

**HISTORIC LANDMARK COMMISSION
MARCH 25, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0014
Old West Austin
1712 Mohle Drive**

PROPOSAL

Construct an addition to the front of a contributing house.

PROJECT SPECIFICATIONS

The c. 1950 residence is an approximately 2,023 sq. ft. Minimal Tradition house with a side gabled roof and front facing cross gable, and a small inset porch. The house is clad with horizontal siding, and has 6:6 double-hung windows flanked by shutters.

The applicant proposes to extend a portion of the front wall out four feet to accommodate a kitchen remodel. The addition will utilize the same siding as what is existing on the house, and will have windows that are similar, but of different dimensions than those existing. Additionally the addition will result in a slightly higher ridge line on this section of the roof.

STANDARDS FOR REVIEW

The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines for the District state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The addition, because of the changes to window dimensions and ridge height on the front elevation, could render the house no longer contributing to the Old West Austin National Register Historic District. However, the scale, massing and architectural patterns of the house remain compatible with other properties in the District.

STAFF RECOMMENDATION

Release the permit.

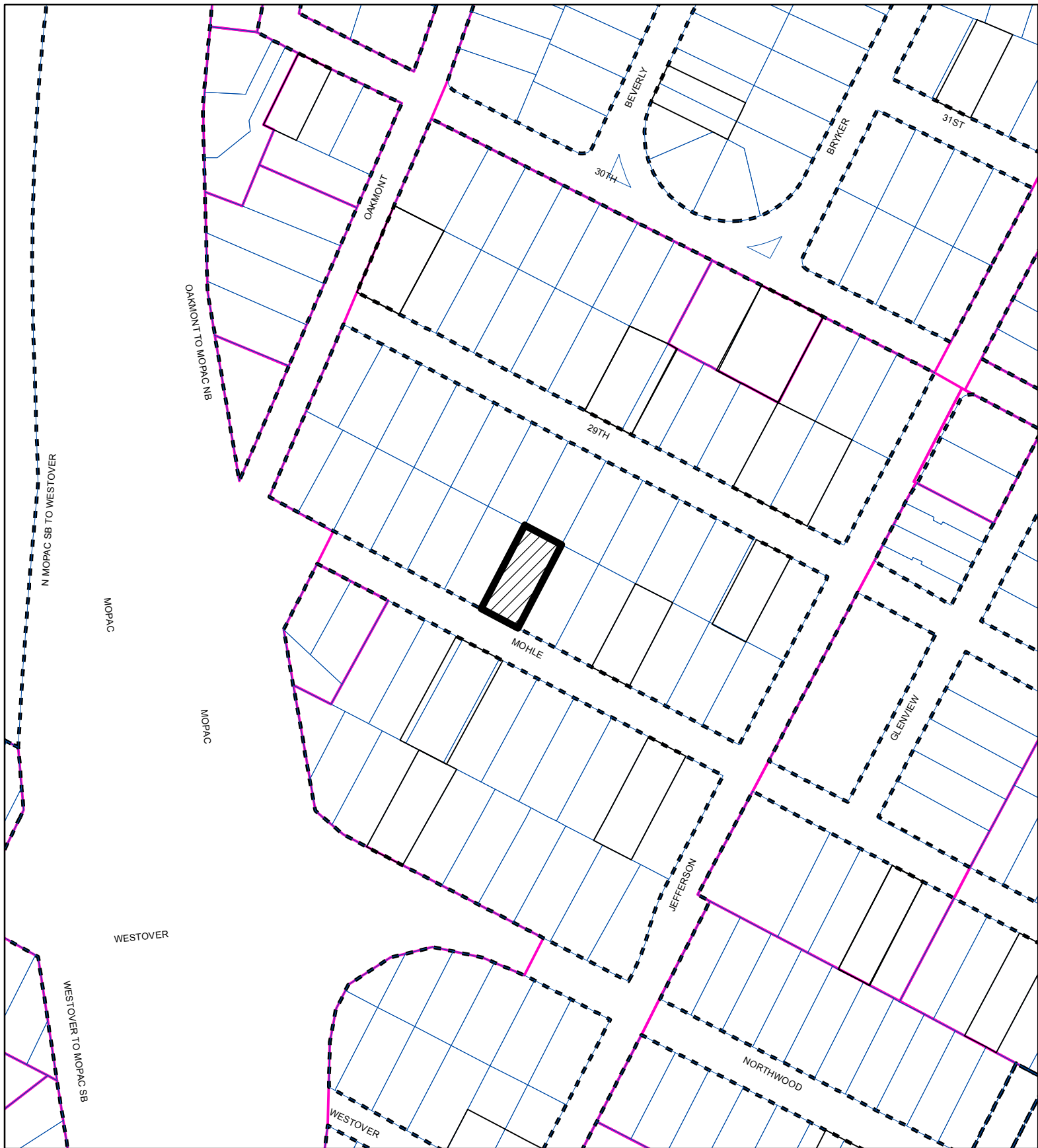
PHOTOS

See following pages.









SUBJECT TRACT



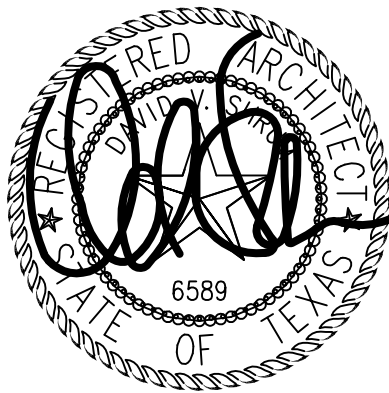
ZONING BOUNDARY

CASE#: NRD-2013-0014
LOCATION: 1712 Mohle Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

