

**ZONING CHANGE, NEIGHBORHOOD PLAN AMENDMENT, AND ORDINANCE  
AMENDMENT REVIEW SHEET**

**C.C. DATE:** Nov. 8, 2012

**CASE NUMBERS:** East Riverside Corridor Regulating Plan

**Code Amendment Case Number:** C20-2011-003

**Zoning Case Numbers:** C14-2012-0111 & C14-2012-0112

**Plan Amendment Case Numbers:** NPA-2012-0021.02 & NPA-2012-0005.04

**Description:**

Conduct a public hearing and consider:

- An ordinance amending Title 25 of the City Code to:
  1. Create the East Riverside Corridor (ERC) base zoning district and establish associated use and site development regulations as specified in the East Riverside Corridor Regulating Plan;
  2. Amend LDC Section 25-2 Subchapter E: Design Standards and Mixed Use to exempt development built pursuant to the East Riverside Corridor ERC zoning district regulations; and
  3. Approve a collector street plan for the East Riverside Corridor Area.
- Amending the Neighborhood Plans for properties in the East Riverside Oltorf Combined (EROC) and Montopolis Neighborhood Plans that are included in the East Riverside Corridor Zoning District (as identified in Exhibits A and C), and
- Rezoning identified properties within the boundaries of the East Riverside Corridor Zoning District, (as identified in Exhibits B and C) to East Riverside Corridor (ERC) base district zoning.

**Departmental Comments:**

The draft ERC Regulating Plan was circulated for Inter-Departmental Review on June 14, 2012. Revisions were made to the Regulating Plan in response to departmental comments.

**Staff Recommendation:**

Staff recommends the proposed zoning changes, plan amendments, and code amendment, with proposed minor amendments to the Sept. 14, 2012 draft E. Riverside Corridor Regulating Plan.

**AREA:** 35 tracts on approx. 900 acres

**APPLICANT:** City of Austin, Planning and Development Review Department (PDRD)

**AGENT:** City of Austin, Planning and Development Review Department (PDRD), Erica Leak

**NEIGHBORHOOD ORGANIZATIONS:**

Del Valle Community Coalition

Austin Neighborhoods Council

PODER

Vargas Neighborhood Association  
Montopolis Neighborhood Association 2008  
South Central Coalition  
Homeless Neighborhood Assn.  
Holly Neighborhood Coalition  
East River City Area (ERCA)  
Sentral Plus East Austin Koalition (SPEAK)  
Eastville-Central  
Home Builders Association of Greater Austin  
The Real Estate Council of Austin, Inc.  
Save Town Lake.Org  
South River City Citizens Assn.  
Austin Monorail Project  
Tejano Town  
El Concilio Coalition of Mexican American Neigh. Assn.  
Austin Heritage Tree Foundation  
Pleasant Valley  
Super Duper Neighborhood Objectors and Appealers Organization  
East Riverside/Oltorf Neigh Plan Contact Team  
Cristo Rey Neighborhood Association  
Montopolis Neighborhood Plan Contact Team (MNPCT)  
Riverside Meadows Homeowner's Association  
Montopolis Area Neighborhood Alliance  
City of Austin Downtown Commission  
Southeast Corner Alliance of Neigh (SCAN)  
Govalle/Johnston Terrace Plan TM of Neigh.  
River Bluff Neighborhood Assoc.  
Southeast Austin Neighborhood Alliance  
Greater South River City Combined Neighborhood Planning Team  
Zoning Committee of South River City Citizens Assn.  
Carson Ridge Neighborhood Association  
Southeast Neighborhood Plan - COA Liaison  
East Cesar Chavez Neigh Plan - COA Liaison  
Govalle/Johnston Terrace Neigh Plan COA  
Greater South River City Neigh Plan - COA Liaison  
Montopolis Neigh Plan - COA Liaison  
East Riverside/Oltorf Neigh Plan -COA Liaison  
Bonnett Neighborhood Association  
Montopolis-Ponca Neighborhood Association  
Onion Creek Homeowners Assoc.  
Chambord-Austin Owner's Association  
Greater East Austin Neighborhood Association  
East Cesar Chavez Neighborhood Association  
United East Austin Coalition  
Guadalupe Neighborhood Development Corporation  
Austin Independent School District  
Waterfront Planning Advisory Board  
Southeast Combined Neighborhood Plan Contact Team

