

**HISTORIC LANDMARK COMMISSION  
DECEMBER 17, 2012  
NATIONAL REGISTER HISTORIC DISTRICT  
NRD-2012-0137  
Old West Austin  
1619 Watchhill Road**

**PROPOSAL**

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Add dormers and a second story rear addition to a contributing house.

**PROJECT SPECIFICATIONS**

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The existing house was constructed c. 1935. It is a one story, painted brick house with a side gable roof on the front section, and hipped and gable roofed additions on the rear. The rear gable roof addition was likely constructed in 1980.

The front elevation has a symmetrical design with a centered, projecting cross gable over the front door, which is flanked by two narrow, double hung windows. There is a decorative metal framed awning over the front door. To either side of the projecting entry are two double-hung windows. There is a tiled front patio with low painted brick columns with a decorative wrought-iron railing between.

The applicant proposes to add two dormers on the front roof elevation and construct a small rear one story and second story addition. The roof of the second floor addition will be minimally visible over the ridge of the existing front section roof, and the materials and architectural details of the additions will be compatible with the existing house.

**STANDARDS FOR REVIEW**

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The house is listed as contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the

essential form and integrity of the structure would not be impaired.

The location of the first and second story additions, at the back of the house and behind the front roof ridge line, make them minimally visible from the public right of way. The addition of the two dormers on the front roof slope, although an alteration to the front façade, is designed to be compatible with the architecture of the house, and is a minor change to the front elevation. The design as proposed maintains the property's contributing status.

**STAFF RECOMMENDATION**

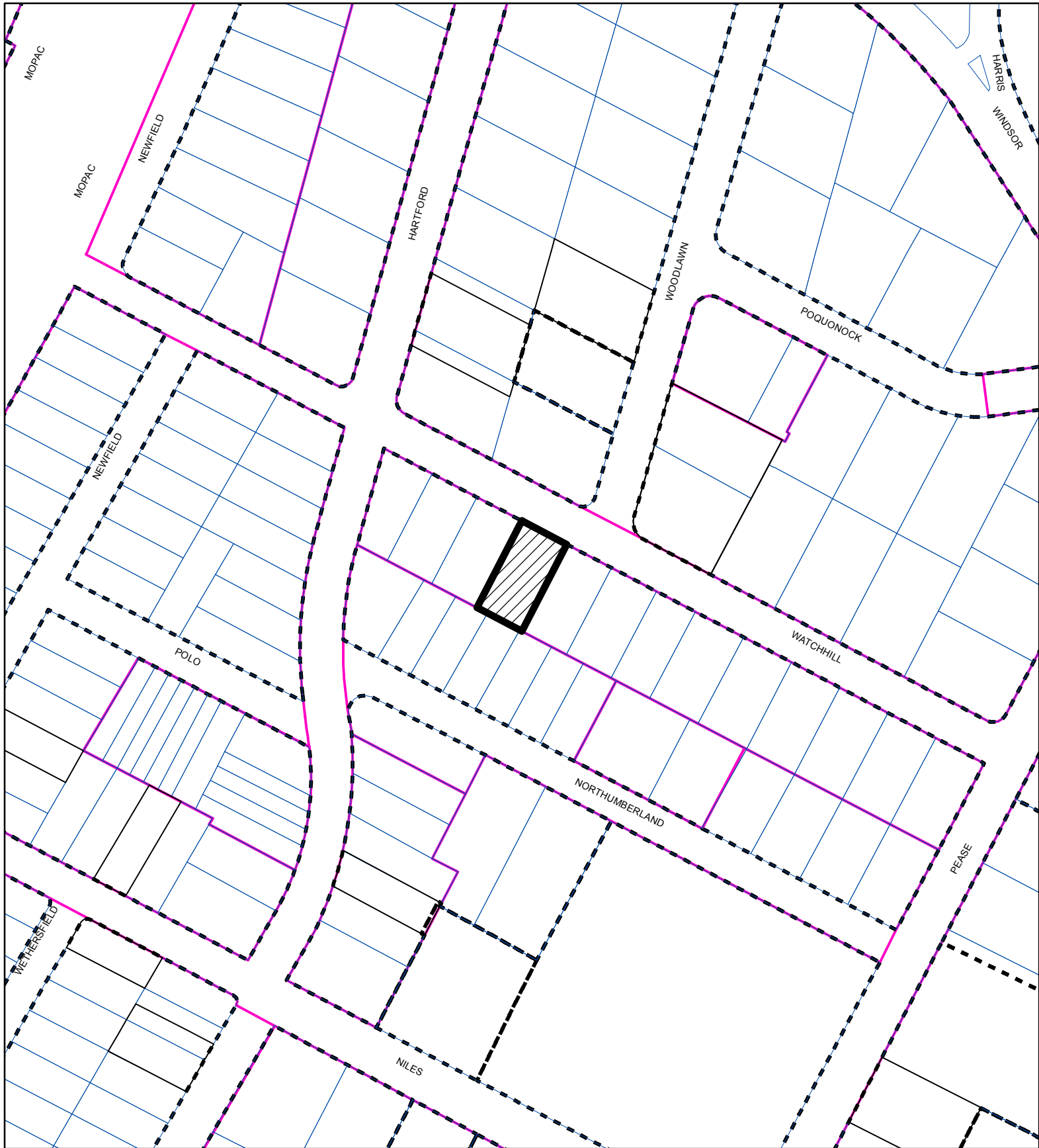
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Release the permit per the proposed design.

PHOTO

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SUBJECT TRACT



ZONING BOUNDARY

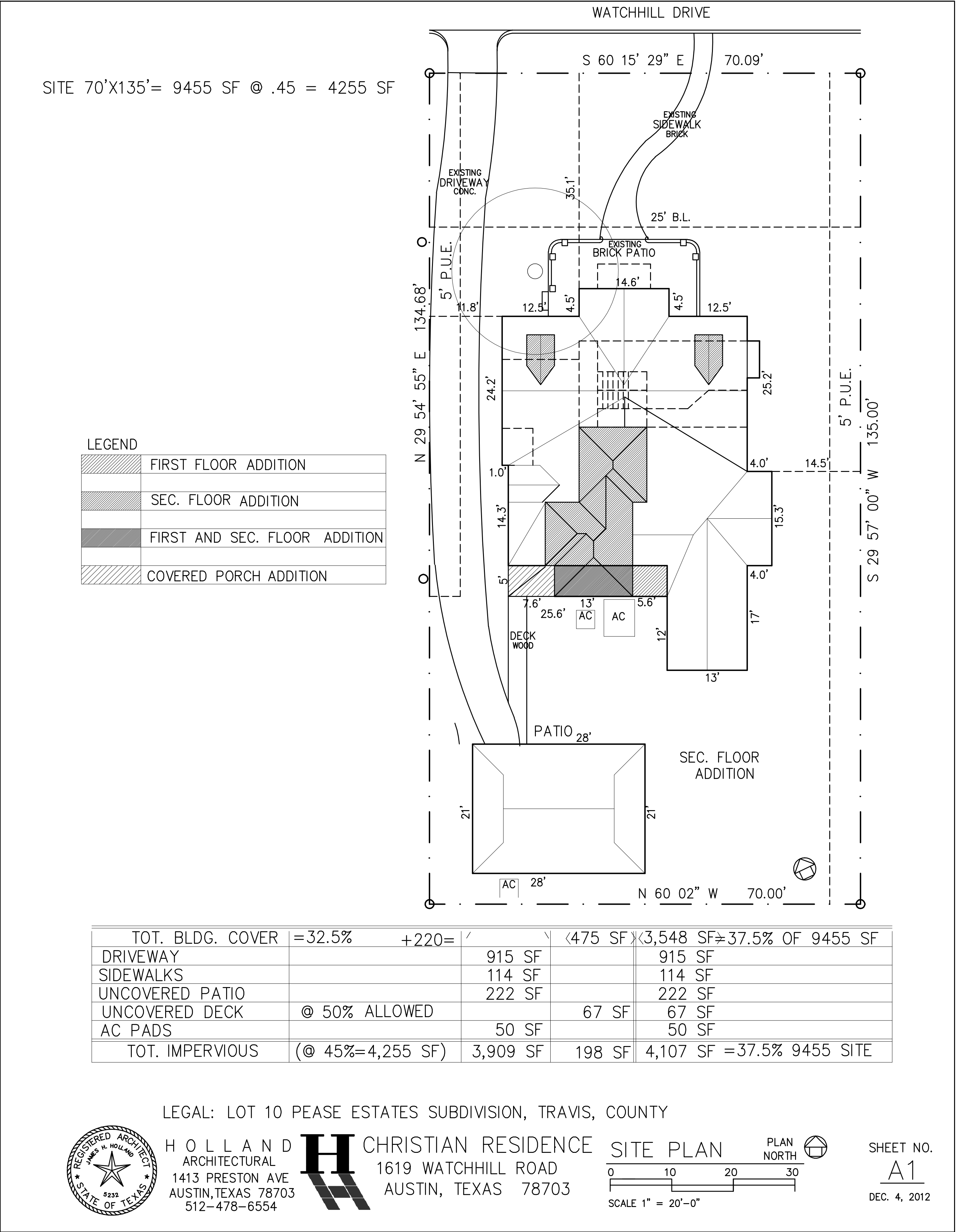
CASE#: NRD-2012-0137  
LOCATION: 1619 Watchhill Road



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This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

