with a Single Family use (as opposed to a Multi Family use).
 - g. Failure of variance would require owner to sell or rent the property, relocate and incur a significant personal hardship.

III. Physical Hardships

- a. The safety and protection of a 19" (diameter) tree
- b. The small size of the lot

REQUEST:

2. The request for modification is unique to the property in that:

- I. The modifications reduce impact on a tree canopy (19" diameter) and bulk by proposing that the top of the roof ridge be 20'-7" above the garage floor. The maximum allowed by the tent calculations would be 24'-7".
- II. The proposed 344 sq. ft. addition utilizes an existing structure and flatwork for a second story addition.
- III. Addition is tucked behind the house and will not be visible from the street directly in front of the property.
- IV. All modifications are contained within tent elevations.
- V. 33 sq. ft. were added to the existing impervious cover
- VI. FAR increase is within the 25% maximum

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

- I. All modifications reasonably conform to the bulk and volume of existing Hyde Park single-family homes (North and South of 45th)
- II. The modification is fitting with the character of the area and is reasonably compliant with personal use of space and density of construction within the neighborhood.
- III. The modification is intended to beautify and improve the quality of the neighborhood similar to the original structure which met specific restrictive covenants imposed on the builder.
- IV. The modification will enable the owner's rights to property use seen fit by owner and does not injure public or private rights of adjacent properties.
- V. The modification is solely intended for the reasonable use of a single family dwelling.

CITY OF AUSTIN

RESIDENTIAL PERMIT APPLICATION "A"

BP Number 11-061165 RA

Building Permit No. _____

Plat No. _____

Date 7-12-11

Reviewer [Signature]

PRIMARY PROJECT DATA

Service Address 4903 AVENUE G, AUSTIN TX 78751

Tax Parcel No. _____

Legal Description

Lot 31, 32 Block 53 Subdivision The Highlands

Section _____ Phase _____

If in a Planned Unit Development, provide Name and Case No. _____

(attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

Description of Work

☐ New Residence

☐ Remodel (specify) _____

☐ Duplex

☒ Addition (specify) Office addition above existing garage

☐ Garage ☐ attached ☐ detached

☐ Carport ☐ attached ☐ detached

☐ Pool

☐ Other (specify) storage addition above existing garage

Zoning (e.g. SF-1, SF-2...) SF3-NCCD-N/P

- Height of Principal building 21' 4" ft. # of floors 2 Height of Other structure(s) 8' 1" ft. # of floors 1

- Does this site currently have water and wastewater availability? ☒ Yes ☐ No. If no, please contact the

Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.

- Does this site have a septic system? ☐ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

Does this site have a Board of Adjustment ruling? ☐ Yes ☒ No If yes, attach the B.O.A. documentation

Will this development require a cut and fill in excess of 4 feet? ☐ Yes ☒ No

Does this site front a paved street? ☒ Yes ☐ No A paved alley? ☐ Yes ☒ No

Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Yes ☐ No

VALUATIONS FOR REMODELS ONLY

Building \$ _____
Electrical \$ _____
Mechanical \$ _____
Plumbing \$ _____
Driveway/ Sidewalk \$ _____
TOTAL \$ _____
(labor and materials)

VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY

Lot Size 6229 sq.ft.
Job Valuation - Principal Building \$34,000
(Labor and materials)
Job Valuation - Other Structure(s) \$ _____
(Labor and materials)

TOTAL JOB VALUATION
(sum of remodels and additions)

\$ _____
(Labor and materials)

PERMIT FEES (For office use only)

NEW/ADDITIONS REMODELS

Building \$ _____ \$ _____
Electrical \$ _____ \$ _____
Mechanical \$ _____ \$ _____
Plumbing \$ _____ \$ _____
Driveway & Sidewalk \$ _____ \$ _____
TOTAL \$ _____ \$ _____

OWNER / BUILDER INFORMATION

OWNER	Name <u>David Peña</u>	Telephone (h) _____
		(w) _____
BUILDER	Company Name <u>H/O</u>	Telephone _____
	Contact/Applicant's Name _____	Pager _____
DRIVEWAY/ SIDEWALK	Contractor _____	FAX _____
		Telephone _____
CERTIFICATE OF OCCUPANCY	Name _____	Telephone _____
	Address _____	City _____ ST _____ ZIP _____

If you would like to be notified when your application is approved, please select the method:

☒ telephone ☐ e-mail: _____

You may check the status of this application at www.ci.austin.tx.us/development/pierivr.htm

Irene Mues - 633 - 3715

**CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "B"**

**CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION**

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE [Signature] DATE July 12, 2011

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) _____

Rejection Notes/Additional Comments (for office use only):

Service Address _____

Applicant's Signature _____ Date _____

RESIDENTIAL PERMIT APPLICATION "C"

BUILDING COVERAGE

The area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing		New / Addition	
a. 1 st floor conditioned area	1185	sq.ft.		sq.ft.
b. 2 nd floor conditioned area	1219	sq.ft.	360	sq.ft.
c. 3 rd floor conditioned area		sq.ft.		sq.ft.
d. Basement		sq.ft.		sq.ft.
e. Garage / Carport		sq.ft.		sq.ft.
attached		sq.ft.		sq.ft.
<input checked="" type="checkbox"/> detached		sq.ft.		sq.ft.
f. Wood decks [must be counted at 100%]	576	sq.ft.		sq.ft.
g. Breezeways		sq.ft.	45	sq.ft.
h. Covered patios		sq.ft.		sq.ft.
i. Covered porches	369	sq.ft.		sq.ft.
j. Balconies	2nd fl - 224	sq.ft.		sq.ft.
k. Swimming pool(s) [pool surface area(s)]		sq.ft.		sq.ft.
l. Other building or covered area(s)		sq.ft.		sq.ft.
Specify <u>Stairs</u>		sq.ft.	50	sq.ft.
<u>UNCUD 2nd floor Deck</u>			216	
TOTAL BUILDING AREA (add a. through l.)	3573	sq.ft.	671	sq.ft.
	2130		50	

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and l. if uncovered)

Mark 2491.4

2180 sq.ft.
34.9 % of lot

IMPERVIOUS COVERAGE

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot (see above)	2180	sq.ft.
b. Driveway area on private property	314	sq.ft.
c. Sidewalk / walkways on private property	177	sq.ft.
d. Uncovered patios		sq.ft.
e. Uncovered wood decks [may be counted at 50%]	4	sq.ft.
f. Air conditioner pads	8	sq.ft.
g. Concrete decks		sq.ft.
h. Other (specify) <u>Stone Path 171-92 =</u>		sq.ft.
<u>(removed 924)</u>	79	sq.ft.

TOTAL IMPERVIOUS COVERAGE (add a. through h.)

Mark 2803.4

2762 sq.ft.
44.3 % of lot

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "D"
FLOOR AREA RATIO INFORMATION

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY
STANDARDS ORDINANCE BOUNDARY AREA.

Service Address 4903 Avenue G

Applicant's Signature [Signature]

Date July 12, 2011

GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.

