

HISTORIC LANDMARK COMMISSION
JUNE 25, 2012
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2012-0051
Old West Austin
1513 W. 30th Street

PROPOSAL

Demolish an existing c. 1938, 1,400 sq. ft. house and construct a new 2,200 sq. ft., one-story house.

PROJECT SPECIFICATIONS

The existing residence is a c. 1938, one-story, approximately 1,400 sq. ft. house with modest Tudor-style architectural features. The house has side gable roofs with a dominant, asymmetrical, front gable. The front gabled section has a projecting bay with multi-paned, double-hung, wood windows, as well as a small circular window, and an attic vent. The house is clad in brick, and has numerous 6:6, double-hung, wood windows. The asymmetrical concrete slab porch leads to two entries, a side-facing front door, and another entry door set back from the front façade, but facing the street.

The applicant proposes to demolish the existing house and dilapidated carport and construct a new approximately 2,200 sq. ft., one-story house. The style of the new house incorporates similar Tudor-style design features found in the existing house, including multiple, side gabled roofs, a dominant, asymmetrical front gable with a projecting bay, and multi-paned, double-hung windows. The new house will have a garage that faces the street that is set slightly back from the front-most wall of the house. The elevation facing Kerbey Lane will have a covered porch and multiple entries with multi-paned doors. The street facing elevations will have brick veneer, and the north elevation, facing the side yard, will have fiber cement lap siding.

STANDARDS FOR REVIEW

The existing house is listed as contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no specific design guidelines for new construction. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic,

architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

The owner states the existing house is in a condition of disrepair, with roof leaks that have resulted in water damage to the floors, door and window frames, and window sashes. Additionally, there has been settling of both the house and porch. The existing carport is in a state of significant disrepair to the point of structural failure, and is not a contributing structure.

The proposed design of the new house, which references the architectural style of the existing house, is compatible in terms of style, materials and scale with the National Register Historic District. However, the demolition of the existing home removes a contributing building from the District.

STAFF RECOMMENDATION

Release the demolition permit. Recommend the owner reconsider demolition of the existing house and consider rehabilitation instead. Require a City of Austin documentation package if demolition is pursued.