LIST OF DRAWINGS			GENERAL CONDITIONS
			A. SUMMARY OF WORK
	A-0	RENDERING	1. ALL CONSTRUCTION TO BE PERFORMED IN A GOOD WORKMANSHIP LIKE
	A-1	SITE PLAN	MANNER ACCORDING TO THE A.I.A. GENERAL CONDITIONS, ALL APPLICABLE
	A-2	FIRST FLOOR PLAN	CODES AND GENERALLY ACCEPTED BUILDING PRACTICES,
	A-3	SECOND FLOOR PLAN	AS REQUIRED TO CONSTRUCT A COMPLETE PROJECT.
	A-4	ELEVATIONS	2. CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB BEFORE ORDERING
	A-5	ELEVATIONS	ANY MATERIALS OR COMMENCING WITH ANY WORK.
	A-6	ROOF PLAN	3. CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY
	A-7	FOUDATION PLAN	DISCREPANCIES IN THE PLANS, SPECIFICATIONS, OR ACTUAL CONDITIONS
	A-8	SECOND FLOOR FRAMING PLAN	THAT AFFECT THE CONSTRUCTION COST OR EXECUTION.
	A-9	BUILDING SECTON	4. CONTRACTORS ARE TO OBTAIN AND PAY FOR ANY BUILDING PERMITS.
	A-10	BUILDING SECTON	5. CONTRACTORS TO EXECUTE THE CONSTRUCTION AS REQUIRED TO GET ALL
	A-11	WALL SECTION	GREEN TAGS AND CERTIFICATE OF OCCUPANCY.
	A-12	INTERIOR ELEVATIONS	6. SUBSTITUTIONS FOR PRODUCTS OF EQUAL QUALITY TO BE APPROVED BY
	AE-1	FIRST FLOOR ELECTRICAL	THE OWNER AND ARCHITECT PRIOR TO INSTALLATION IN WRITING.
	AE-2	SECOND FL. ELECTRICAL	7. PROVIDE SAMPLES OR MOCK-UPS OF ALL MATERIALS TO BE SELECTED.
			8. CONTRACTORS TO REMOVE ALL THEIR DEBRIS FROM THE SITE, LEAVING
			THE PROJECT CLEAN AND ALL INSTALLATIONS IN OPERATING CONDITION.
			9. CONTRACTOR TO PROVIDE TEMPORARY SANITARY FACILITIES.
			10. OWNER TO PROVIDE AND PAY FOR TEMPORARY UTILITIES.
			B. ALTERNATES AND CHANGE ORDERS
			1. TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO INSTALLATION.
			2. ALL CHANGE ORDERS TO BE IN WRITING.
			3. DESCRIBE ALL CHANGES AS TO CHANGE IN CONSTRUCTION, MATERIAL,
			COST,AND CONSTRUCTION TIME EXTENSION OR REDUCTION.
			C. INSURANCE
			1. PROVIDE BUILDERS RISK.
			2. PROVIDE GENERAL LIABILITY.
			3. PROVIDE WORKERS COMP.
			D. MAINTENANCE AND WARRANTIES
			1. PROVIDE GENERAL CONST. WARRANTY FOR ONE YEAR FROM COMPLETION.
			2. PROVIDE RELEASE OF LIENS FOR LABOR AND MATERIALS FROM ALL
			SUPPLIERS AND ALL SUB CONTRACTORS.
			3. PROVIDE ALL EQUIPMENT WARRANTIES.
UTILITIES			SITE WORK
	A. SERVICE		A. SUBSURFACE INVESTIGATION AND SURVEY BY OWNER, SEE CIVIL.
	1. ELEC.: EXISTING OVERHEAD TO REMAIN.		1. OWNER TO PROVIDE SURVEY DESCRIBING MEETS AND BOUNDS.
	NO ADDITION REQUIRED		EASEMENTS, SET BACKS, BUILDINGS, AND EXISTING TREES.
	2. WATER: EXISTING TO REMAIN.		2. CONTRACTOR TO PROVIDE SLAB SURVEY CERTIFYING THAT ALL BUILDINGS
	3/4" TAP EXISTING TO REMAIN.		DO NOT ENCROACH INTO SET BACKS OR EASEMENTS.
	3. WASTE WATER: EXISTING TO REMAIN.		B. SITE PREP AND GRADING.
	3. GAS: EXISTING TO REMAIN.		1. ROUGH GRADE AND FILL ALL EXCAVATED AREAS AS REQUIRED TO ALLOW
			SURFACE WATER TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES DURING CONST.
			2. EXCAVATE SWALE AS REQUIRED TO DIVERT SURFACE WATER AROUND
			FROM FRONT/EAST TO SIDE/NORTH, SEE SITE PLAN.
			DIVERT SURFACE WATER AWAY FROM BUILDING AS REQUIRED.
			3. FINISH GRADE AT ALL LANDSCAPED AREAS WITH A MINIMUM OF 4" OF
			SANDY LOAN TOP SOIL AS REQUIRED TO RECEIVE PLANTINGS.
			C. UTILITIES: SEE SITE PLAN
			D. LANDSCAPE
			1. TREES, EXISTING TO REMAIN AND PROTECTED AT ALL TIMES. SEE SITE PLAN
			MINIMUM 6' FENCE AT ALL DRIP LINES TO PROTECT DURING CONSTRUCTION.
			FOR LOCATION AND DETAILS.
			2. TREE PROTECTION TO CONFORM TO ALL CITY ORDINANCES AS REQUIRED.
			E. PAVING AND SURFACING:
			1. REPAIR EXISTING AS REQUIRED.
			2. MATCH EXISTING CONSTRUCTION.

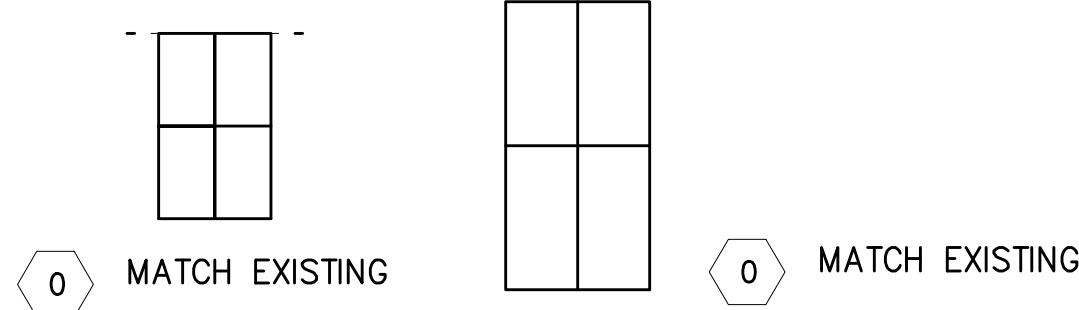




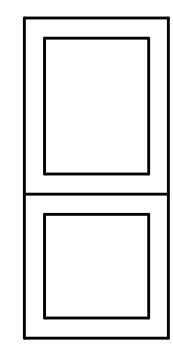


24X36@1/4"

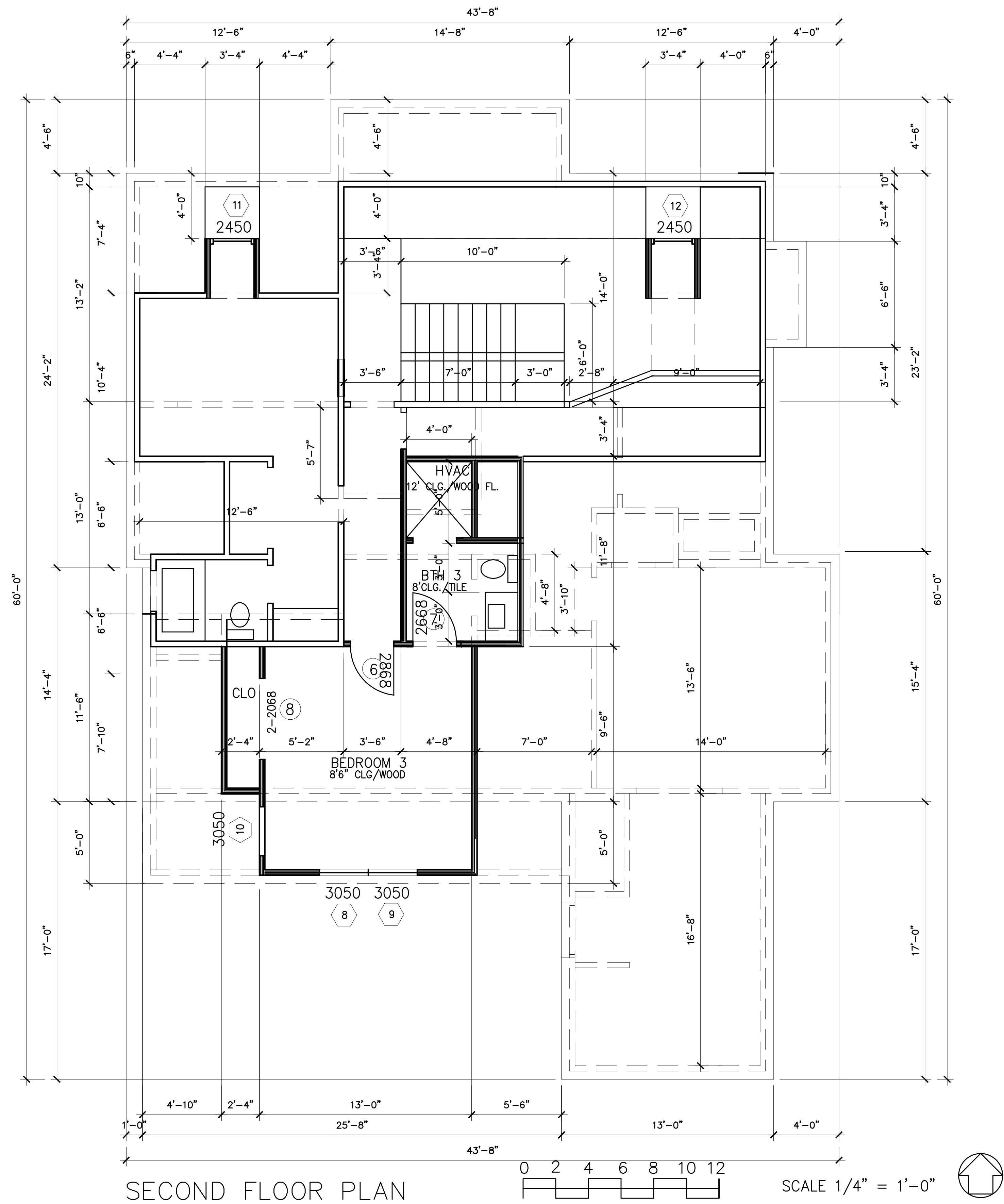
WINDOW SCHEDULE SECOND FLOOR

[illegible]

DOOR SCHEDULE SECOND FLOOR

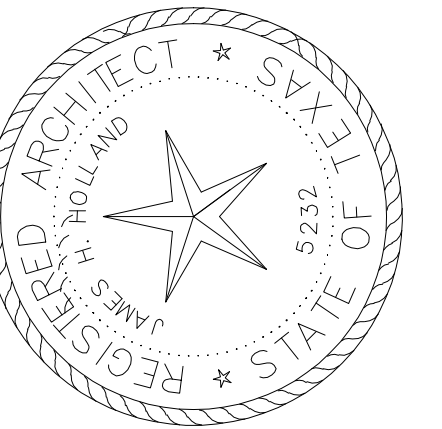


① WOOD

[illegible]

FIRST FLOOR		SECOND FLOOR		BUILDING AREA	
AC AREA	1,861 SF	AC AREA	868 SF	TOTAL AC AREA	2,729 SF
ADDITION	95 SF	ADDITION		TOTAL ADDITION	95 SF
FIRST FLOOR AREA	1,956 SF	SECOND FLOOR AREA	868 SF	TOTAL LIVING AREA	2,824 SF

