

HISTORIC LANDMARK COMMISSION
JANUARY 23, 2012
CERTIFICATE OF APPROPRIATENESS
LHD-2011-0026
4107 Avenue G
Hyde Park Local Historic District

PROPOSAL

Construct a new 2,868 sq. ft. single-family residence with garage on vacant lot.

PROJECT SPECIFICATIONS

The applicant proposes to construct of a new 2,868 sq. ft. single-family house on a vacant lot. A new single-family house of different design was approved by the Historic Landmark Commission for this lot on June 27, 2011.

The proposed house is a two-story, plus attic, house with a bungalow form and Craftsman-style details. There is a second story rear connector to the rear facing, one car garage. The house has a side-facing gabled roof with a front-facing gabled porch and two gabled roof dormers. The 7'-0" deep porch has masonry and wood columns supporting the roof. There will be horizontal 6" siding covering the main body of the house, irregular shake shingles in the front gable ends, and thin stone veneer covering the chimney and the lower portion of the porch columns. The foundation will be painted concrete. There will be exposed rafter ends and brackets at the porch roof, as well as brackets at the side gable eaves.

The front door will be Craftsman-style and windows will be double-hung and typically placed in groups of 2-3. The house will have a composition shingle roof.

There will be a pool located in the rear yard.

STANDARDS FOR REVIEW

The vacant lot is not a contributing property in the Hyde Park Local Historic District.

The Hyde Park Local Historic District Design Standards for new construction state:

3. Residential Standards: Single Family and Contributing Multifamily - New Construction
3.1: Houses

Local Historic District designation does not prevent change, but instead provides parameters for change that works with the special character of the district. Hyde Park recognizes that any new residential structure should reflect its time; consequently, contemporary design for new residential construction is appropriate, as long as it fits the architectural patterns of the neighborhood and its immediately surrounding structures. Items of most concern are finished floor height, floor-to-floor heights, roof heights and pitches, fenestration pattern, porch size and location, setbacks, and an overall scale that reflects neighborhood patterns.

Use massing, scale, and architectural elements typical of the block in new construction. The geometry of new house construction shall be in a scale with contributing buildings on the same block. Present any new building elevations along with adjacent building elevations for review.

Design fenestration to be similar to the character of fenestration in contributing structures. A half-story approach for second story space is more prevalent in Hyde Park than full

second stories and maintains a scale in character with existing houses; consider a half story design for second floor space for new houses.

Front porches on new construction must be at least 7 feet deep, and intended to be useable as a social area. Raise porch and first floor levels for new houses to a height comparable to existing houses with pier and beam construction, even if new construction is on a slab.

Recommendation: Minimize light pollution with the location and style of exterior lighting.

For appropriate roof forms, look to the roof forms traditionally used on contributing Hyde Park houses. Use roof forms traditionally used on contributing structures, such as hipped and gabled. Shed roofs are appropriate on attached porches but not main structures.

Locate the entrance of a building in which a principal use is located on the front of a building. If it is necessary to add a doorway on a secondary facade, it shall be of a size and shape that does not detract from the original fenestration pattern of the house.

3.3: Chimneys

Do not locate a new chimney on the front façade. Construct chimneys of brick or stone, or to have the appearance of brick or stone.

3.4: Garages

Design new garages to be detached and located to the rear of the lot and to be of a design that is simple but complementary to the main building. Do not locate garages or carports on the front façade of a building.

3.6: Driveways

A single lane driveway, entered from the front of the lot and located to the side of a house, is character-defining for Hyde Park. They are constructed of gravel or runners. Parking has traditionally been located to the side or rear of the house.

Do not locate a driveway in front of a house. Locate them from the front lot line along the side of the house. The NCCD specifies acceptable materials for driveways. Locate parking as required in the NCCD. No circular driveways.

3.7: Fences

Fences shall adhere to the regulations set forth in the Hyde Park Neighborhood Conservation Combining District (Ordinance No. 020131-20). Design fences to be compatible with the design of the structure.

COMMITTEE RECOMMENDATION

Use thin stone veneer on porch columns and chimney, and shingles in the front gable ends to differentiate the house from historic homes. Provide a more molded or crafted detail to the front porch railing.