Crossing Gardenhome Owners Assn. (The)  
Waterfront Condominium HOA  
East River City Citizens  
East Cesar Chavez Neighborhood Planning Team  
League of Bicycling Voters  
Sierra Club, Austin Regional Group  
SELTexas  
Riverside Farms Road Neighborhood Assn.  
Del Valle Independent School District  
Montopolis Tributary Trail Association  
Sunridge Homeowners Assn.

**AREA OF PROPOSED ZONING CHANGES:** The East Riverside Corridor Zoning District is generally bounded by Lady Bird Lake on the north, State Highway 71 on the east and south, and I-35 on the west. See the attached maps for the East Riverside Corridor Zoning District boundaries.

**WATERSHEDS:** Country Club Creek, Carson Creek, Colorado River, Harper's Branch, Town Lake, Country Club Creek West, Country Club Creek East

**DESIRED DEVELOPMENT ZONE:** Yes

**SCHOOLS:** Portions of the East Riverside Corridor Zoning District are served by AISD and portions are served by DVISD. Baty Elementary (a DVISD school) is the only school located within the boundaries of the East Riverside Corridor Zoning District.

**STAFF COMMENTS:**

The proposed rezonings to ERC base district zoning will implement the land use and urban design recommendations of the East Riverside Corridor Master Plan, adopted by City Council on February 25, 2010. The draft East Riverside Corridor Regulating Plan, which contains specific design-based site development and design standards for the proposed ERC zoning district, is included as Exhibit G.

**LIST OF ATTACHMENTS:**

**Exhibit A:** Zoning Map

**Exhibit B:** ERC Zoning Tract Map

**Exhibit C:** List showing properties to be rezoned to "ERC" by Tract #, TCAD Property ID and City of Austin Address and properties to have the Future Land Use designation changed to "SRD" by Tract #, TCAD Property ID and City of Austin Address

**Exhibit D:** Affordability Impact Statement

**Exhibit E:** Public Comments

**Exhibit F:** Staff and Planning Commission recommended amendments to the Sept. 14, 2012 Draft East Riverside Corridor Regulating Plan

**Exhibit G:** Draft East Riverside Corridor Regulating Plan

**PLANNING COMMISSION DATE & ACTION:**

**Planning Commission Subcommittee on Codes and Ordinances** – Voted to recommend this item to full Planning Commission on October 16, 2012. Vote: 4-0.

**Planning Commission** – Following a public hearing, the Planning Commission recommended adoption of the proposed code amendment, zoning cases, and neighborhood plan amendments with staff and Planning Commission recommended amendments to the Sept. 14, 2012 draft E. Riverside Corridor Regulating Plan on a vote of 8-0. They also recommended that staff review the following items before bringing the cases to council:

1. Alternative Equivalent Compliance notification;
2. Collector street map modifications;
3. P. 51, Subsection 3.5.6.C. – If acceptable to the Fire Department, should alleys be able to be used for fire access?; and
4. Adding minimum density, FAR, or height requirements.

**CITY COUNCIL DATE & ACTION:**

**City Council** – Staff will brief City Council on the proposed amendment, zoning cases, and neighborhood plan amendments on November 1, 2012.

**City Council** – A public hearing at City Council has been set for November 8, 2012.

**ORDINANCE READINGS:** 1<sup>st</sup>                      2<sup>nd</sup>                      3<sup>rd</sup>

**ORDINANCE NUMBER:**

**CASE MANAGER:**

Erica Leak

PHONE: 974-2856

E-mail: [erica.leak@austintexas.gov](mailto:erica.leak@austintexas.gov)

**BACKGROUND**

On February 25, 2010 the Austin City Council adopted the East Riverside Corridor (ERC) Master Plan as an amendment to the Imagine Austin Comprehensive Plan to guide future development and redevelopment in the East Riverside Corridor area. The purpose of the ERC Master Plan is to guide future redevelopment and city infrastructure improvements so that they are in line with the community's vision for the area. The Corridor Plan was called for in the East Riverside/Oltorf Combined Neighborhood Plan and was spurred-on by active discussions of introducing urban rail service to Austin's core neighborhoods and centers of activity, including along East Riverside Drive.