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CHRISTIAN RESIDENCE  
1619 WATCHHILL ROAD  
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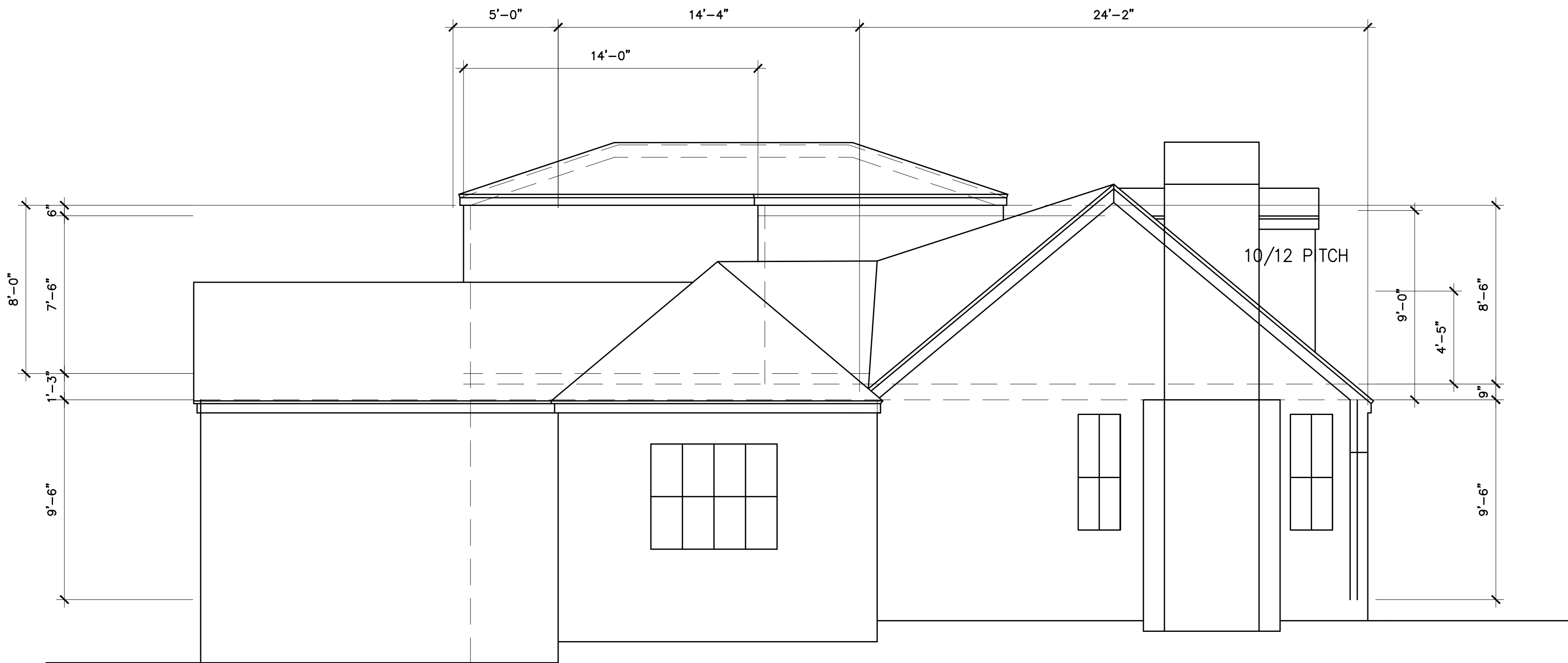
SECOND FLOOR

SHEET NO.

A-3

DEC. 7, 2012

8.5X11@ 1-10'



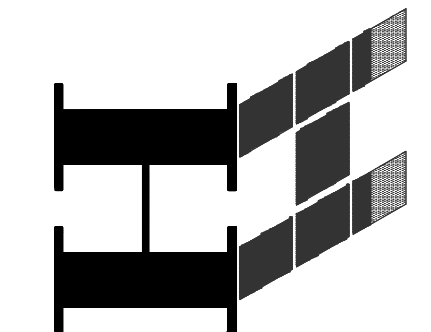
EAST ELEVATION

SCALE 1/4" = 1'-0"

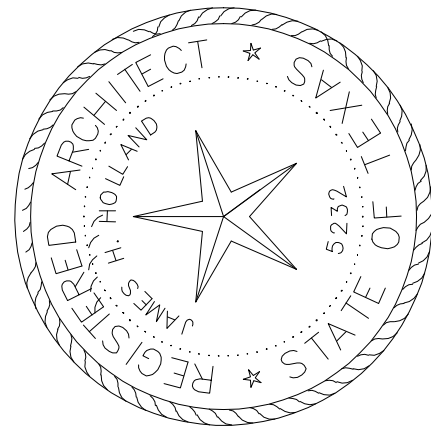


NORTH ELEVATION

SCALE 1/4" = 1'-0"



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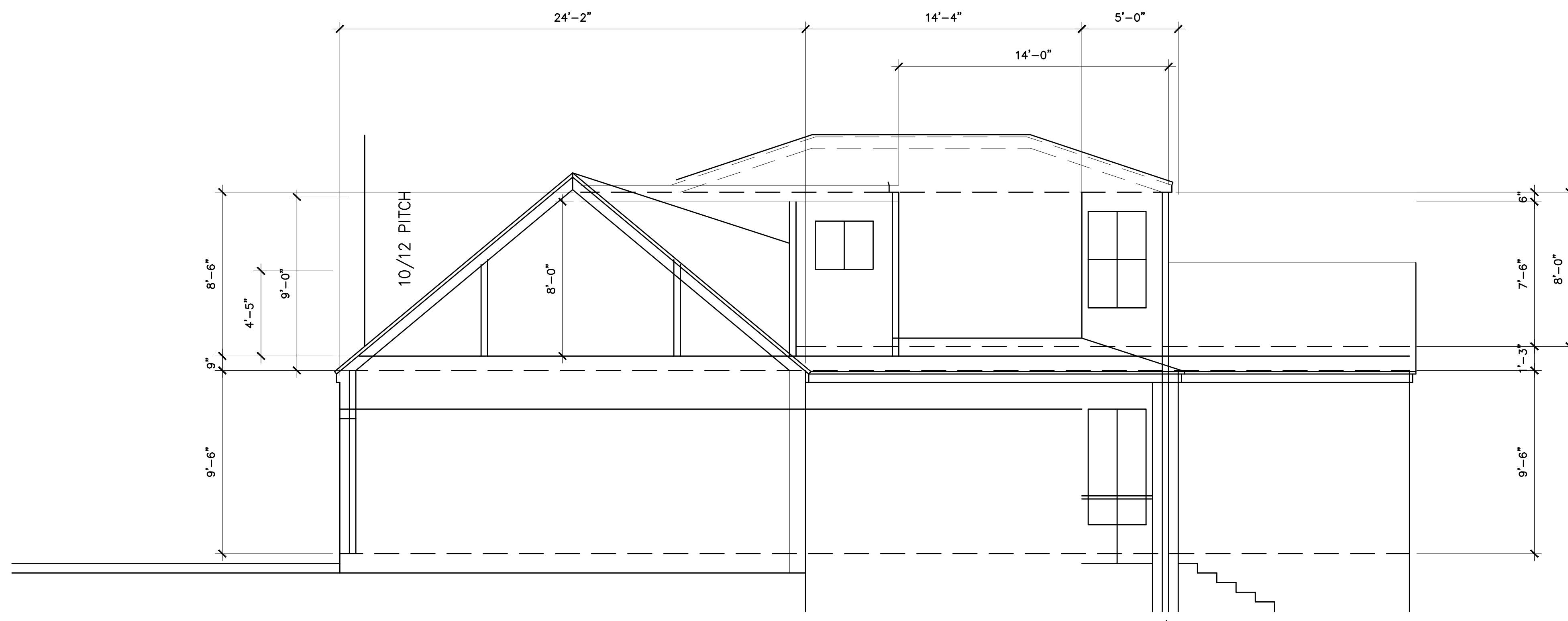
ELEVATIONS

SHEET NO.

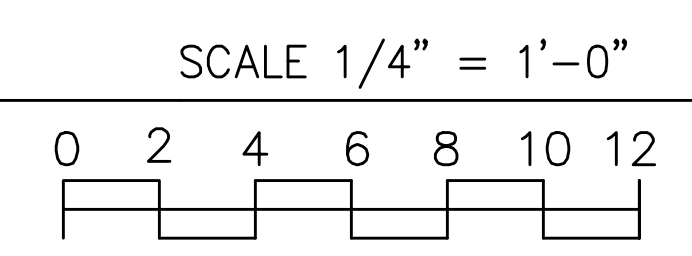
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DEC. 7, 2012

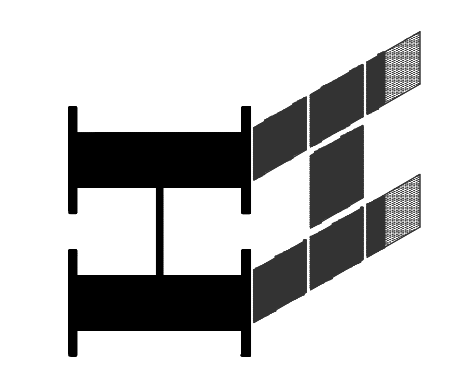
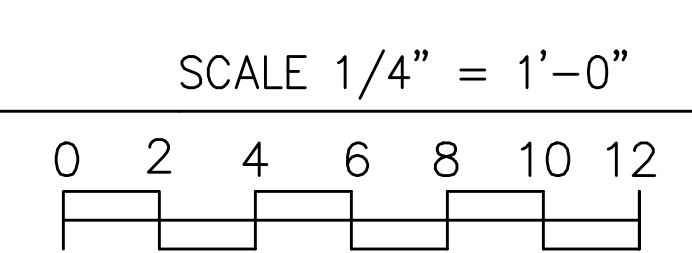




