

**HISTORIC LANDMARK COMMISSION
MARCH 25, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2012-0127
Old West Austin
2301 Hartford Road**

PROPOSAL

Exterior remodel and additions on a contributing house.

RESEARCH

The existing house was constructed c. 1951 for Joe C. Franzetti and his wife Martha Sunderberg Franzetti. Joe Franzetti is the son of Angelo and Guilitta Franzetti, originally from Italy, who owned the grocery store at 901 E. 6th Street, which is no longer standing. Other members of the Franzetti family owned grocery stores as well; however, Joe Franzetti was in the real estate and insurance business. After his death on February 19, 1995 Martha Franzetti moved to 210 W. 11th Street and she later died on December 26, 1999.

PROJECT SPECIFICATIONS

The existing c. 1951 house is an approximately 3,200 sq. ft., one-story "rambling" ranch with a low-pitched cross-gable roof form. The house is clad in limestone set in a random ashlar pattern, and has numerous steel framed casement-style windows. The house is on a corner lot so three of the elevations are clearly visible from the public right-of-way.

The applicant proposes to make significant revisions to the exterior of the house including changing the roof forms, relocating the main entrance to Watchhill Road, adding stucco cladding, removing all windows and installing new window openings, and constructing two-story additions on both the Hartford and Watchhill Road elevations. Further the application proposes to install a 6' concrete privacy wall surrounding the yard on the Hartford Road side of the property. The style of the revisions is contemporary with multiple shed roofs, and windows of various sizes and shapes.

STANDARDS FOR REVIEW

The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The changes proposed do not retain any of the original qualities or characteristics of the house and render it no longer contributing to the National Register Historic District so do not meet the guidelines. Further, the design and form is not compatible with contributing properties in the district in terms of form, patterns, or character.

STAFF RECOMMENDATION

Recommend that the applicant reconsider the design to maintain the property's contributing status; however release the permit after submittal of a City of Austin Documentation Package consisting of photographs of all elevations, a dimensioned sketch plan, and a narrative history for archiving at the Austin History Center.

PHOTOS



Existing front elevation (Hartford Road)



Existing side elevation (Watchhill Road)

OCCUPANCY HISTORY
2301 Hartford Road

From City Directories, Austin History Center

City of Austin Historic Preservation Office
March 2013

2000	No listing for Joe or Martha Franzetti
1997	Joe C. Franzetti listed at 210 W. 11th Street
1996	Joe C. and Martha Franzetti, owners
1970	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1965	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1963	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1961	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1959	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1957	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1955	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1953	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1952	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1949	No listing Joe C. and Martha Franzetti listed at 2008 Chicon

Receipt No. 16407 110.1388-5789.2 N^o 27981
 Application for Sewer Connection
10 x 2 cut.
 Austin, Texas, 2-28-1951

To the Superintendent of Sanitary Sewer Division, City of Austin, Texas.

Sir:-

I hereby make application for sewer connection and instructions on premises owned by Kelly S. DeBusk Jr. at 2301 Hartford Rd. Street, further described as Lot 30 Block - Outlot - Division - subdivision Sunset Hills Plat 14B, which is to be used as a Res.
 In this place there are to be installed 11 fixtures. Plumbing Permit No. 42749
 I agree to pay the City of Austin, the regular ordinance charge.

Depth at Prop. Line 3' 5' at main - 20-51
 Stub Out 74" - W. M. F. L. Respectfully, Bosey
 Date 4-2-51
 By B. J. Hernandez

NOTE: Connection Instruction 6' sewer in Hartford Rd ± 6' deep
Main 30' 8" W. M. F. L.
6' sewer in Watchell Rd ± 5' deep main 30' 5" W. M. F. L.

