

**HISTORIC LANDMARK COMMISSION  
JULY 30, 2012  
NATIONAL REGISTER HISTORIC DISTRICT  
NRD-2012-0086  
Old West Austin  
3301 Bryker Drive**

**PROPOSAL**

---

Revise garage facade, add a front porch and construct a 650 sq. ft. rear addition on existing house.

**PROJECT SPECIFICATIONS**

---

The existing c. 1941 house is an approximately 1,567 sq. ft., one-story, Minimal Traditional style house with a side gabled roof, and a separate, lower side gabled, two car garage. On the façade the roof edge extends over a bay window and front stoop. The house has horizontal, wood, drop siding and multi-paned, wood, double-hung windows. The front facing garage door has a panelized, overhead door.

The applicant proposes to construct a small addition to the front of the garage that will have a front-facing double gable roof with false brackets under the side eaves, and vertical siding in the gable end. The garage will have a double-car, panelized door similar to the existing door. Also proposed on the façade is a new porch with a front-facing, double-gabled roof above. The porch roof will have vertical siding and a vent in the gable end and will be supported by three, narrow, classical columns. The steps leading up to the porch will have a handrail. The existing 4:2, double-hung window will be replaced and the opening enlarged to create a window with a fixed center pane flanked by two 2:2, double-hung windows.

The applicant further proposes to construct an approximately 650 sq. ft. rear addition behind the existing garage. The addition will have siding and windows similar to the existing house.

**STANDARDS FOR REVIEW**

---

The existing property is listed as contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no specific design guidelines for additions. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Contemporary designs for alterations and additions to existing properties are

appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.

The design as proposed, although compatible with the architectural character and scale of the neighborhood, is a significant change to the appearance of the historic façade and would render the property non-contributing to the Old West Austin National Register District.

**STAFF RECOMMENDATION**

---

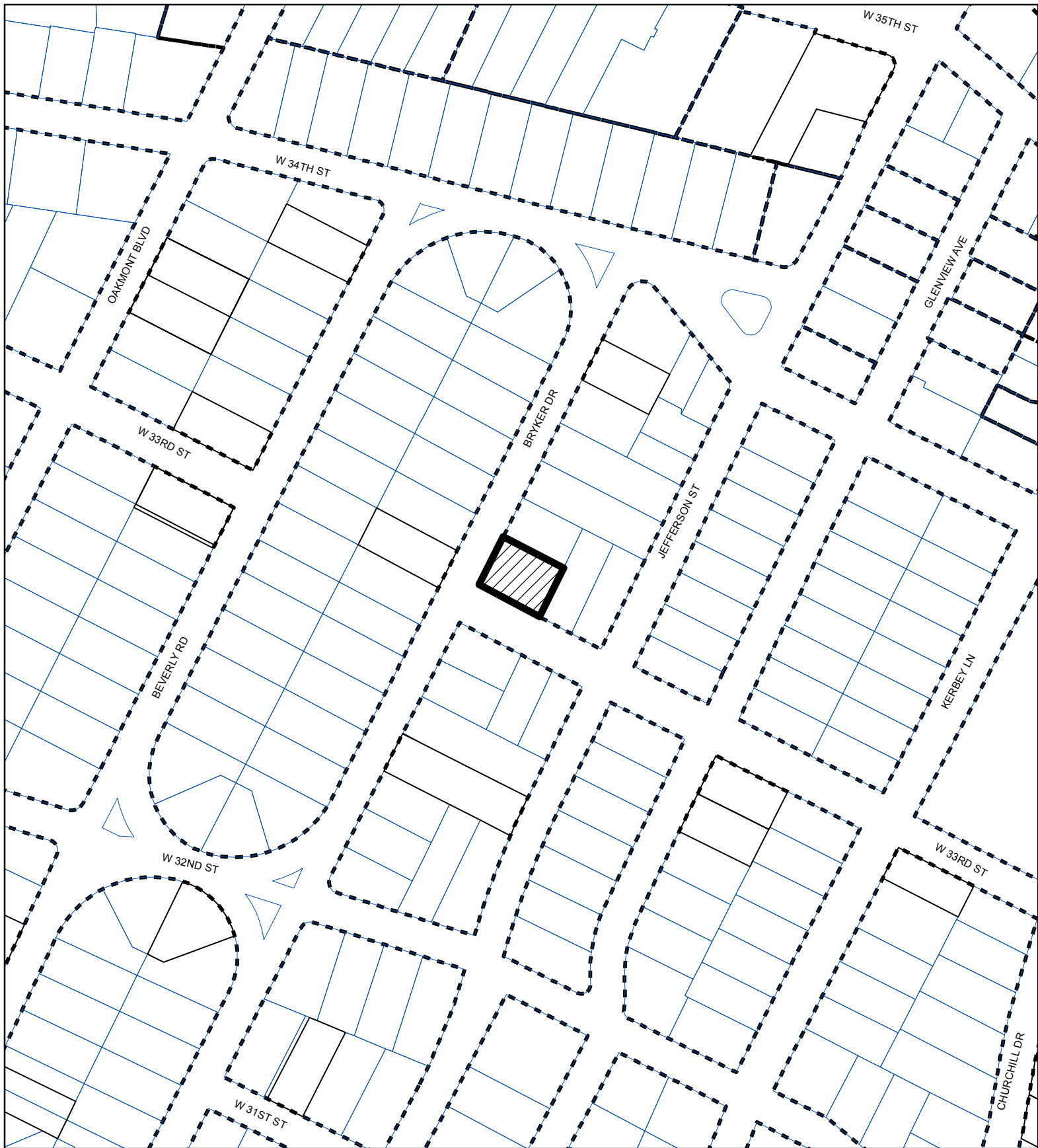
Release the building permit with the recommendation that the applicant consider revisions to the façade design that would maintain the properties contributing status. If the applicant pursues the proposed design, require submittal of a City of Austin documentation package.