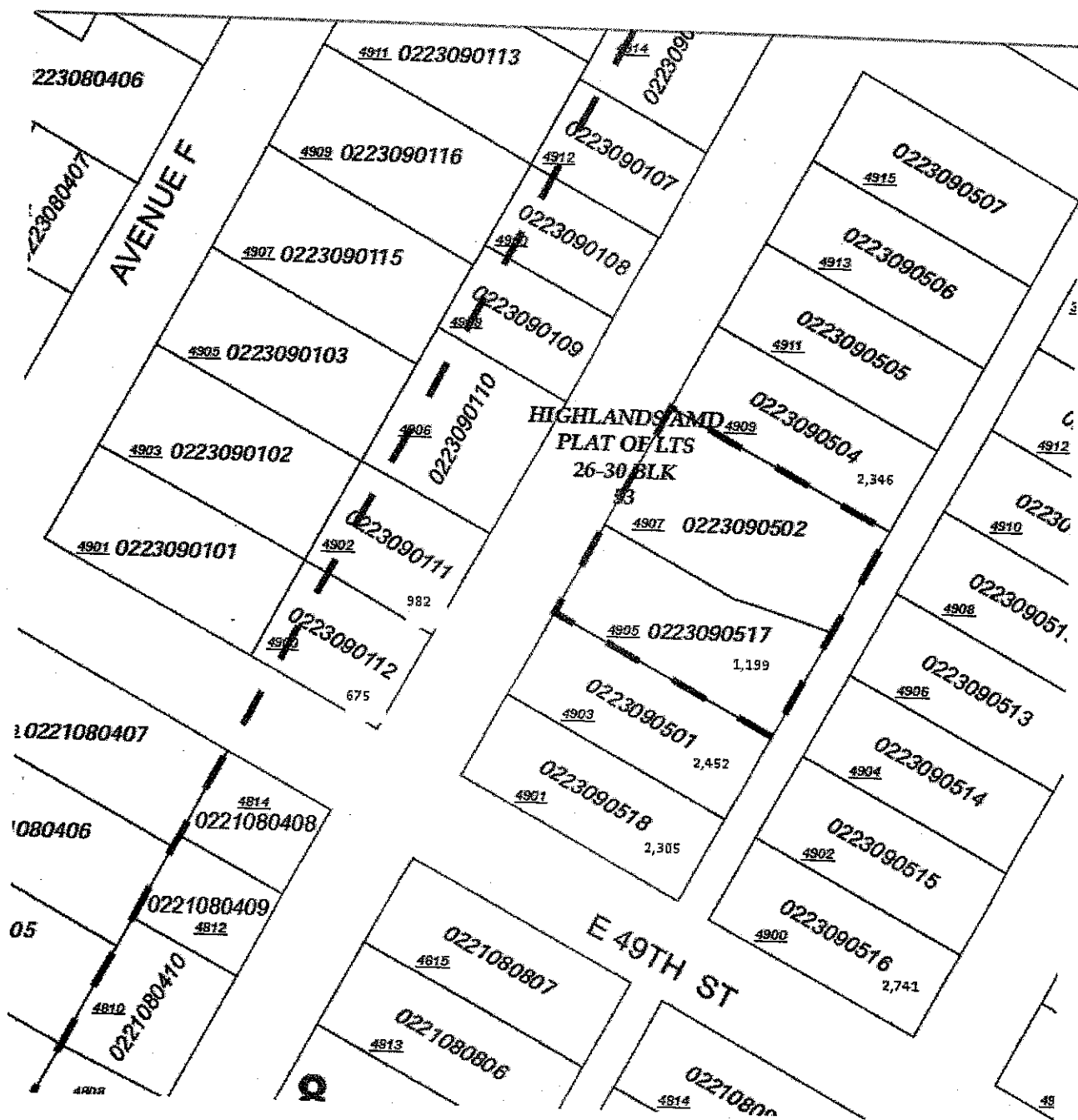
	<u>Existing</u>	<u>New / Addition</u>
I. 1st Floor Gross Area		
a. 1 st floor area (excluding covered or uncovered finished ground-floor porches)	<u>1185</u> sq.ft.	_____ sq.ft.
b. 1 st floor area with ceiling height over 15 feet.	<u>0</u> sq.ft.	_____ sq.ft.
c. TOTAL (add a and b above)	<u>1185</u> sq.ft.	_____ sq.ft.
II. 2nd Floor Gross Area See note ¹ below		
d. 2 nd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	<u>1219</u> sq.ft.	<u>360</u> sq.ft.
e. 2 nd floor area with ceiling height > 15 feet.	<u>224</u> sq.ft.	_____ sq.ft.
f. TOTAL (add d and e above)	<u>1443</u> sq.ft.	_____ sq.ft.
III. 3rd Floor Gross Area See note ¹ below		
g. 3 rd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	_____ sq.ft.	_____ sq.ft.
h. 3 rd floor area with ceiling height > 15 feet	_____ sq.ft.	_____ sq.ft.
i. TOTAL (add g and h above)	_____ sq.ft.	_____ sq.ft.
IV. Basement Gross Area		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	_____ sq.ft.	_____ sq.ft.
V. Garage		
k. attached (subtract 200 square feet if used to meet the minimum parking requirement)	_____ sq.ft.	_____ sq.ft.
l. <input checked="" type="checkbox"/> detached (subtract 450 square feet if more than 10 feet from principal structure) <u>576 - 450 =</u>	<u>126</u> sq.ft.	_____ sq.ft.
VI. Carport (open on two or more sides without habitable space above it subtract 450 square feet)	_____ sq.ft.	_____ sq.ft.
VII. TOTAL	<u>2754</u> sq.ft.	<u>360</u> sq.ft.

<u>Max 2491</u>	TOTAL GROSS FLOOR AREA (add existing and new from VII above)	<u>3114</u> sq. ft.
	GROSS AREA OF LOT	<u>6229</u> sq. ft.
<u>3114 - 2491 = 623</u>	FLOOR AREA RATIO (gross floor area / gross area of lot)	<u>49.9</u> sq. ft.

Waiver Request

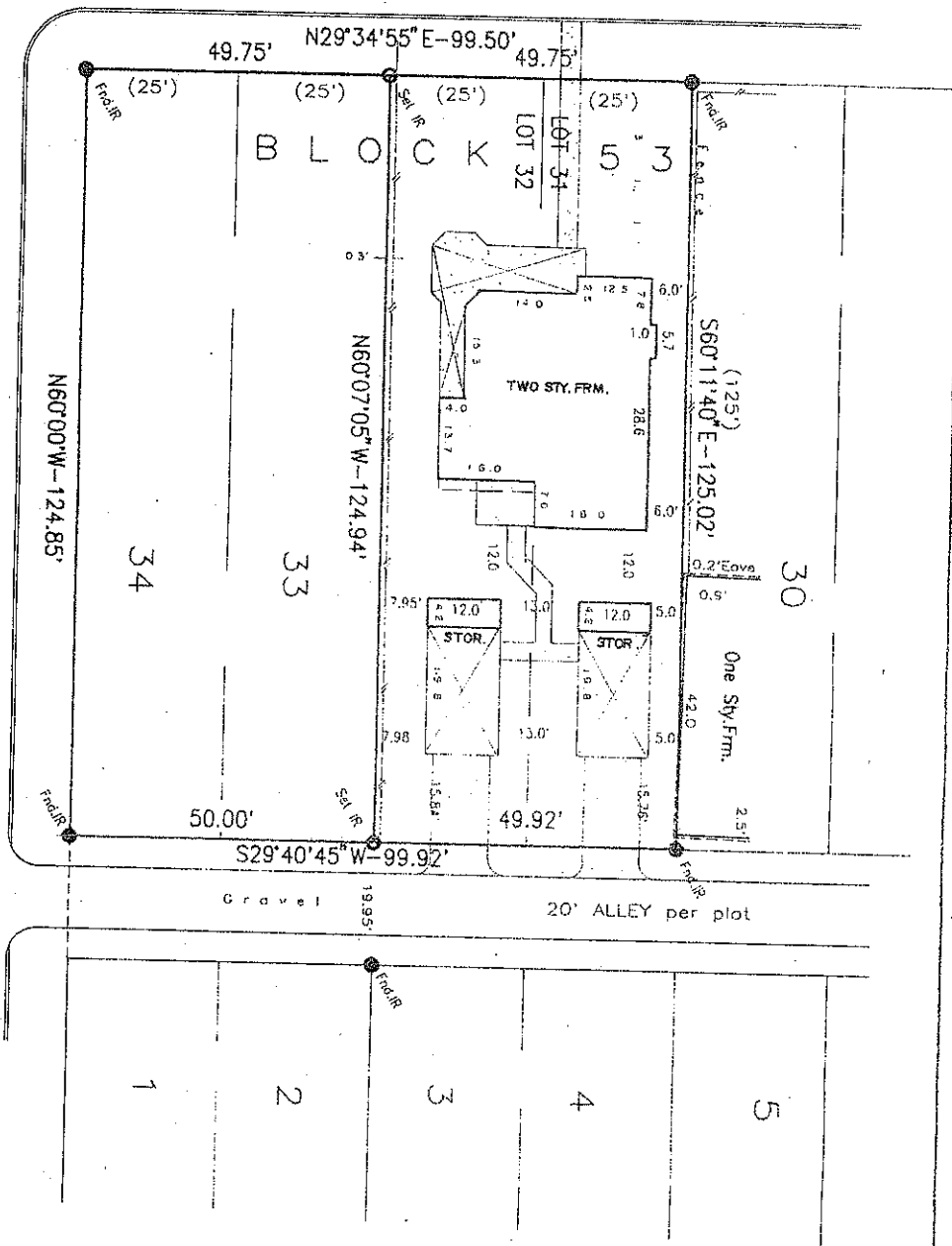
¹ If a second or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

- It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- It only has one floor within the roof structure
- It does not extend beyond the foot print of the floors below
- It is the highest habitable portion of the building; and
- Fifty percent or more of the area has a ceiling height of seven feet or less.