1951 Sewer Connection permit

See Sub. 15636

WATER SERVICE PERMIT
 Austin, Texas C N^o 8447

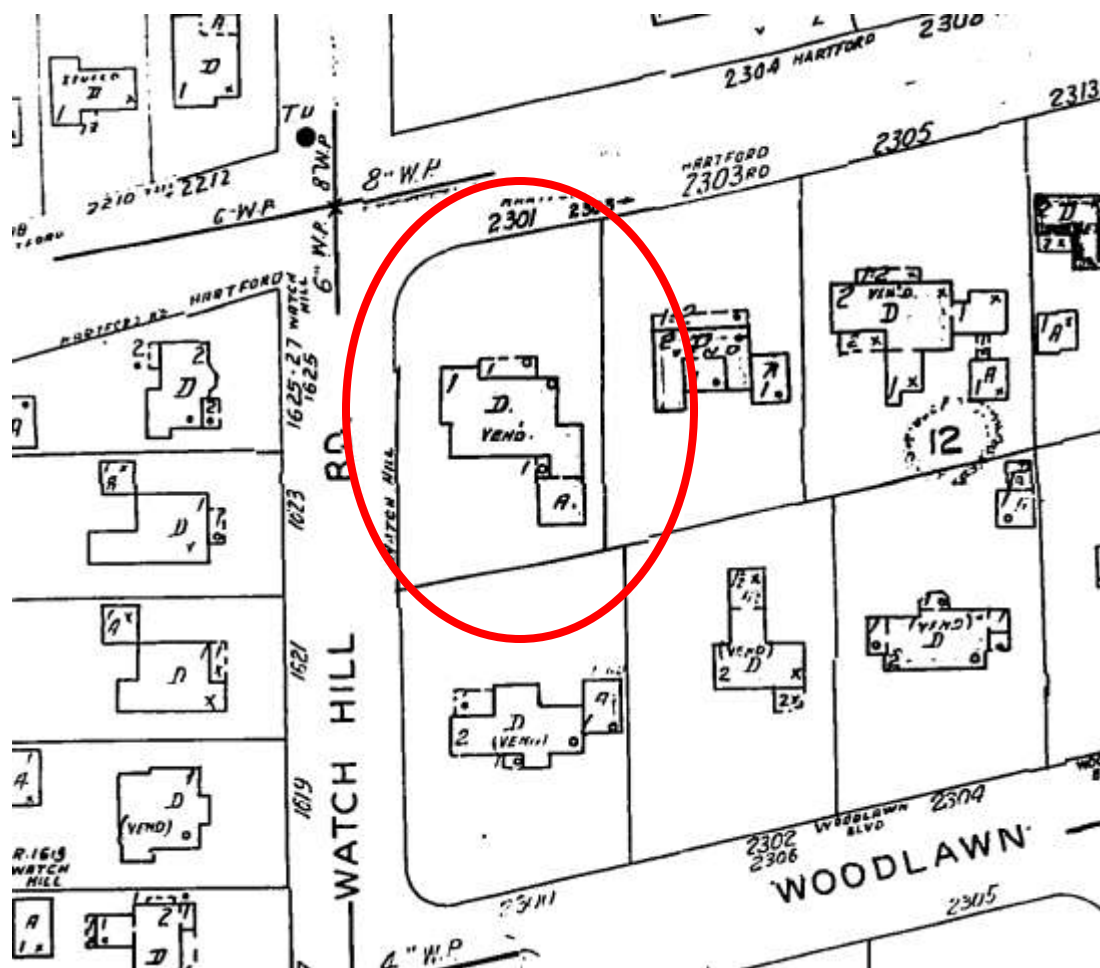
Received of JOE C. FRANZETTE Date 2-12-51
 Address 2301 HARTFORD RD.
 Amount THIRTY FIVE & NO/100 35.00
 Plumber Bosey Size of Tap 1 1/4"

Date of Connection 2-23-51
 Size of Tap Made
 Size Service Made
 Size Main Tapped
 From Front Prop. Line to Curb Cock 75'
 From S- Prop. Line to Curb Cock 40'
 Location of Meter
 Type of Box
 Depth of Main in St.
 Depth of Service Line
 From Curb Cock to Tap on Main
 Checked by Engr. Dept. MAR 5 0 1951 15636