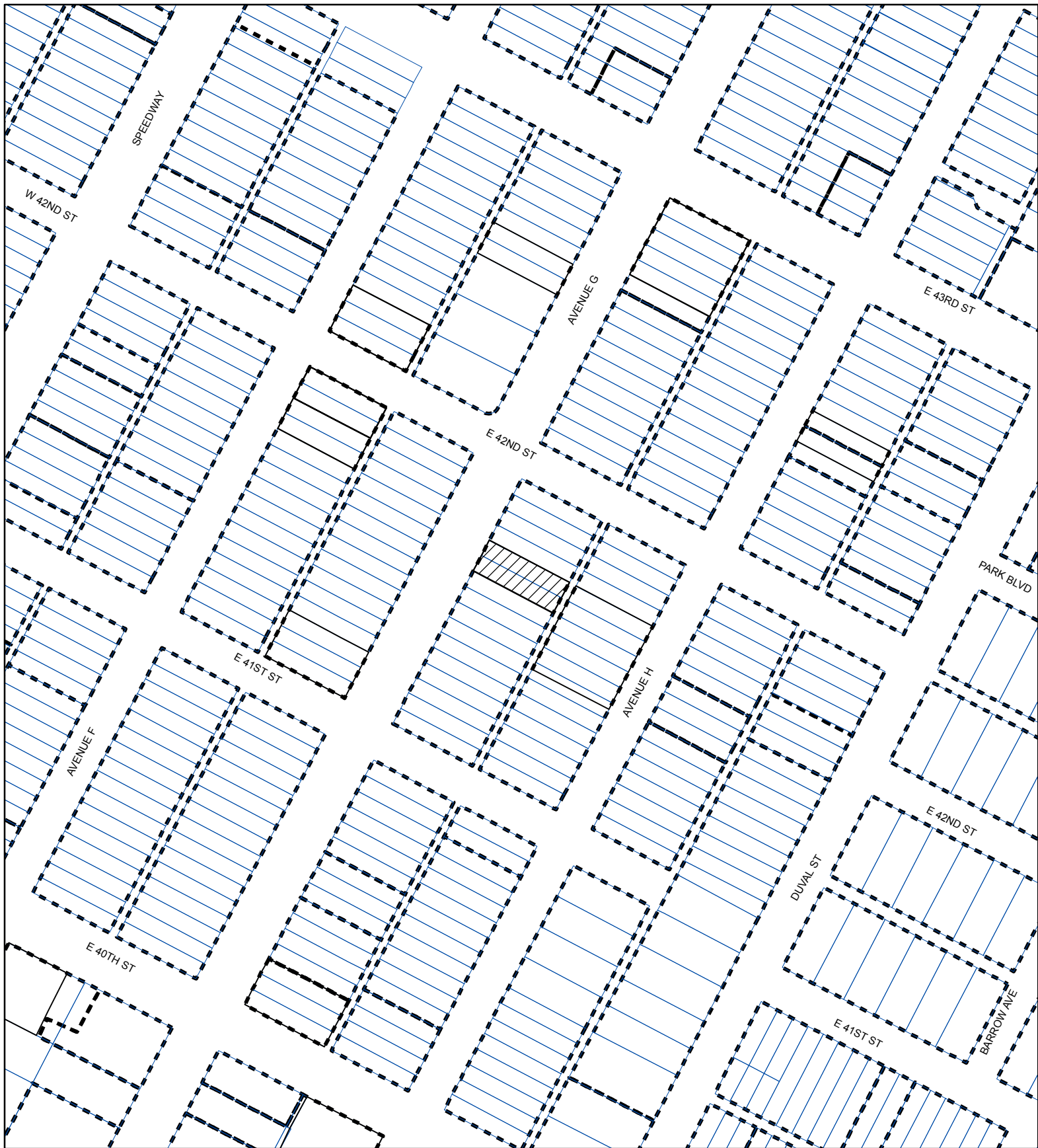
STAFF RECOMMENDATION

The applicants have met the requirements of the Hyde Park Historic District Design Standards. Approve the Certificate of Appropriateness as presented.