(50' R.O.W.)
AVENUE 'G'

EAST 49th STREET
 (50' R.O.W.)



***NOTE:**

(1) Subject Property DOES NOT lie within the limits of a special flood hazard zone, as determined from F.E.M.A. Flood Insurance Rate Map 48453C0160-E, dated June 1993 (Zone "X").

LEGAL DESCRIPTION:		Lots 31, 32, 33, 34, Block 53, HIGHLANDS, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 3, Page 55, Travis County Plat Records.	
PURCHASER: LEE		TITLE CO.: LANDAMERICA	
ADDRESS: 4903 AVENUE G		COMMONWEALTH	
		G. F. NO.: 135910-00	
I hereby certify that this plat represents a correct survey made upon the ground under my supervision on <u>JUNE 4, 2003</u> , and that there are no encroachments upon subject property, except as shown hereon, and that all improvements and all visible and apparent easements are shown hereon, and that subject property has access to and from a dedicated roadway and that said survey conforms to the current Texas Board of Land Surveying Standards.			
Robert M. Sherrard, R.P.L.S., State of Texas No. 2519 updated 6-27-05 TMS			
NOTE: From 10-20-04 / Form CHECK 6-25-04 / Azhilt 6-27-05			
G.E.O. GEOGRAPHICAL LAND SERVICES CO.		4112 SPICEWOOD SPRINGS ROAD SPICEWOOD BUSINESS CENTER SUITE 1002 AUSTIN, TEXAS 78759 (512) 345-9GEO	
DATE: 6-4-03 SCALE: 1"=20'		FIELD: WA CHKD: TMS JOB NO.: 03100605-0	

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2011-061165RA

ADDRESS: 4903 Avenue G

Contact: Sylvia Benavidez, 974-2522

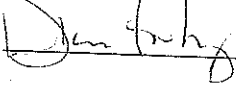
Public Hearing: November 2, 2011

Residential Design and Compatibility Commission

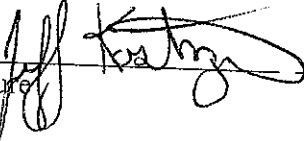
☒ I am in favor
☐ I object

Dianne Forbes and Jeff Kostzewsky
Your Name (please print)

4915 Avenue G Austin TX 78751
Your address(es) affected by this application



Signature



Date

10-21-11

Comments:

If you use this form to comment, it may be returned to:
City of Austin
Sylvia Benavidez
P.O. Box 1088
Austin, TX 78767-8810

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2011-061165RA

ADDRESS: 4903 Avenue G

Contact: Sylvia Benavidez, 974-2522

Public Hearing: November 2, 2011

Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/> I am in favor
<input type="checkbox"/> I object

Julian Henry
Your Name (please print)

4913 Avenue F, Austin, Tx 78751
Your address(es) affected by this application

[Signature]
Signature

10/24/11
Date

Comments: _____

If you use this form to comment, it may be returned to:
City of Austin
Sylvia Benavidez
P.O. Box 1088
Austin, TX 78767-8810

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2011-061165RA

ADDRESS: 4903 Avenue G

Contact: Sylvia Benavidez, 974-2522

Public Hearing: November 2, 2011

Residential Design and Compatibility Commission

<input checked="" type="checkbox"/> I am in favor
<input type="checkbox"/> I object

Elaine D Leach
Your Name (please print)

4901 Ave F
Your address(es) affected by this application

Elaine D Leach 20 Oct 11
Signature Date

Comments: I support Mr. Pena's
request for modification.
Mr. Pena advised me of
his request for modification
I appreciate the time
and expense he has
incurred. The modification
will not change at all
the character of our great neighborhood.

If you use this form to comment, it may be returned to:
City of Austin
Sylvia Benavidez
P.O. Box 1088
Austin, TX 78767-8810

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2011-061165RA

ADDRESS: 4903 Avenue G

Contact: Sylvia Benavidez, 974-2522

Public Hearing: November 2, 2011

Residential Design and Compatibility Commission

<input type="checkbox"/> I am in favor
<input checked="" type="checkbox"/> I object

Darrell Edge

Your Name (please print)

4806 Donald St.

Your address(es) affected by this application

Darrell Edge

Signature

10/21/11

Date

Comments:

No - Do we have a standard or not?

If you use this form to comment, it may be returned to:

City of Austin

Sylvia Benavidez

P.O. Box 1088

Austin, TX 78767-8810

Residential Design + Compatibility
Commission

Nov. 2, 2011

Case #

2011 - 061165RA

4903 Avenue G

David and Jayne Peña

FAR Variance Request

Peña Residence



Addition

Case #: 2011-0611-65RA

4903 Avenue G

Austin, Texas 78751

Lot:

31&32

Block:

53

The HIGHLANDS



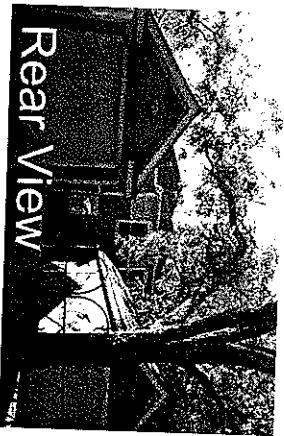
FAR Variance Request

Peña Residence

Aerial View



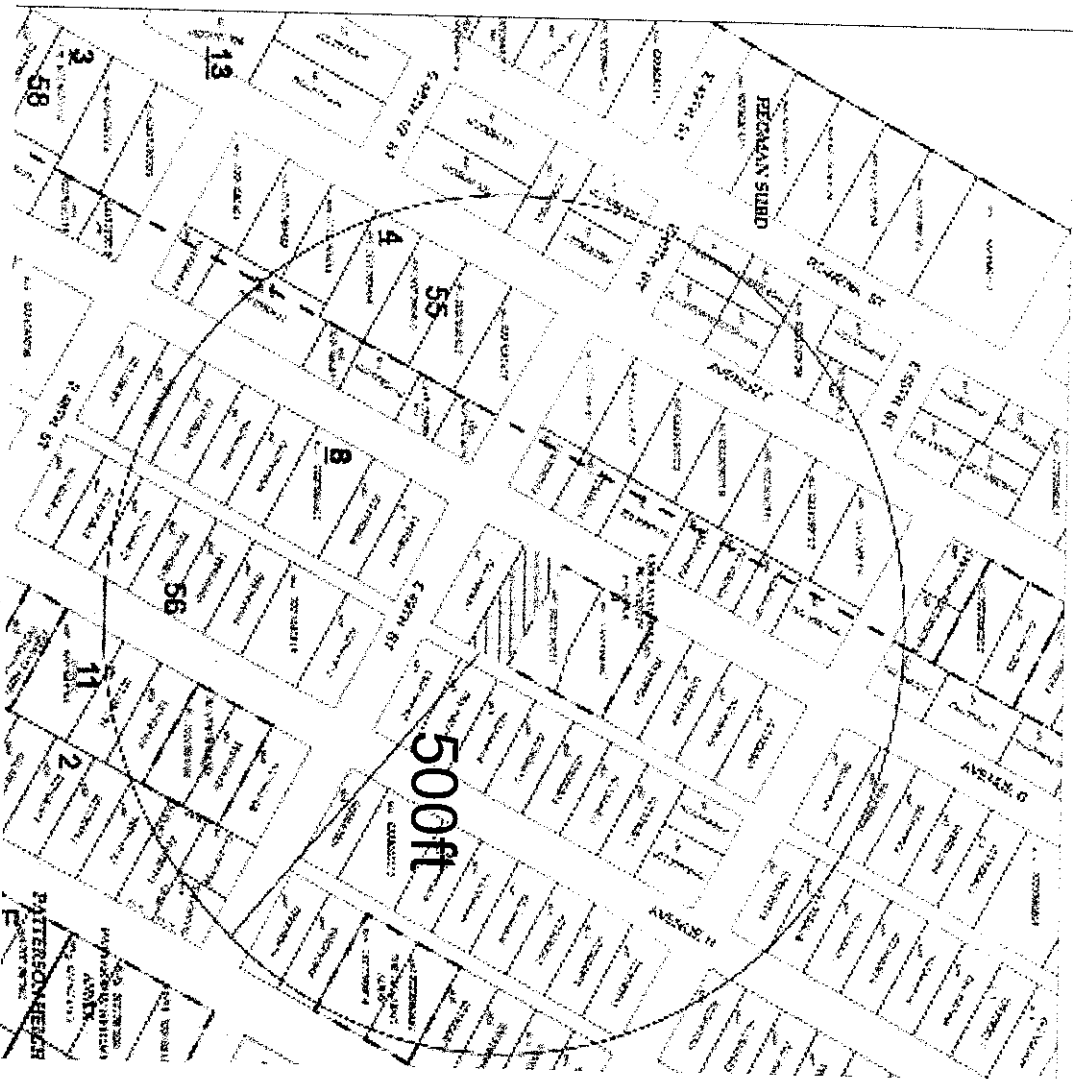
Front View



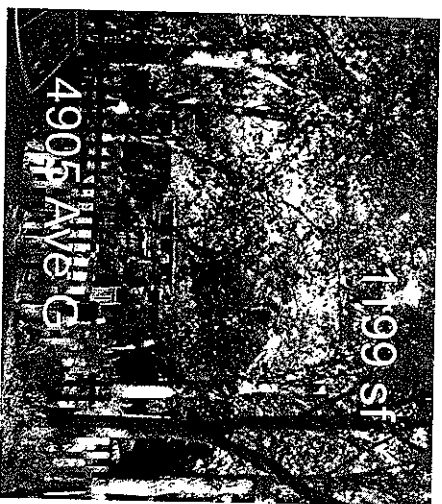
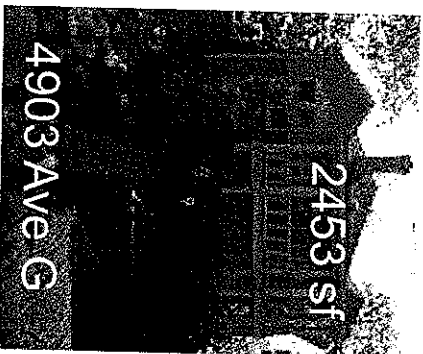
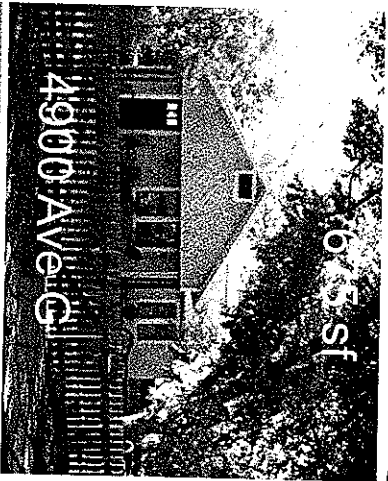
Rear View



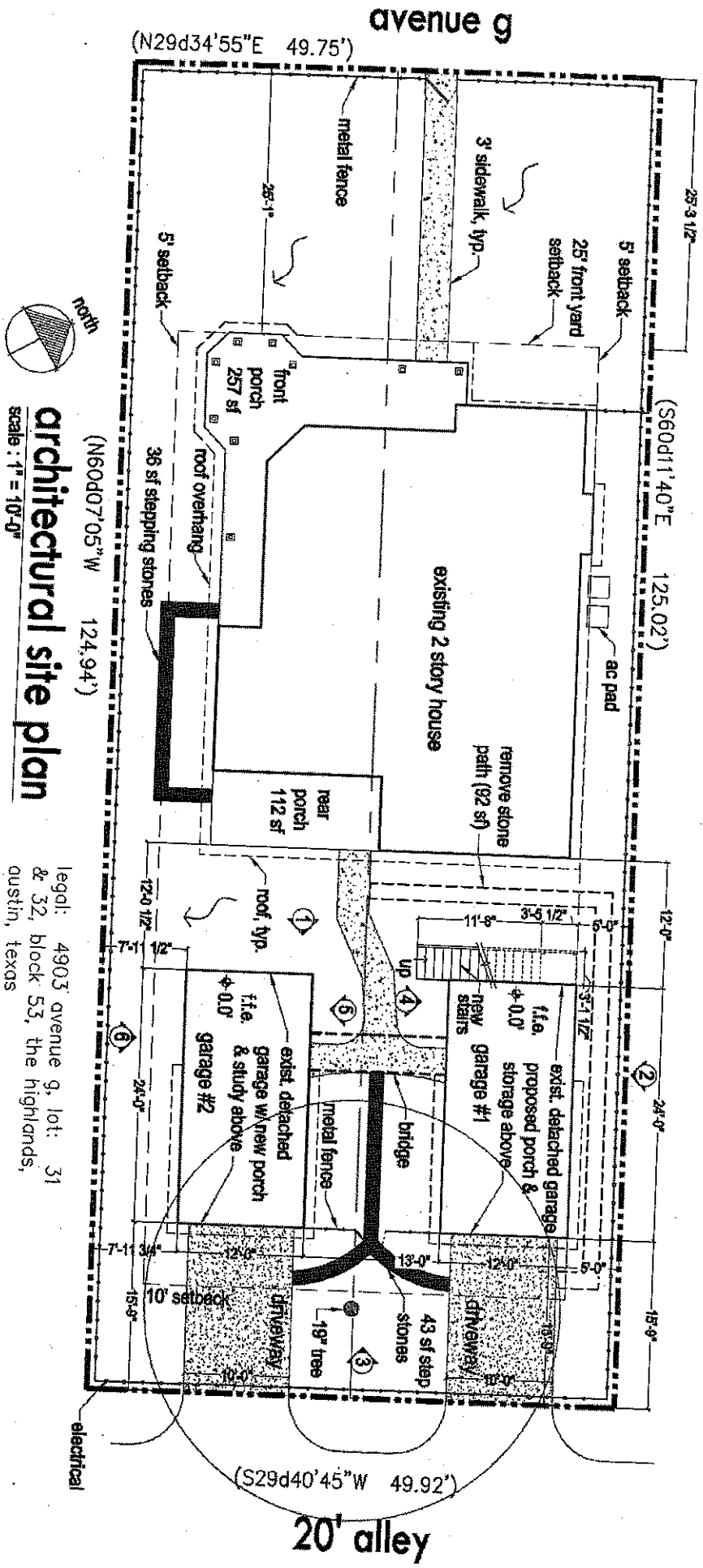
Adjacent Properties/ PLAT MAP



Adjacent Properties



Site Plan



2nd floor plan - above

storage
180 sf
ductless hvac as chosen by owner
3050, SH, sill = 2' a.f.f.
3040, SH 6-8 HH
2'-5 1/2"

study
180 sf
ductless hvac as chosen by owner
3050, SH, sill = 2' a.f.f.
3040, SH 6-8 HH
2'-5 1/2"

porch 1
slope to drain
16' 0"
3'-5 1/2"
11'-8"
15 14 13 12 11 10 9 8 7 6 5 4 3 2 1
handrail
36" h. railing to match house
open wood deck floor - rain drains thru
bridge
13'-0"
5'-1"
8'-11"
8'-0"
3'-1 1/2"

porch 2
slope to drain
7'-11"
7'-1"
3'-7"
3'-4"
5'-4"
drop 1 1/2"
2'-5 1/2"
2'-5 1/2"
2'-5 1/2"
2'-5 1/2"

note: new bridge is directly over existing sidewalk, therefore, additional impervious cover is only 8 s.f. (see site plan)

3
4
5
2

note: new bridge is directly over existing sidewalk. therefore, additional impervious cover is only 8 s.f. (see site plan)

**2nd floor plan - above
existing garage**

Architectural elevation drawing of a house with a modified tent roof. The drawing shows a side view of the house with a gabled roof on the left and a lower, modified tent roof on the right. A staircase leads up to a porch area. Various dimensions are provided for the roof, walls, and floor joists. Annotations include 'new 2nd floor top plate', 'new open wood deck bridge', and 'note: 2x10 floor joists @ conditioned spaces 2nd floor joists at porches'. The drawing is oriented with the house's front to the left.