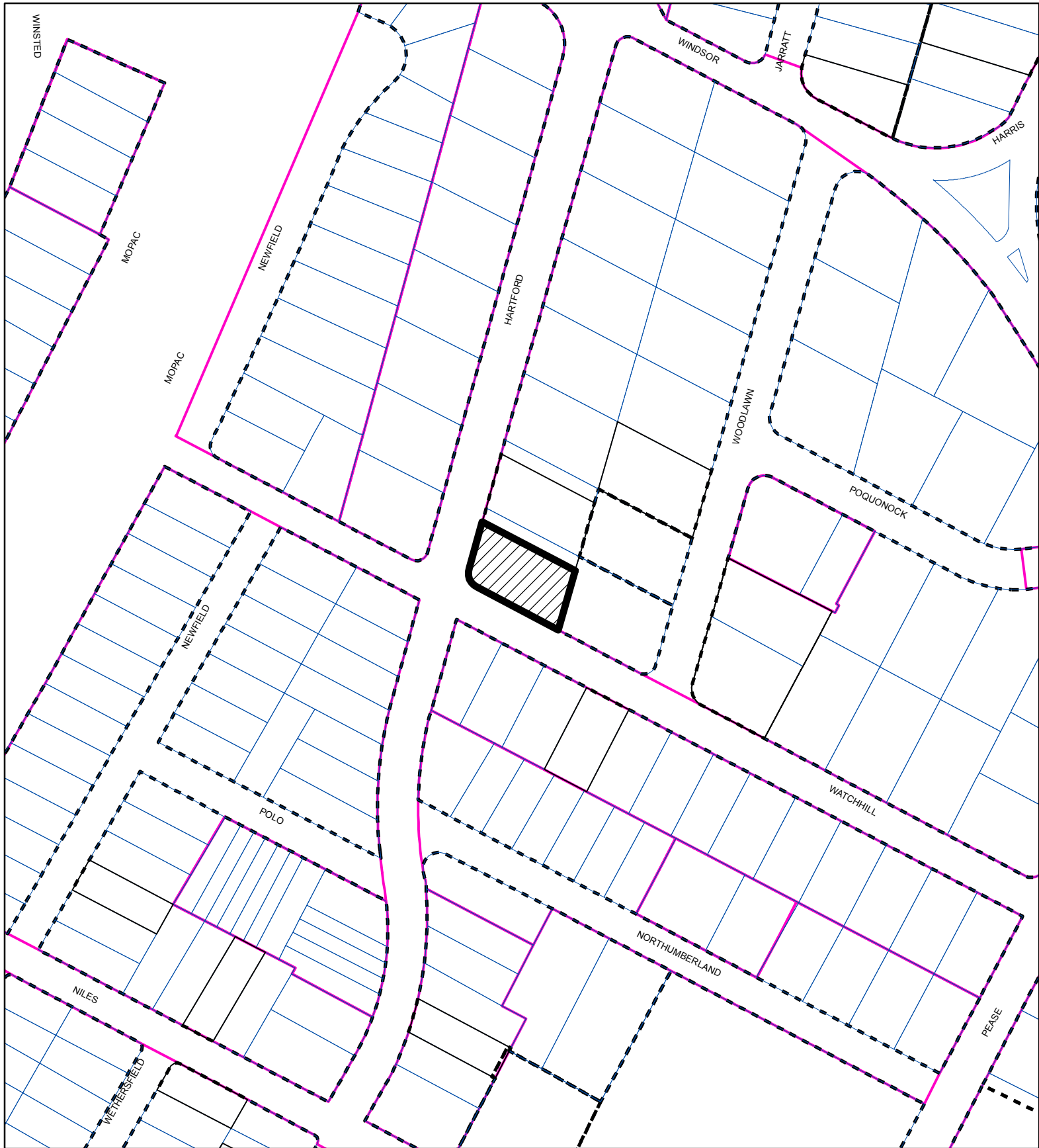
INDEXED

14" COP
 102.36
 702.36
 2301
 TAP in PLACE
 15636
 30
 31
 32
 WATCHILL ROAD
 HARTFORD ROAD

1951 Water Service permit



1961 Sanborn Map



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0127
LOCATION: 2301 Hartford Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

LOT 28

LOT 29

N 60°30'00" W 236.53'
BEARING BASIS

C.M.

JOSEPH LARRY & ANNA DRAYER
NORTH 17.5' OF LOT 30
AND SOUTH 86' OF LOT 31
4054/1422

(S 60°30'00" E 155.00')
S 60°30'00" E 155.00'

(S 17°10'00" W) [92.12']
S 17°16'30" W 92.07'

92.12' OF LOT 30

N 60°30'00" W 135.00'
(N 60°30'00" W 135.00')
(55' R.O.W.)
WATCHHILL ROAD

TAG NO.	TREE DESCRIPTION
1	31" OAK TREE
2	18" OAK TREE
4491	28" OAK TREE
4490	30" OAK TREE
3	24" PALM TREE
4	19" OAK TREE
5	17" PALM TREE
6	7" OAK TREE
7	7" OAK TREE
8	11" PALM TREE
9	6" OAK TREE

ORIGINAL LOT LINE

N 17°16'30" E 272.91'
(N 17°10'00" E) ((273.05))

N 17°16'30" E 72.12'
(N 17°10'00" E 72.12')

HARTFORD ROAD
(60' R.O.W.)

TEMPORARY BENCHMARK:
ASSUMED ELEV. = 100.00'
TRIANGLE CUT ON CONCRETE CURB



IMPORTANT NOTICE

This Survey was prepared without the benefit of a title commitment. There may be additional setback lines, easements and interests which are relevant to this property and unknown to B&G SURVEYING INC.



TO THE LIENHOLDER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED

Victor M. Garza
TOPOGRAPHIC & TREE SURVEY

LEGEND

- 1/2" REBAR FOUND
- 1/2" CAPED REBAR SET
- 1/2" IRON PIPE FOUND
- 600 NAIL FOUND
- CAPED REBAR FOUND
- 1/2" SET IN CONCRETE
- 1/2" FOUND IN CONCRETE
- SPRINKLE FOUND
- WOOD FENCE
- METAL FENCE
- PUBLIC UTILITY EASEMENT
- PER PLAT
- CONTROL MONUMENT
- C.M.
- R.O.W.
- PLACE OF BEGINNING
- POWER POLE