PHOTOS



Existing vacant lot



SUBJECT TRACT



ZONING BOUNDARY

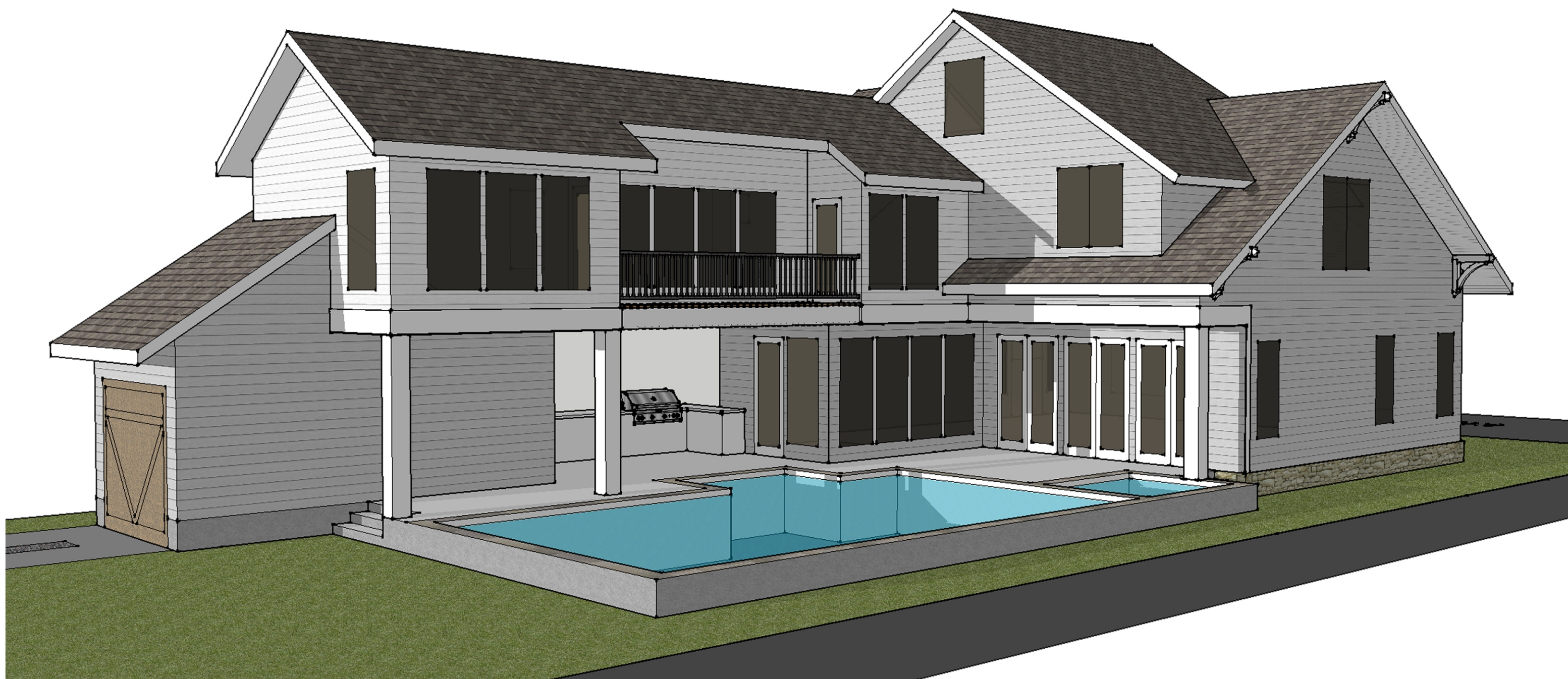
CASE#: LHD-2011-0026
LOCATION: 4107 Avenue G

