

**HISTORIC LANDMARK COMMISSION
MAY 21, 2012
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2012-0054
90 Rainey Street
Rainey Street**

PROPOSAL

Construct a new 1,881 sq. ft. building on a vacant lot utilizing recycled shipping containers.

PROJECT SPECIFICATIONS

The applicant proposes to construct a new 1,881 sq. ft., two-story building utilizing recycled shipping containers. A demolition permit for the original c. 1885 house was issued in 2006 and the lot is currently being occupied by mobile vendors.

The shipping containers will be stacked to create covered open air decks and patios on the first level and a second story terrace. The exterior finishes will include painted corrugated metal, stacked concrete masonry units, cast in place concrete, wood and painted steel railings, clear coated mild steel panels, clear tempered glass, and metal deck roofing spanning over painted steel beams.

STANDARDS FOR REVIEW

The existing property is a vacant lot in the Rainey Street National Register Historic District. The Rainey Street National Register Historic District has no design guidelines for new construction. Applicable general design review guidelines state:

- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

The design, scale and materials of the building(s) are not compatible with the architectural character of the Rainey Street National Register District so do not meet the general design guidelines.

STAFF RECOMMENDATION

Release the permit with the recommendation that the design be altered to be more compatible with the Rainey Street National Register District. In addition, the applicant must incorporate a transom window salvaged from the now-demolished house on this site as part of an agreed-to interpretive display on site commemorating the history of the building and possibly information about the Rainey Street neighborhood; the plans for the commemoration will be reviewed by staff.

PHOTOS



90 Rainey Street



SUBJECT TRACT



ZONING BOUNDARY

CASE #: NRD-2012-0054
LOCATION: 90 RAINEY ST.



This map has been produced by the Communications Technology Management Dept. on behalf of the Planning Development Review Dept. for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

GENERAL NOTES

1.BEFORE SUBMITTING BID, CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY ANY AND ALL CONDITIONS AND ITEMS AS MAY BE DERMED NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER OR NOT SHOWN IN THESE PLANS.

2.CONTRACTOR SHALL ACQUAINT HIM OR HERSELF WITH ALL OWNER REQUIREMENTS AND SHALL COMPLY FULLY WITH SUCH REQUIREMENTS.

5.CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EFFECT ALL ALTERATIONS AND MODIFICATIONS NECESSARY TO DELIVER COMPLETE PROJECT INSTALLATIONS TO CONFORM TO CONTRACT DRAWINGS AND SPECIFICATIONS.

6.CONTRACTOR SHALL COORDINATE HIS OR HER WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY.

7.ALL MATERIALS FURNISHED ALL INSTALLED UNDER THIS CONTRACT SHALL BE NEW, FREE FROM ALL DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE OF WORK, SHOULD DEFECTS DEVELOP DURING THIS PERIOD DUE TO DEFECTIVE MATERIAL OR FAULTY WORKMANSHIP, CONTRACTOR AND ALL SUBCONTRACTORS SHALL REMEDIATE SAME WITHOUT COST TO OWNER, ANY DEFECTS EVIDENT AT THE TIME OF INSTALLATION SHALL BE CORRECTED IMMEDIATELY TO THE SATISFACTION OF OWNER.

8.CONTRACTOR SHALL CAUSE THE WORK TO BE DILIGENTLY PURSUED UNTIL ENTIRELY COMPLETED.

9.IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT HIMSELF WITH THE DIMENSION OF ALL EQUIPMENT INCLUDED IN THIS PROJECT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE SPACE WITH SUFFICIENT CLEARANCE, AND TO INSURE THAT ADEQUATE FLOOR SPACE IS AVAILABLE.

10.PROJECT SHALL BE CLEANED AFTER COMPLETION OF WORK.

11.CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING DESIGN PLANS, MECHANICAL AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER PRIOR TO ANY WORK.

12.CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALL, CEILINGS, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANT SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY.

13.THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE DESIGNER WHO WILL MAKE ANY NECESSARY CLARIFICATION/INTERPRETATION, OR REVISION REQUIRED.

14.DIMENSIONS IN FLOOR PLANS AND SECTIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE, DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FINISHED FACE UNLESS NOTED OTHERWISE.

15.IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING THE DESIGNER OF ANY SUCH DISCREPANCIES, HE SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS OR HER WORK MADE NECESSARY BY HIS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.

17.CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. FROM LOSS, DAMAGE, FIRE, THEFT, ETC.

18.WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUIVALENT PRODUCT AS APPROVED IN WRITING BY DESIGNER.

19.CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STRUCTURE FOR INTERIOR PARTITIONS, CEILING, PLATFORMS, ETC. . WHETHER SHOWN ON DRAWINGS OR NOT.

20.CONTRACTOR SHALL INSTALL ALL LAMPS IN LIGHTING FIXTURES. LAMPS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) MONTH FROM THE DATE OF ACCEPTANCE OF WORK UNLESS OTHERWISE NOTED ON THE PLANS.