When the ERC Master Plan was adopted, the City Council directed City staff to develop a comprehensive set of zoning and site development regulations to implement the land use and urban design recommendations of the plan. The Master Plan recommends the creation of a design-based zoning code to:

- Promote residential and mixed-use development in the planning area;
- Require better standards for urban design, building placement, and street connectivity;
- Require pedestrian accommodation in site design; and
- Create a development bonus system allowing increased building height and square footage to incentivize the provision of public benefits (such as affordable housing).

In response to City Council action on February 25, 2010, the Planning and Development Review Department is proposing that properties in the planning area be rezoned and given East Riverside Corridor (ERC) base district zoning. The draft East Riverside Corridor Regulating Plan (Exhibit



G) contains specific design-based site development and design standards for the proposed ERC zoning district.

## **Exhibit A: Zoning Map**





I.H.-35

S. Pleasant Valley Dr.

E. Riverside Dr

Grove Blvd

S.H. 71

**Montopolis Neighborhood Planning Area**  
**NPA-2012-0005.04 & C14-2012-0112**



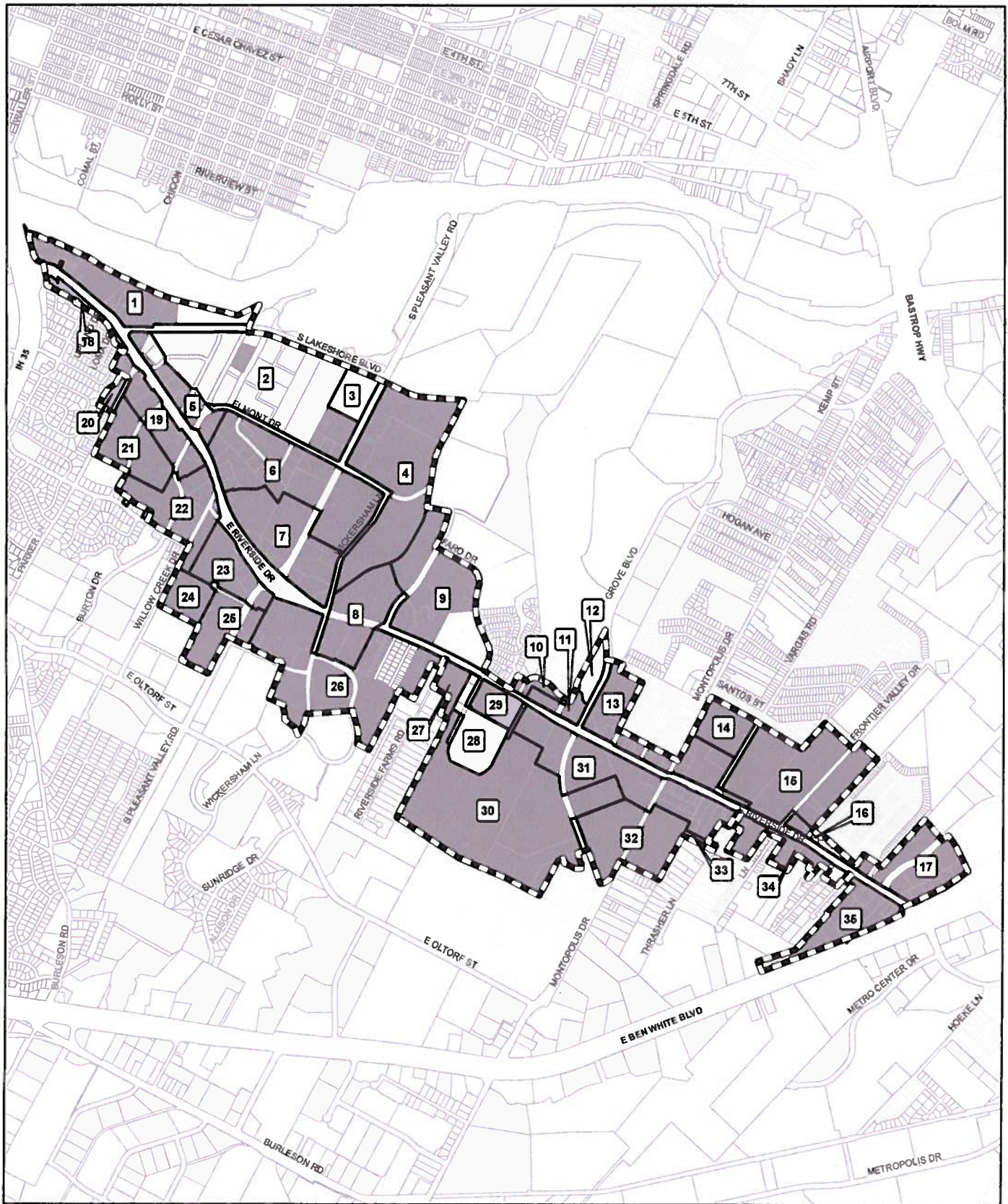
This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.