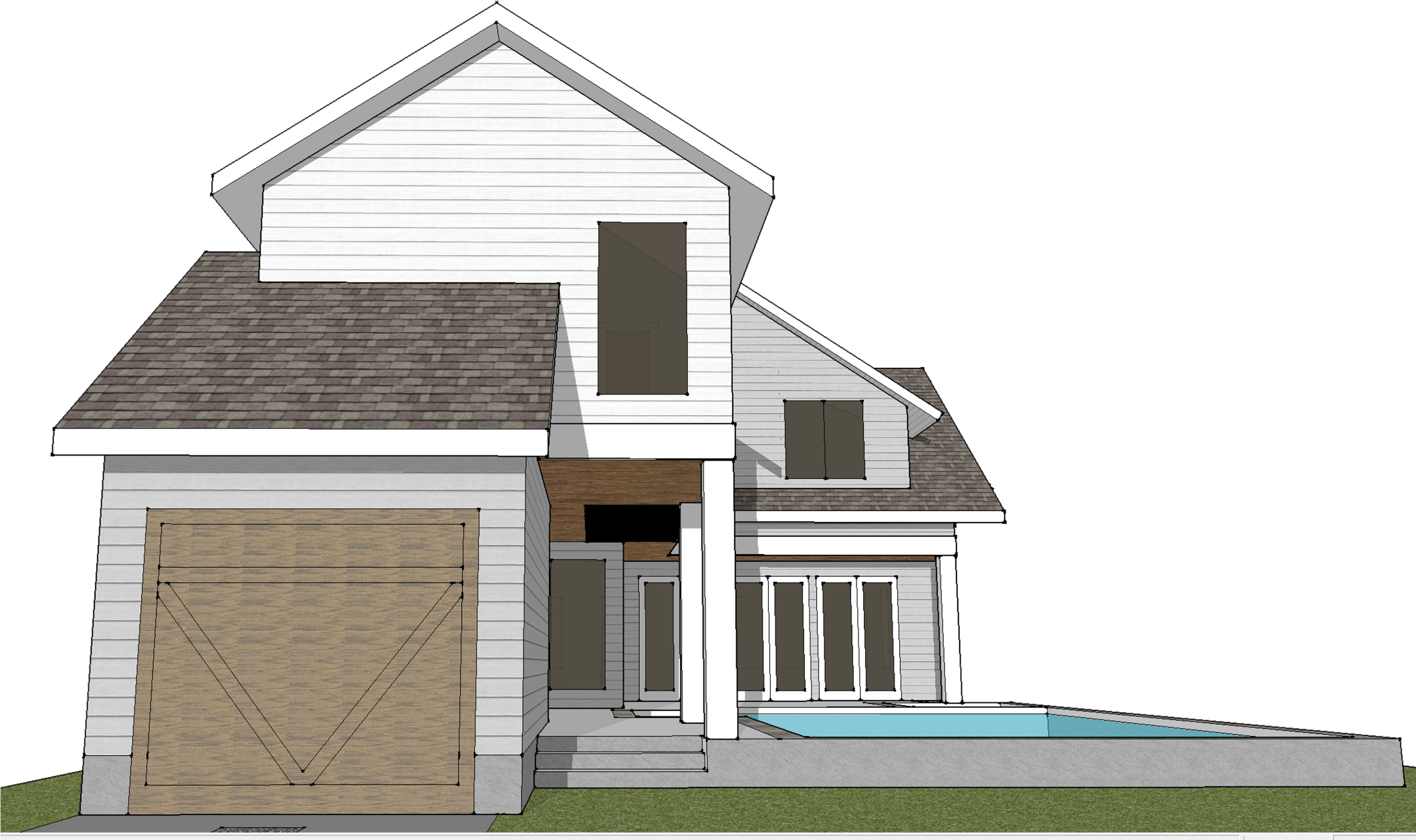


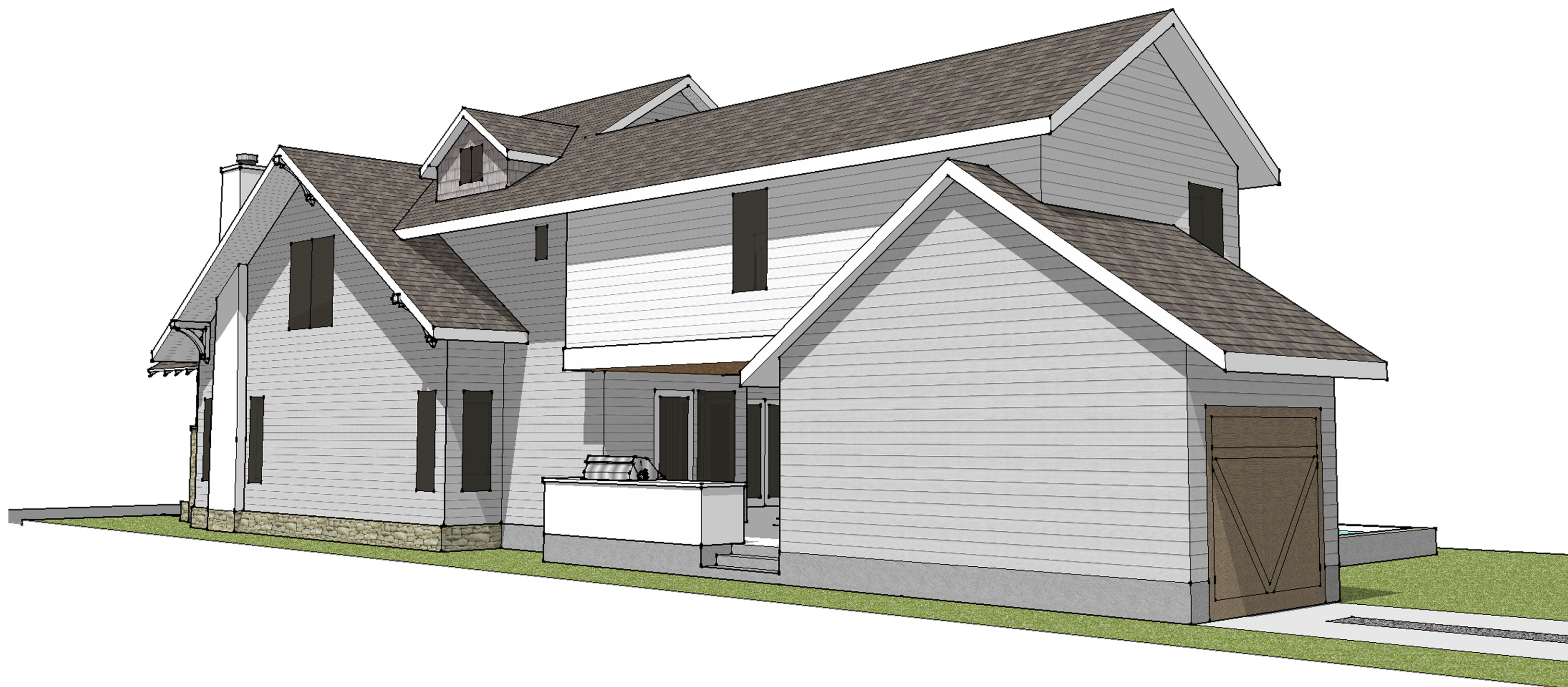
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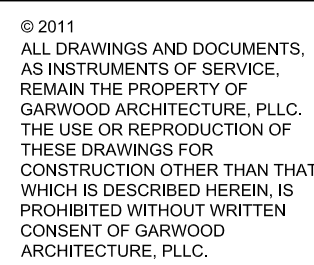
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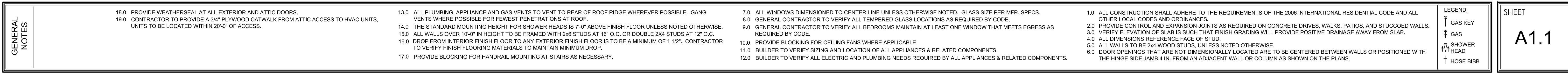