22.PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL EQUIPMENT, WALLS, ETC.

23.ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL LAWS, RULES AND REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION. IN CASES OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.

MARKERS

1

DRAWING NUMBER

PLAN: SITE PLAN

1/4" = 1'-0"

DRAWING TITLE

NORTH ARROW

KITCHEN

WOOD

ROOM NAME AND FLOOR FINISH MARKER

X-X' A.F.F.

PTD.GVP.BD.

CEILING HEIGHT & MATERIAL

X-X'

PLATELINE OR FINISH FLOOR ELEV.

203

DOOR DESIGNATION NUMBER

W01

WINDOW DESIGNATION NUMBER

CL

CENTERLINE

SHA

REVISION MARKER

1/A3.1

BUILDING ELEVATION MARKER

1/A3.1

BUILDING SECTION MARKER

A

B

C

D

SHEET NUMBER

INTERIOR ELEVATION MARKER

SHEET NUMBER

DRAWING NUMBER

DRAWING NUMBER

X

X

X

WALL SECTION/DETAIL MARKER

SHEET NUMBER

SHEET NUMBER

CT-2

CT-1

FLOOR TRANSITION MARKER

DRAWING INDEX

DESIGN

0.0 COVER SHEET

CS.01 Site Plan

1.1 1ST LEVEL PLAN/DOOR SCH.

1.2 2ND LEVEL PLAN

2.1 EXTERIOR ELEVATIONS

2.2 EXTERIOR ELEVATIONS

2.3 ELEVATION RENDERING

PROJECT INFORMATION

PROJECT NAME:

CONTAINER BAR

PROJECT ADDRESS:

90 RAINEY STREET
AUSTIN, TEXAS 78701

CODE DATA

APPLICABLE CODES:

2009 International Building Code
2009 International Plumbing Code
2009 International Mechanical Code
2009 National Electrical Code
2009 International Fire Code

TYPE OF DEVELOPMENT:

Cocktail Lounge

GROUP/OCCUPANCY:

GROUP Assembly, A-2

TYPE OF CONSTRUCTION:

TYPE 5B

SPRINKLED:

YES

NUMBER OF STORIES:

TWO

BUILDING AREA:

Refer to Site Plan, civil sheet C-01 for site area

Back Bar/Storage:

551

Gross sf.

Office:

160

Gross sf.

Box 1 seating:

160

Gross sf.

135

Net sf.

Box 2 seating:

160

Gross sf.

135

Net sf.

Box 3 seating:

160

Gross sf.

135

Net sf.

Box 4 seating:

320

Gross sf.

270

Net sf.

Box 5 seating:

160

Gross sf.

135

Net sf.

Bathrooms:

442

Gross sf.

Total Buiding sf.

2113

square ft.

Deck Lower:

1386

Gross sf.

Deck Upper:

464

Gross sf.

Total Deck:

1850

square ft.

Total Built:

3963

square ft.

(5,500 SF ALLOWED PER CODE FOR TYPE 5B)

INTERIOR OCCUPANCY LOAD:

Area

Load

Calc

Area

Occupants

Back Bar:

1:200

GSP

551

2.75

Office:

1:100

GSP

160

1.6

Box 1 seating:

1:15

NET

135

9

Box 2 seating:

1:15

NET

135

9

Box 3 seating:

1:15

NET

135

9

Box 4 seating:

1:15

NET

270

18

Box 5 seating:

1:15

NET

135

9

Total:

1521

59

BUILDING HEIGHT: 23'-0"/2 STORY

EXITING:

Exit Width

Required

44'

Provided

48'

FOR FURTHER INFO, REFER TO
SP 2009 - 5161C
CLASS MANAGER: S. WELCH

SIGN-OFF

X

COMMERCIAL PLAN REVIEWER

X

HEALTH DEPARTMENT REVIEWER

X

INDUSTRIAL WASTE REVIEWER

X

FIRE MARSHAL

X

TDLR REVIEW

X

AUSTIN GREEN BUILDING

joint venture

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PROJECT NAME

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90 RAINEY STREET
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2012/05/01

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NUMBER OF SHEET

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CONTACTS

CLIENT

CONTAINER BAR GP, LLC

CONTACT:

BRIDGET DUNLAP

E-MAIL:

BRIDGET@DUNLAPDISTRICT.COM

PHONE:

512.XXX.XXXX

DESIGN

HENDLEY KNOWLES DESIGN STUDIO

CONTACT:

JAY KNOWLES

E-MAIL:

HENDLEYKNOWLES@GMAIL.COM

PHONE:

512.940.2228

&

NORTH ARROW STUDIO

CONTACT:

FRANCISCO X. ARREDONDO

E-MAIL:

FX@NORTHARROWSTUDIO.COM

PHONE:

512.663.0565

CONTRACTOR

ARMADILLO CONSTRUCTION

CONTACT:

JOHN PAQUIN

E-MAIL:

JOHNPAQUIN01@aol.com

PHONE:

512.677.4177

STRUCTURAL ENGINEER

MJ STRUCTURES

CONTACT:

RICHARD MARTIN

E-MAIL:

RICHARD@MJSTRUCTURES.COM

PHONE:

512.693.9502

MEP

ALPACA ENERGY SOLUTIONS

CONTACT:

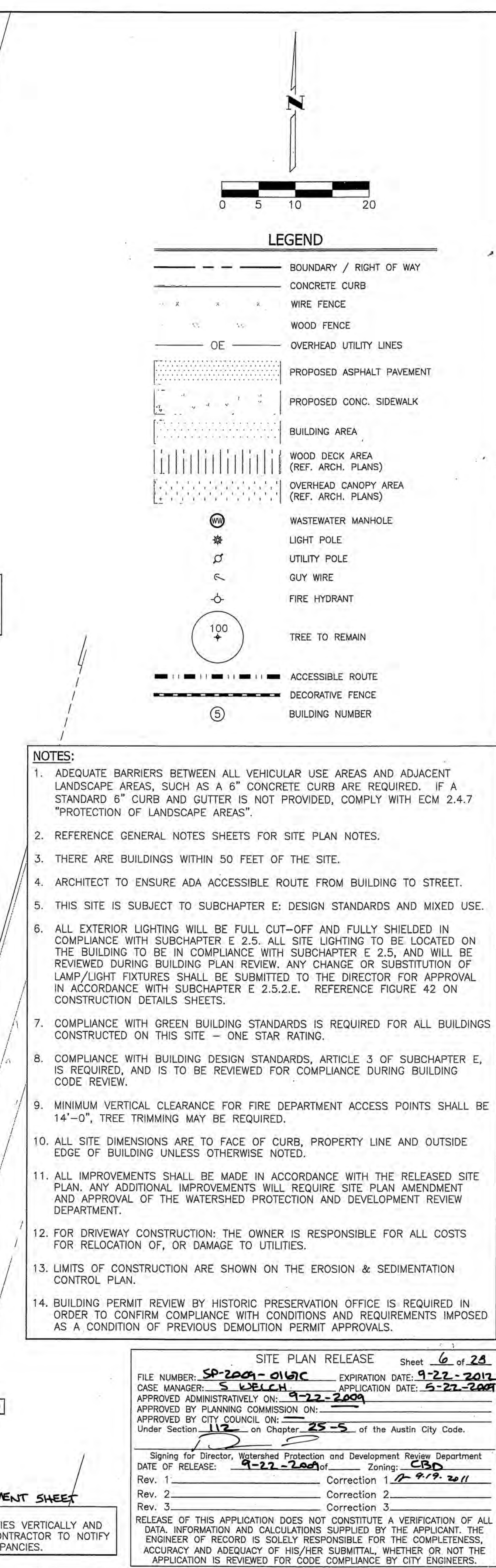
ALLEN PERRY

E-MAIL:

APERRY@ALPACAENERGY.COM

PHONE:

512.328-8999



<u>PARKING DATA</u>		
REQUIRED:		
TYPE	RATIO	SPACES
COCKTAIL LOUNGE :	1 / 100 SF	17 SPACES*
*20% REQUIRED (ZONED CBD)		
*OFFICE IS ACCESSORY USE NOT CONNECT TO PRIMARY USE. 135 SF NOT COUNTED TOWARD GROSS BLDG SF.		
SUBTOTAL :		3 SPACES
BICYCLE		3 SPACES
PROVIDED:		
TYPE	SPACES	
REGULAR	2 SPACES	
ACCESSIBLE	1 SPACE	
TOTAL	3 SPACES	
BICYCLE	5 SPACES	