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**Exhibit B: ERC Zoning Tract Map**



# East Riverside Corridor Zoning Tracts Exhibit B



PLANNING AND  
DEVELOPMENT REVIEW  
DEPARTMENT

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. It has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



East Riverside Corridor Boundary  
ERC Tract Boundary  
Parcel Boundary  
Parcels to be rezoned

0 0.125 0.25 0.5 Miles

ERC\_Tract Zones\_itr\_20120829 9/4/2012

**Exhibit C:** List showing properties to be rezoned to "ERC" (East Riverside Corridor) by Tract #, TCAD Property ID and City of Austin Address and properties to have the Future Land Use designation changed to "SRD" (Specific Regulating District) by Tract #, TCAD Property ID and City of Austin Address

**Exhibit C**  
**East Riverside Corridor Regulating Plan**  
**Zoning Case Numbers C14-2012-0111 & C14-2012-0112**  
**Neighborhood Plan Amendments: Montopolis NPA # 2012-0005.04 & EROC NPA # 2012-0021.02**

Tract # (1)	PROP ID (2)	Property Address (3)	Current Zoning (4)	Proposed Zoning (5)	Neighbor-hood Planning Area (6)	Current Future Land Use (7)	Proposed Future Land Use (8)
1	283010	LOT A MILLER PHIL ADDN	MF-6-CO-NP; MF-4-CO-NP; LO-NP	ERC	EROC	Mixed Use	SRD
1	283707	1410 E RIVERSIDE DR	Unzoned	ERC	EROC	Transportation	SRD
1	283708	1404 E RIVERSIDE DR	MF-4-CO-NP; MF-6-CO-NP	ERC	EROC	Mixed Use	SRD
1	283709	ABS 24 DELVALLE S ACR .2472	MF-6-CO-NP; MF-4-CO-NP; LO-NP	ERC	EROC	None	SRD
1	283710	1500 E RIVERSIDE DR	MF-3-NP	ERC	EROC	Mixed Use	SRD
1	283712	1620 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
1	283713	1622 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
1	283714	1720 S LAKESHORE BLVD	GR-CO	ERC	EROC	None	SRD
1	283715	1712 S LAKESHORE BLVD	GR	ERC	EROC	Mixed Use	SRD
1	283716	1708 S LAKESHORE BLVD	GR	ERC	EROC	Mixed Use	SRD
1	283717	1644 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
1	283718	1636 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
1	283879	1820 S LAKESHORE BLVD	P-NP	Not rezoning	EROC	Recreation/Open Space	SRD
1	701880	1818 S LAKESHORE BLVD	MF-3-NP	ERC	EROC	Mixed Use	SRD
1	724248	W 20 OF LOT 1 & ALL OF LOTS 2-5 COLORADO RIVER PARK	MF-4-CO-NP; MF-6-CO-NP	ERC	EROC	Mixed Use	SRD
1	799616	1001 S INTERSTATE HY 35	GO-NP; GO-CO-NP; CS-1-NP; L-CO-NP; MF-6-CO-NP	ERC	EROC	Mixed Use	SRD
2	810150	LOT 2 BLK A SOUTHSORE SUBD SEC 3	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810149	LOT 3 BLK A SOUTHSORE SUBD SEC 3	PUD: PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	283882	1333 ARENA DR	MF-3	ERC	EROC	None	SRD
2	810141	LOT 1 BLK A SOUTHSORE SUBD SEC 1	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810151	LOT 1 BLK A SOUTHSORE SUBD SEC 3	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810140	LOT 1 BLK B SOUTHSORE SUBD SEC 1	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	285034	2401 S LAKESHORE BLVD	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	285036	2215 S LAKESHORE BLVD	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	285039	2520 ELMONT DR	GR-NP	ERC	EROC	Mixed Use	SRD
2	285041	2510 ELMONT DR	GR-NP	ERC	EROC	Mixed Use	SRD
2	285043	1300 S PLEASANT VALLEY RD	GR	ERC	EROC	None	SRD
2	285045	1410 S PLEASANT VALLEY RD	CS-1	ERC	EROC	None	SRD
2	285046	2538 ELMONT DR	GR	ERC	EROC	None	SRD
2	810187	1401 TINNIN FORD RD	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810188	LOT 3 LAKESHORE PHS I (PRIVATE DRIVE)	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810189	1301 TINNIN FORD RD	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810190	LOT 1 LAKESHORE PHS I	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810186	LOT 5 LAKESHORE PHS I (DRAINAGE)	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810185	LOT 6 LAKESHORE PHS I (WQ & OPEN SPACE)	PUD-NP	Not rezoning	EROC	Mixed Use	SRD