PHOTOS

---







SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0086  
LOCATION: 3301 Bryker Drive



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

SCALE: 1"=20'

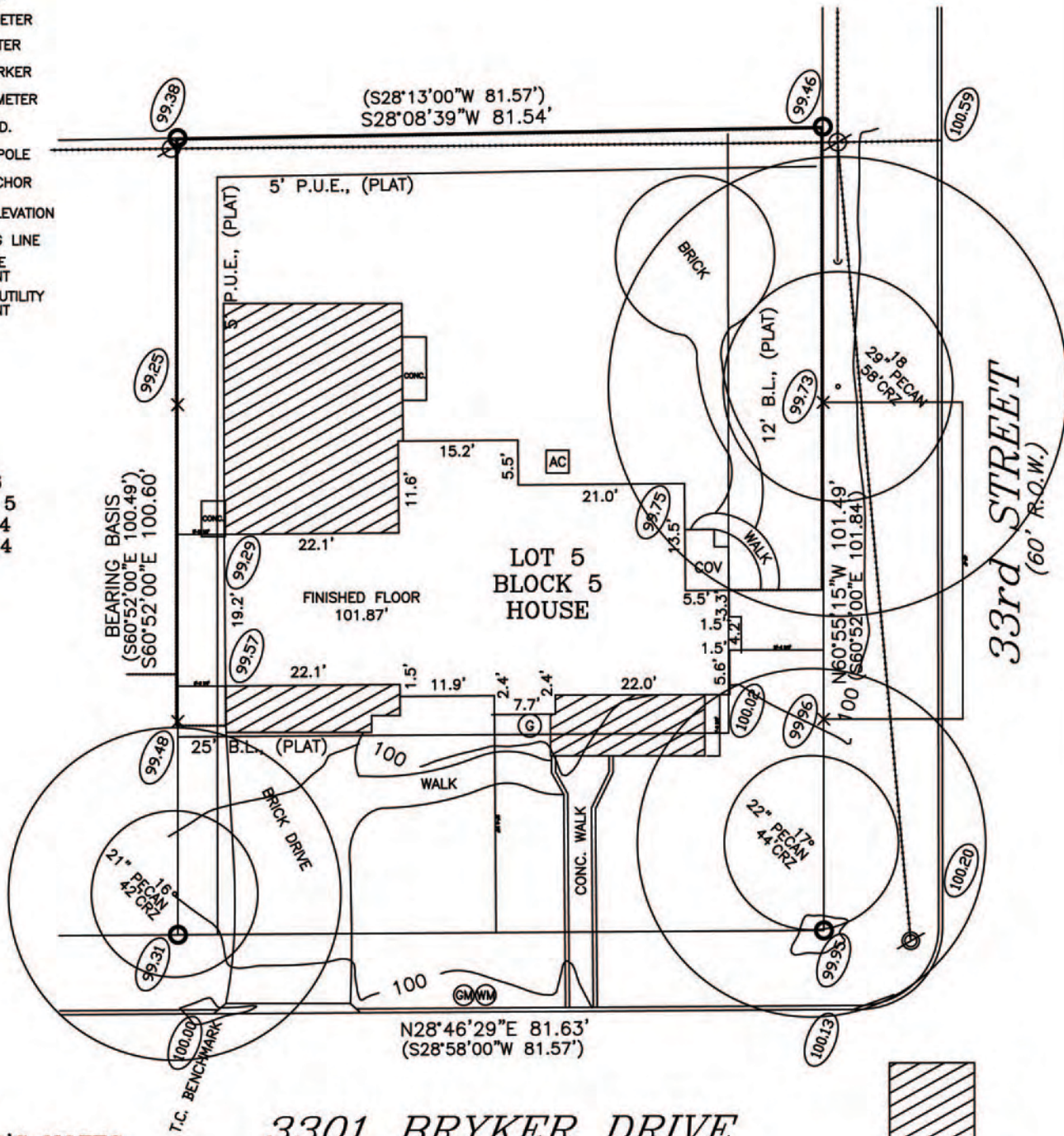


LEGEND

- WOOD FENCE
- UTILITY LINE
- A/C UNIT
- ELEC. METER
- GAS METER
- GAS MARKER
- WATER METER
- PIPE FND.
- UTILITY POLE
- GUY ANCHOR
- SPOT ELEVATION
- B.L. BUILDING LINE
- D.E. DRAINAGE EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT

LOT 4  
BLOCK 5  
BOOK 4  
PG. 104

LOT 6  
BLOCK 5  
BOOK 4  
PG. 104



SURVEYOR'S NOTES

( ) DENOTES RECORD INFORMATION

THIS MAP DOES NOT REFLECT BUILDING REQUIREMENTS WHICH MAY BE IMPOSED BY THE LOCAL GOVERNING AUTHORITY OR HOME OWNER'S ASSOCIATION.

THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.

ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

3301 BRYKER DRIVE  
(50' R.O.W.)



NEW CONSTRUCTION

IMPERVIOUS CALCULATIONS

LOT AREA =	8,243	S.F.
ORIGINAL FOOTPRINT =	1,567	S.F.
ORIGINAL IMPERVIOUS COVER =	2,754	S.F.
NEW FOOTPRINT =	2,340	S.F.
DRIVEWAY =	397	S.F.
WALKWAYS =	206	S.F.
UNCOVERED PATIO =	442	S.F.
COVERED PATIO =	186	S.F.
A/C PAD =	8	S.F.
NEW IMPERVIOUS COVER =	3,579	S.F.
IMPERVIOUS % =	43.4%	
(45% ALLOWED)		



\* IMPORTANT NOTICE \*

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 5.

AT STAKE OUT, BEFORE PROCEEDING WITH ANY OTHER WORK, SUCH AS ORDERING MATERIALS, THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND MEASUREMENTS, LOCATIONS OF ALL LOT LINES, EASEMENTS, BUILDING SET-BACK LINES INCLUDING SIDE AND REAR YARD REQUIREMENTS (WHETHER SHOWN OR NOT ON DRAWINGS); AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.