SQUARE FOOTAGE CALCCS (Jan 04 2012)	
HEATED (outside frame wall)	
Entry level	1229
Upper level	1317
Third level	322
Total	2868
NON-HEATED	
Garage	240
Covered entry porch	148
Covered alfresco dining	241
Covered porch at family rm	135
Covered porch at garage	989
Total	944



**MARRIOTT-KELLEY
RESIDENCE**
4107 Avenue G
Austin, Texas 78751

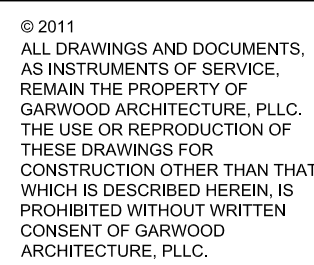
REV	DESCRIPTION	DATE
	REVIEW SET	01.04.2012

DRAWN BY: CG

SHEET TITLE
ENTRY LEVEL
FLOOR PLAN

SHEET

A1.1



NOT FOR REGULATORY
APPROVAL, PERMITTING
OR CONSTRUCTION



REV	DESCRIPTION	DATE
	REVIEW SET	01.04.2012

DRAWN BY: CG

SHEET

A1.2

GENERAL
NOTES





- 18.0 PROVIDE WEATHERSEAL AT ALL EXTERIOR AND ATTIC DOORS.
- 19.0 CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS
UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.

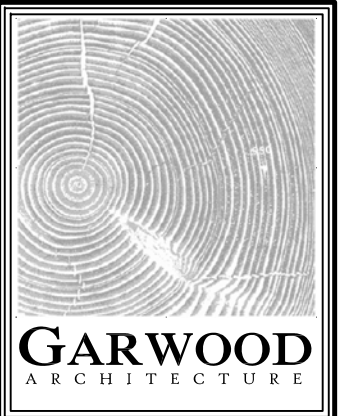
- 13.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. GANG VENTS WHERE POSSIBLE FOR FEWEST PENETRATIONS AT ROOF.
- 14.0 THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- 15.0 ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS AT 16" O.C. OR DOUBLE 2X4 STUDS AT 12" O.C.
- 16.0 DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY FINISH FLOORING MATERIALS TO MAINTAIN MINIMUM DROP.
- 17.0 PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.

- 7.0 ALL WINDOWS DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
8.0 GENERAL CONTRACTOR TO VERIFY ALL TEMPERED GLASS LOCATIONS AS REQUIRED BY CODE.
9.0 GENERAL CONTRACTOR TO VERIFY ALL BEDROOMS MAINTAIN AT LEAST ONE WINDOW THAT MEETS EGRESS AS
REQUIRED BY CODE.
10.0 PROVIDE BLOCKING FOR CEILING FANS WHERE APPLICABLE.
11.0 BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
12.0 BUILDER TO VERIFY ALL ELECTRIC AND PLUMBING MEETS REQUIRED BY ALL APPLIANCES & RELATED COMPONENTS

- 1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2006 INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER LOCAL CODES AND ORDINANCES.
2.0 PROVIDE FINISH GRADE ON ALL SLOPES AS REQUIRED ON CONCRETE DRIVES, WALKS, PATIOS, AND STUCCOED WALLS.
3.0 VERIFY ELEVATION OF SLAB IS SUCH THAT FINISH GRADING WILL PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.
4.0 ALL DIMENSIONS REFERENCE FACE OF STUD.
5.0 ALL WALLS TO BE 2x4 WOOD STUDS, UNLESS NOTED OTHERWISE.
6.0 DOOR OPENINGS THAT ARE NOT DIMENSIONALLY LOCATED ARE TO BE CENTERED BETWEEN WALLS OR POSITIONED WITH THE HINGE SIDE JAMB 4 IN. FROM AN ADJACENT WALL OR COLUMN AS SHOWN ON THE PLANS.