Tract # (1)	PROP ID (2)	Property Address (3)	Current Zoning (4)	Proposed Zoning (5)	Neighbor-hood Planning Area (6)	Current Future Land Use (7)	Proposed Future Land Use (8)
2	810184	LOT 7 LAKESHORE PHS I	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810182	2301 WATERLOO CITY LN	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810183	LOT 8 LAKESHORE PHS I (PRIVATE DRIVE)	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810181	LOT 10 LAKESHORE PHS I	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
2	810180	LOT 11 LAKESHORE PHS I	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
3	285038	LOT 3 SOUTH LAKE SHORE ADDN	P	Not rezoning	EROC	None	SRD
4	285047	1109 S PLEASANT VALLEY RD	MF-2-CO; RR	ERC	EROC	None	SRD
4	287925	1401 WICKERSHAM LN	MF-3-NP; RR-NP	ERC	EROC	Multifamily; Recreation/Open Space	SRD
4	287926	LOT 1 BLK C PARKE GREEN SUBD	Unzoned	ERC	EROC	None	SRD
4	483166	1225 S PLEASANT VALLEY RD	MF-2-CO, RR	ERC	EROC	None	SRD
4	507739	7014SQ FT LOT 1 PLEASANT VALLEY SPORTSPLEX	Unzoned	ERC	EROC	None	SRD
4	785944	4400 ELMONT DR	GR-CO	ERC	EROC	None	SRD
4	785945	1401 S PLEASANT VALLEY RD	GR-CO	ERC	EROC	None	SRD
5	283792	1712 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
5	283793	1700 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
5	283794	1717 S LAKESHORE BLVD	GR-NP	ERC	EROC	Mixed Use	SRD
5	283798	1414 ARENA DR	MF-3	ERC	EROC	None	SRD
5	810148	LOT 4 BLK A SOUTHSHORE SUBD SEC 3	PUD-NP	Not rezoning	EROC	Mixed Use	SRD
5	283800	1806 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
5	283881	1900 E RIVERSIDE DR	CS-1-NP; GR-NP	ERC	EROC	Commercial	SRD
5	285457	1422 TOWN CREEK DR	GR-NP	ERC	EROC	Commercial	SRD
5	285458	1426 TOWN CREEK DR	GR-NP	ERC	EROC	Commercial	SRD
5	285459	1510 TOWN CREEK DR	GR-NP	ERC	EROC	Commercial	SRD
5	285460	1930 E RIVERSIDE DR	CS-1-NP; GR-NP	ERC	EROC	Commercial	SRD
5	285461	2000 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
5	285462	1516 TINNIN FORD RD	GR-NP	ERC	EROC	Commercial	SRD
5	285463	1505 TOWN CREEK DR	GR-NP	ERC	EROC	Commercial	SRD
5	285464	1501 TOWN CREEK DR	GR-NP	ERC	EROC	Commercial	SRD
5	285465	LOT B-1 * RESUB OF LOT B D Q ADDN	GR-NP	ERC	EROC	Commercial	SRD
5	285466	1514 TINNIN FORD RD	GR-NP	ERC	EROC	Commercial	SRD
5	285467	2120 E RIVERSIDE DR	CS-1-NP; GR-NP	ERC	EROC	Commercial	SRD
5	285468	2101 ELMONT DR	GR-MU-CO-NP	ERC	EROC	Mixed Use	SRD
5	285471	2100 E RIVERSIDE DR	CS-1-NP; GR-NP	ERC	EROC	Commercial	SRD
5	285472	1523 TINNIN FORD RD	GR-NP; CS-1-NP	ERC	EROC	Commercial	SRD
6	285470	2215 TOWN LAKE CIR	MF-4	ERC	EROC	None	SRD
6	285473	2200 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
6	285474	2217 ELMONT DR	MF-4	ERC	EROC	None	SRD
6	285476	2222 TOWN LAKE CIR	MF-4	ERC	EROC	None	SRD
6	285477	2225 ELMONT DR	MF-4	ERC	EROC	None	SRD
6	285496	2400 TOWN LAKE CIR	MF-4	ERC	EROC	None	SRD
6	285497	2323 TOWN LAKE CIR	MF-4	ERC	EROC	None	SRD
6	285498	2409 TOWN LAKE CIR	MF-4	ERC	EROC	None	SRD
6	285500	2423 TOWN LAKE CIR	MF-4	ERC	EROC	None	SRD
6	285501	2437 TOWN LAKE CIR	MF-4	ERC	EROC	None	SRD
6	285502	2425 ELMONT DR	MF-4	ERC	EROC	None	SRD