SITE PLAN RELEASE

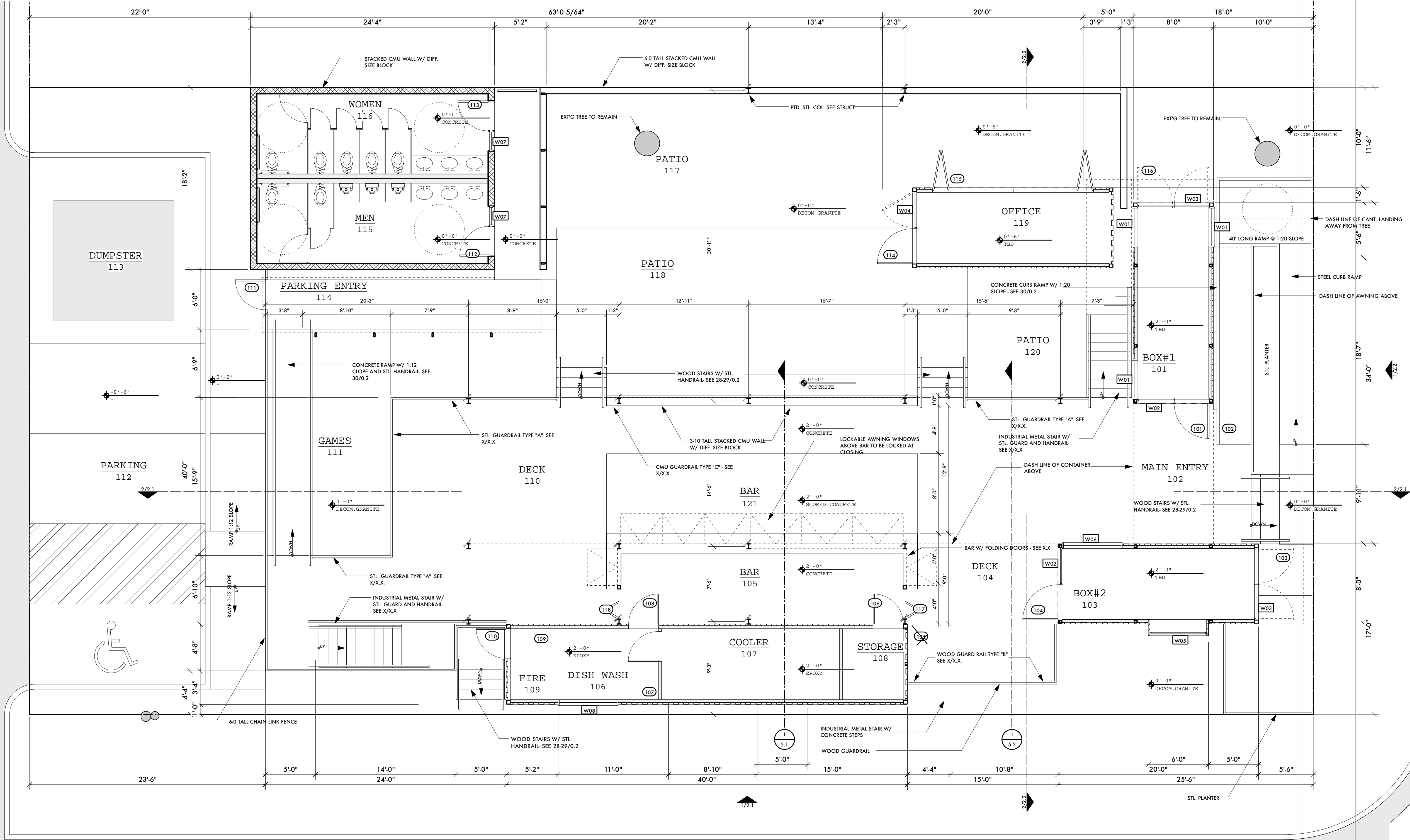
Sheet 6 of 29

FILE NUMBER: SP-2009-0181C EXPIRATION DATE: 9-22-2017
CASE MANAGER: S. KETLER APPLICATION DATE: 5-27-2009
APPROVED ADMINISTRATIVELY ON: 9-22-2009
APPROVED BY PLANNING COMMISSION ON: _____
APPROVED BY CITY COUNCIL ON: _____
Under Section 112 on Chapter 25-5 of the Austin City Code.

B

Signing for Director, Watershed Protection and Development Review Department
DATE OF RELEASE: 9-22-2009 Zoning: RBD
Rev. 1 _____ Correction 1 9-19-2011
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND RELIABILITY OF HIS/HER OWN MEASUREMENTS AND CALCULATIONS. THIS APPLICATION IS REVIEWED FOR CODE COMPLIANCE ONLY BY CITY ENGINEERS.