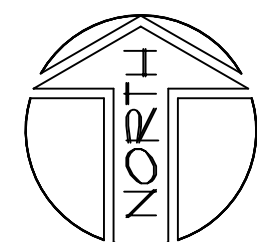
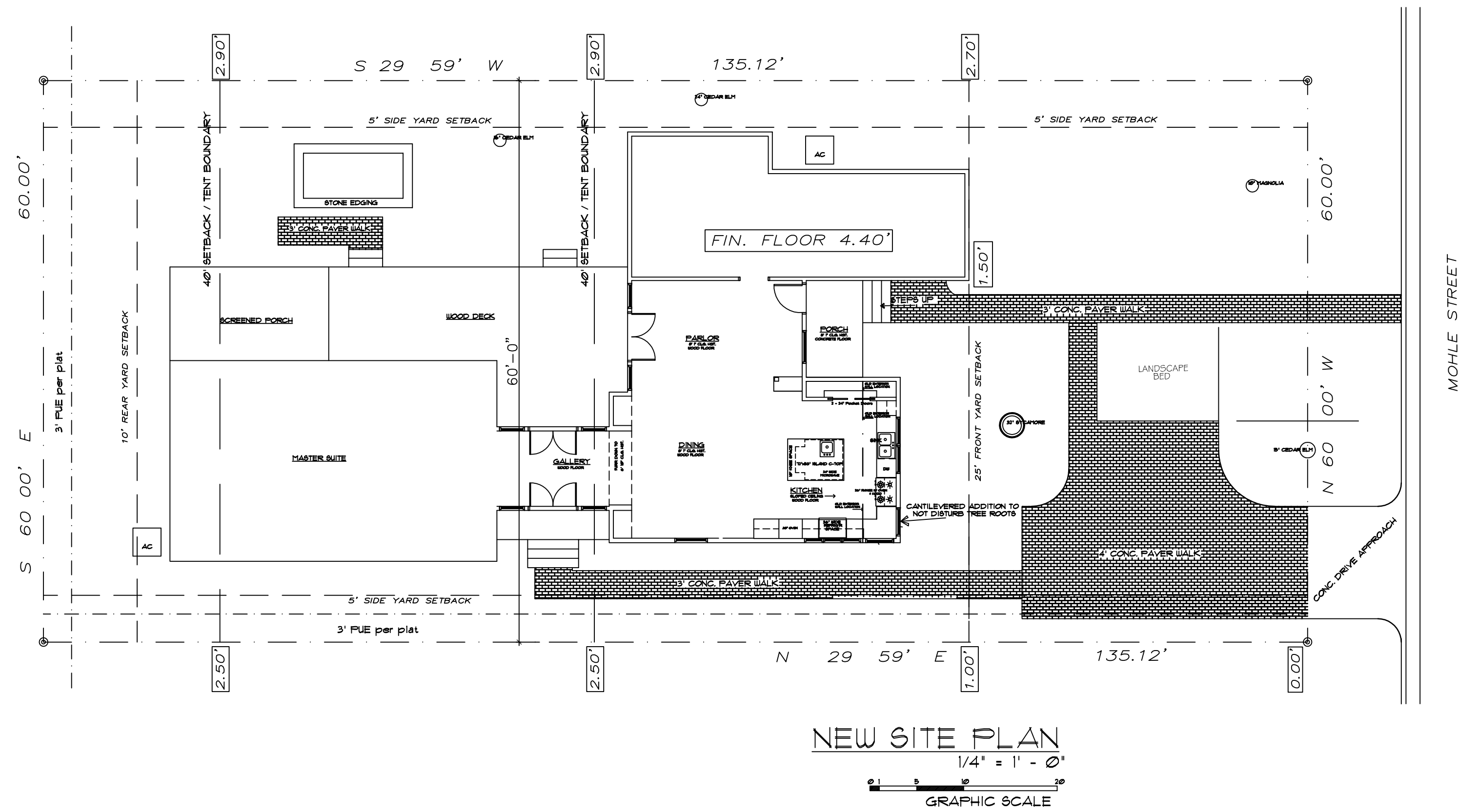
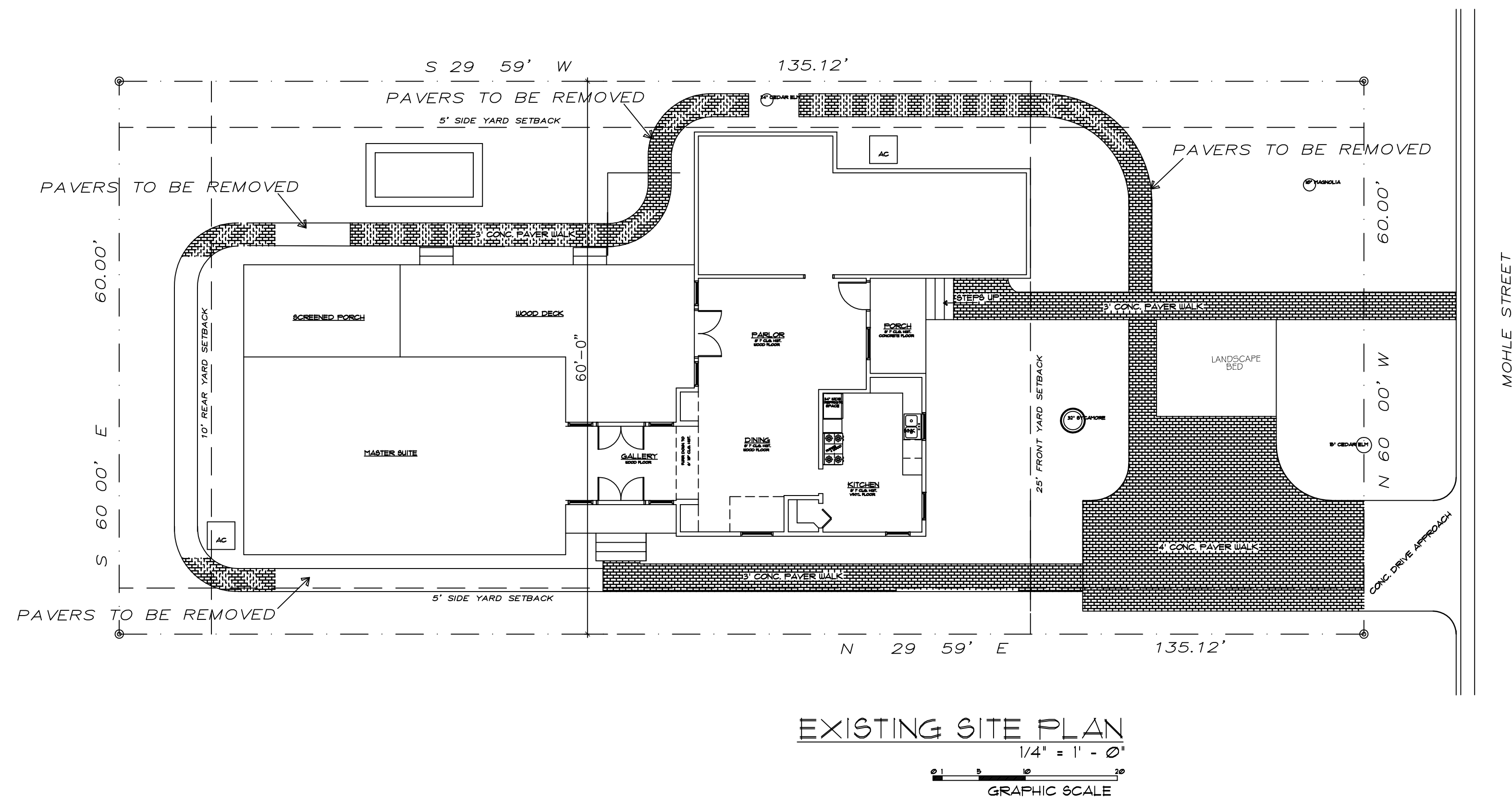


David V. Shrum, Architect
Architecture Construction Management (512) 496 - 6808
1015 West 34th Street Austin, Texas 78705
Former Member of American Institute of Architects & Texas Society of Architects

Alterations and Additions for
FRED & CHRIS PROCTOR
1712 Mohle Street Austin, Texas 78703

Sheet No.
A-1
Of 6

Drawn by: DVS
Date: 8-16-12



SITE PLANS

SHEET LEGEND

- A-1 - SITE PLANS
- A-2 - FLOOR PLANS
- A-3 - EXTERIOR ELEVATIONS
- A-4 - SECTION, ELECTRICAL PLAN,
 & CABINET ELEVATIONS
- A-5 - ROOF PLANS
- A-6 - SPECIFICATIONS

ZONING DATA

| | |
|-----------------------|---------|
| ZONING | SF-3 |
| LOT AREA | 7800 sf |
| 40% MAX. BLDG AREA | 3120 sf |
| 45% MAX. IMPER. COVER | 3510 sf |
| 40% FAR - MAX. | 3120 sf |