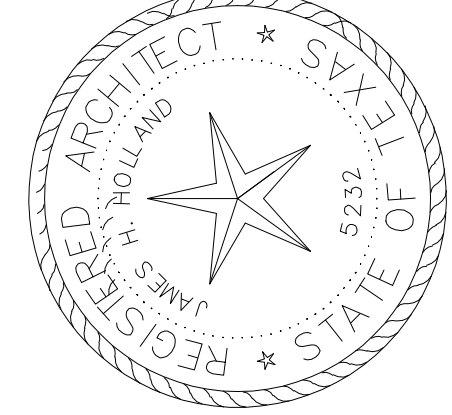
WEST ELEVATION



SOUTH ELEVATION



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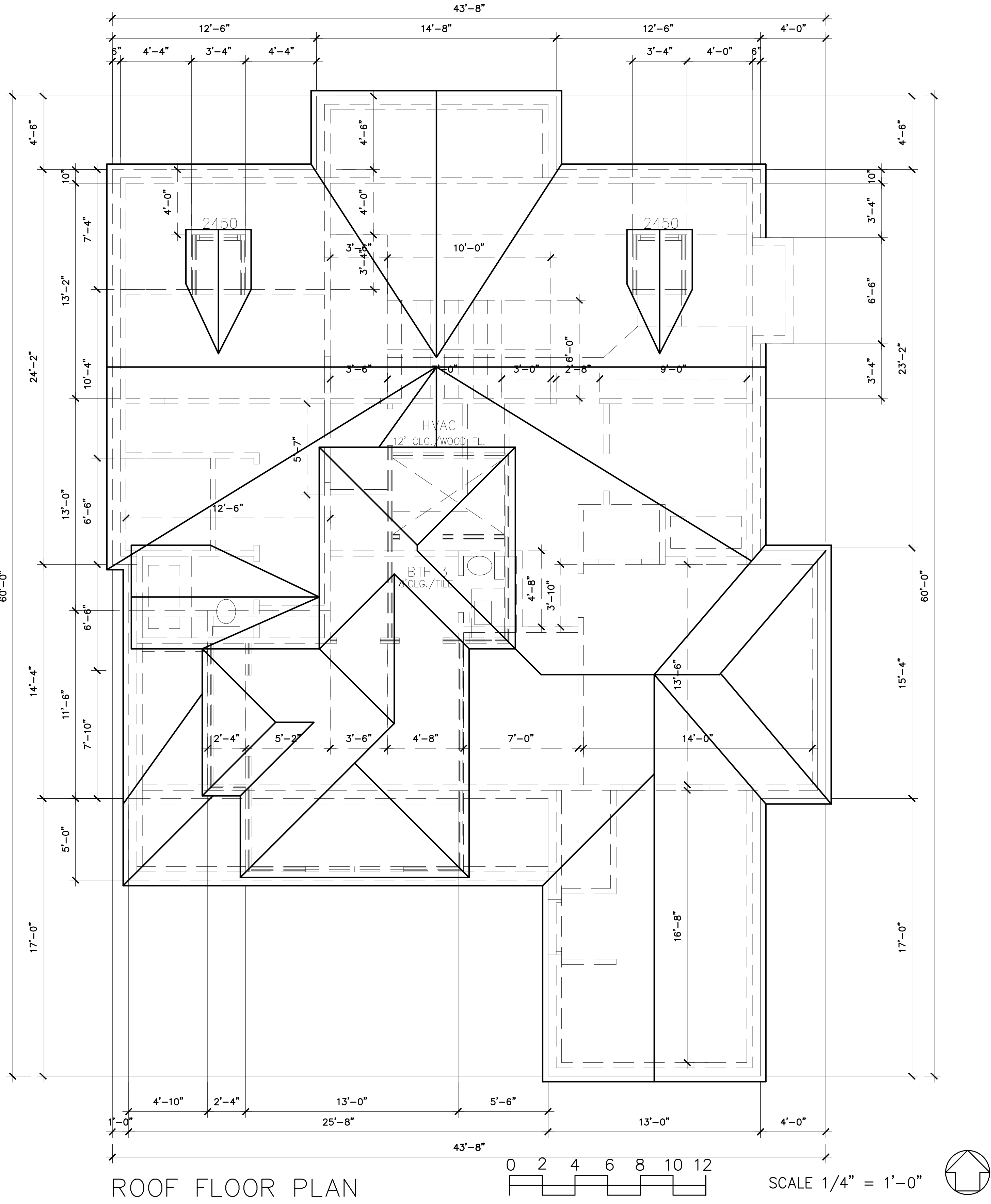
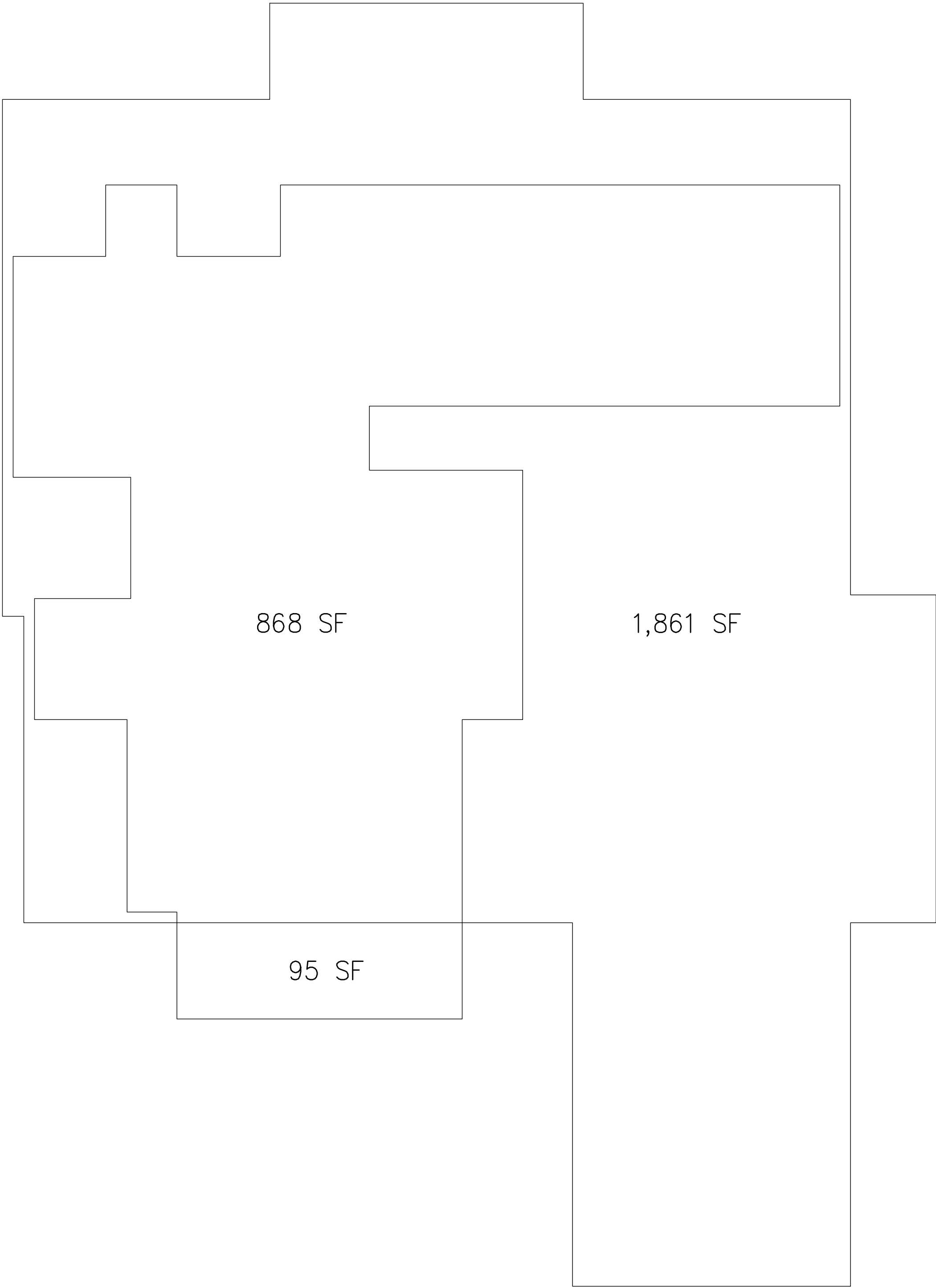


CHRISTIAN RESIDENCE  
1619 WATCHHILL ROAD  
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EXT. ELEV.

SHEET NO.  
A-5  
DEC. 7, 2012

24X36@1/4"



FIRST FLOOR		SECOND FLOOR		BUILDING AREA	
AC AREA	1,861 SF	AC AREA	868 SF	TOTAL AC AREA	2,729 SF
ADDITION	95 SF	ADDITION		TOTAL ADDITION	95 SF
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ROOF PLAN

SHEET NO.

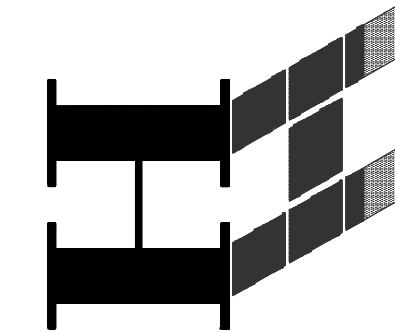
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DEC. 7, 2012