1 PLAN: 1ST LEVEL
3/16" = 1'-0"

GENERAL NOTES

1. REFER TO ELEVATIONS & DETAILS FOR FULL EXTENT OF WALL CONSTRUCTION.
2. THIS PLAN SHOWS GRAPHIC AND WRITTEN INFORMATION CONCERNING THE EXT'G. SPACE. THIS IS INCLUDED AS "INFORMATION ONLY" REPRESENTING AVAILABLE INFORMATION OF THE ORIGINAL DRAWINGS PLUS FIELD VERIFICATION AND NOTATION. G.C. SHALL FIELD VERIFY ALL EXT'G. CONDITIONS & DETERMINE THE SCOPE OF THE WORK REQUIRED. THE CONTRACTOR SHALL EXAMINE THE EXT'G. BUILDING & WORK SHOWN BY ALL CONTRACT DOCUMENTS TO DETERMINE THE SCOPE.
3. G.C. TO NOTIFY DESIGNER OF ALL DISCREPANCIES & "DISCOVERIES".
4. ALL PERIMETER WALLS ARE EXISTING.
5. VERIFY ALL LIGHT FIXTURE, SWITCH & OUTLET LOCATIONS W/DESIGNER.
6. REFER TO SPECIFICATIONS FOR FINISHES & MATERIALS DESCRIPTION PROVIDED BY OWNER.
7. ALL WORK IS TO BE PERFORMED AT HOURS & MANNER ALLOWABLE BY OWNER & OWNER REPRESENTATIVE.
8. G.C. TO COORDINATE W/OWNER THE FOLLOWING WORK (BUT NOT EXCLUSIVELY): TECHNOLOGY, ELECTRICAL, PHONE & A/V VENDORS &/OR OTHER SPECIALITY SUBCONTRACTORS.
9. SEE INTERIOR ELEVATIONS FOR PAINT COLOR AND FINISH AT WALLS & CEILING.
10. SEE INTERIOR ELEVATIONS FOR PAINTED MDF BASEBD. & TRIM.
11. ALL GLASS TO BE TEMPERED IN AREAS REQUIRED BY LOCAL CODE.
12. AN AUTOMATIC SUPPRESSION SYSTEM WILL BE INSTALLED TO PROTECT THE KITCHEN COOKING EQUIPMENT. THIS WILL BE ADDRESSED IN A SEPARATE PERMIT THROUGH A DEFERRED SUBMITAL.

WALL NOTES:

1. TYPICAL INTERIOR WALL TO HAVE NON-COMBUSTIBLE METAL STUDS W/ 5/8" TYPE "X" GWB TAPED, SPACKLED, SANDED & PAINTED U.N.O.
2. ALL PERIMETER WALLS TO BE INSULATED WHEN POSSIBLE
3. SEE WALL FINISH PLAN & INTERIOR ELEVATIONS FOR WALL FINISHES
4. SEE INTERIOR ELEVATIONS FOR WALL HEIGHTS
5. FOR WALLS W/ALTERNATE WALL STUD THICKNESSES SEE PLAN
6. ADD SOUND ATTENUATING INSULATION AT ALL BATHROOM WALLS

DOOR NOTES

1. ALL WDW./DOOR DIMENSIONS ARE TO THE ROUGH OPENING, U.N.O. G.C. TO VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING &/OR INSTALLATION OF WINDOWS/DOORS.
2. ALL GLAZING TO BE CLEAR, LOW-E, & FOLLOW APPLICABLE CODES
3. G.C. TO COORDINATE THE INSTALLATION OF ALL DOORS IN ACCORDANCE W/DOOR MANUF. SPECS.
4. ALL WINDOW/DOOR FINISHES VERIFIED BY DESIGNER
5. ALL GLASS FOR EXTERIOR DOORS TO BE LOW-E
6. PROVIDE SAMPLES OF EXPOSED HARDWARE FOR APPROVAL

HARDWARE KEY

1. PASSAGE LATCH
2. PRIVACY LOCK
3. KEYED LOCKSET OUTSIDE ONLY
4. PUSH/PULL BAR
5. THRESHOLD & WEATHERSTRIPPING
6. CONCEALED OVERHEAD DOOR CLOSER, BOTTOM PIVOT
7. ADA DOOR LEVERS
8. CLOSER
9. PANIC HARDWARE

joint venture

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design &
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SEAL

PROJECT NAME

- CONTAINER BAR -
90 RAINEY STREET
AUSTIN TEXAS 78701

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FXAV

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DATE ISSUED:
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2012/05/01