BUILDING COVERAGE

| | Existing | New/Additions |
|------------------------------|-----------|---------------|
| 1st FLOOR COND. AREA - | 2023.8 sf | 70.7 sf |
| SCREENED PORCH - | 169.6 sf | 0 sf |
| COVERED FRONT PORCH - | 62.4 sf | 0 sf |
| TOTAL BLDG AREA - | 2255.8 sf | 70.7 sf |
| TOTAL BLDG COVERAGE ON LOT - | 2326.5 sf | 29.8% of Lot |

IMPERVIOUS COVER CALCULATIONS

| | |
|------------------------------|--------------|
| TOTAL LOT AREA - | 7800 sf |
| Measured Impervious Cover | |
| TOTAL BLDG COVERAGE ON LOT - | 2326.5 sf |
| DRIVEWAY | 426.7 sf |
| CONCRETE PAVER WALKS | 351.4 sf |
| UNCOVERED DECKS | 320.8 sf |
| AC CONDENSOR PAD | 18 sf |
| KITCHEN AREA ADDITION | 70.7 sf |
| TOTAL IMPERVIOUS COVER | 3514.1 sf |
| | 45.0% of Lot |

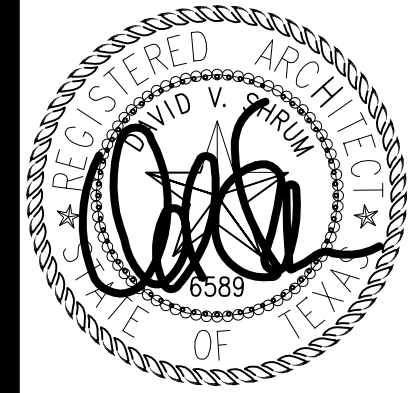
NEW FLOOR AREA RATIO

| | Existing | New/Additions |
|------------------------|-----------|---------------|
| 1st FLOOR COND. AREA - | 2023.8 sf | 70.7 sf |
| GARAGE/CARPORT - | - | - |
| TOTALS | 2023.8 sf | 70.7 sf |

| | |
|------------------------|-----------|
| TOTAL GROSS FLOOR AREA | 2094.5 sf |
| TOTAL LOT AREA - | 7800 sf |
| FLOOR AREA RATIO - | 26.9% |

LEGAL DESCRIPTION:

Lot # 20, Block 2, in BrykerWoods "C", a subdivision of the City of Austin, Travis County, Texas according to the plat in Book 4, Page 46, of the Travis County Plat Records.



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WINDOW SCHEDULE

- (A) EXISTING WINDOW
- (B) TO MATCH EXISTING WINDOW OVER SINK
- (C) 36" WIDE x 34" TALL WOOD WINDOW TO MATCH EXISTING WINDOWS
- (D) 24" WIDE x 18" TALL WOOD WINDOW TO MATCH EXISTING WINDOWS