Tract # (1)	PROP ID (2)	Property Address (3)	Current Zoning (4)	Proposed Zoning (5)	Neighbor-hood Planning Area (6)	Current Future Land Use (7)	Proposed Future Land Use (8)
6	285503	1500 S PLEASANT VALLEY RD	GR	ERC	EROC	None	SRD
6	285504	2305 TOWN LAKE CIR	MF-4	ERC	EROC	None	SRD
6	285506	1600 S PLEASANT VALLEY RD	GR	ERC	EROC	None	SRD
6	287990	1600 S PLEASANT VALLEY RD	MF-3-CO	ERC	EROC	None	SRD
6	463854	2308 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
6	507721	2224 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
6	507722	2220 E RIVERSIDE DR	GR-NP; W/LO-CO-NP	ERC	EROC	Commercial	SRD
6	507723	2232 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
7	285507	2320 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
7	285508	2410 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
7	285511	2426 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
7	286714	2512 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
7	287441	1810 WICKERSHAM LN	CS-1-NP; GR-NP	ERC	EROC	Commercial	SRD
7	287442	1919 S PLEASANT VALLEY RD	GR	ERC	EROC	None	SRD
7	287443	1819 S PLEASANT VALLEY RD	GR	ERC	EROC	None	SRD
7	287445	1912 WICKERSHAM LN	GR-NP	ERC	EROC	Commercial	SRD
7	287993	1717 S PLEASANT VALLEY RD	CS-1; GR	ERC	EROC	None	SRD
7	729528	1700 S PLEASANT VALLEY RD	GR-NP; GR; CS	ERC	EROC	Commercial; None	SRD
7	729529	2504 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
7	729530	2500 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
8	287922	4700 E RIVERSIDE DR	RR-NP; MF-3-NP	ERC	EROC	Multifamily; Recreation/Open Space	SRD
8	287932	4711 E RIVERSIDE DR	GO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
8	287934	LOT 1 BLK A CHEVY CHASE SOUTH PHS 4 SEC A	GR-MU-NP	ERC	EROC	Mixed Use	SRD
9	287920	1400 CROSSING PL	MF-3-NP	ERC	EROC	Multifamily	SRD
9	287939	1705 113 CROSSING PL	MF-2	ERC	EROC	None	SRD
9	380088	1500 FARO DR	MF-2-NP	ERC	EROC	Multifamily	SRD
9	551328	RIVER CROSSING CR	PUD-NP	Not rezoning	EROC	Single-Family; Recreation/Open Space	SRD
9	701585	1901 CROSSING PL	LR-MU-CO	ERC	EROC	Mixed Use	SRD
10	286722	5602 PENICK DR	SF-3-NP	ERC	EROC	Single-Family	SRD
10	759245	5600 E RIVERSIDE DR	SF-3-NP; SF-1-NP	ERC	EROC	Single-Family	SRD
10	759246	5617 PENICK DR	SF-1-NP	ERC	EROC	Single-Family	SRD
10	759247	5701 PENICK DR	SF-1-NP	ERC	EROC	Single-Family	SRD
10	759248	5709 PENICK DR	SF-1-NP	ERC	EROC	Single-Family	SRD
10	759249	5717 PENICK DR	SF-1-NP	ERC	EROC	Single-Family	SRD
11	287995	ABS 24 DELVALLE S ACR .581	LR-MU-CO-NP; LR-NP	ERC	EROC	Mixed Use; Commercial	SRD
11	483168	ABS 24 DELVALLE S ACR 2.413	LR-MU-CO-NP; SF-1-NP; LR-NP	ERC	EROC	Mixed Use; Commercial; Single-Family	SRD
11	759250	5700 E RIVERSIDE DR	LR-MU-CO-NP	ERC	EROC	Mixed Use	SRD
12	551297	ABS 24 DELVALLE S ACR 5.637	P-NP	Not rezoning	EROC	Civic	SRD
13	287996	6010 E RIVERSIDE DR	CS-MU-NP	ERC	EROC	Mixed Use	SRD
13	287997	1601 GROVE BLVD	MF-2-NP; MF-2-CO-NP; LR-NP	ERC	MONTOPOLIS	Multifamily	SRD
13	287998	1909 GROVE BLVD	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289298	1905 MONTOPOLIS DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD

Tract # (1)	PROP ID (2)	Property Address (3)	Current Zoning (4)	Proposed Zoning (5)	Neighbor-hood Planning Area (6)	Current Future Land Use (7)	Proposed Future Land Use (8)
13	289357	6108 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289358	6110 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289361	6114 E RIVERSIDE DR	GR-MU-CO-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289362	6201 KASPER ST	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289363	6203 KASPER ST	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289364	6204 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289365	6210 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289366	6200 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289367	1902 MONTOPOLIS DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	289368	6214 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	290065	6600 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	463939	1901 MONTOPOLIS DR	GR-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	530237	6400 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	755336	LOT 2 CLUBVIEW TERRACE	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
13	794557	6100 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
14	530238	1601 MONTOPOLIS DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
15	290066	7010 E RIVERSIDE DR	CS-MU-NP; CS-NP; MF-3-NP	ERC	MONTOPOLIS	Mixed Use; Commercial; Multifamily	SRD
15	290067	ABS 24 DELVALLE S ACR 17.090	CS-MU-NP; SF-3-NP	ERC	MONTOPOLIS	Mixed Use; Single-Family	SRD
15	551782	1805 FRONTIER VALLEY DR	GR-MU-NP	ERC	MONTOPOLIS	Commercial	SRD
15	551783	1749 FRONTIER VALLEY DR	CS-NP	ERC	MONTOPOLIS	Commercial	SRD
15	551784	1705 FRONTIER VALLEY DR	MF-3-CO-NP	ERC	MONTOPOLIS	Mixed Residential	SRD
16	551780	7002 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
16	551785	7106 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
16	703743	1732 ANISE DR	CS-MU-NP; SF-4A-NP	ERC	MONTOPOLIS	Mixed Use; Mixed Residential	SRD
16	703744	1738 ANISE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
16	703919	1743 ANISE DR	Unzoned	ERC	MONTOPOLIS	Mixed Use	SRD
16	703920	1737 ANISE DR	SF-4A-NP	ERC	MONTOPOLIS	Mixed Use	SRD
16	759300	6900 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