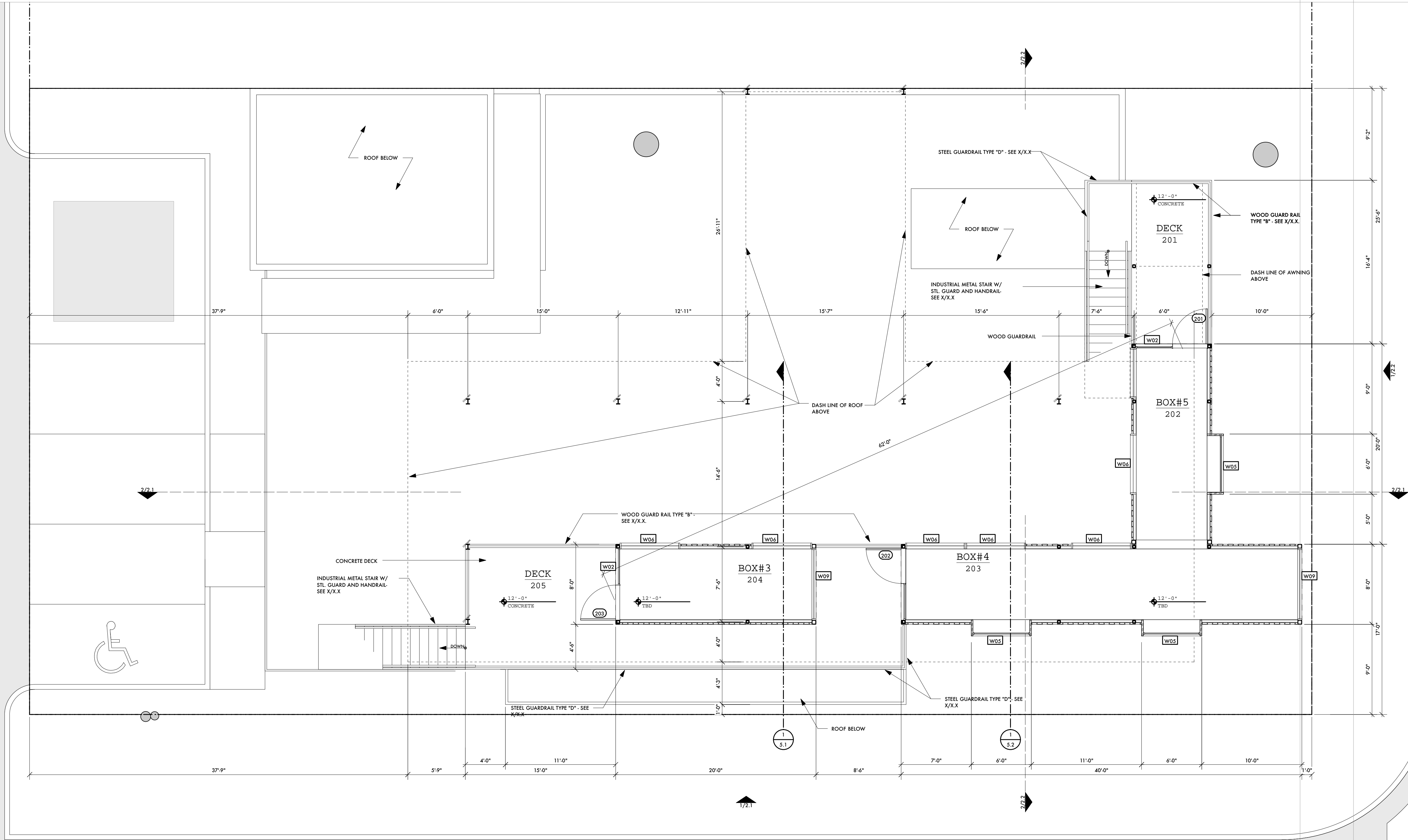
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PLAN:
1ST LEVEL

NUMBER OF SHEET

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1 PLAN: 2ND LEVEL
3/16" = 1'-0"

DOOR SCHEDULE									
KEY	SIZE	MANUFACTURER	TYPE	MATERIAL	DOOR FINISH	FINISH FRAME	GLAZING	HARDWARE	NOTES
101	3-0 X X	CUSTOM	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	STEEL	LOW E, TEMPERED		
102	15-0 X X	CUSTOM	BARN DOOR	STAIN GRADE WD.	SEALED	NONE			
103	N/A	EXT 'G.	CONTAINER DOOR	N/A	N/A	N/A			
104	3-0 X X	CUSTOM	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED	LOW E, TEMPERED		
105	3-0 X 6-8	CUSTOM	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED	LOW E, TEMPERED		
106	3-0 X 6-8	CUSTOM	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED	LOW E, TEMPERED		
107	3-0 X 6-8	PROVIDE SUBMITTAL	INSULATED COOLER DOOR						
108	3-0 X 6-8	CUSTOM	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED	LOW E, TEMPERED		
109	3-0 X 6-8	PROVIDE SUBMITTAL	INTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED			
110	3-0 X 6-8	CUSTOM	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED	LOW E, TEMPERED		
111	3-0 X 6-8	PROVIDE SUBMITTAL	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED			
112	3-0 X 7-0	PROVIDE SUBMITTAL	EXTERIOR / SWING	EXT 'G.	EXT 'G.	EXT 'G.			
113	3-0 X 7-0	PROVIDE SUBMITTAL	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED			
114	N/A	EXT 'G.	CONTAINER DOOR	N/A	N/A	N/A			
115	3-0 X X	CUSTOM	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	PAINTED	LOW E, TEMPERED		
116	N/A	EXT 'G.	CONTAINER DOOR	N/A	N/A	PAINTED			
117	3-0 X 7-0	PROVIDE SUBMITTAL	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	N/A			
118	3-0 X 7-0	PROVIDE SUBMITTAL	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	N/A			
201	3-0 X X	PROVIDE SUBMITTAL	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	N/A			
202	3-0 X X	PROVIDE SUBMITTAL	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	N/A			
203	3-0 X X	PROVIDE SUBMITTAL	EXTERIOR / SWING	SOLID CORE MTL.	PAINTED	N/A			