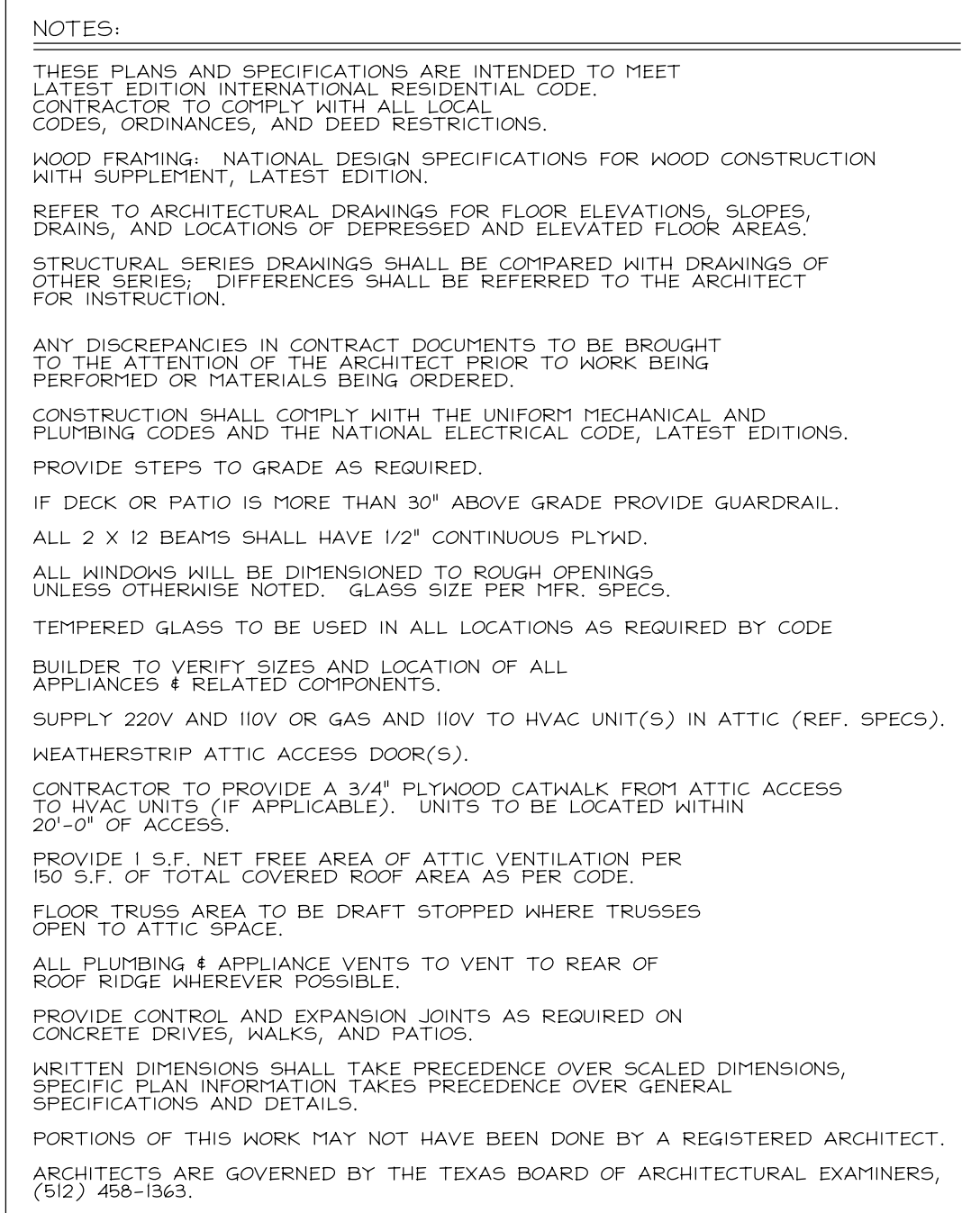
THE CONTRACTOR WARRANTS TO PFA DESIGN GROUP THAT HE/SHE POSSESSES THE NECESSARY COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO CONSTRUCT THE PROJECT WITHIN THE LIMITED SCOPE OF THE PFA DESIGN GROUP SCOPE OF PROFESSIONAL SERVICES. IN RELIANCE ON THE CONTRACTOR'S WARRANTY, AT ALL TIMES, THE PFA DESIGN GROUP HAS UNDERTAKEN A LIMITED SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES CONTRACTOR HAVE LIMITED DETAIL AND THE CONTRACTOR'S REQUIREMENT FOR COMPLEX, ADVANCED, OR SPECIALIZED CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE LIMITED PFA DESIGN GROUP CONSTRUCTION DOCUMENTS TO THE LOGICAL ADJUSTMENT IN FIT, FORM, DIMENSION, AND HE/SHE TAKES FULL RESPONSIBILITY, IN THE EVENT THAT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR TO CONSTRUCT THE PROJECT. IF THE CONTRACTOR, ON THE PROJECT, HE/SHE SHALL IMMEDIATELY NOTIFY PFA DESIGN GROUP. FAILURE TO NOTIFY PFA DESIGN GROUP OF ANY DISCREPANCY OR AMBIGUITY OF THE CONSTRUCTION DOCUMENTS, ANY DISCREPANCY OR AMBIGUITY DISCOVERED BY THE USE OF THE CONSTRUCTION DOCUMENTS, OR ANY DISCREPANCY OR AMBIGUITY OF THE CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF PFA DESIGN GROUP ARE AUTHORIZED AND SHALL RELIEVE PFA DESIGN GROUP OF RESPONSIBILITY FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT.