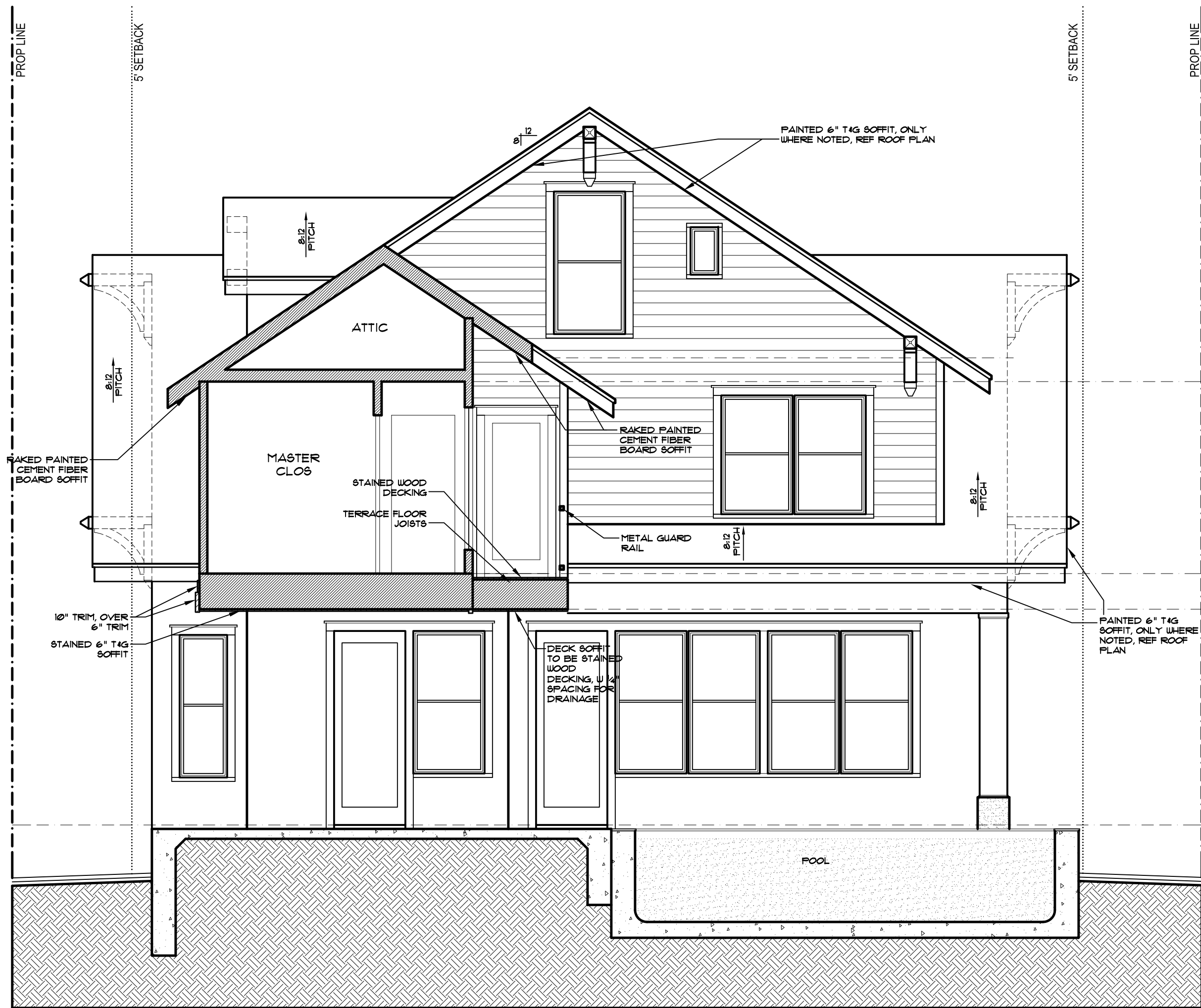
LEGEND:

-  GAS KEY
-  GAS
-  SHOWER HEAD
-  HOSE BIBE



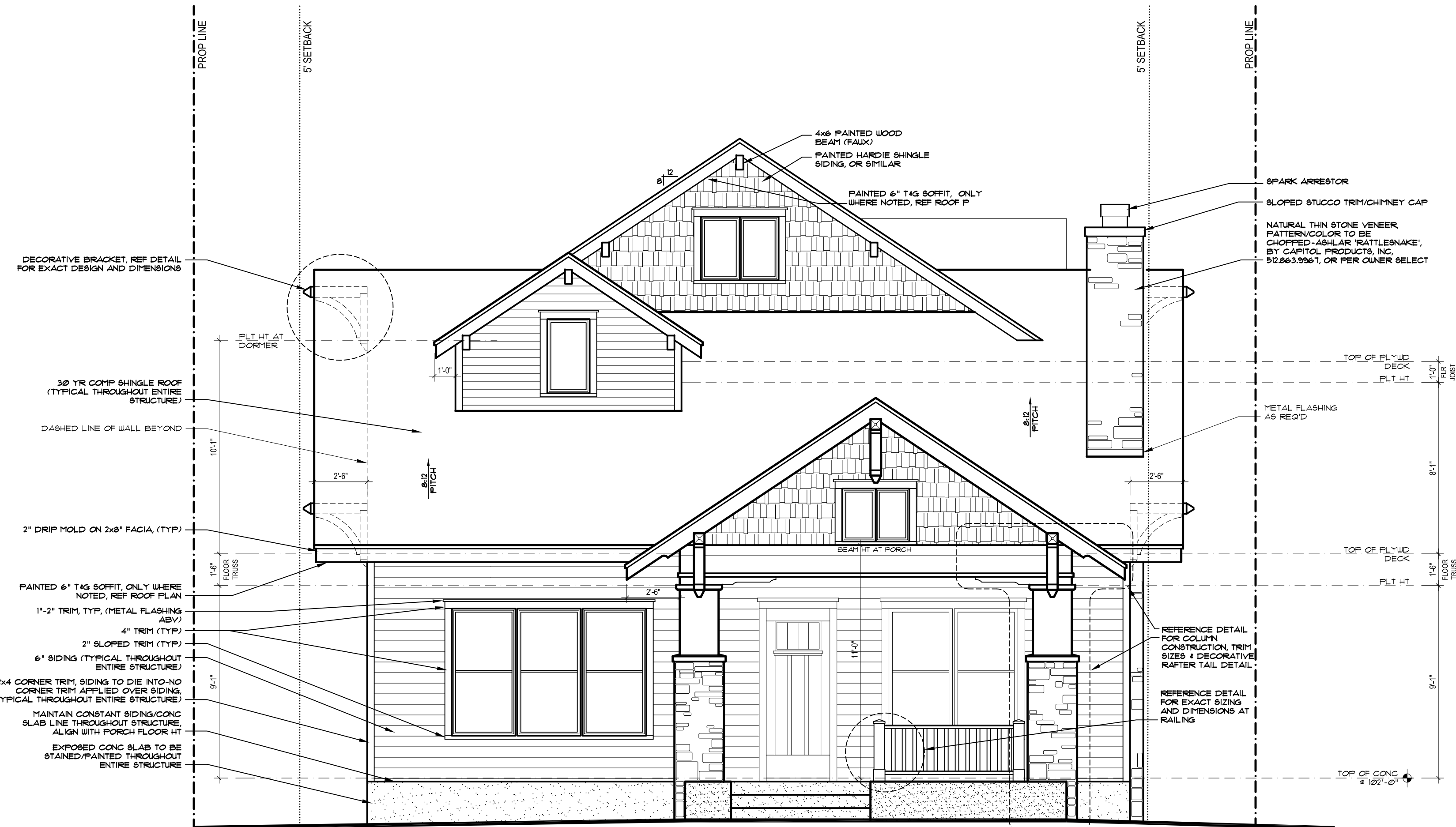
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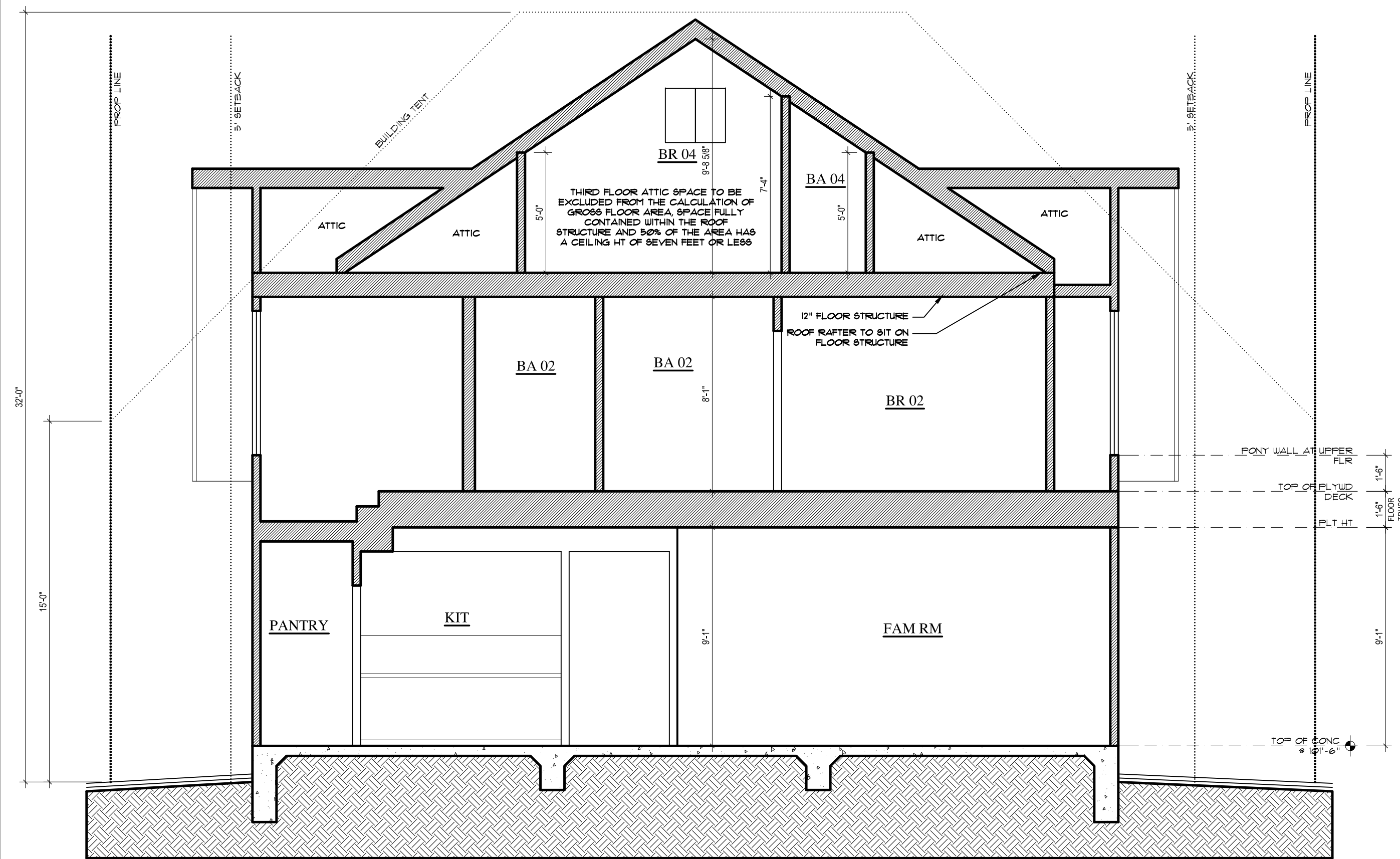
BUILDING SECTION 02