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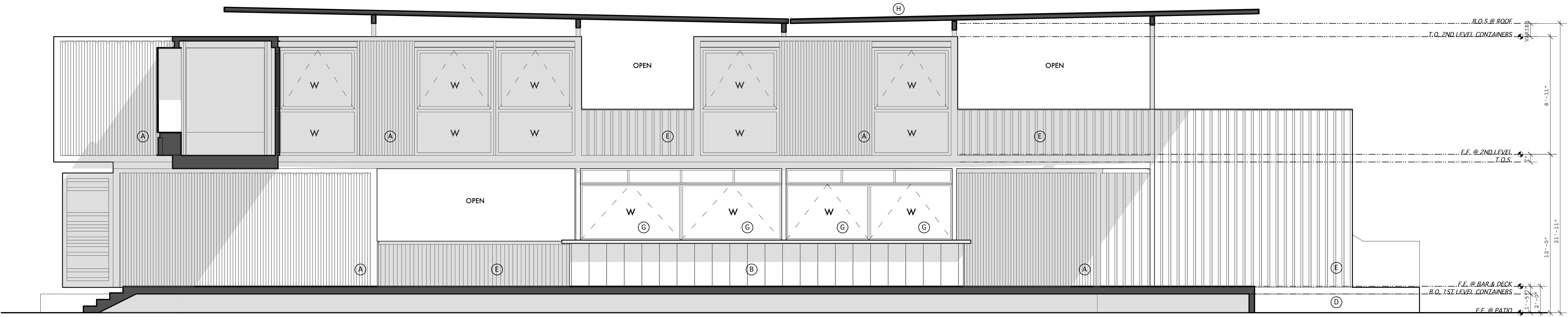
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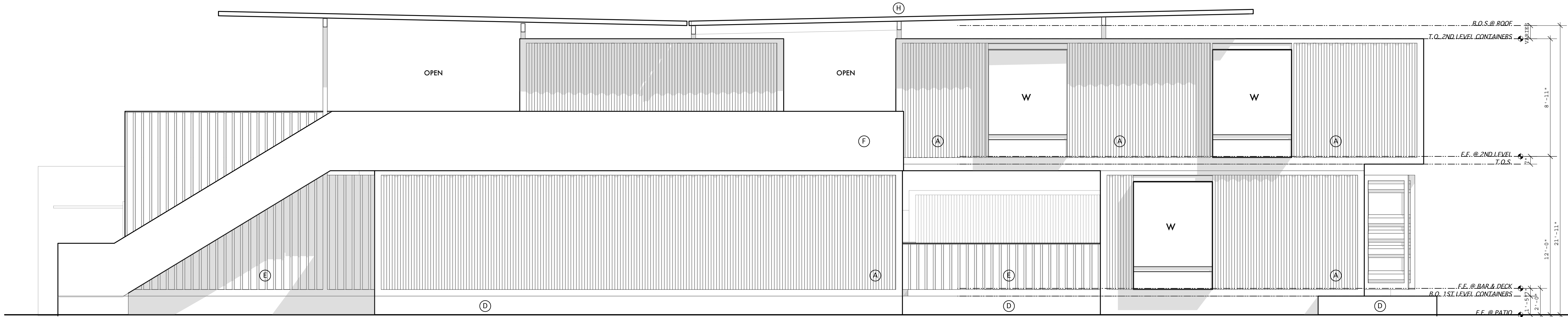
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MATERIALS LEGEND

- (A) PAINTED CORRUGATED METAL PANEL
- (B) STACK BOND CONCRETE MASONRY UNIT
- (D) CAST IN PLACE CONCRETE
- (E) VERTICAL WOOD AND PAINTED STEEL RAILING
- (F) CLEAR COATED MILD STEEL SHEET PANEL RAILING
- (G) CLEAR TEMPERED GLASS
- (H) LONG SPAN METAL DECKING ROOFING OVER PAINTED STEEL BEAMS