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF PIA DESIGN GROUP, INC. AND SHALL NOT BE REPRODUCED, COPIED, REPRODUCED IN ANY MANNER, OR REDDED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF THE PIA DESIGN GROUP, INC. ALL RIGHTS RESERVED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK AND BE RESPONSIBLE FOR SAME. NO WARRANTY, EXPRESS OR IMPLIED, EITHER MADE OR IMPLIED, THIS LIMIT OF LIABILITY SHALL NOT

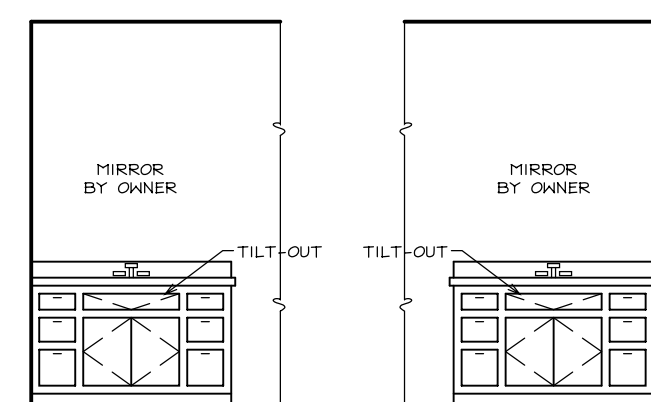
**5511  
Parkcrest Drive  
Suite 102  
Austin, Texas 78731  
(512)328-2209**