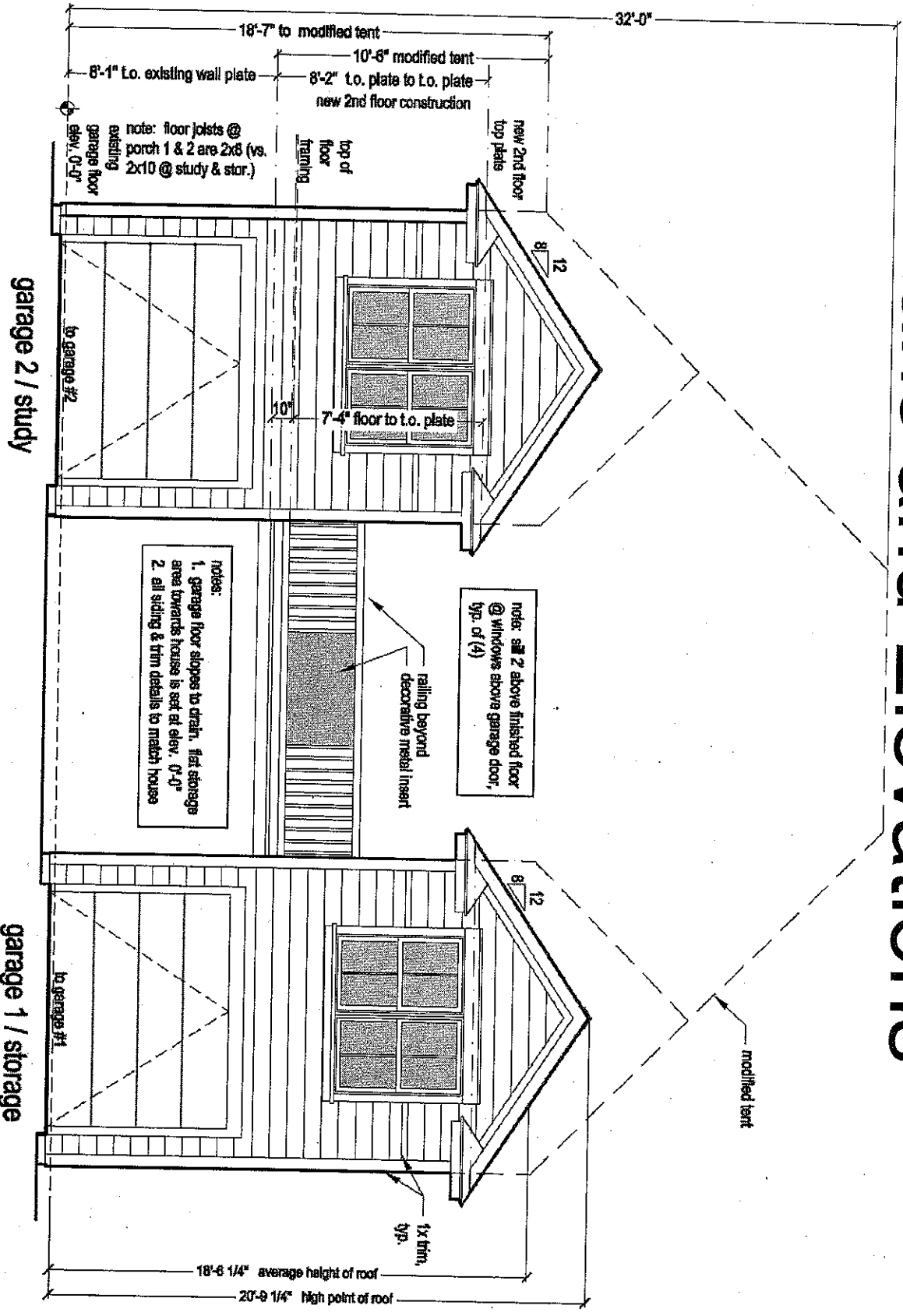
Dimensions and Annotations:

- 18'-7" to modified tent
- 10'-8" modified tent
- 8'-1" L.O. existing wall plate
- note: floor joists @ porch 1 & 2 are 2x8 (vs. 2x10 @ study & stor.)
- existing garage floor elev. 0'-0"
- 8'-2" L.O. plate to L.O. plate new 2nd floor construction
- new 2nd floor top plate
- top of floor framing
- 3'-0"
- new stairs
- 8" sphere cannot pass thru
- new open wood "deck" bridge
- note: 2x10 floor joists @ conditioned spaces 2nd floor joists at porches
- 1x 4in. v.p.
- 36" h. railing to match house decorative metal insert by Jayne
- 12
- 8
- 12
- 8
- 7'-4" floor to L.O. plate
- 10"
- 18'-6 1/4" average height of roof
- 20'-9 1/4" high point of roof
- modified tent