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

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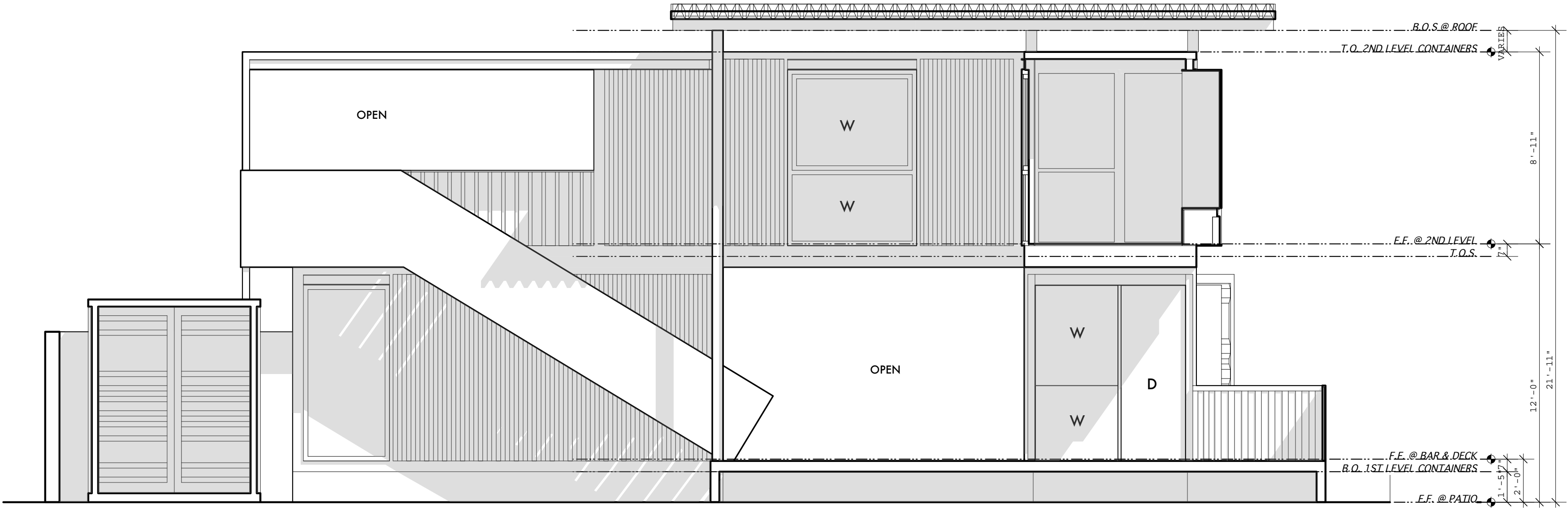
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BUILDING
ELEVATIONS

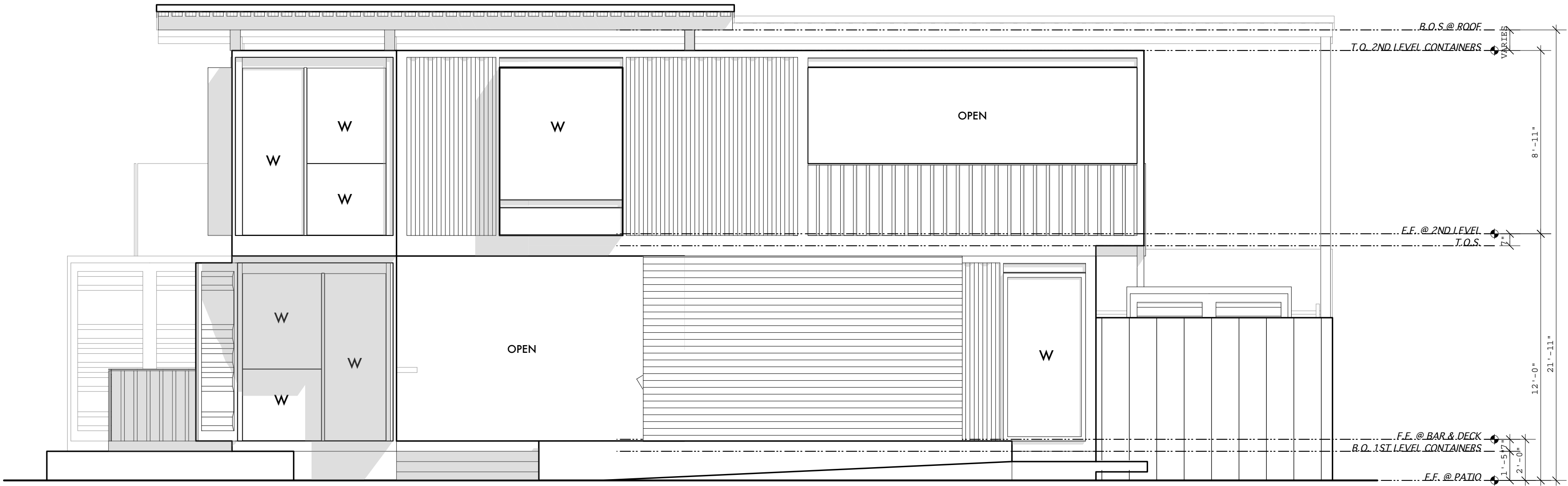
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- MATERIALS LEGEND
- A PAINTED CORRUGATED METAL PANEL
 - B STACK BOND CONCRETE MASONRY UNIT
 - D CAST IN PLACE CONCRETE
 - E VERTICAL WOOD AND PAINTED STEEL RAILING
 - F CLEAR COATED MILD STEEL SHEET PANEL RAILING
 - G CLEAR TEMPERED GLASS
 - H LONG SPAN METAL DECKING ROOFING OVER PAINTED STEEL BEAMS



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

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1 RAINY STREET ELEVATION
NTS

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ELEVATION
RENDERING

NUMBER OF SHEET

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