WALL LEGEND

DENOTES OBJ. TO BE REMOVED

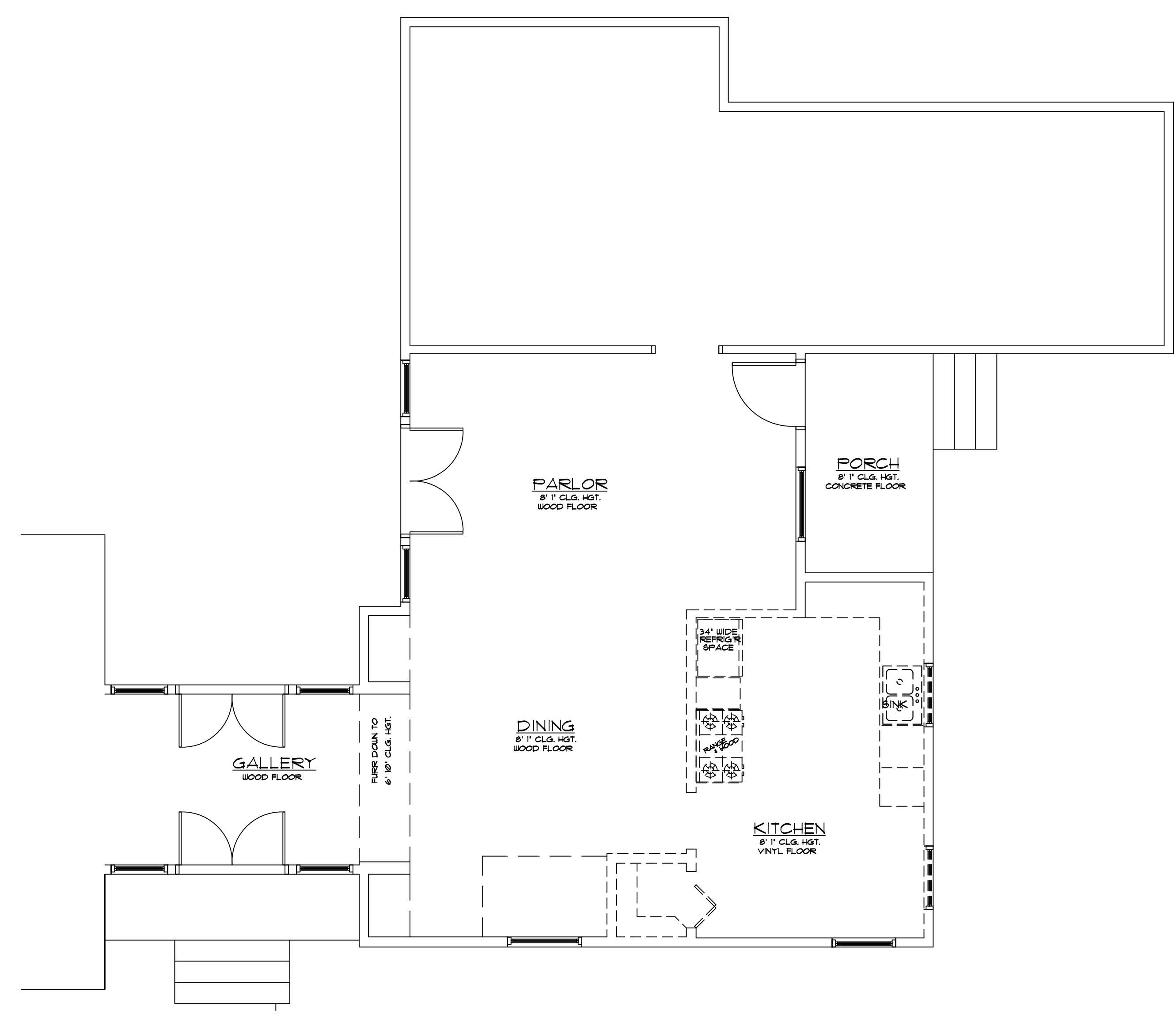
WALL TO BE REMOVED

EXISTING WALL TO REMAIN

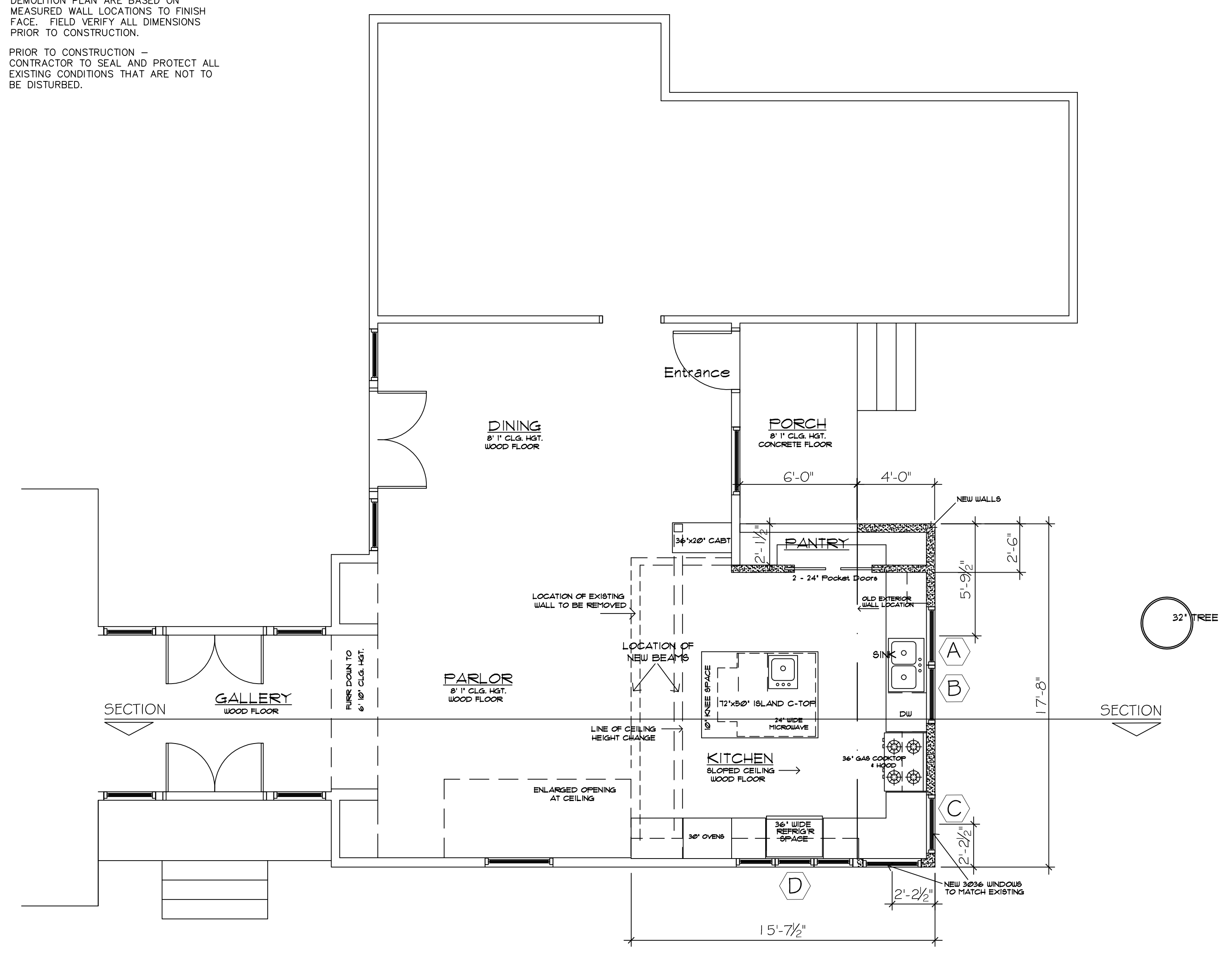
NEW WALL

NOTE: MEASUREMENTS ON FLOOR PLAN & DEMOLITION PLAN ARE BASED ON MEASURED WALL LOCATIONS TO FINISH FACE. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

NOTE: PRIOR TO CONSTRUCTION - CONTRACTOR TO SEAL AND PROTECT ALL EXISTING CONDITIONS THAT ARE NOT TO BE DISTURBED.

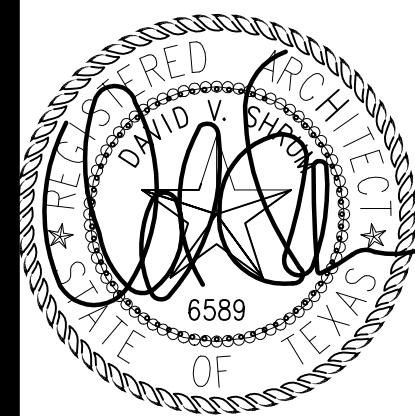


DEMOLITION &
EXISTING FLOOR PLAN
1/4" = 1' - 0"
GRAPHIC SCALE



FLOOR PLAN
1/4" = 1' - 0"
GRAPHIC SCALE

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE



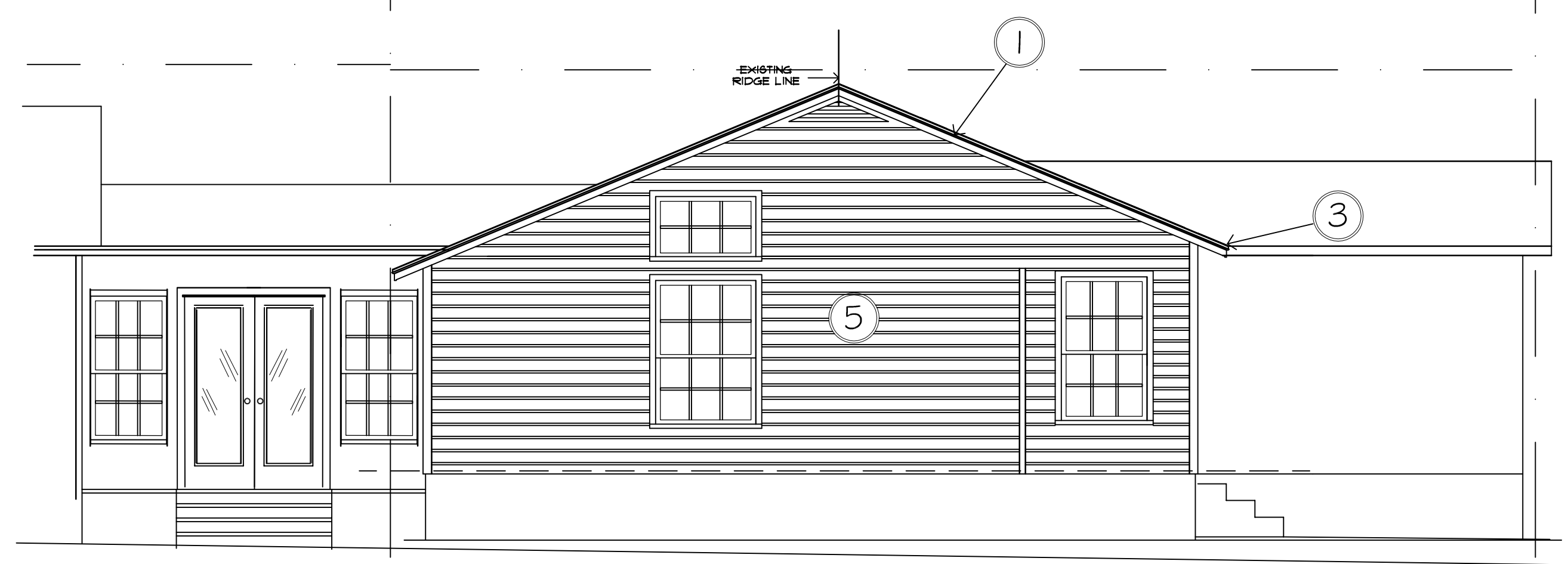
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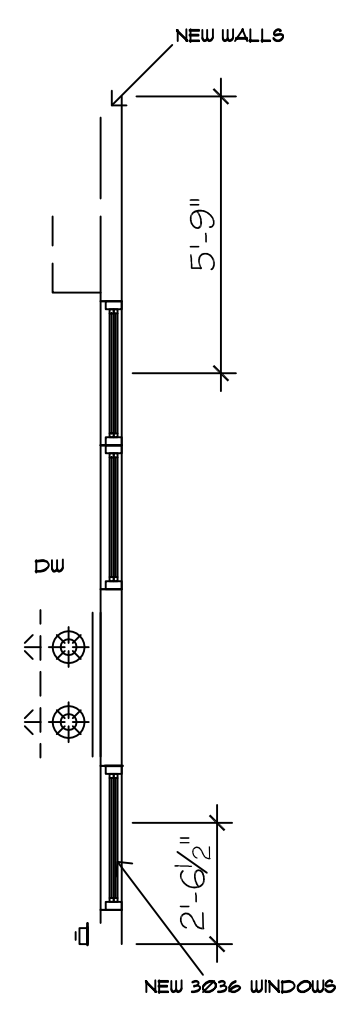
SETBACK TENT BOUNDARY