STREET ADDRESS: 2301 HARTFORD ROAD
LOT: 92.12' OF LOT 30
SUBDIVISION: SUNIL PATEL

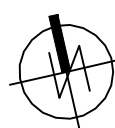
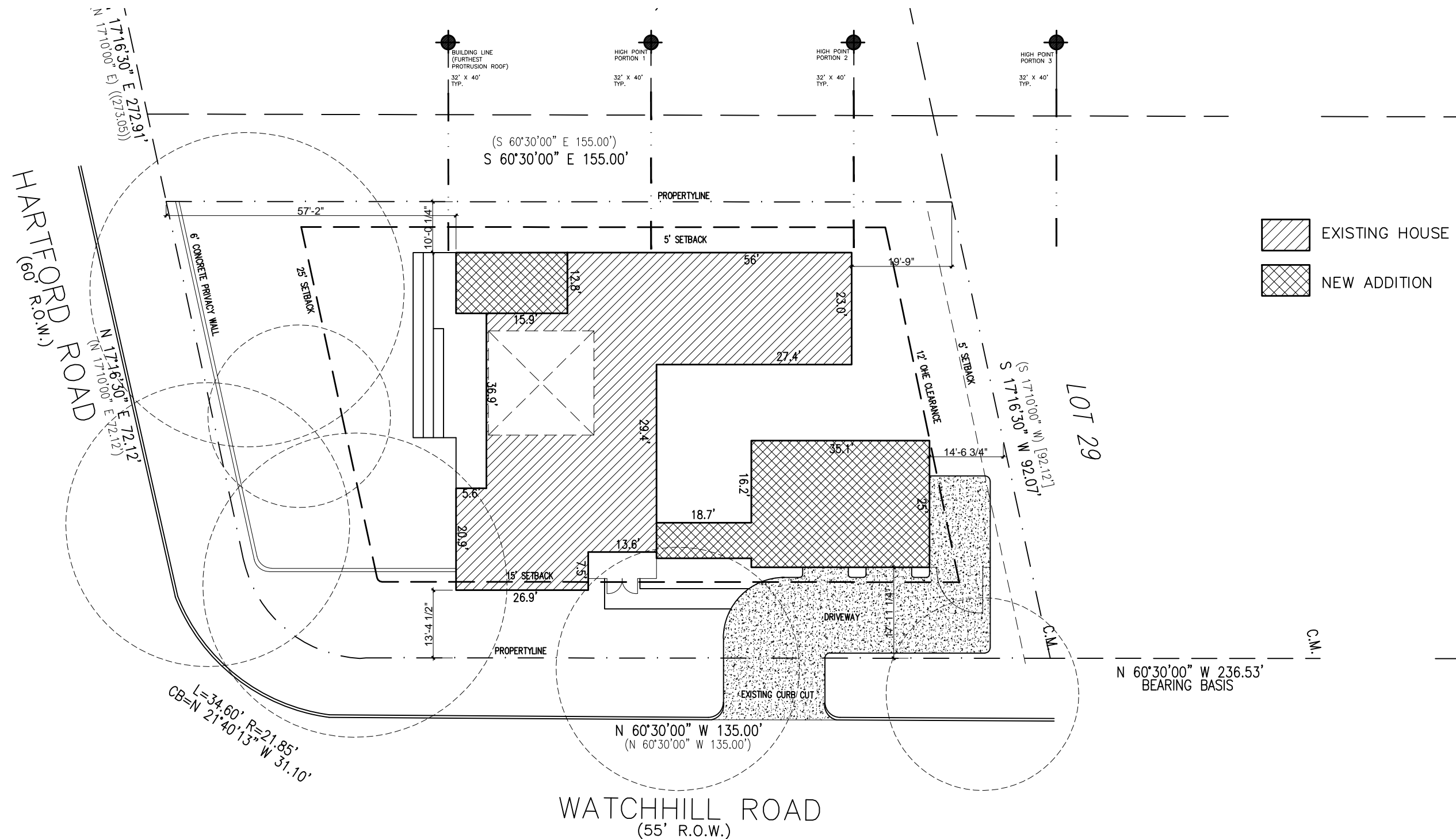
CITY: AUSTIN
COUNTY: TRAVIS
STATE OF TEXAS
VOLUME: 3
PAGE: 164
PLAT RECORDS:

B & G SURVEYING, INC.
DEWEY H. BURRIS & ASSOCIATES, INC.
Surveyed by: B & G Surveying, Inc.

WWW.BANDGSURVEY.COM
1404 West North Loop Blvd. Austin, Texas 78756
Office 512*458-6969, Fax 512*458-9845

JOB #:	B0202413-TA
DATE:	02/18/13
SCALE:	1" = 20'
FIELD WORK BY:	RESE
CALCD BY:	TONI
DRAFTED BY:	JOSE
CHECKED BY:	M.L.
DATE:	02/11/13
DATE:	02/13/13
DATE:	02/13/13
DATE:	02/13/13