PHOTOS



Existing house at 1518 W. 30th Street



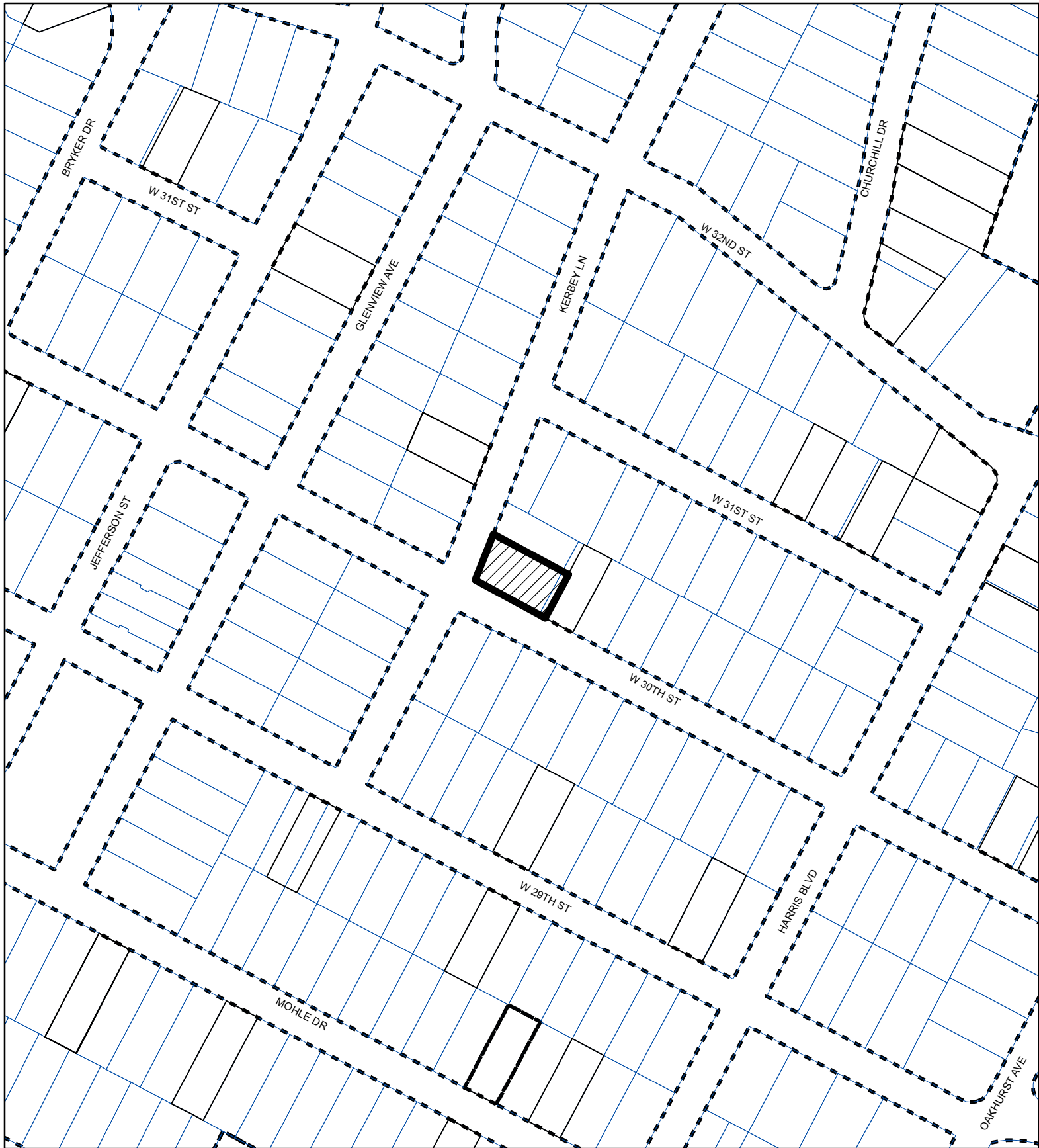
Cracked exterior wall



Existing window sash with evidence of wood rot



Existing carport



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0051
LOCATION: 1518 W 30th Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

May 2, 2012

Joe and Suzanne Latting
717 Patterson Ave.
Austin, TX 78703

Alyson McGee
Deputy Historic Preservation Officer
City of Austin P&DR Dept.
Historic Preservation Program
505 Barton Springs Rd.
Austin, TX 78704

VIA EMAIL: alyson.mcgee@ci.austin.tx.us

RE: Review of Historical Records at Austin History Center for 1518 W. 30th St.

Dear Ms. McGee,

I have done the following research at the Austin History Center regarding the property at 1518 W. 30th and the people who have lived there:

- Checked City Directories from 1939 (no previous entry for this property) to the present for every name of someone who owned or resided at the property. My results are listed below.
- For every name, I checked the online catalog for any entries regarding the individual names. [There were none.]
- For every name, I checked the physical card catalog for any entries. [There were none.]
- I checked the online catalog for the address. [There was no entry].

We copied the HB (House Building) file at AHC and found three cards in it:

1. The original card for Eunice Gray, which says only "Green house; 19232, 04/03/1940."
2. A card from 01/21/1974 for a "Porch and trellis" for Mrs. Charles (presumably Eunice) Gray.
3. A card from 08/18/1978 for the addition of a "Family Room of 204 sf". This room, at the west end of the current structure, is completely substandard construction.

The librarian in the Austin Records room informed me that building permit records are not available prior to 1951, when microfilm records for permit applications start.

The following individuals owned or lived at the property from 1939 through 2012:

1940-1948 Mrs. Charles (Eunice) Gray
1949-1954 Either William Gray or Mrs. Eunice Gray are listed.
1955-1956 The house was vacant in 1955 and Volume 1956 is missing
1957-1960 Jack C. Rothwell, Jr.
1961-1969 Either Buell A. Jeffries or Mrs. Margaret C. Jeffries are listed.
1970 James Malone is listed.

1971	Edward Purgen is listed.
1972-1978	Dan Scurlock
1979-1981	Helen V. Fisher
1982	This volume is missing
1983	James B. Williams
1984-1989	Carl G. Sheppard or Shepherd
1990-2012	Thomas E. Haddad (a local dentist from whom we bought the property).

Again, my research turned up nothing for any of these individuals. Not just nothing significant, but nothing at all.

It appears that, as to the current condition of the house, no maintenance of any kind has been done—at least since Thomas Haddad bought the property in 1990. Water has entered the house through the leaky roof, has penetrated and buckled the flooring, has rotted every door frame and window frame and sashing. There is significant evidence of high moisture levels and leaking throughout. As noted above, the “family room” is completely substandard construction. The house has settled and cracked, as has the front porch.

The carport is seriously listing. It is built without any foundation and has been severely eroded and undercut by uncontrolled water runoff around the house. In the storage room at the north end of the carport, the flooring is rotted. It is just plywood laid over 2 X 4's.

According to the neighbors, the house has not been occupied for 3 to 4 years, although the previous owner's possessions were in the house.