- 1- EXISTING COMPOSITION SHINGLE ROOF
- 2- NEW COMP. SHINGLE ROOF TO MATCH EXISTING
- 3- EXISTING FASCIA TO REMAIN
- 4- NEW FASCIA TO MATCH EXISTING
- 5- EXISTING SIDING
- 6- NEW SIDING TO MATCH EXISTING
- 7- 1x4 SPF TRIM
- 8- EXISTING WINDOW TO BE USED
- 9- EXISTING WINDOW TO REMAIN
- 10- NEW WINDOW
- 11- "HARDI-PANEL" UNDERPINNING

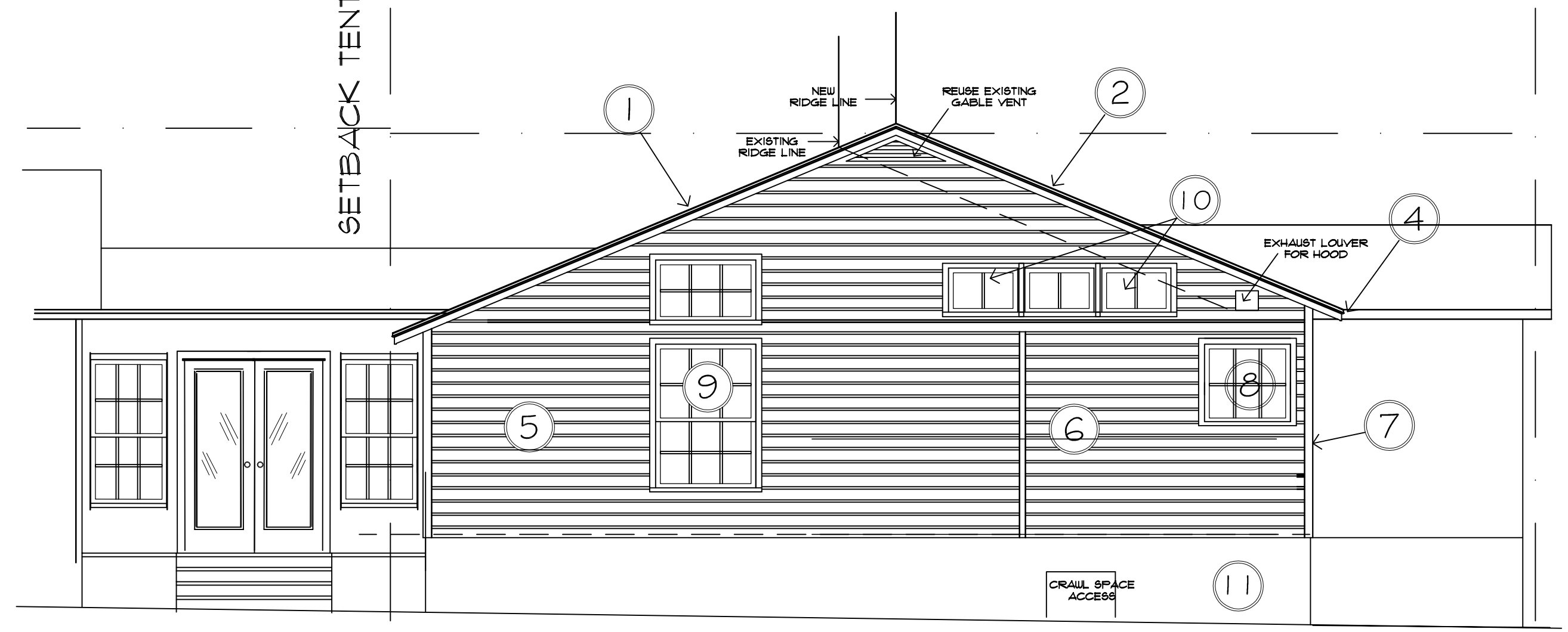
SETBACK TENT BOUNDARY



EXISTING WEST ELEVATION
1/4" = 1' - 0"



SETBACK TENT BOUNDARY



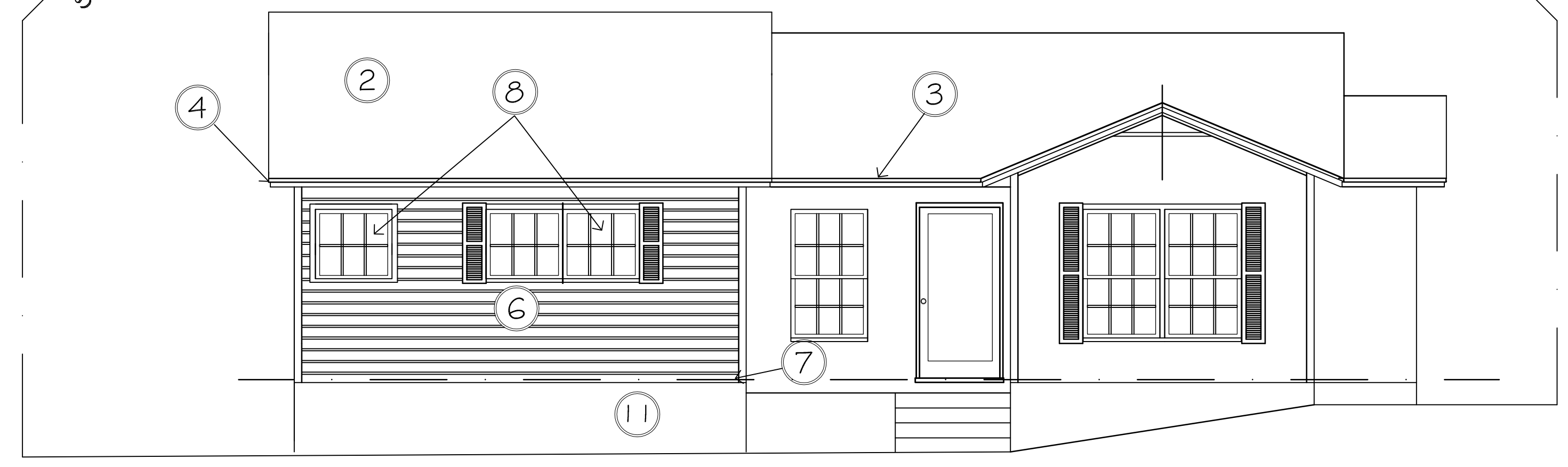
NEW WEST ELEVATION
1/4" = 1' - 0"