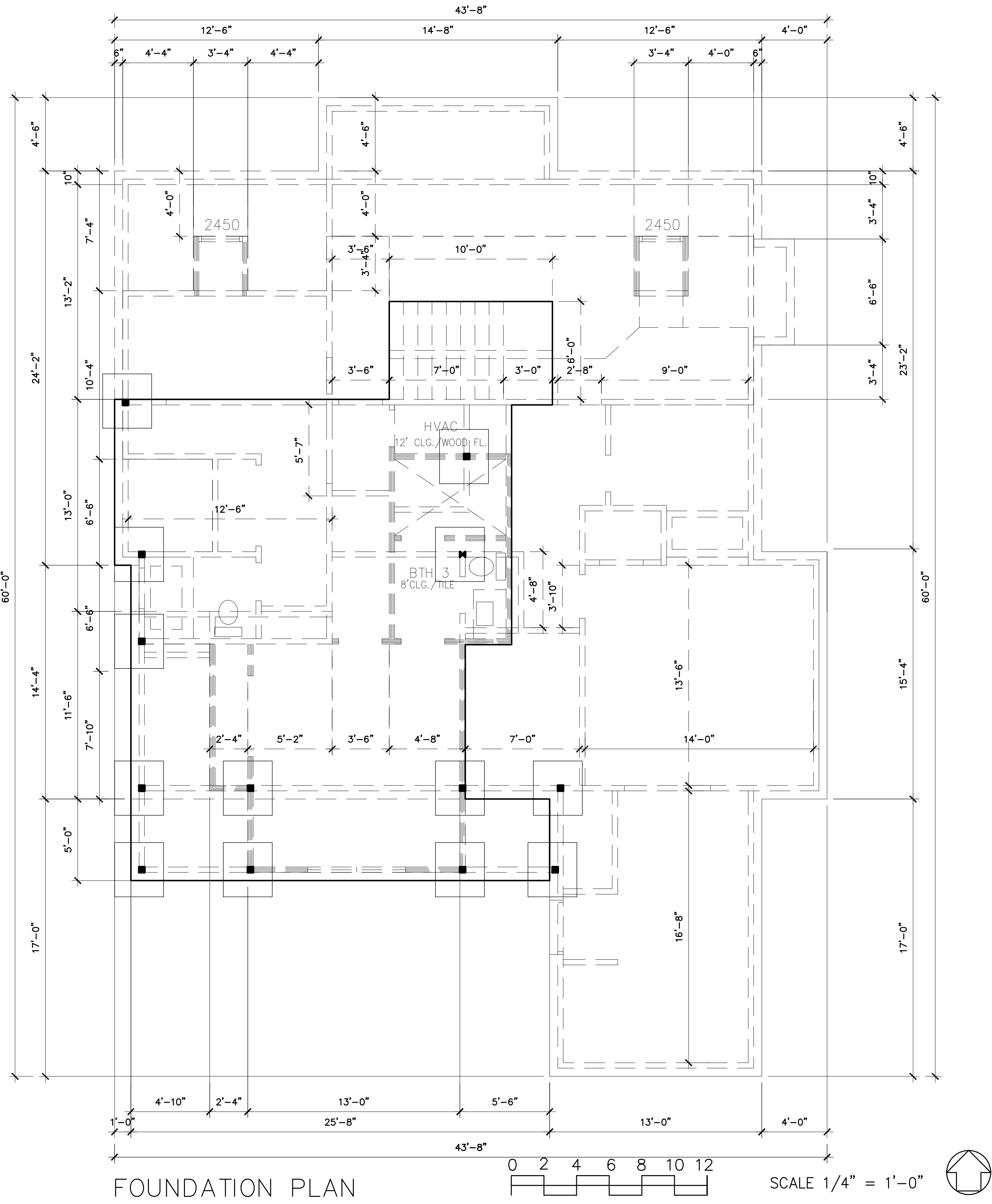
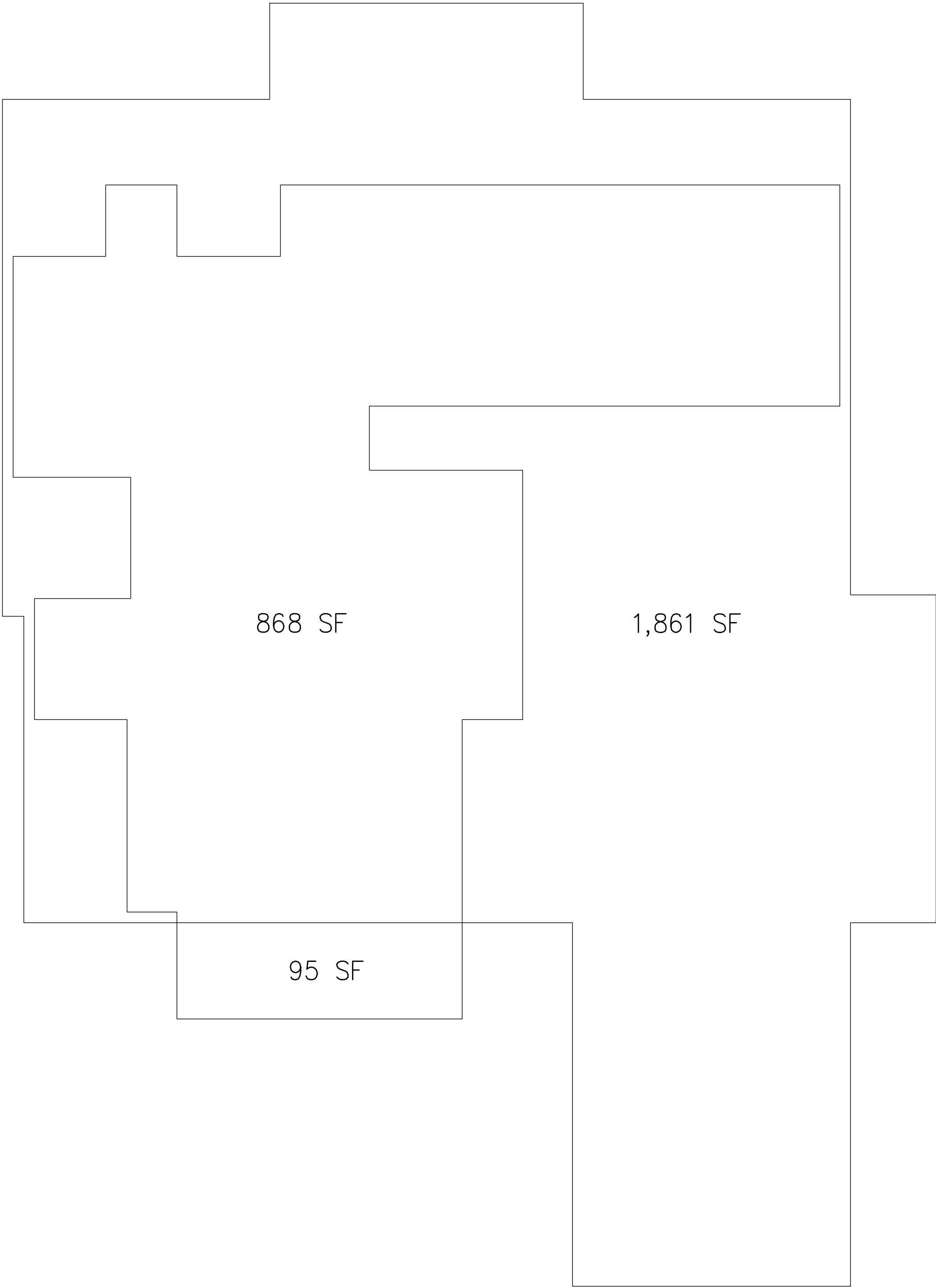
CHRISTIAN RESIDENCE  
1619 WATCHHILL ROAD  
AUSTIN, TEXAS 78703



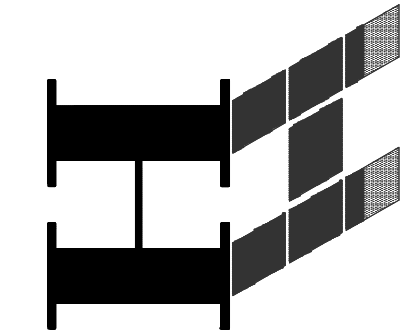
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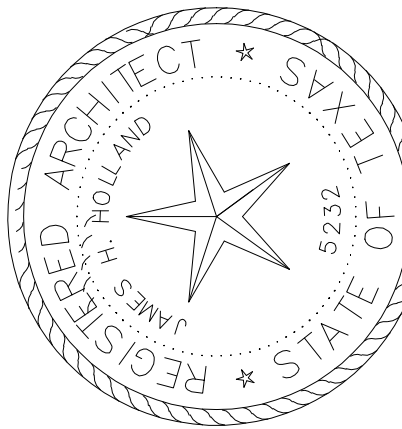
24X36@1/4"



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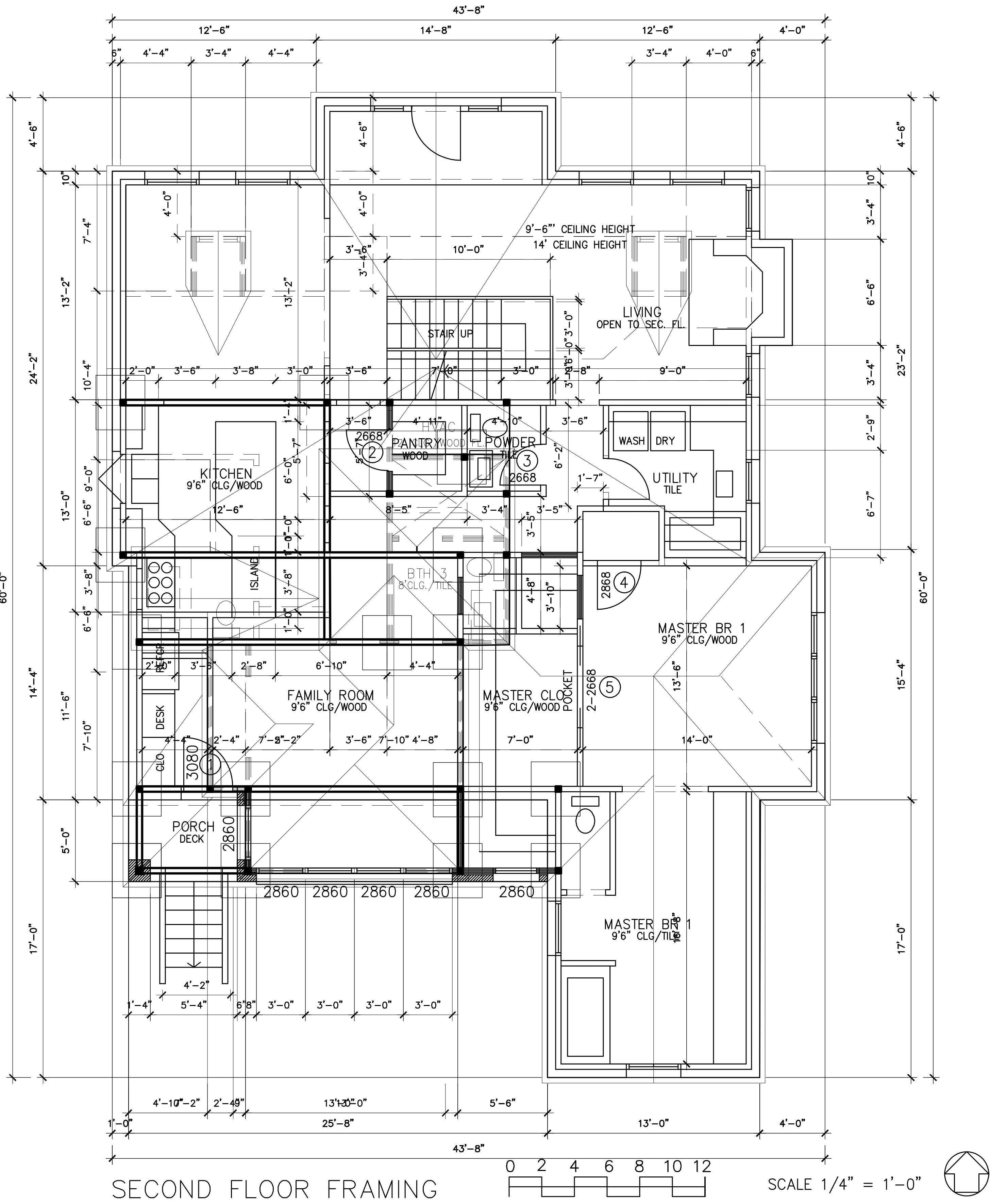
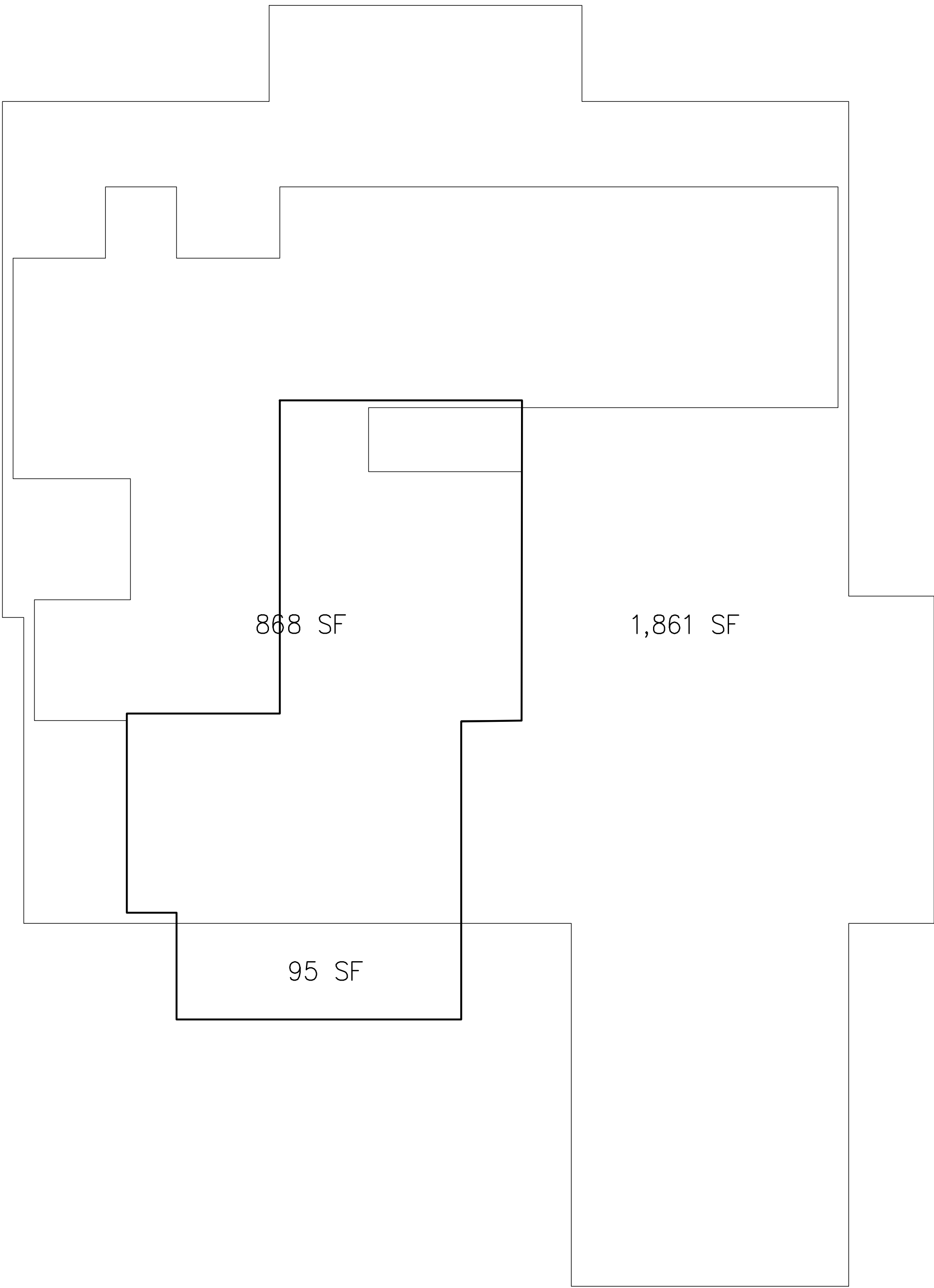
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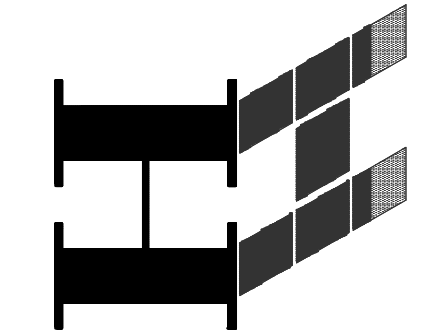
CHRISTIAN RESIDENCE  
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FOUNDATION  
SHEET NO.  
**A-7**  
DEC. 7, 2012