We plan to advise the Commission that we intend to build a new house completely in keeping with the character of the neighborhood, both as to size and style and as to materials and color selections.

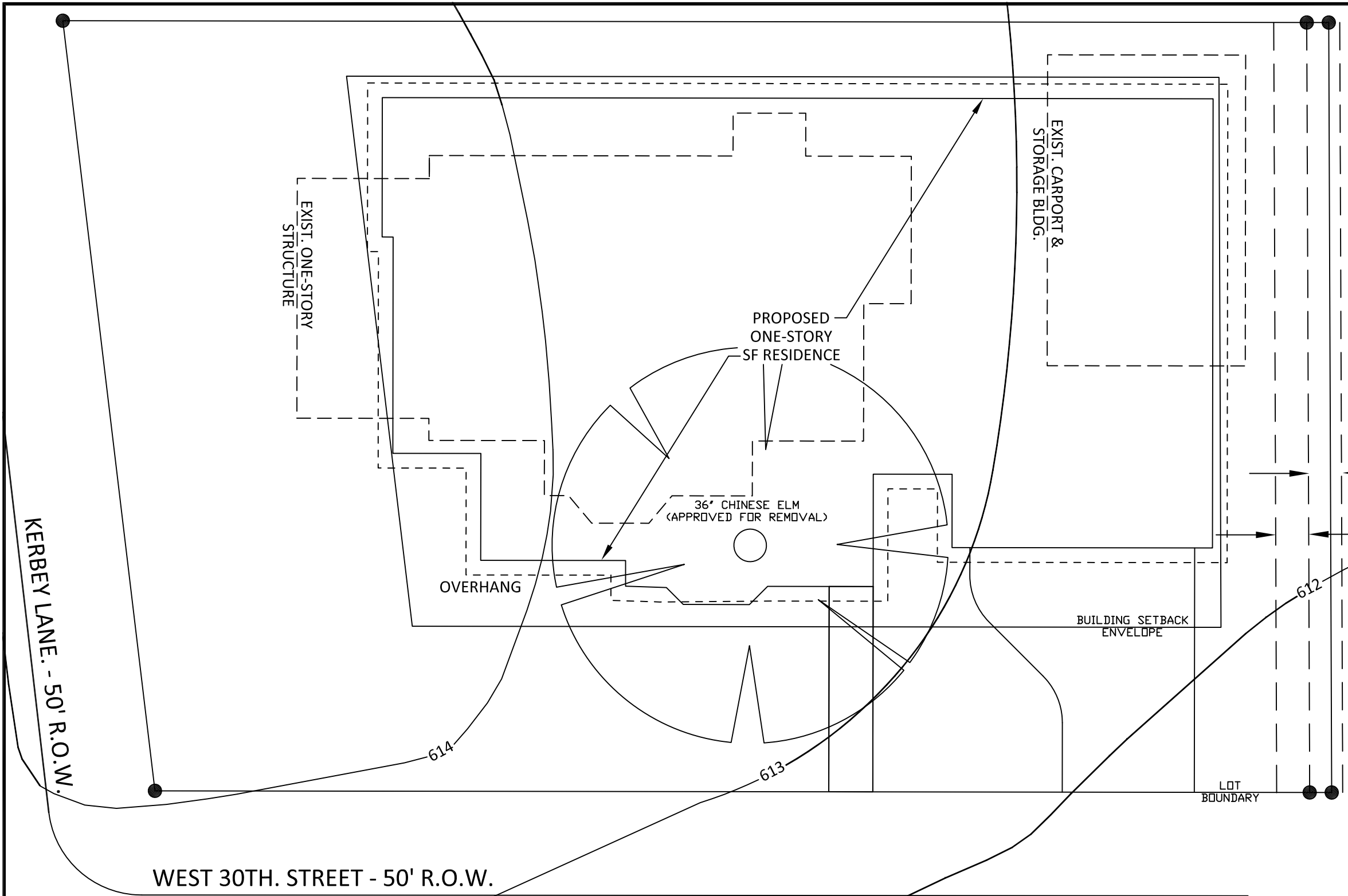
We appreciate the Commission's consideration of our request to demolish and to build a new house.

Yours very truly,

/s/

Suzanne Latting

Cc: BWNA



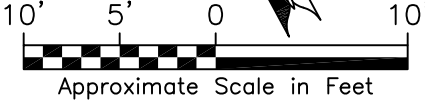
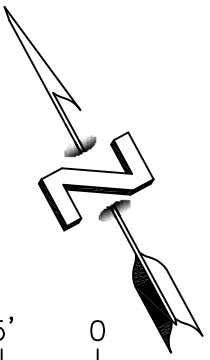
ZONING:
SF-3-NP

BUILDING LIMITATIONS:
0.4:1 F.A.R.
2,300 S.F. GROSS FLOOR AREA
40% BUILDING COVERAGE
45% IMPERVIOUS COVER

LOT AREA - 7,769 S.F.