2301 HARTFORD SITE PLAN

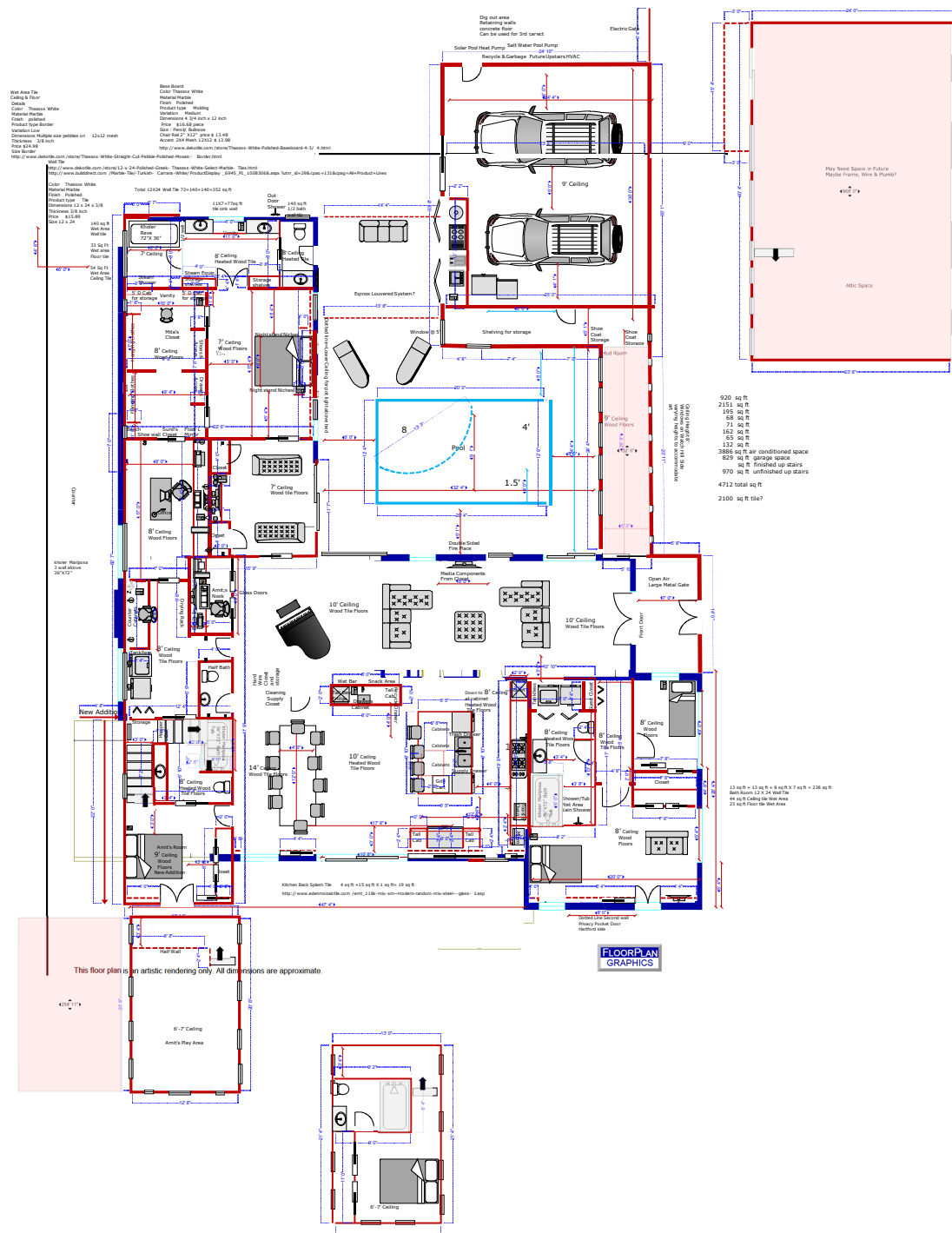
1/20"