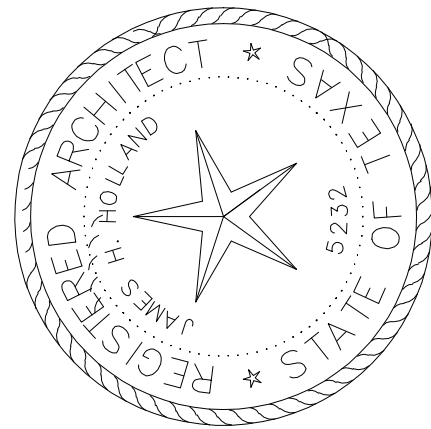
24X36@1/4"



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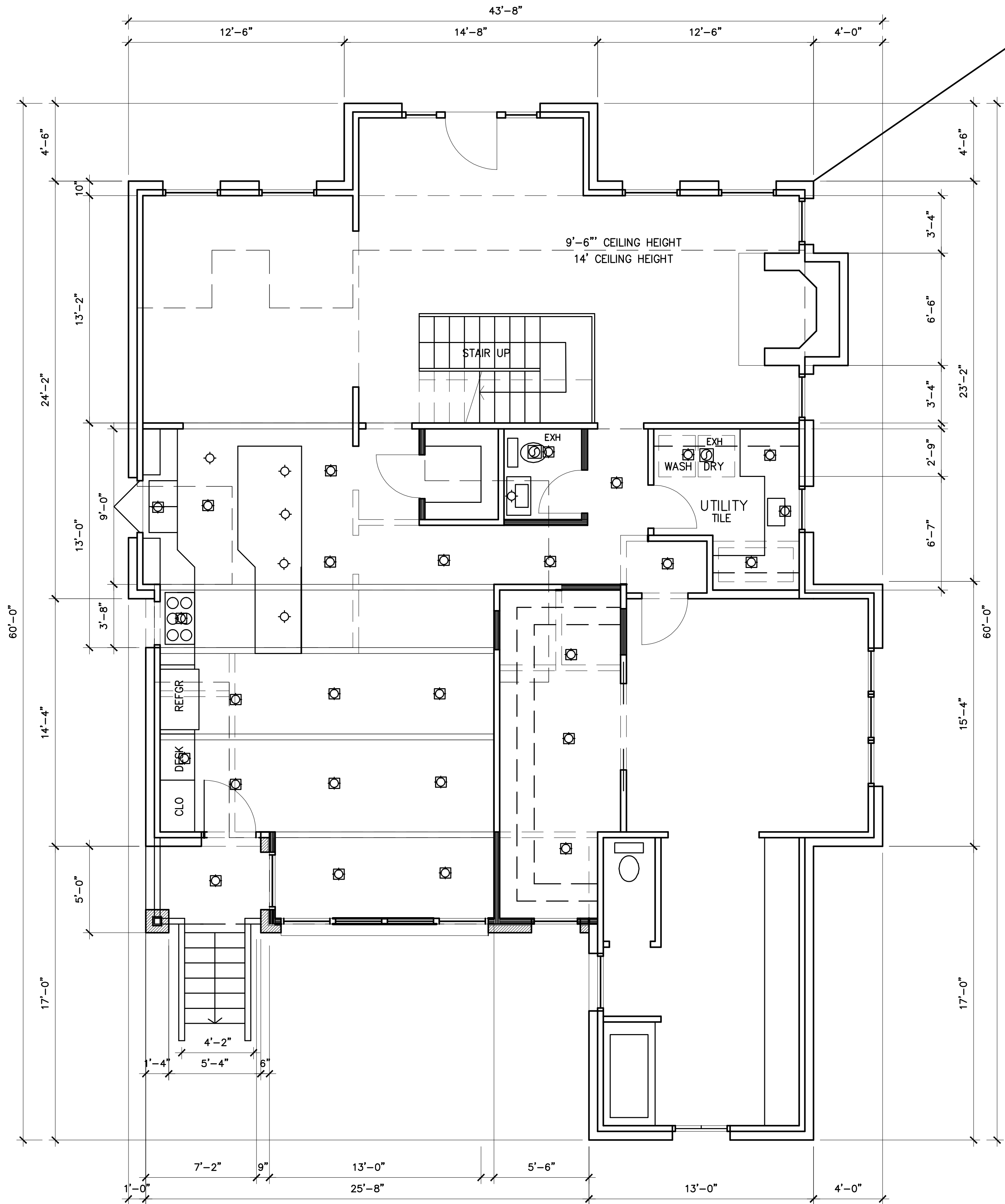


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SECOND FLOOR  
FRAMING  
SHEET NO.

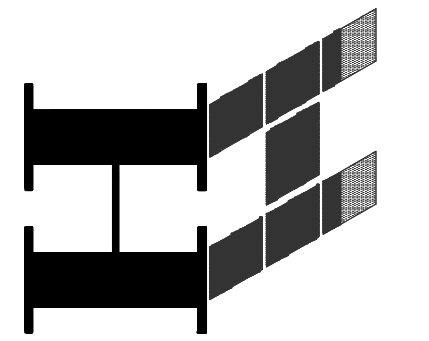
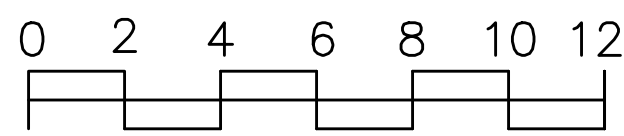
A-8

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[illegible]

FIRST FLOOR REFLECTED CEILING PLAN

SCALE 1/4" = 1'-0"