PROPOSED PLAN:
F.A.R. - 0.28
GROSS FLOOR AREA - 2,213 S.F.
BUILDING COVERAGE - 38.6% (3,000 S.F.)
IMPERVIOUS COVER - 43.3% (3,367 S.F.)

3' P.U.E.
VOL. 3, P. 242
O.P.R.T.C.
3' P.U.E.
VOL. 4, P. 12
O.P.R.T.C.



THIS DOCUMENT IS RELEASED
FOR THE PURPOSE OF INTERIM
REVIEW UNDER THE
AUTHORITY OF ENGINEER
DENNIS LOZANO, P.E. #106147
ON 6-13-12. IT IS NOT TO BE
USED FOR CONSTRUCTION, OR
BIDDING PURPOSES.



Murfue Engineering Company - TBPE Firm No. F-353

LATting - PROP. SF RESIDENCE
1518 W. 30TH ST.
PLOT PLAN

NOTES:

1. DOUBLE HUNG VINYL OR ALUMINUM CLAD WINDOWS
2. BUILDING HEIGHT TAKEN FROM THE AVERAGE OF THE HIGHEST AND LOWEST GRADES ADJACENT TO THE STRUCTURE
3. SILL HEIGHT IS REDUCED IN THE GARAGE, STORAGE/WORK & MASTER BATH TO REDUCE THE VISUAL EFFECT OF THE EAST WALL & GARAGE FRONT.



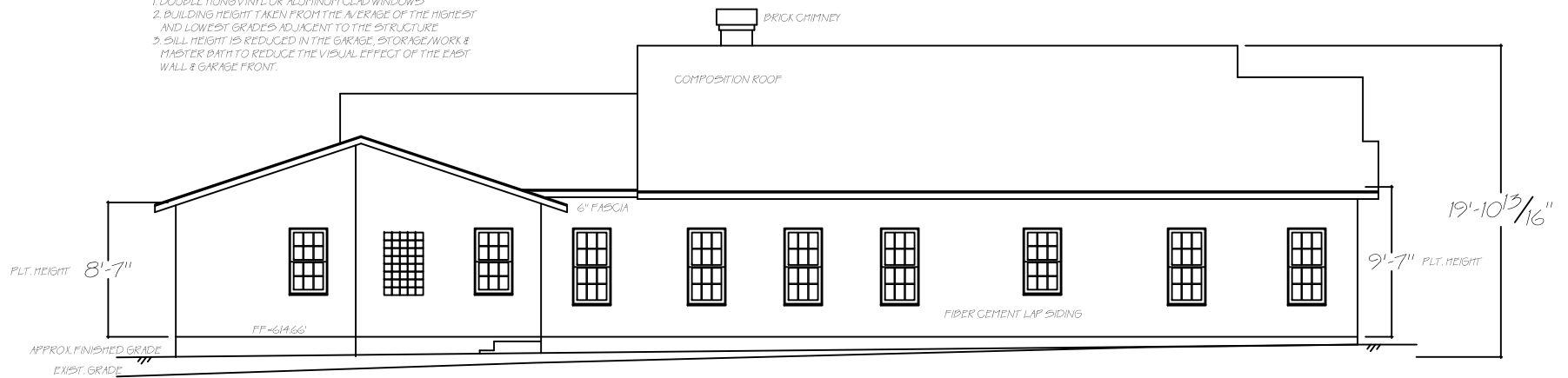
SOUTH ELEVATION

SCALE: 3/32" = 1"

1518 W. 30TH
PROPOSED NEW SF RESIDENCE

NOTES:

1. DOUBLE HUNG VINYL OR ALUMINUM CLAD WINDOWS
2. BUILDING HEIGHT TAKEN FROM THE AVERAGE OF THE HIGHEST AND LOWEST GRADES ADJACENT TO THE STRUCTURE
3. SILL HEIGHT IS REDUCED IN THE GARAGE, STORAGE WORK & MASTER BATH TO REDUCE THE VISUAL EFFECT OF THE EAST WALL & GARAGE FRONT.