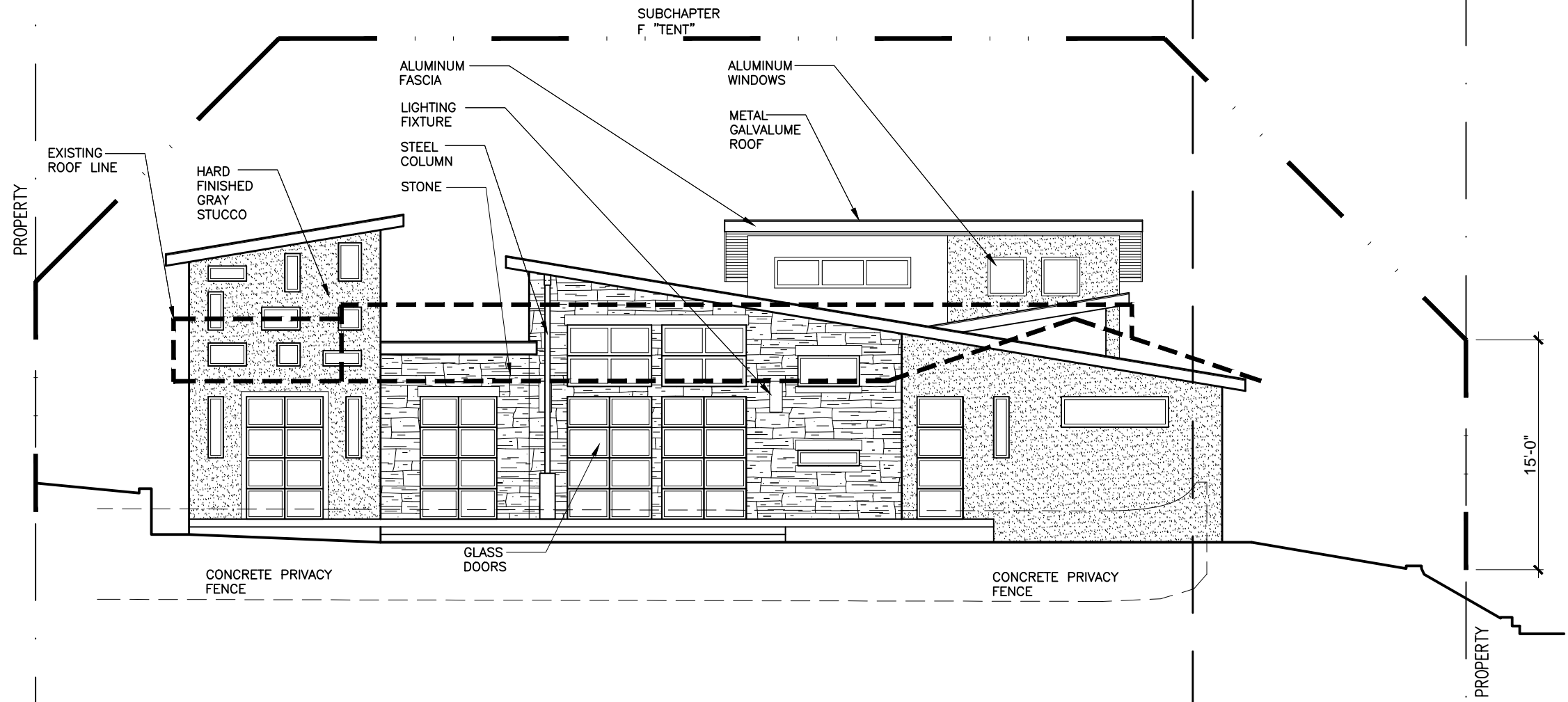
SITE PLAN	SHEET NO.
	1

2301 HARTFORD RD

Mark Hart Architecture, Inc
5801 Mojave Drive Austin TX 78745
Phone: 512-680-7905 / Email: mhart@markhartarch.com







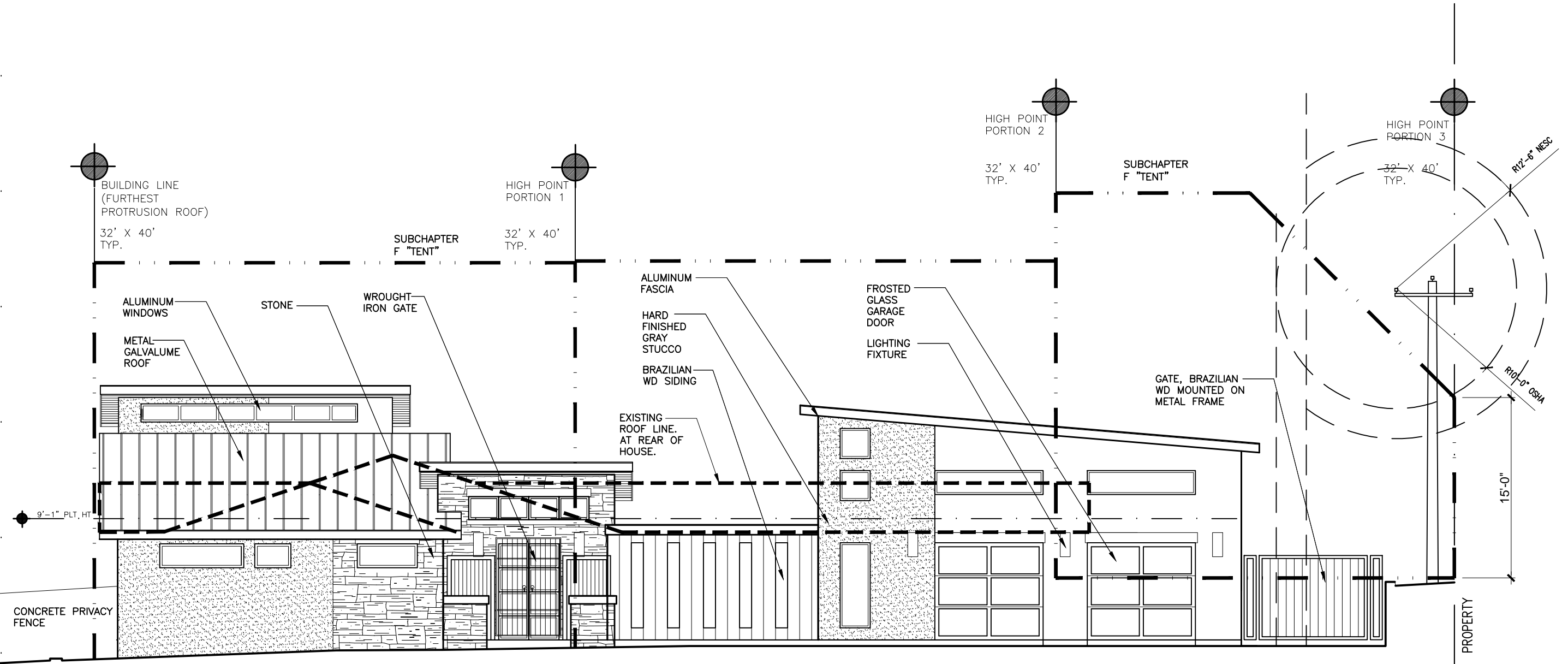
HARTFORD ROAD ELEVATION
1/8"