# The PFA Design Group

**PLAN**  
BROWNE  
3301 BRYKE  
**SHEET**  
**A-1**  
OF 3



RECAP (APPROX $\Phi$ )	
ADDED CONDITIONED SPACE	636
ADDED GARAGE	120
ADDED FRONT PORCH	150




① MASTER  
BATH

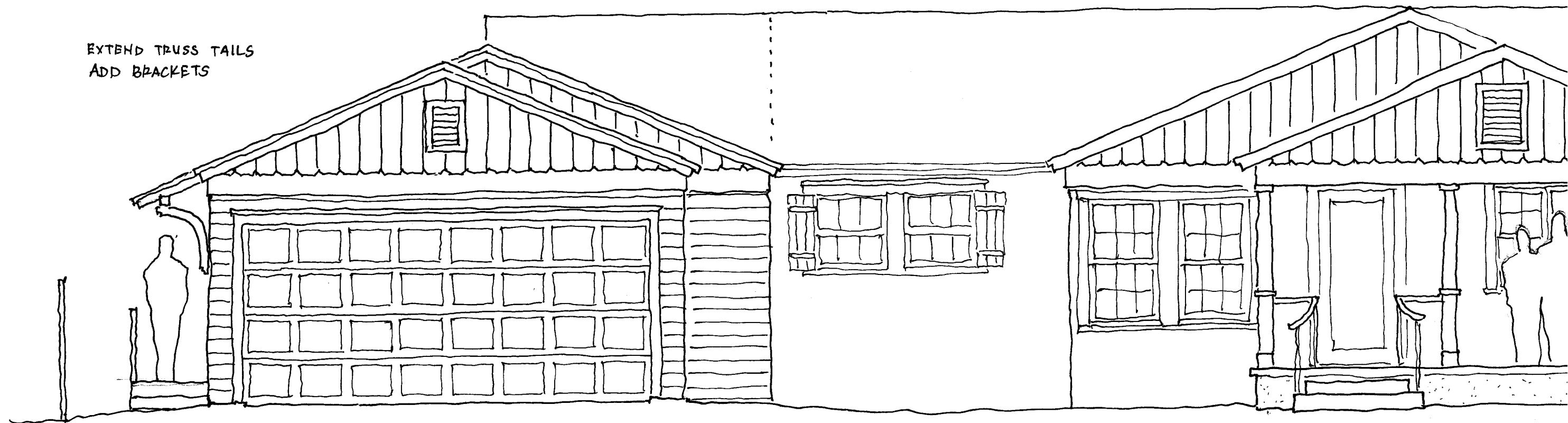
② MASTER  
BATH

# FLOOR PLAN

SCALE:  $1/4" = 1' - 0"$

 DENOTES NEW CONSTRUCTION  
 DENOTES EXISTING WALL  
 DENOTES WALL TO BE REMOVED

EXTEND TRUSS TAILS  
ADD BRACKETS