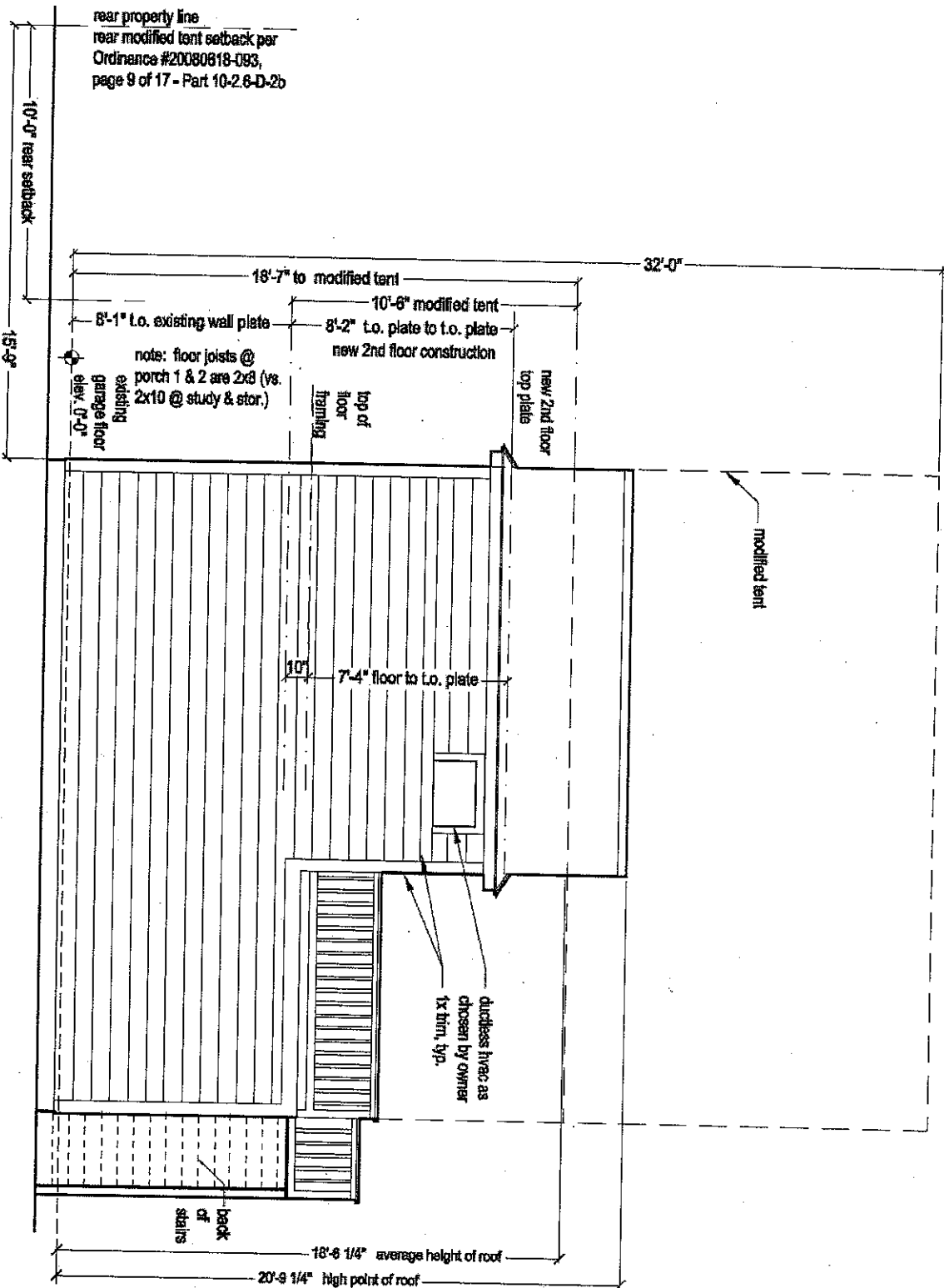
garage 2 / study

$$\text{BCEA}|\theta : 1/4^* = 1' - 0^{\text{m}}$$

Plans and Elevations



Plans and Elevations

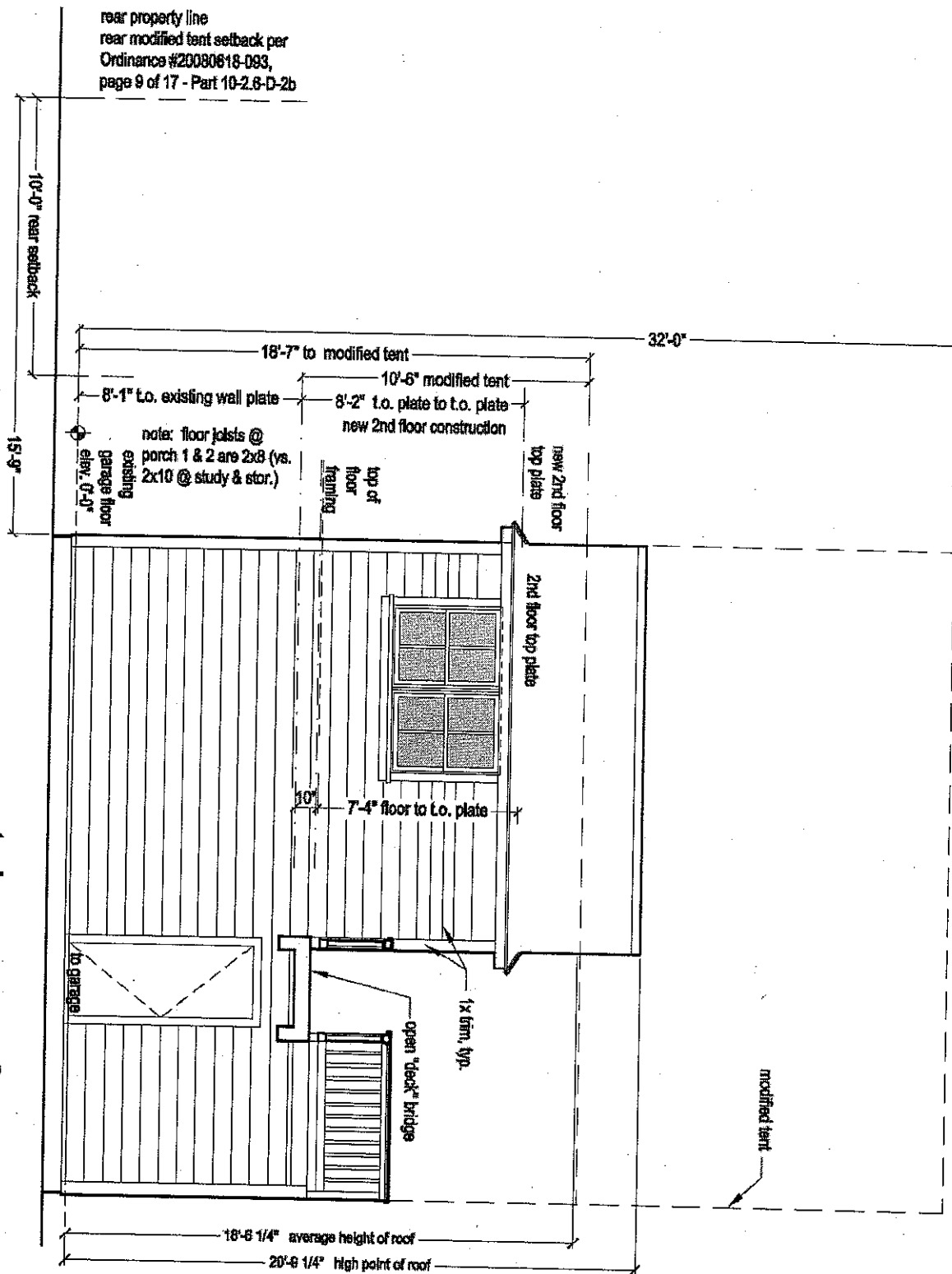


2

east elev- garage 1 / storage

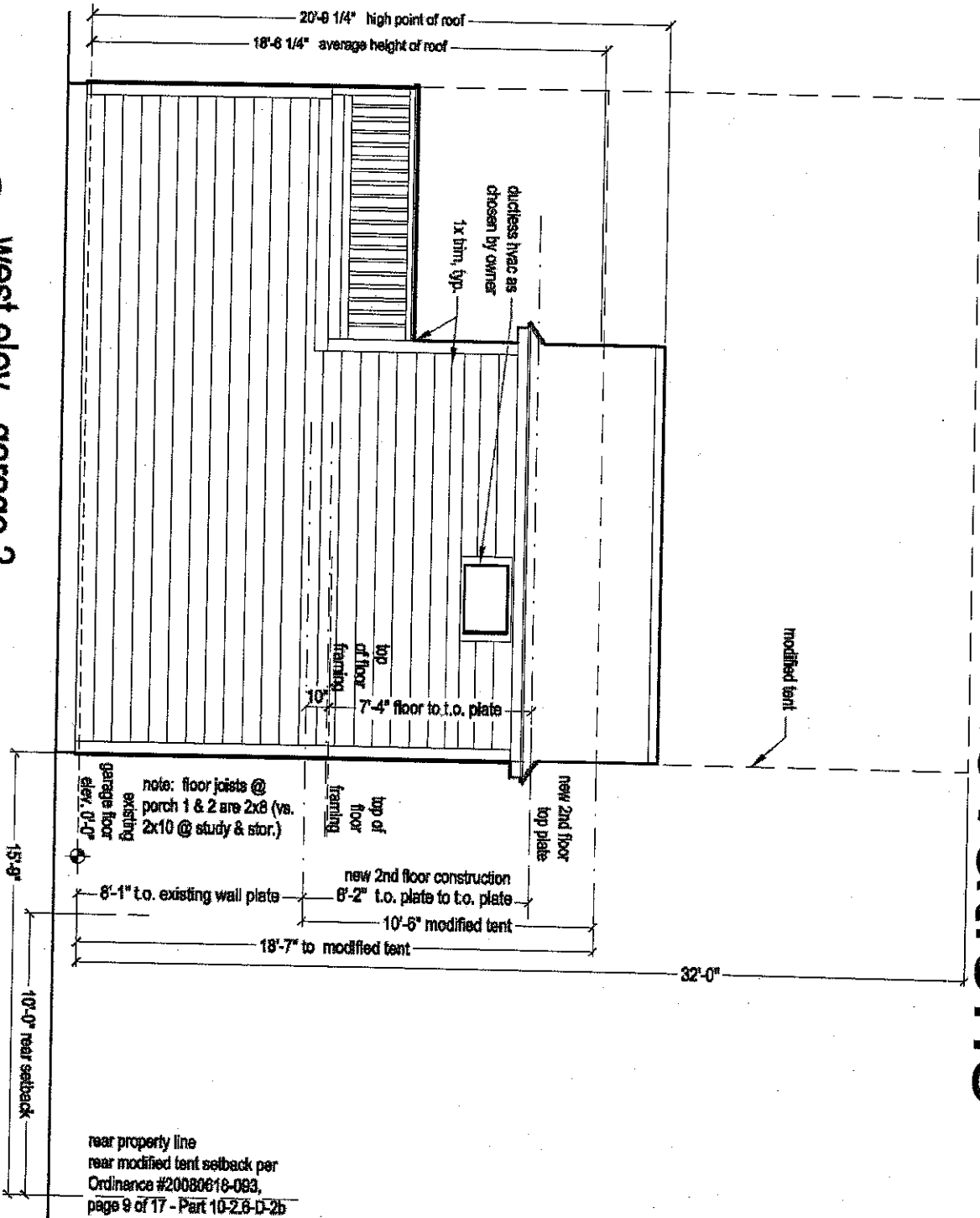
scale : 1/4" = 1' - 0"