ELEVATIONS	SHEET NO.
	2

2301 HARTFORD RD

Mark Hart Architecture, Inc
5801 Mojave Drive Austin TX 78745
Phone: 512-680-7905 / Email: mhart@markhartarch.com





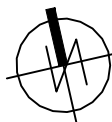
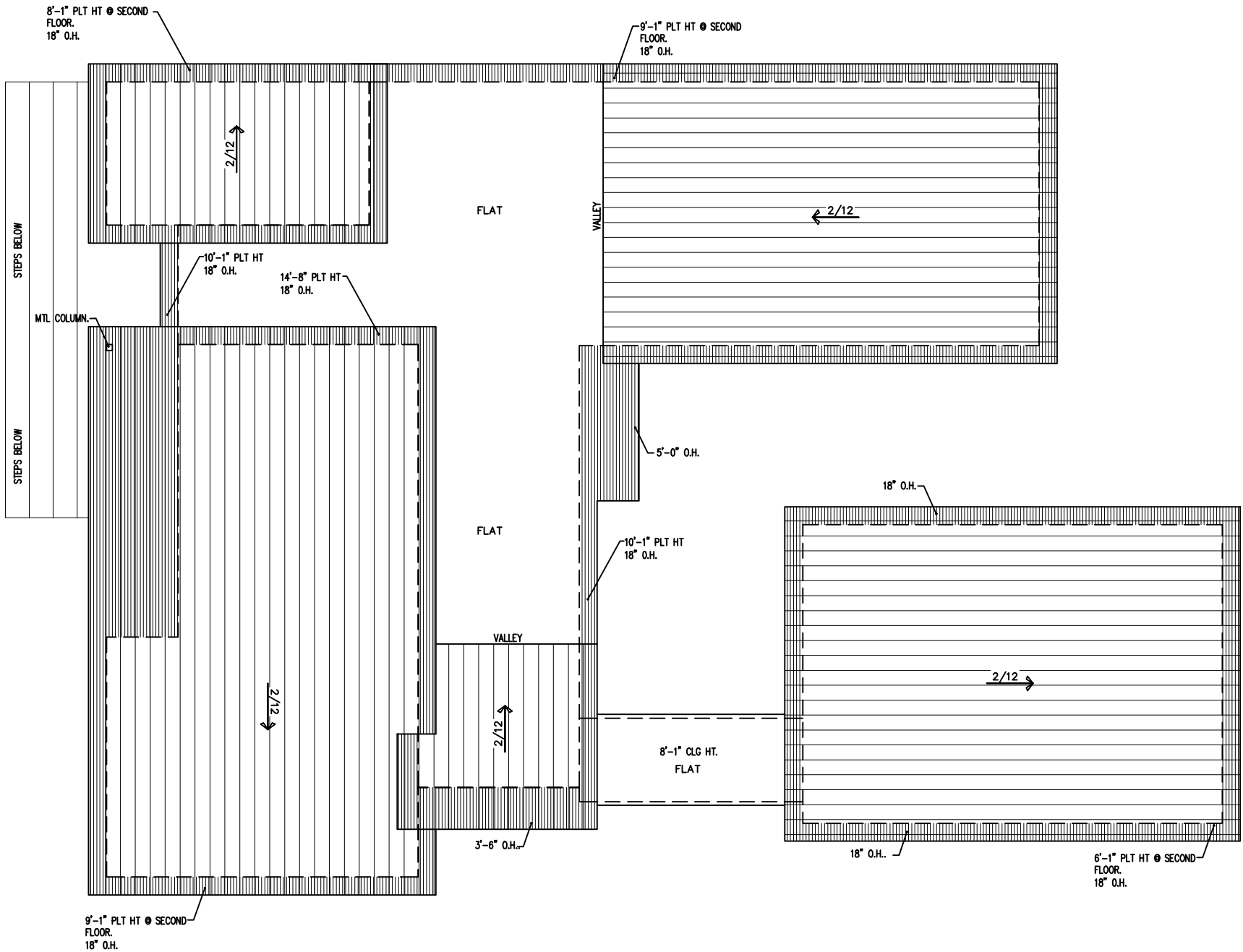
WATCH HILL ROAD ELEVATION
1/8"

ELEVATIONS	SHEET NO.
	3

2301 HARTFORD RD

Mark Hart Architecture, Inc
5801 Mojave Drive Austin TX 78745
Phone: 512-680-7905 / Email: mhart@markhartarch.com





2301 HARTFORD ROOF PLAN

3/32"

ROOF PLAN

SHEET NO.