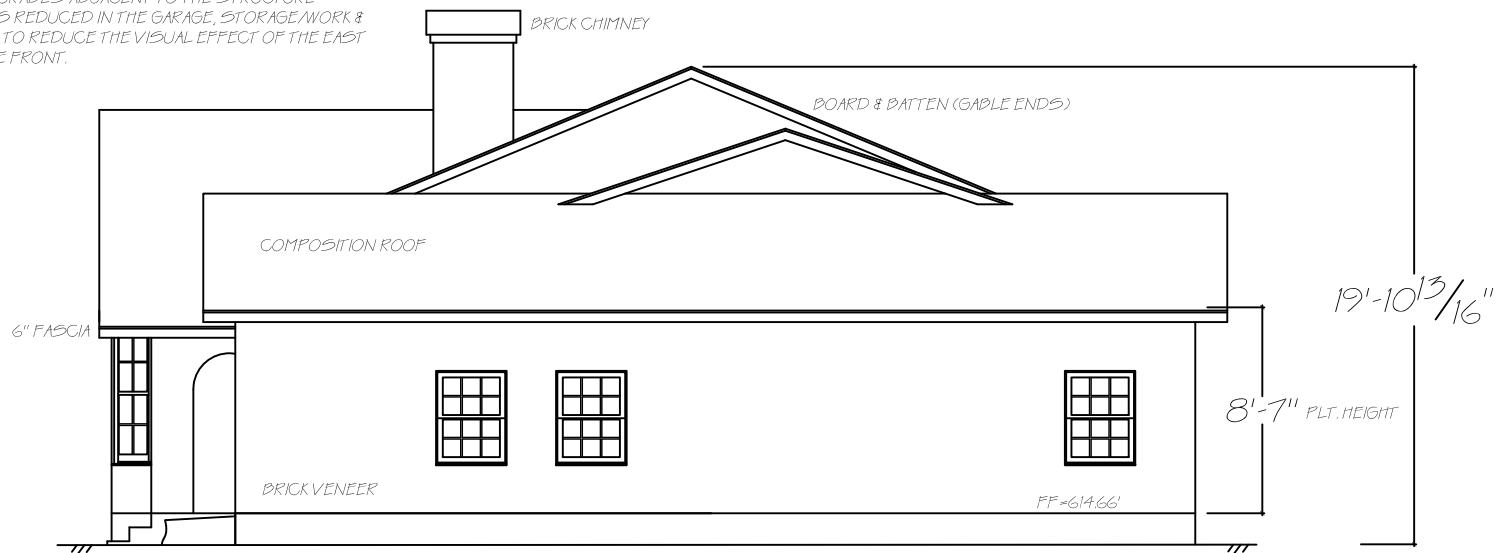
NORTH ELEVATION

SCALE: 3/32" = 1'

1518 W. 30TH
PROPOSED NEW SF RESIDENCE

NOTES:

1. DOUBLE HUNG VINYL OR ALUMINUM CLAD WINDOWS
2. BUILDING HEIGHT TAKEN FROM THE AVERAGE OF THE HIGHEST AND LOWEST GRADES ADJACENT TO THE STRUCTURE
3. SILL HEIGHT IS REDUCED IN THE GARAGE, STORAGE/WORK & MASTER BATH TO REDUCE THE VISUAL EFFECT OF THE EAST WALL & GARAGE FRONT.