Plans and Elevations



5 east elev- garage 2
scale: $1/4" = 1' - 0"$

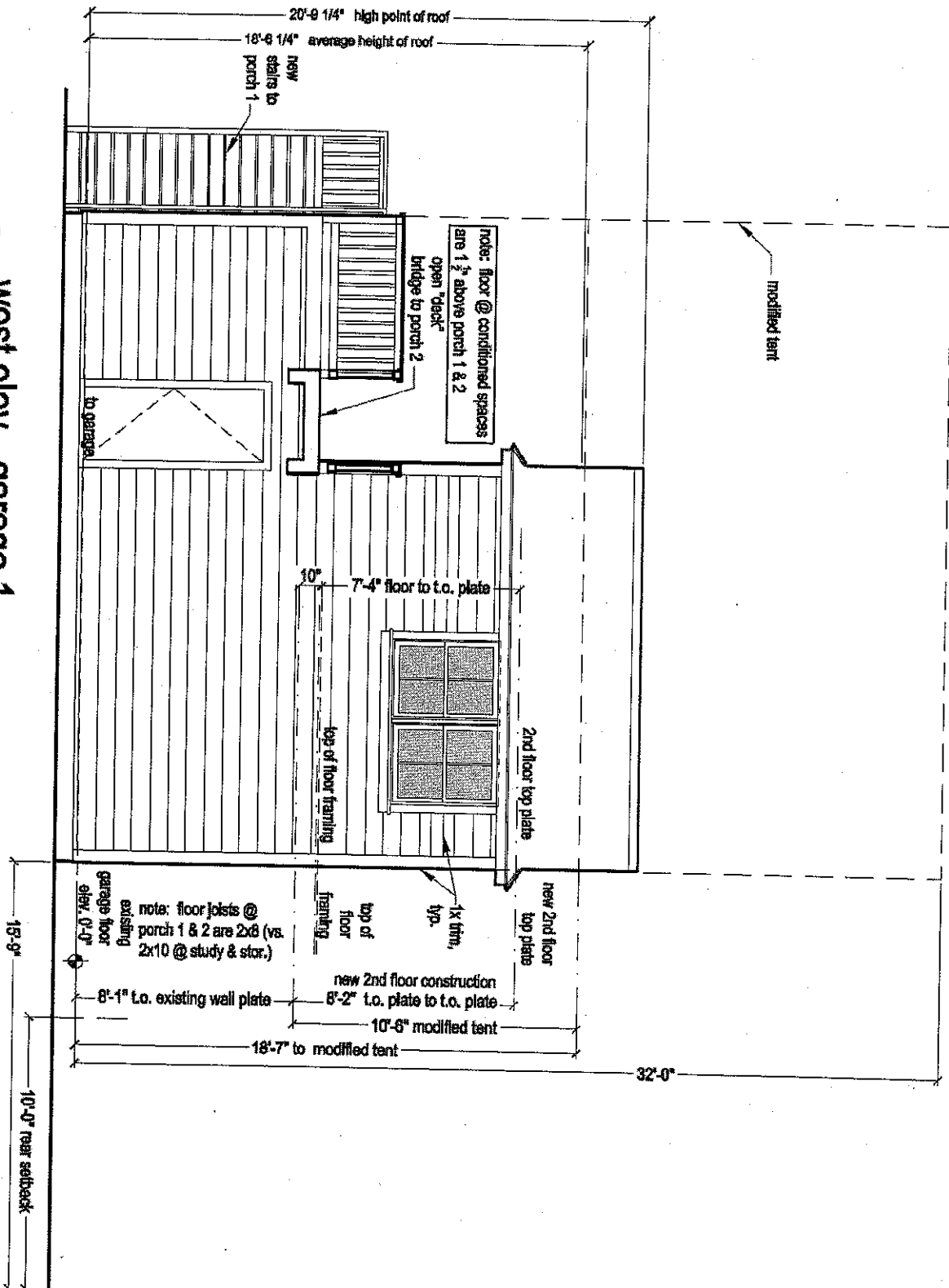
Plans and Elevations



6 west elev - garage 2

scale: 1/4" = 1'-0"

Plans and Elevations



4

west elev - garage 1

scale: 1/4" = 1'-0"

Plans and Elevations

index
a-1.1 plan, elevation, architectural site plan, open wood stair detail a-1.2 elevations
general notes to floor plans
<ol style="list-style-type: none"> 1. all construction to conform with all applicable local, state & national building codes. 2. report any & all discrepancies, errors, or omissions in the documents to the architect prior to the ordering of any materials and/or the commencement of construction. 3. all dimensions to be verified at jobsite, under no circumstance shall any dimension be scaled from these drawings. any critical dimensions not given shall be brought to the attention of the architect prior to construction. 4. door & window call outs are in feet, i.e. 2468 is a 2'-4" wide x 6'-8" tall unit, 3050 is a 3'-0" wide x 5'-0" tall unit. 5. adjust door & window rough openings to align outside trim edges of adjacent doors & windows, U.N.O. 6. verify actual window and door sizes and rough opening requirements with manufacturer. 6. provide blocking as required.

building coverage		existing	new / addition
a. 1st floor conditioned area	1,185 sf	-	
b. 2nd floor conditioned area	(1,219 sf)	-	
e. detached garages	576 sf	(360 sf)	
f. uncovered bridge (45 sf, but only 8sf imperv, because over exist. sidewalk)	-	(37 sf)	
h. covered patios	-	(8 sf)	
i. covered porches @ house - 1st floor	369 sf	-	
i. covered porch @ house - 2nd floor	(224)	-	
l. other : 2nd floor porches - uncovered stairs to new porch 1	-	(216 sf)	
	-	50	
total building area (add a, thru l.)	3,573 sf	671 sf	
total building coverage on lot	2,130 sf	50 sf	
(subtract, if applicable, b, c, d, k, f & l if uncovered) (sf in parentheses is subtracted from total coverage)		2,180 sf total coverage	

impervious coverage	
a. total building coverage on lot (see above)	2,180 sf
b. driveway area on private property	314 sf
c. sidewalk / walkways on private property	177 sf
d. uncovered patios	-
e. uncovered wood decks (bridge) - count @ 50%	4 sf*
f. air conditioner pads	8 sf
g. concrete decks	-
h. stone path	171 sf
total impervious coverage (add a thru h)	2,854 sf
total coverage allowed = 45%	2,803 sf
existing stone path to remove	(92 sf)
proposed impervious cover	2,762 sf

* bridge overlaps sidewalk except 8 s.f. = $\frac{1}{2}$ = 4 sf

Plans and Elevations

gross floor area & f.a.r.	existing	new / addition
1. 1st floor gross area		-
a. 1st floor area (excluding covered or uncovered ground/floor porches)	1,185 sf	-
b. 1st floor area w/ceiling height over 15'	-	-
c. TOTAL (add a & b above)	1,185sf	-
2. 2nd floor gross area	-	-
d. 2nd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	1,219 sf	360 sf
e. 2nd floor area w/ceiling height over 15'	-	-
f. TOTAL (add d & e above)	1,443 sf	360 sf
3. detached garage (subtract 450 sf if more than 10 feet from principle structure)	576 sf	-
3. total	(- 450)	-
7. gross floor areas	126 sf	-
	2,754 sf	360 sf
total gross floor area (add exist & new from 7 above)		3,114 sf
gross area of lot		6,229 sf

floor area ratio (gross floor area / gross area of lot)

f.a.r. 40% allowed = 2,492 sf

max. allowed f.a.r. increase = 25% increase = +623 sf = 3,115 sf max.
 requesting to add 360 sf new conditioned area
 requesting f.a.r. increase of 624 sf = 3,114 sf

Survey

AVENUE 'G'

N28°34'45"E-99.50' 48.75'

(25') (25') (25')

B L O C K

LOT 31
LOT 32

EAST 49th STREET
(50' R.O.W.)