SETBACK TENT BOUNDARY

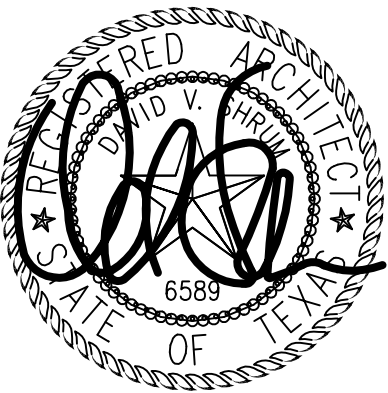


EXISTING SOUTH ELEVATION
1/4" = 1' - 0"

SETBACK TENT BOUNDARY



NEW SOUTH ELEVATION
1/4" = 1' - 0"



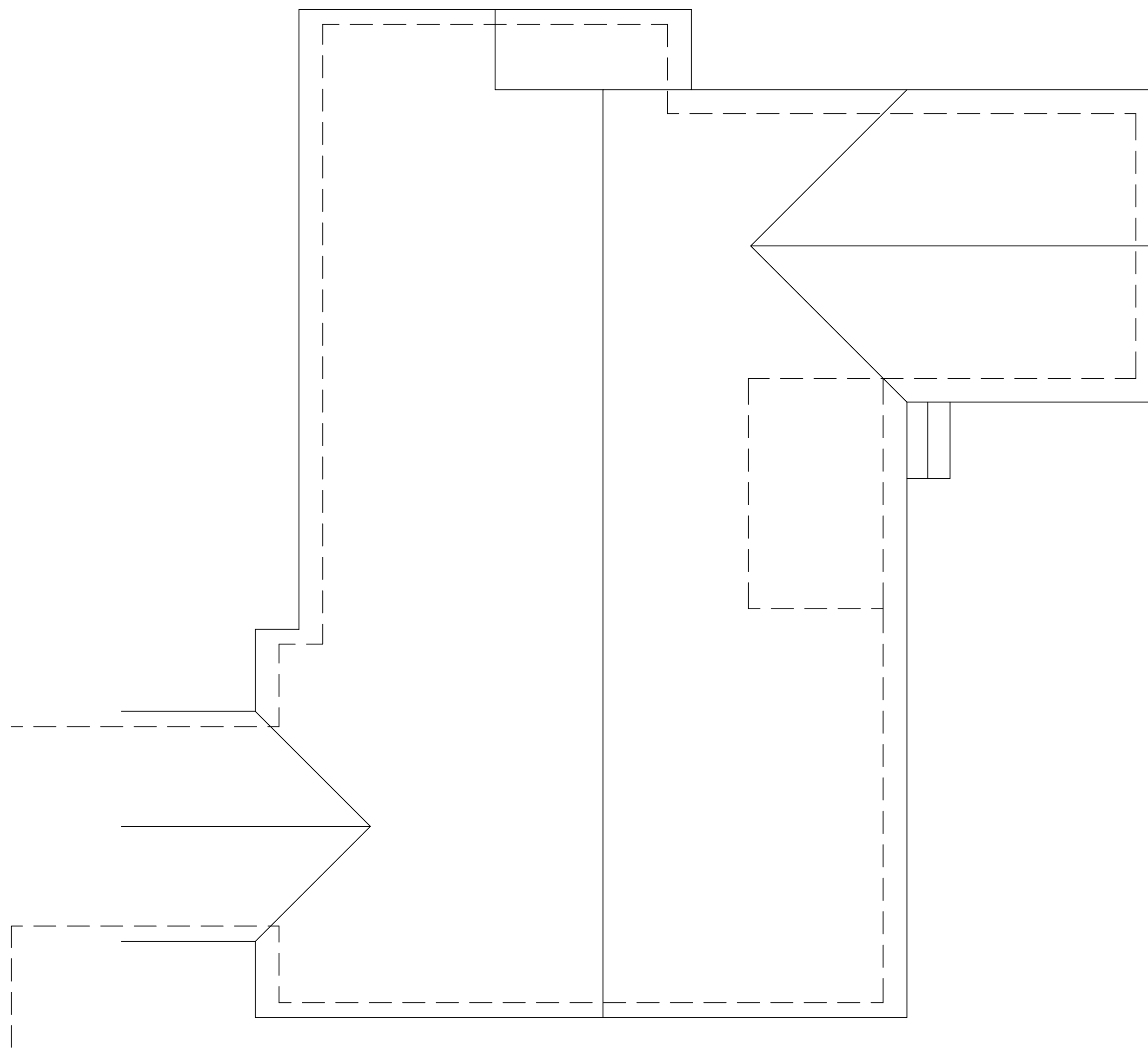
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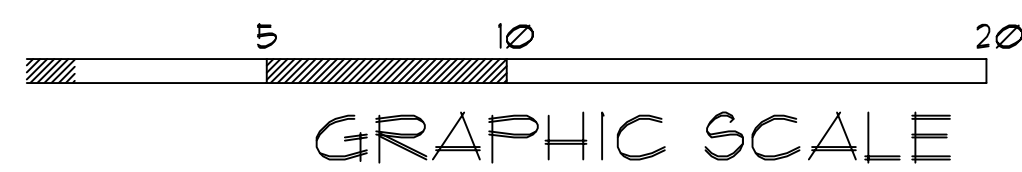
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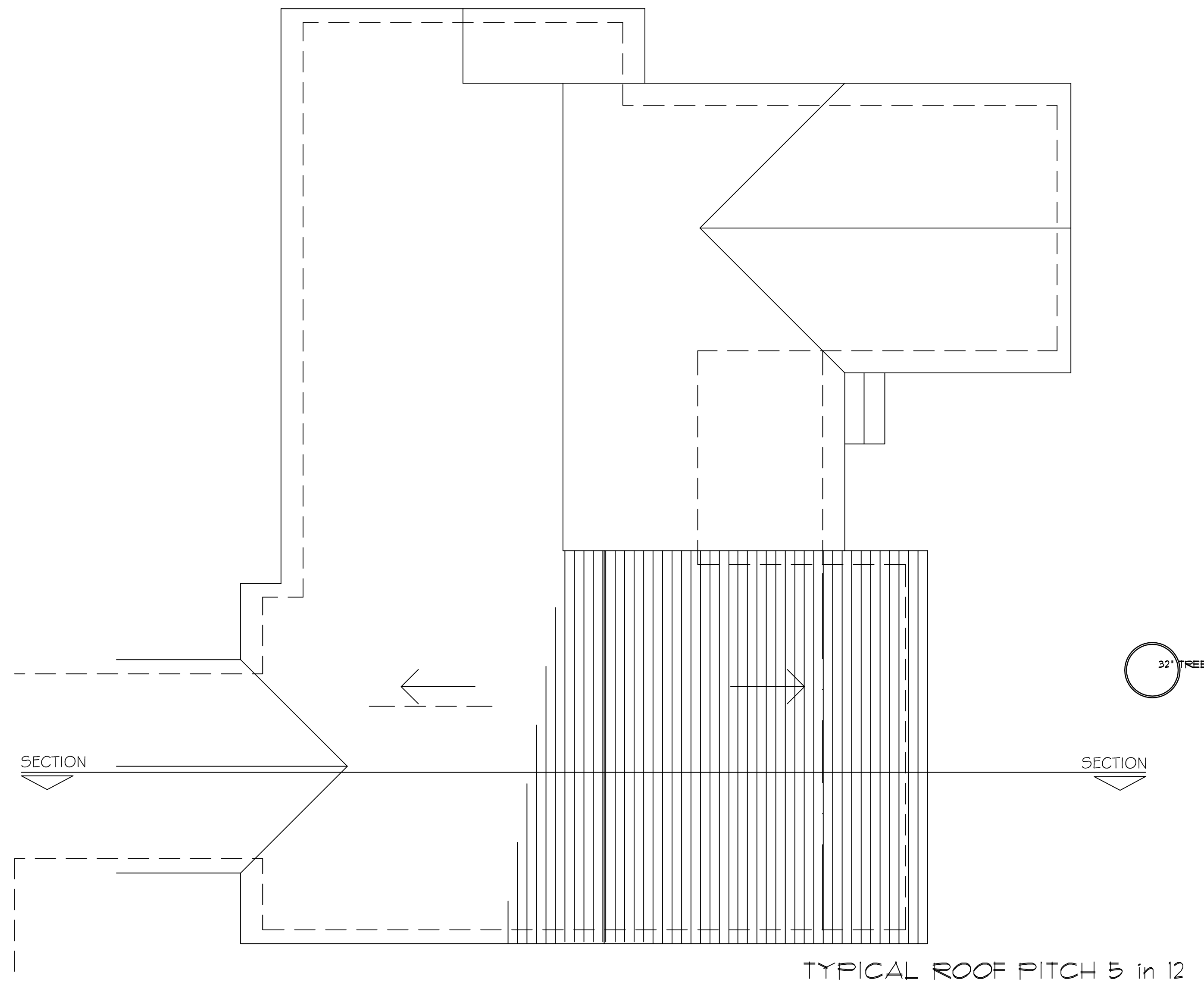
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EXISTING ROOF PLAN
1/4" = 1' - 0"