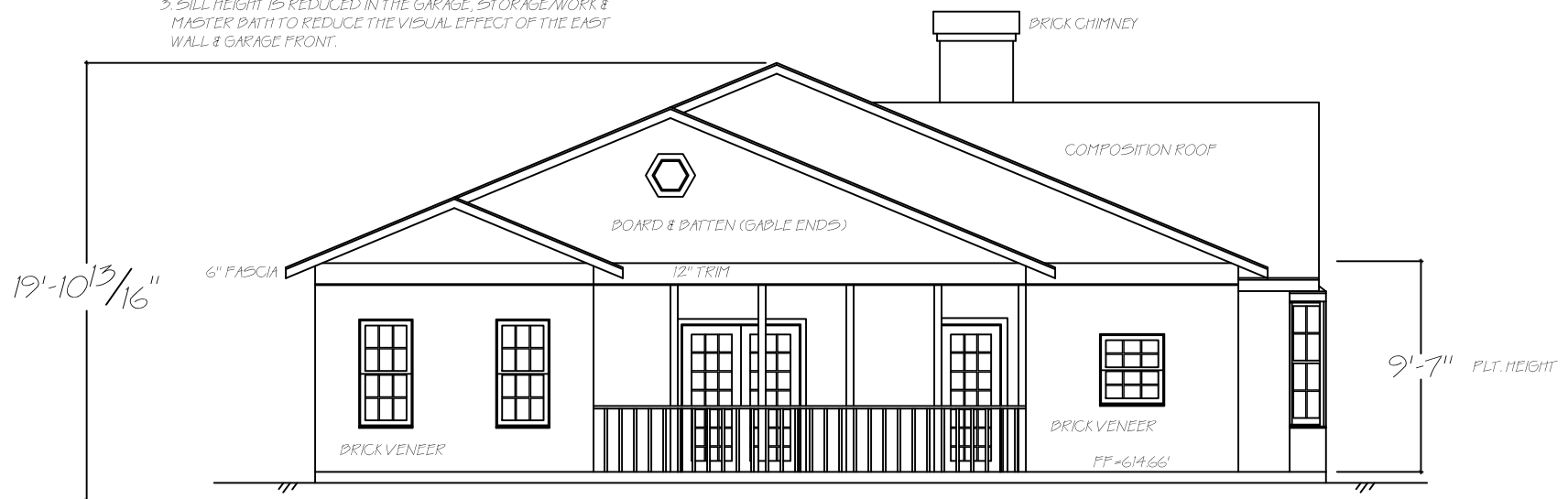
EAST ELEVATION

SCALE: 1/8" = 1'

1518 W. 30TH
PROPOSED NEW SF RESIDENCE

NOTES:

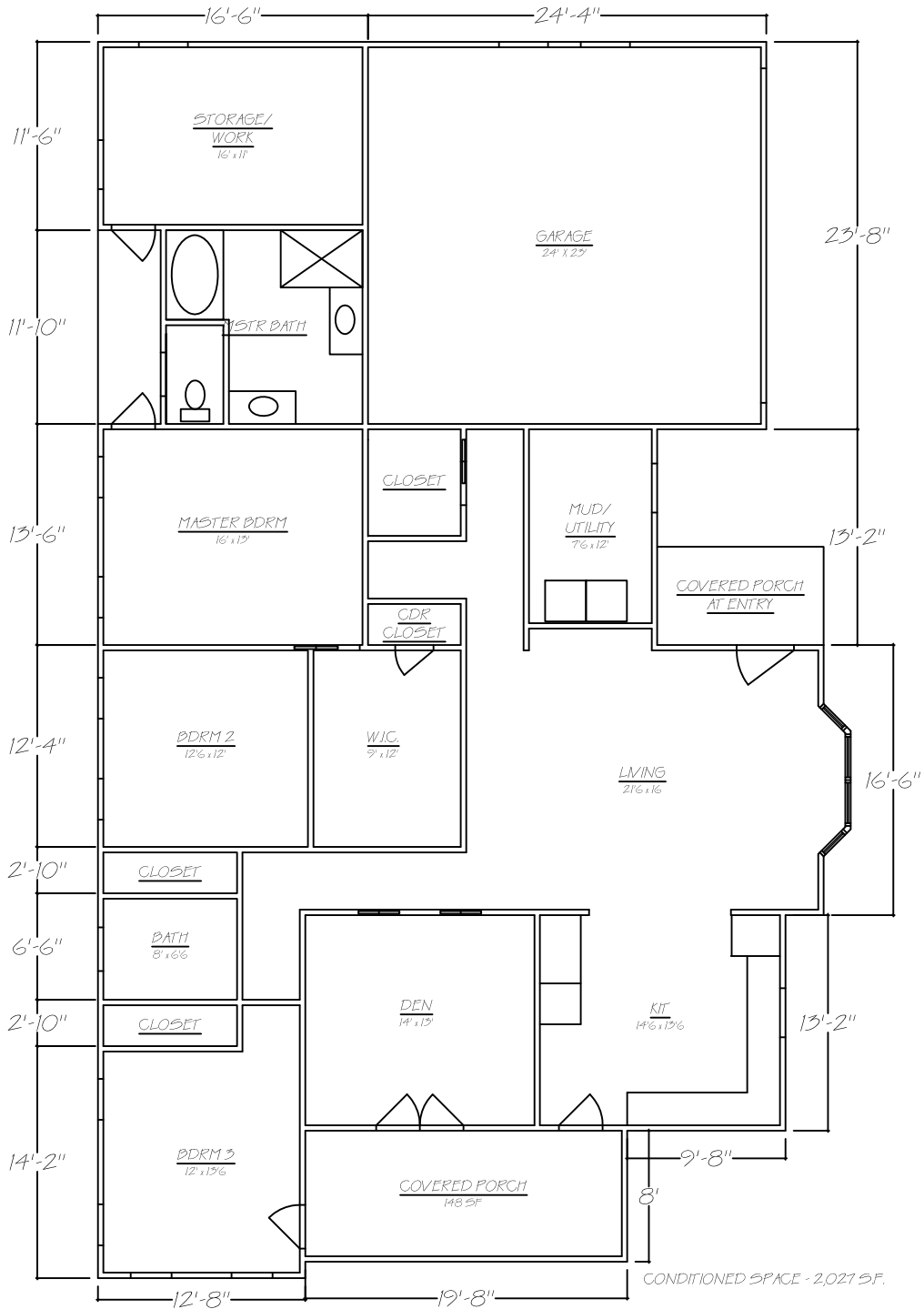
1. DOUBLE HUNG VINYL OR ALUMINUM CLAD WINDOWS
2. BUILDING HEIGHT TAKEN FROM THE AVERAGE OF THE HIGHEST AND LOWEST GRADES ADJACENT TO THE STRUCTURE
3. SILL HEIGHT IS REDUCED IN THE GARAGE, STORAGE/WORK & MASTER BATH TO REDUCE THE VISUAL EFFECT OF THE EAST WALL & GARAGE FRONT.