SCALE: 1/2" = 1'-0"



WEST ELEVATION

SCALE: 1/2" = 1'-0"



BUILDING SECTION 01

SCALE: 1/2" = 1'-0"



EAST ELEVATION

SCALE: 1/2" = 1'-0"

GENERAL
NOTES

***NOTE:
ALL SIDING AND TRIM TO BE PAINTED
CEMENT FIBER BOARD. USE REAL
WOOD PRODUCT ONLY AS NECESSARY.

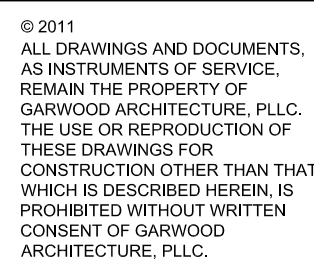
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- 2.0 PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS, PATIOS, AND STUCCOED WALLS.
- 3.0 VERIFY ELEVATION OF SLAB IS SUCH THAT FINISH GRADING WILL PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.
- 4.0 GRADE LINES ARE DRAWN AS APPROXIMATE REPRESENTATION OF FINAL GRADING. FIELD VERIFY EXACT FINAL GRADING.

MARRIOTT-KELLEY
RESIDENCE
4107 Avenue G
Austin, Texas 78751

REV	DESCRIPTION	DATE	DRAWN BY: CG
	REVIEW SET	01.04.2012	

SHEET TITLE
ELEVATIONS &
BUILDING
SECTIONS

SHEET
A2.1



NOT FOR REGULATORY
APPROVAL, PERMITTING
OR CONSTRUCTION



SCALE: $\frac{1}{4}'' = 1'-0''$



SCALE: $\frac{1}{4}'' = 1'-0''$

MARRIOTT-KELLEY RESIDENCE 4107 Avenue G Austin, Texas 78751		
REV	DESCRIPTION	DATE
	REVIEW SET	01.04.2012

DRAWN BY: CG

SHEET TITLE
ELEVATIONS

SHEET

A2.2

GENERAL NOTES

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