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ROOF PLAN

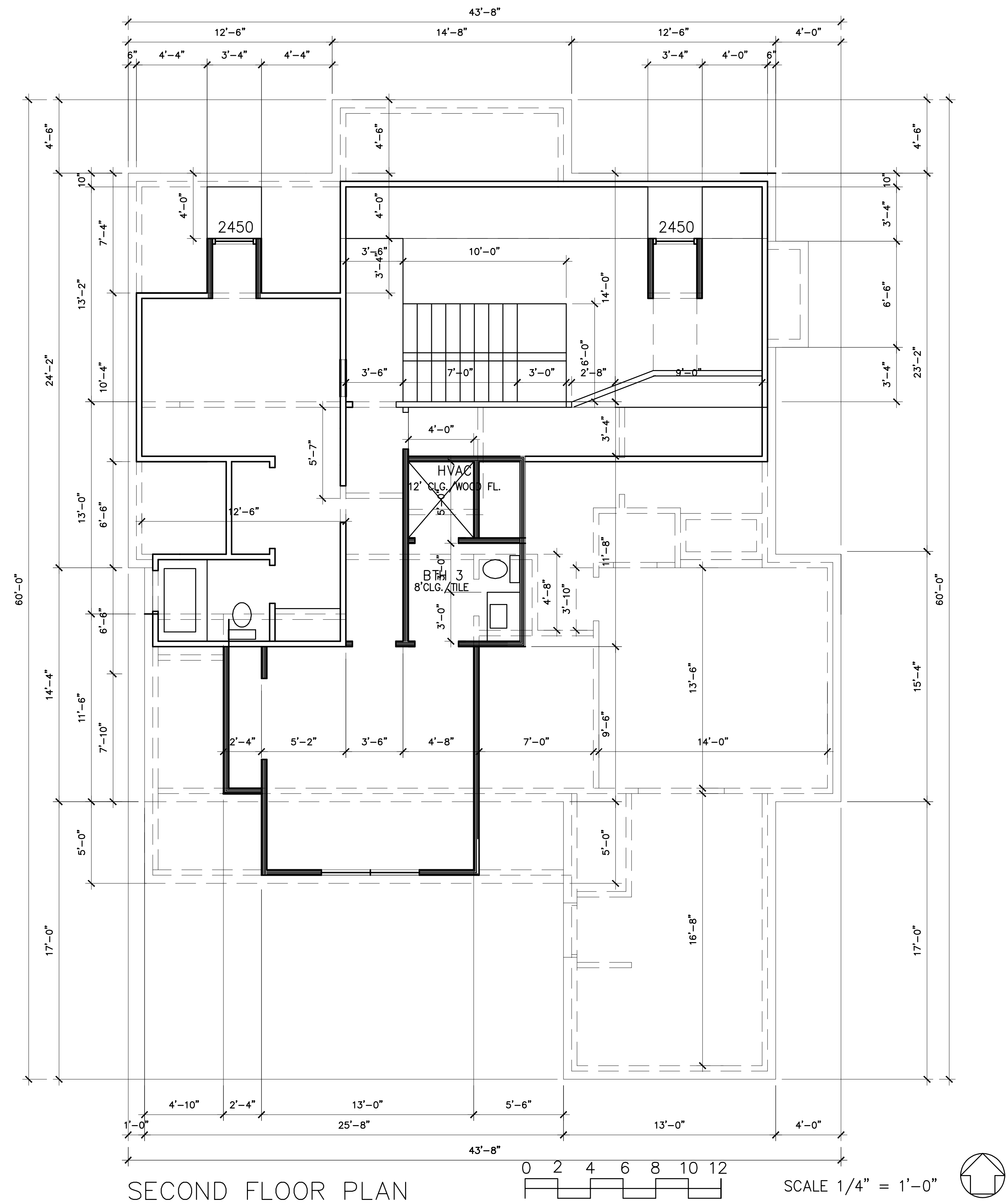
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A - 9E

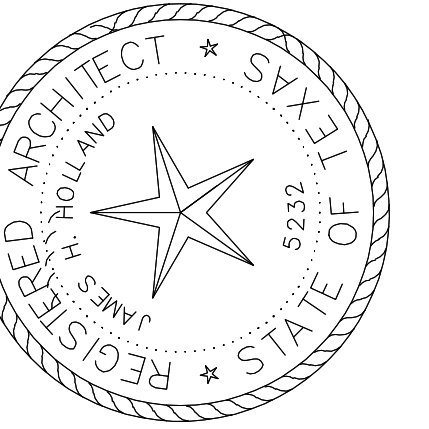
DEC. 7, 2012

24X36@1/4"

LIGHT FIXTURE SCHEDULE									
⌀ 42"	DUPLEX OUTLET –42" A.F.F.								
GFI	– GROUND FAULT								
1/2	–1/2 SWITCHED								
WP	–WATERPROOF								
⌀ 220	–220 V								
\$	SWITCH								
\$ 3	3 WAY SWITH								
\$ R	DIMMER								
\$ 3R	3 WAY SWITH W/DIMMER								
☐	SMOKE DETECT								
▷	PHONE/CABLE								
☑	WASHER DRYER CONNECTION								
└	HOSE BIB –INSULATED								
	–BACK FLOW PRENENTER								
EXH	EXHAUST FAN TO EXTERIOR								
☑	–REMOTE DRAW FAN								
⌀ L	CEILING FAN –LIGHT KIT								
R	–DIMMER								
⌀ LS	LANDSCAPE								
◊	INDIRECT LIGHT								
UC	UNDER CABINET								
UP	ABOVE CABINET								
⬠	SURFACE MOUNT CEILING–EXT.								
	CEILING–INT.								
C	CHANDELIER								
S	SCONCE								
F	FLOOD								
PC	PHOTO CELL								
P	PENDANT								
⬢ 3"	RECESSED DOWNLIGHT								
⬢ 6"	RECESSED DOWNLIGHT								
S	SPOT								
WP	WATERPROOF								
PC	PHOTOCCELL								
AD	ADJUSTABLE ACCENT								



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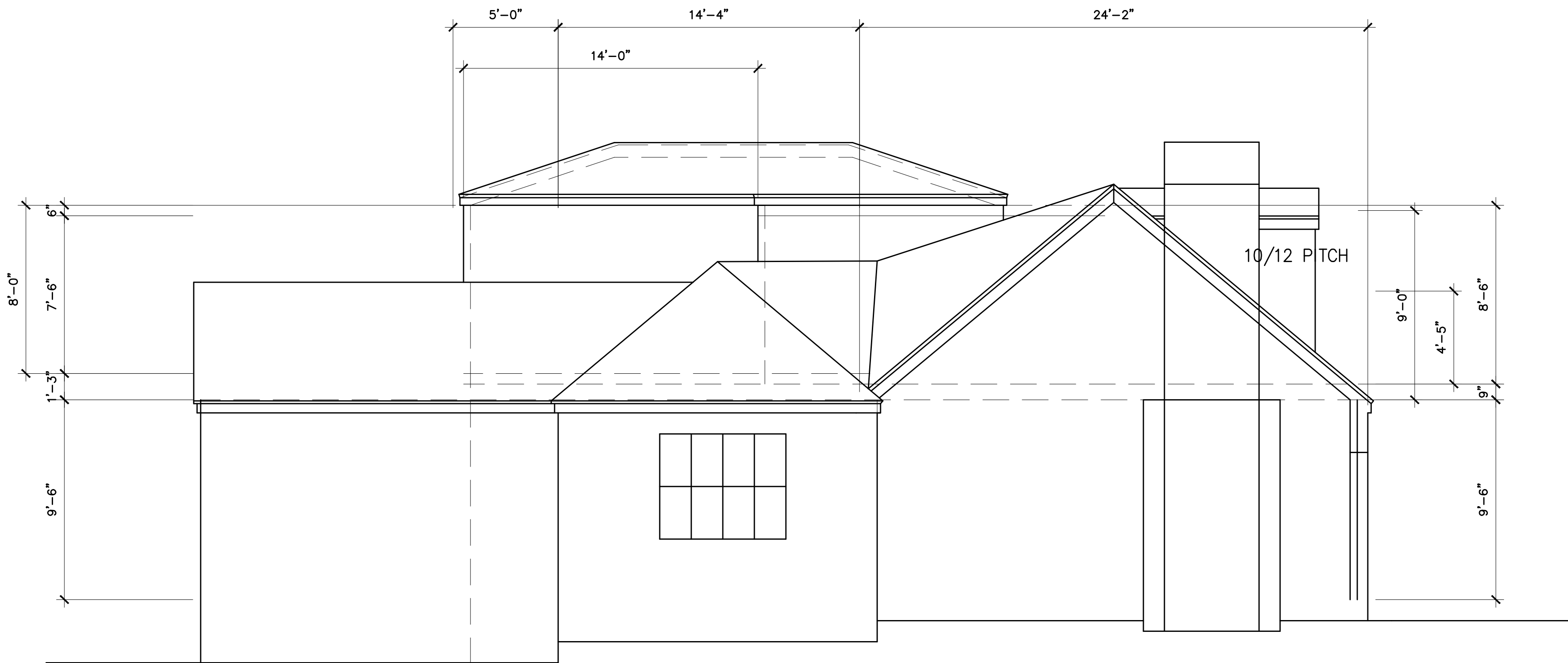
RECEIVED PLAN NOOR

SHEET NO.