WEST ELEVATION

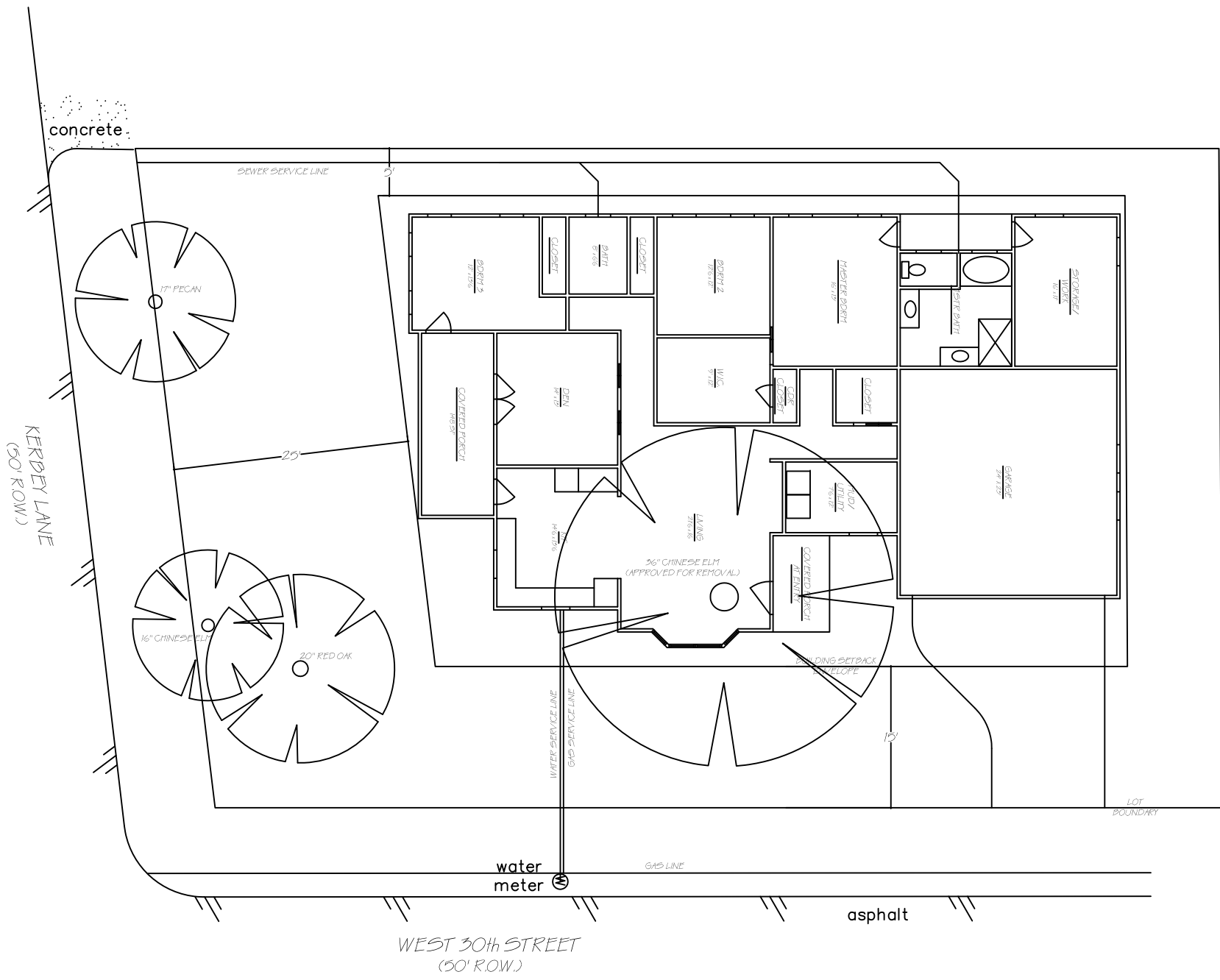
SCALE: 1/8" = 1'