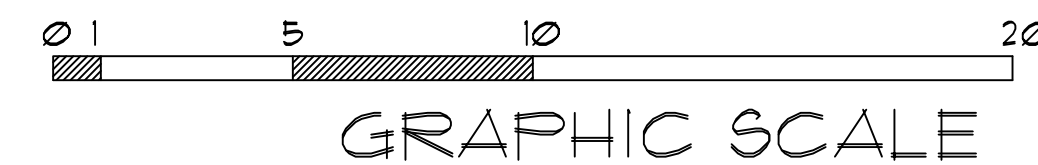


NOTE: CONTRACTOR TO VERIFY ALL
DIMENSIONS & CONDITIONS AT JOB SITE



TYPICAL ROOF PITCH 5 in 12

ROOF PLAN
1/4" = 1' - 0"



INSTRUCTIONS TO BIDDERS

In the event that a bidder finds discrepancies or omissions within the drawings or specifications, or be in doubt as to their meaning, he should at once notify the architect, David V. Shrum, who will promptly send written instructions to all bidders. Neither owner nor architect shall be responsible for any oral instructions.

The competency and responsibility of contractors and their proposed sub-contractors will be considered in awarding the contract. The owner does not obligate themselves to accept the lowest or any other bid they deem unacceptable.

SUSTAINABLE & ENERGY-EFFICIENT BUILDING PRACTICES: It is to be understood that this project shall adhere to and follow many concepts and systems considered to be sustainable and energy efficient.

GENERAL CONDITIONS

EXAMINATION OF PREMISES:

Contractor shall be held responsible to have examined the premises and satisfied himself as to the existing conditions that will in any manner affect the work under this contract. No allowance will be made subsequently on behalf of the contractor or sub-contractors in this regard. All conditions and dimensions shall be verified at jobsite.

RESPONSIBILITY OF CONTRACTOR:

Each contractor shall be held responsible for the execution of skillfull and complete work in accordance with the true intent of the drawings and specifications. The contractor shall provide, without additional charges, all incidental items required as a part of his work, irregardless of whether it was absolutely specified. If the contractor has a reasoned objection to the use of any material, appliance, or method of construction as shown or specified, he shall transmit an explanation of such objection, and obtain proper instructions in writing before a contract is executed. After execution of the Contract for Construction, the contractor shall proceed with the work with the clear understanding that only a workmanlike, thorough, and complete job will be acceptable.

SUB-CONTRACTORS:

The general contractor shall be responsible for any sub-contractor employed to perform any part of this contract. After written change order or written agreement, the sub-contractor may be directed by the general contractor or owner to perform certain portions of the work.

INTER-RELATIONSHIP OF DOCUMENTS.

Should the drawings disagree in themselves or with the specifications, the higher quality or greater quantity of work or material shall be estimated. Unless ordered in writing, the higher quality or greater quantity of work or material shall be performed or ordered.

PROTECTION & INSURANCE:

The general contractor shall assume all responsibility of the entire premises during the progress of the work until completion of the work and acceptance by owner, and shall insure and keep insured at all times the project against loss by fire, storm, theft or vandalism and shall provide and maintain all protection required by the governing laws, regulation, rules and ordinances by acquiring builder's risk and general liability insurance or any other insurance specifically required by the Contract for Construction. The owner shall be exempt from any and all damages of any nature during the construction.

ALLOWANCES & DISCOUNTS:

It is understood and agreed that all cases where an allowance is specified, the owner is to make the selection from any supplier of he chooses. If the owner spends more than the amount specified, the owner shall pay the contractor the difference at the time the purchase is made. It is also understood that the owner is to receive the benefit of all trade discounts given to the contractor on all allowance items. Any returns or credits from the items purchased under allowance shall be credited to the owner.

PERMITS & FEES:

The contractor and each sub-contractor shall provide all permits or fees pertaining to thier trade in compliance with all codes, governing agencies and ordinances. The general contractor shall supply and maintain a temporary electric meter, and provide all temporary wiring necessary for all sub-contractors. The general contractor shall pay for all water and power during construction unless agreed to otherwise in the Contract for Construction.

CHANGES, DEVIATIONS, OR EXTRAS:

Should the owner at any time during the progress of the work desire any additions, deviations, or omissions from the original plans and contract, he may make such changes in a written agreement with the contractor. Any written change order shall in no way affect or make void the original contract, provided however, that the owner shall first make an agreement with the contractor in regard to the cost of the change. The agreement shall be put in writing setting forth the work to be added or omitted and the amount to be added or deducted from the original contract price. This written agreement shall be signed by both the owner and the contractor before the change is commenced and/or executed.

WARRANTY:

The contractor shall and hereby does warrant work under this contract for a minimum of one year from the date of closing against defective materials, equipment or workmanship, and shall replace or repair to the satisfaction of the owner, any defects developing within that period at no cost to the owner. The contractor shall be responsible for delivering to the owner at the time of closing, all warranty cards, operating instructions, etc. for all equipment installed in this contract. The work performed and the warranty shall be as directed by the Texas Residential Construction Commission.