N60°00'W-124.95'

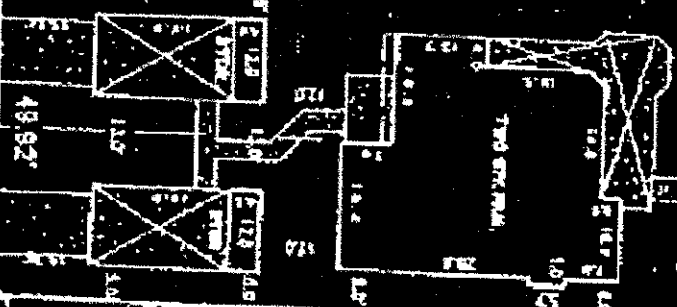
34

33

N60°07'05"W-124.94'

S80°11'40"E-125.02'

30



50.00'

S19°40'45"W-93.92'

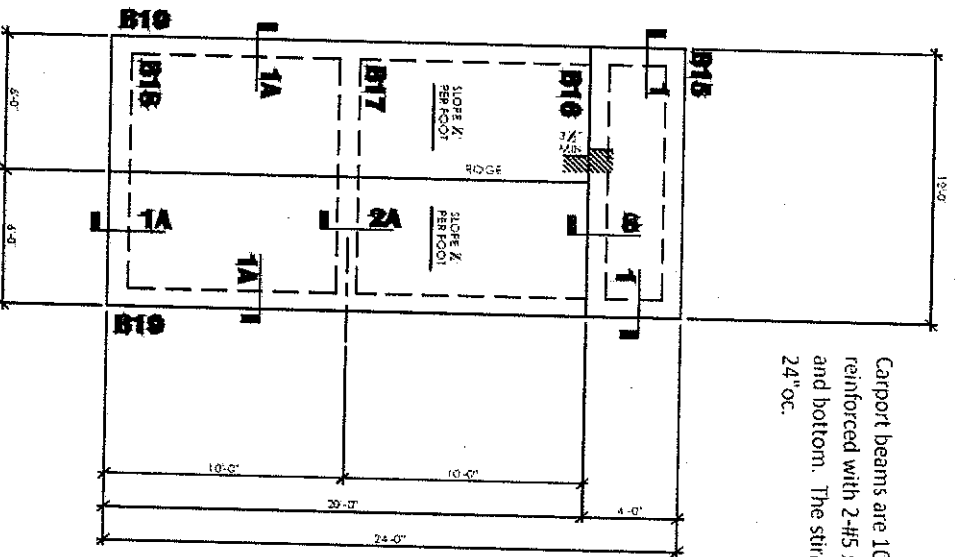
48.92'

20' ALLEY per plat

Handwritten signature

Garage Foundation Design

Carport beams are 10" x 24" and are reinforced with 2-#5 x continuous top and bottom. The stirrups are #3's at 24" o.c.



CARPORT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

SLAB AREA = 283.0 sq. ft.

Carlton Yarbrough, Jr., P.E.
CDY Consulting Engineers, Inc.

Complete FAR Calculations

500 FT Radius

Address	HVAC	Garage	Storage	Lot Size	FAR
49th Block Avenue G					
4900	675	216	64	4511	0.16382177
4901	2305	360	84	6250	0.38224
4902	982	324		4739	0.20721671
4905	1199			7340	0.1633515
4906	1124		60	6320	0.18734177
4907	1508		442	9156	0.2129751
4908	2294			3911	0.58655075
4909	1088	400	200	6609	0.19488576
4910	1974	324		3795	0.5201581
4911	2346	441	85	6594	0.37488626
4912	2019		12	3958	0.51313795
4913	1748		96	6583	0.28011545
4914	1178	200	180	6085	0.22317173
4915	1198	286	224	6962	0.20425165
48th Block Avenue G					
4800	1386	288		3988	0.34754263
4801	1318	440		6639	0.19852387
4803	832	400		6640	0.1253012
4804	1022			12031	0.08494722
4805	1575	240	80	6640	0.24924699
4807	900	357		6639	0.13556258
4808	720	180		3065	0.23491028
4809	1311	333	85	6655	0.20976709
4810	720	180		4760	0.1512605
4811	3105	676		9953	0.32462574
4812	1275		21	3148	0.41168996
4813	959	168		6669	0.14379967
4814	1544	324		3271	0.4720269
4815	1124	760		6762	0.21206744
50th block Avenue G					
5000	878	330		4906	0.24622911
5001	1764			6448	0.2735732
5003					
306 E. 50th					
49th block Avenue H					
4900	2741	340	100	6159	0.51647995
4901	932			6093	0.15296242
4902	798			6171	0.12931454
4903	828	528		9139	0.09913557
4904	1066	200		6169	0.17279948
4905	754	200		6145	0.12270138
4906	1056	466	110	6170	0.19157212
4907	720		120	6092	0.13788575
4908	952		100	6170	0.17050243
4909	840			6074	0.13829437
4910	1316			6173	0.21318646
4911	904			6078	0.14873314
4912	1520	288		6168	0.2464332
4913	1112	288		6250	0.17792
4914	1101	448		5614	0.19611685
4915	1404	270		6283	0.22346013

Address	HVAC	Garage	Storage	Lot Size	FAR
48th block Avenue H					
4800	1082	220	66	6167	0.1861521
4801	2510	630		6350	0.41574803
4802	1092	252	60	6192	0.18604651
4803	2696	365	24	7049	0.38587034
4804	966			6177	0.1563866
4805	1008			9834	0.10250153
4806	1180		80	6230	0.20224719
4807	1055	360		6594	0.15999393
4808	1456			6171	0.23594231
4809	1864	209	160	6540	0.30948012
4810	832	240		6169	0.13486789
4811	2090	554	49	6665	0.33653413
4812	1648	400	80	9260	0.18660907
4813	1203	360		6384	0.18843985
4814	934	484		6387	0.14623454
4815	1704			6747	0.25255669
50th block Avenue H					
5000	975			6091	0.16007224
5001	944	328	428	5949	0.230627
5002	3020	594		6250	0.51424
49th block Duval (even side)					
4900	1050		200	6360	0.19654088
4902	786	144		6344	0.1238966
4904	1026	255	42	8610	0.12404181
4906					
4908	1393	486		6376	0.21847553
4910	1192	320	112	6268	0.20804084
4912	1372			6361	0.21568936
49th block Avenue F					
4900	1738	192	40	4237	0.41963654
4901	1320			7247	0.18214434
4902	1050	192		4136	0.25386847
4903	2064			7614	0.27107959
4904	1896	200		7200	0.26333333
4905	1612	324		7375	0.21857627
4906	2236	324	36	3967	0.57272498
4907	1432		48	7592	0.19494204
4909	1043	324	180	7557	0.16183671
4911	1020			7518	0.13567438
4913	1308			8799	0.14865326
48th block Avenue F					
4807	1413	688		8379	0.25074591
4808	1234		256	8419	0.17698064
4809	1636	320		8460	0.23120567
4810	1475		24	6051	0.24772765
4811	1536	500		8433	0.19399976
4813	1628	520		8273	0.21128974
204 E. 50th	858		220	3594	0.29994435
105 E. 49th					
107 E. 49th	1120		224	5082	
109 E. 49th	840		20	5224	
4903 Rowena St.	965			3992	0.24173347