1518 W. 30TH
PROPOSED NEW SF RESIDENCE

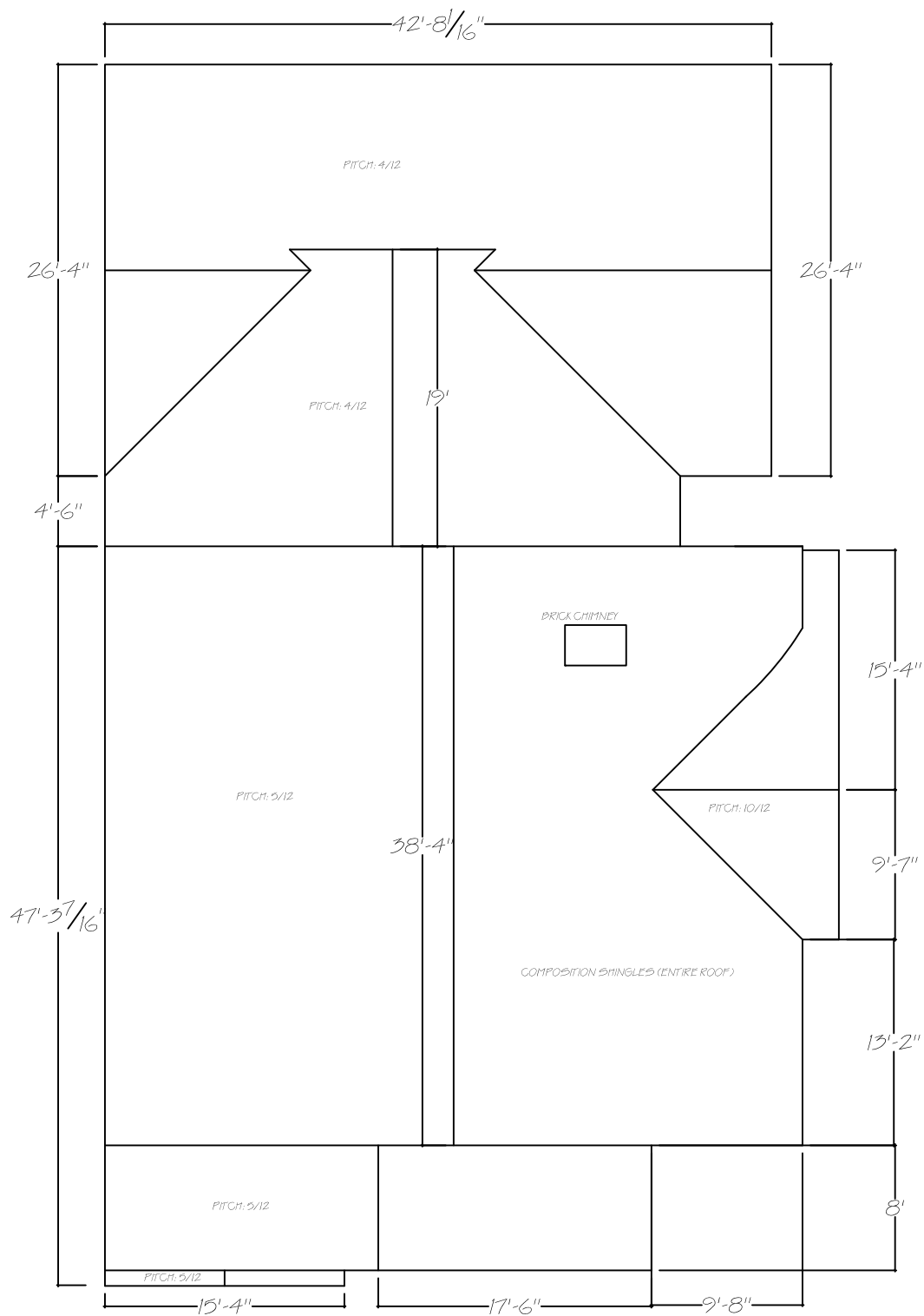


1518 W. 30TH
FLOOR PLAN

SCALE: 3/32" = 1'



1518 W. 30TH
SCALE: 1" = 10'



1518 W. 30TH
 ROOF PLAN
 SCALE: 3/32" = 1'