1. EXCAVATION & SITE WORK -PER ENGINEERING PLANS

- bearing soil under house to be hand graded to assure even grade
-foundation minimum: 12" into undisturbed virgin soil
-bearing soil: per soils test & engineering plans

2. FOUNDATION-SEE ENGINEERS PLAN

- Slabs or Beams:
-thickness: per engineer reinforcing: per engineer
-waterproof membrane: .006 mil polyethylene sheet plastic
-fill: per engineer
-beam reinforcing: per engineering specs
-anchors - per engineering specs
-concrete strengths shall be 3000 psi but not less than 5 sacks of cement shall be used per cubic yard of concrete regardless of strength obtained
-not over 6 gallons of water per sack of cement and not over 6" slump
-it is recommended that fly ash be used in the concrete mix at levels approved by the eng

3. MASONRY

- MASONRY: NOT USED

4. CARPENTRY

All Carpentry as required by plans and/or specifications. The general contractor to cut and patch for all trades unless otherwise specified. All labor shall be performed in a skillfull thorough manner. Any materials specified by trade name are to be installed strictly in accordance with manufacturer's specifications.

- Siding & Sheathing:
-vapor barrier:TYVEK -sheathing:1/2" OSB
- Subfloor:
-material:PLYWD -gr. & spec:CD-X T&G -size 1 1/2" -type: "Sturdfloor"

- Structural Framing: (not exposed) 2X4s @ 16" O.C. OR 2X6s @ 16" O.C. OVER 10'
-studs: gr. & spec.: #2YP & BTR
-Steel strap corner bracing:
-headers: TD CODE

When practical, align all framing members below structural members above to minimize the use of additional dimension lumber.

- Floor Framing:
-joists: gr. & spec. #2YP & BTR -size and spacing: SEE ENG. FRAMING PLAN

- Ceiling Framing: 2X8's @ 16" O.C. or PER ENGINEER
-joists: gr. & spec. #2YP & BTR

- Roof Framing:
-rafters: gr. & spec. #2YP & BTR -size and spacing: PER ENGINEER

- Gypsum Board:
-gypsum board: (see room finish schedule)
-1/2" sheetrock, recessed edge, lay at right angles to framing members, fasten w/ wall board screws @ 8" o.c. in the field and 6" on the edges, bed joints, tape, float out wide, sand, and finish: :5/8" FireCode ON CEILINGS

5. MILLWORK

- Interior doors and Trim: 2 PANEL ALDER OR PINE 1 3/4"
- Exterior Doors: NOT USED
- Windows:
type: DOUBLE HUNG & FIXED to match -material: WOODD -make: PELLA Bldg Series
glass: LOW E INSULATED
- Cabinets: 3/4" OAK RAISED PANEL STAIN GRADE AS SELECTED BY OWNER
-kitchen -material: OAK -counter tops: GRANITE -splash: TILE
-edge BULL NOSE -drawers: BALL BEARING GUIDES -shelves: PLYWOOD

6. ROOFING

- Roofing:
-type: COMPOSITION -type: MATCH EXISTING
-sheathing: -type: OSB -gr. & spec. FOIL FACED -size: 5/8"X4"X8"
-wt. & thickness: 300 LB -soffit: MATCH EXISTING
- Sheet Metal Gutters & Downspouts: PER OWNER
-ga./wt: 28 GA -size: 5" -shape: OGEE
-downspouts: -ga./wt: 28 GA -size: 3" -shape: Rectangular

7. FLOORS

- MATCH EXISTING OAK FLOOR

8. PAINTING

Paint - Contractor shall caulk, fill, sand & clean all surfaces before painting to ensure a smooth sealed finish. Paint contractor shall be responsible for protection of all installed materials & equipment on job during his work. All paints & solvents to be LOW VOC.

- Exterior:
-wood: 1 CT PRIMER 2 CTs ACRYLIC -no. coats: 3 CTs
-metal 1 CT PRIMER 2 CTs EN -no. coats: 3 CTs
-stucco 1 CT ELASTOMERIC -no. coats: 1 CT MIN
- Interior:
-sheetrock: 1 CT PRIMER 1 CT LATEX -no. coats: 2 CTs
-stained cabinets: 1 CT STAIN 2 CTs LAQ -no. coats: 3 CTs
-painted cabinets: 1 CT PRIMER 2 CTs EN -no. coats: 3 CTs
-metal: 1 CT PRIMER 2 CTs EN -no. coats: 3 CTs
-trim: enamel 1 CT PRIMER 2 CTs EN -natural
-doors: enamel 1 CT PRIMER 2 CTs EN -natural

9. INSULATION

- CELLULOSE SPRAYED IN RAFTER CAVITIES & BLOWN IN ATTIC
WALLS: 3 1/2" R-13 FIBERGLASS BATTs - R-19 @ 2X6 WALLS
CLGS: R-38 CELLULOSE

10. HARDWARE

- Finish hardware shall consist of door butts, pulls and catches, lock sets, alum. or metal thresholds,
- Hardware furnished in general contract: tracks for sldg doors, adj. shelf hdwe. door stops, drawer guides, etc.
- exterior doors: 4" butt hinges
-interior doors: 3, 3 1/2" butt hinges

11. EQUIPMENT ALLOW \$7,000 FOR PURCHASE OF APPLIANCES

- Slide-in range: As Selected by Owner -oven with range
-dishwasher: -refrigerator: -disposal: 1/2 HP Insinkerator or Equal

12. EXTERIOR IMPROVEMENTS - NOT INCLUDED

13. PLUMBING ALLOW \$16000 FOR PLUMBING FIXTURES

- All plumbing to conform to national plumbing code, state, county, city health codes, and/or local ordinances.

| Fixtures: | No. | Room | Make | Mfgr. No. | Size/Color |
|-----------|-----|---------|------|-----------|------------|
| -sink: | 1 | KITCHEN | | | 33-36 |
| | | | | | |
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- 1/2 HP Disposal by plumber

14. ELECTRICAL

- All wiring, panels, and service to conform to national electrical code and/or local ordinance.

-wiring copper

-exhaust fans: SILENT
-lighting fixture allowance: \$4500

-switches quiet "Decora" or equal

15. HEATING & AIR CONDITIONING

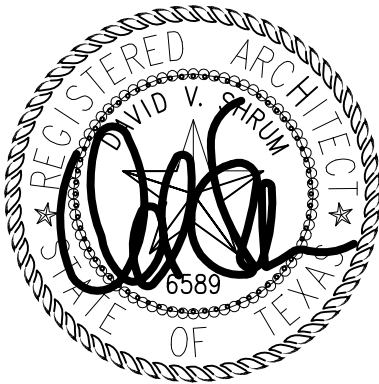
DUCT MODIFICATIONS PER CODE

16. FINAL GRADING & CLEANUP

- Landscaping: topsoil, shrubs, trees, etc., BY OWNER
- Final cleanup: Contractor shall clean all tile, glass, plumbing fixtures, doors, and windows and leave building broom clean. Contractor shall remove from the site all containers, excess building materials and scraps, plants, and trimmings, and any excess material caused by his employees or his work.

ALLOWANCES

WOOD FLOOR - \$ 5.00 SQ FT Installed
BUILDER'S HARDWARE - \$ 2,500 Material Only
PLUMBING FIXTURES - \$ 16,000.00
LIGHT FIXTURES - \$ 4,500.00
APPLIANCES - \$ 12,000.00



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