A10E

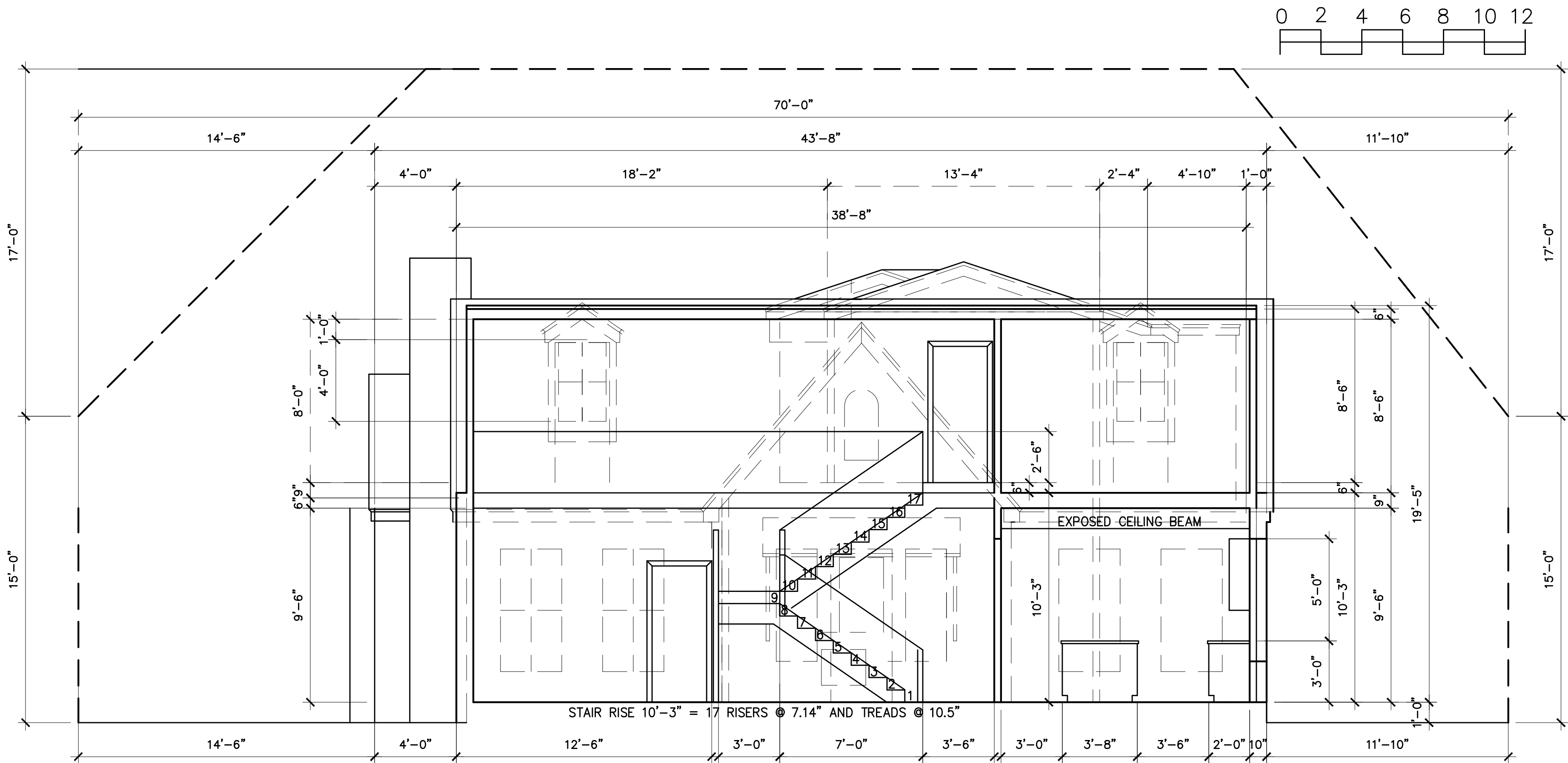


8.5X11@ 1/10



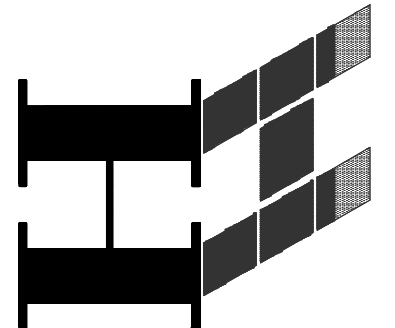
EAST ELEVATION

SCALE 1/4" = 1'-0"

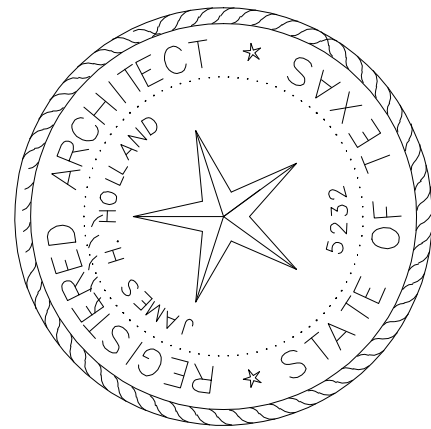


NORTH ELEVATION

SCALE 1/4" = 1'-0"



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BLDG. SECTION

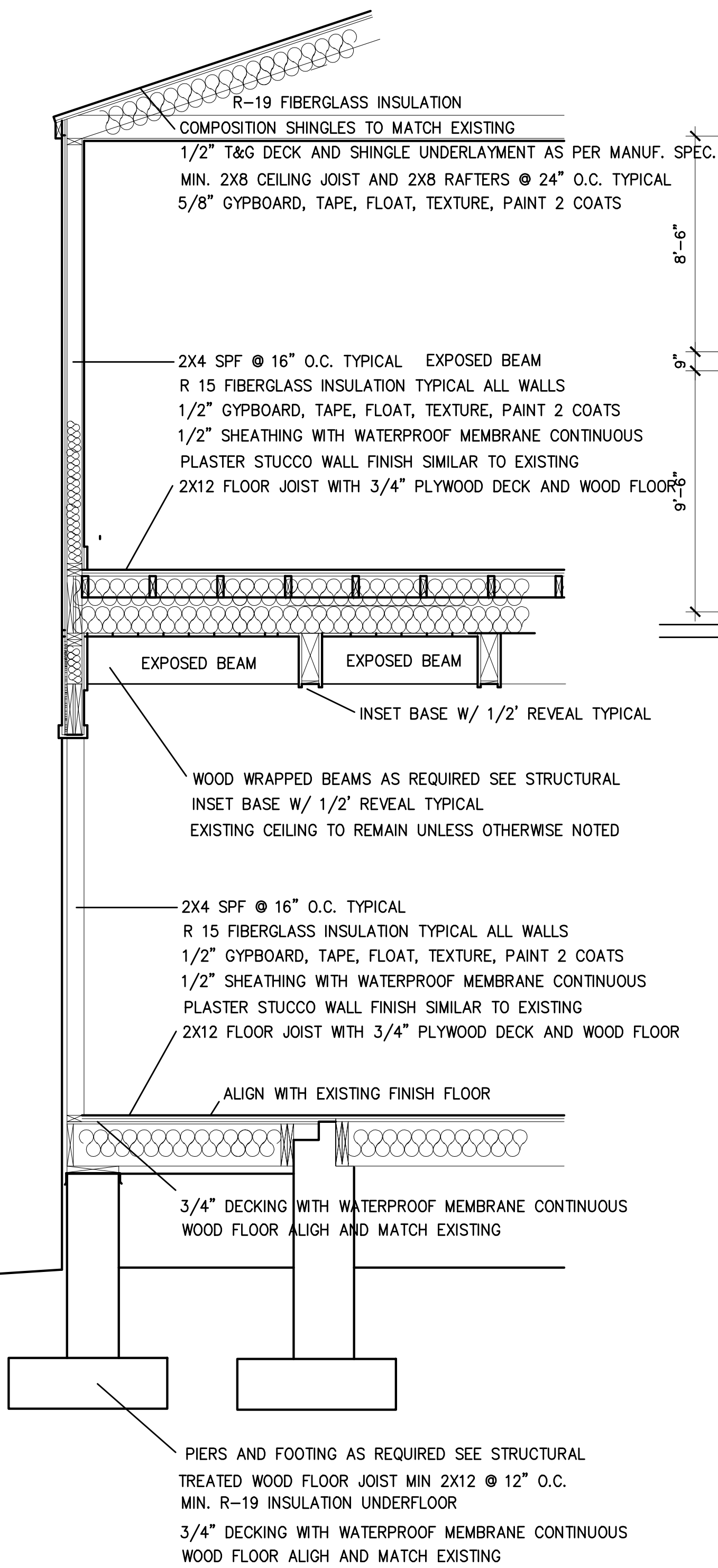
SHEET NO.

A-11

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24X36@1/4"

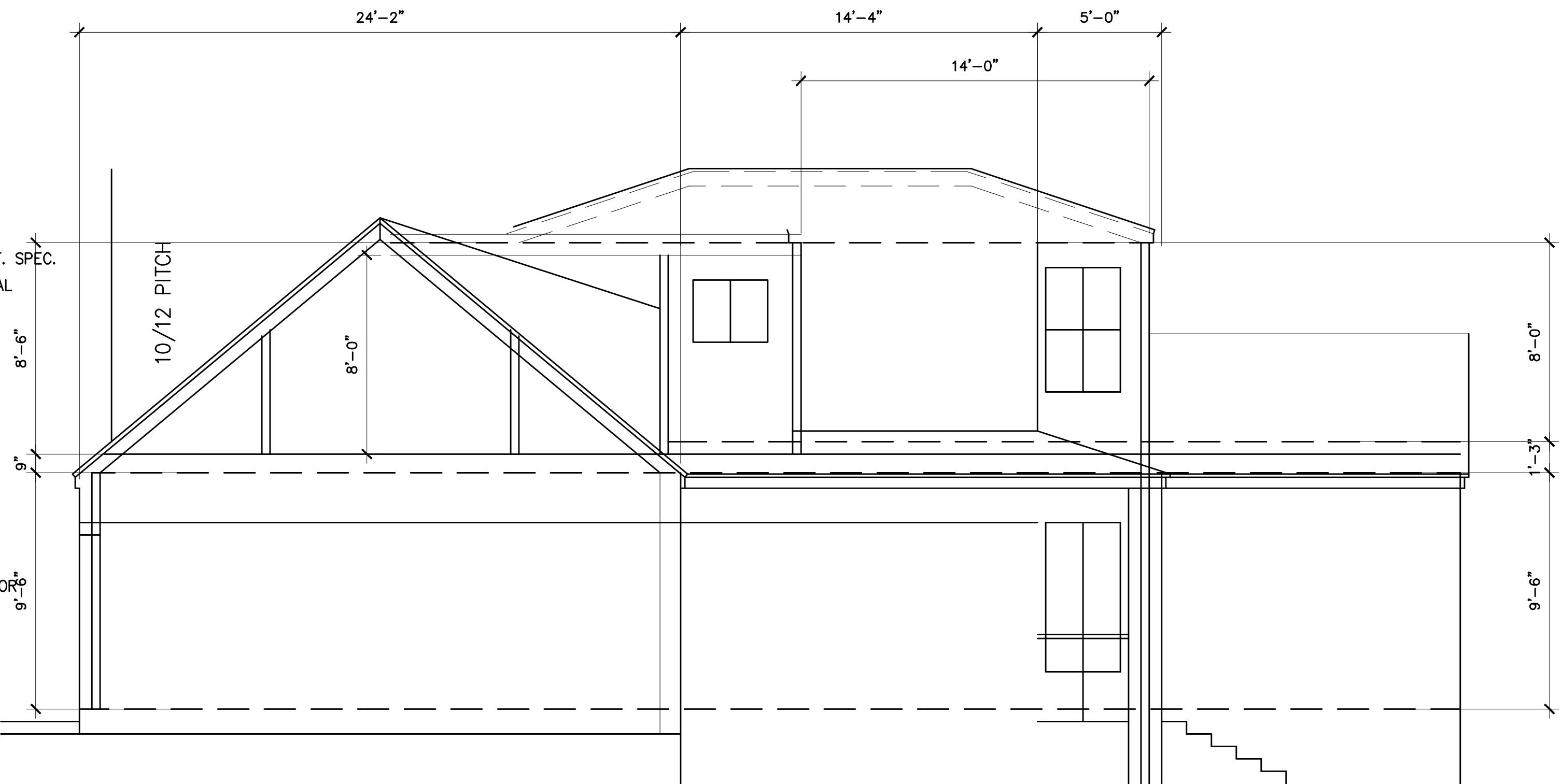
8.5X11@ 1/4"



WALL SECTION

SCALE 1/2" = 1'-0"

0 1 2 3 4 5 6



WEST ELEVATION

SCALE 1/4" = 1'-0"

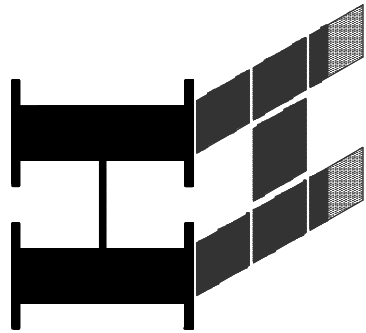
0 2 4 6 8 10 12



SOUTH ELEVATION

SCALE 1/4" = 1'-0"

0 2 4 6 8 10 12



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