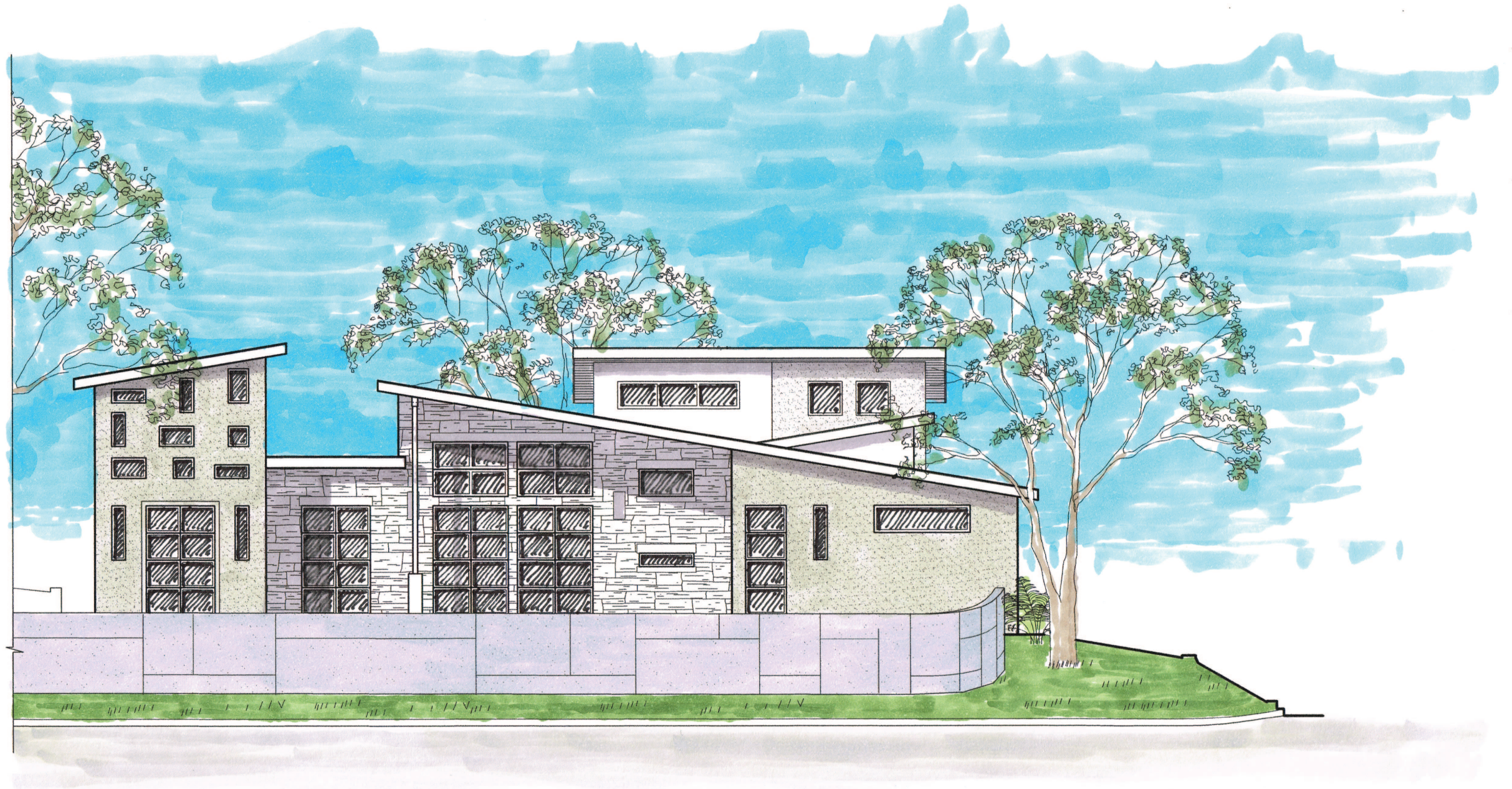
4

2301 HARTFORD RD

Mark Hart Architecture, Inc
5801 Mojave Drive Austin TX 78745

Phone: 512-680-7905 / Email: mhart@markhartarch.com





HARTFORD ROAD ELEVATION

1/8"

COLOR ELEVATIONS	SHEET NO.
	5

2301 HARTFORD RD

Mark Hart Architecture, Inc

5801 Mojave Drive Austin TX 78745

Phone: 512-680-7905 / Email: mhart@markhartarch.com





WATCH HILL ROAD ELEVATION
1/8"

COLOR ELEVATIONS	SHEET NO.
	6

2301 HARTFORD RD

Mark Hart Architecture, Inc
5801 Mojave Drive Austin TX 78745
Phone: 512-680-7905 / Email: mhart@markhartarch.com