TYP. B.W.  
CONC PORCH

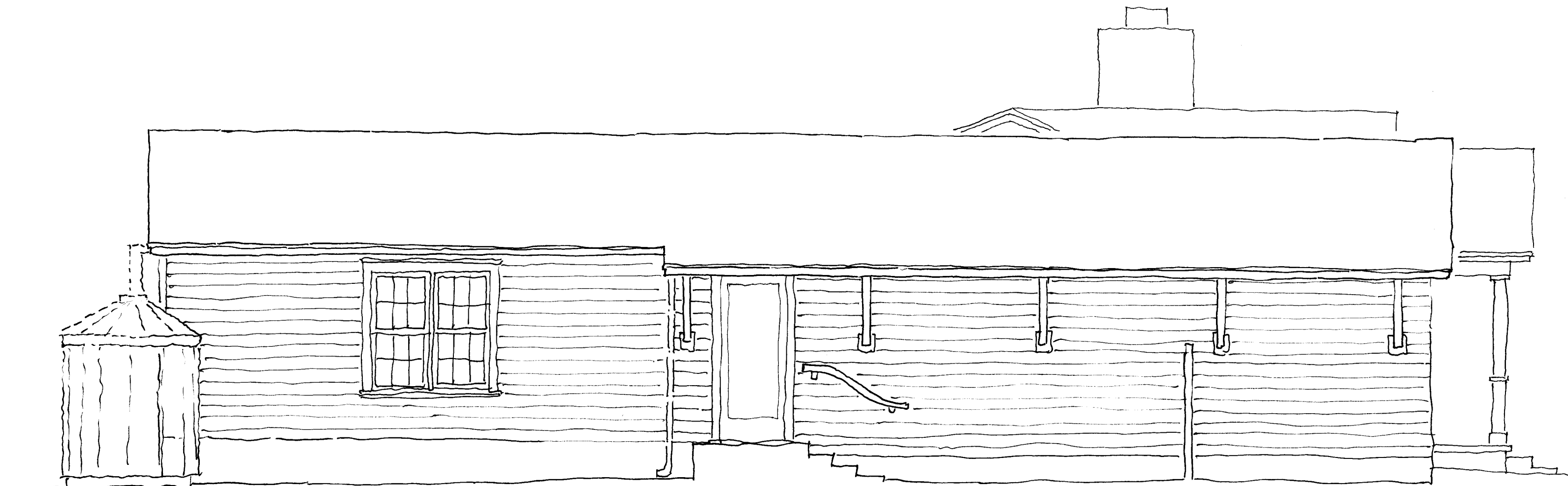
HANDRAIL  
PER OWNERS



TYP. B.W.  
CONC PORCH

HANDRAIL  
PER OWNERS

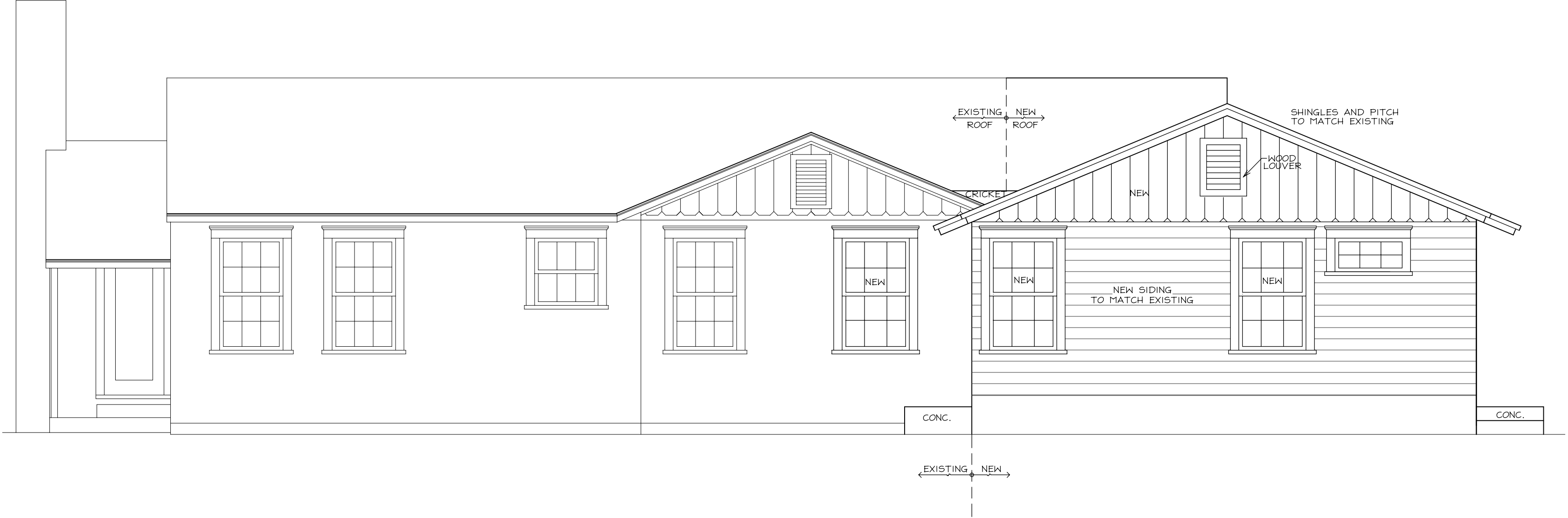
TURN CRAFT  
COLONIAL RND  
COL w/ PED. BASE



FUTURE  
CISTERN ?

PROVIDE D.S  
4 SWALE TO  
CONTROL RUNOFF

FIVE BRACKETS



# REAR ELEVATION

SCALE:

SCALE: 1/4" = 1' - 0"



# RIGHT SIDE ELEVATION

SCALE:

1/4" = 1' - 0"