17	483298	1611 AIRPORT COMMERCE DR	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483326	7706 E BEN WHITE BLVD	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483327	7700 E BEN WHITE BLVD	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483328	7600 E BEN WHITE BLVD	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483329	1901 AIRPORT COMMERCE DR	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483330	1805 AIRPORT COMMERCE DR	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483331	1707 AIRPORT COMMERCE DR	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483337	7812 E BEN WHITE BLVD	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483338	7808 E BEN WHITE BLVD	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	483339	7714 E BEN WHITE BLVD	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
17	712089	7310 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
17	773412	1026 BASTROP HWY	CS-CO-NP	ERC	MONTOPOLIS	Commercial	SRD
18	283721	1006 SUMMIT ST	GR-MU-CO	ERC	EROC	None	SRD
18	283786	1701 E RIVERSIDE DR	LR-NP	ERC	EROC	Commercial	SRD
18	283787	1607 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
18	283788	1605 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
18	283789	1007 SUMMIT ST	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
18	283790	1005 SUMMIT ST	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
18	283791	1637 E RIVERSIDE DR	GR-NP	ERC	EROC	Commercial	SRD
18	572637	1405 A E RIVERSIDE DR	GR-MU-CO	ERC	EROC	None	SRD

Tract # (1)	PROP ID (2)	Property Address (3)	Current Zoning (4)	Proposed Zoning (5)	Neighbor-hood Planning Area (6)	Current Future Land Use (7)	Proposed Future Land Use (8)
18	572638	1405 B E RIVERSIDE DR	GR-MU-CO	ERC	EROC	None	SRD
19	283778	1725 E RIVERSIDE DR	LR-NP	ERC	EROC	Commercial	SRD
19	283784	1210 PARKER LN	LR-NP	ERC	EROC	Commercial	SRD
19	283785	1713 E RIVERSIDE DR	LR-NP	ERC	EROC	Commercial	SRD
19	285451	1801 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
19	285452	1903 E RIVERSIDE DR	CS-1-NP; CS-1; GR-NP	ERC	EROC	Mixed Use	SRD
19	285453	1919 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
19	285481	2015 E RIVERSIDE DR	CS-MU-CO-NP; CS-1-MU-CO-NP	ERC	EROC	Mixed Use	SRD
19	285483	2003 E RIVERSIDE DR	CS-MU-CO-NP; CS-1-MU-CO-NP; CS-NP	ERC	EROC	Mixed Use	SRD
19	285484	2001 E RIVERSIDE DR	CS-NP	ERC	EROC	Mixed Use	SRD
19	285485	2021 E RIVERSIDE DR	CS-1-NP; GR-NP	ERC	EROC	Mixed Use	SRD
19	719303	2109 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
19	719304	2209 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
19	719305	2205 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
20	284904	1300 PARKER LN	MF-3	ERC	EROC	None	SRD
20	284905	1302 PARKER LN	MF-3	ERC	EROC	None	SRD
20	763701	1402 PARKER LN	MF-2-CO-NP	ERC	EROC	Higher-Density Single-Family	SRD
21	285454	1500 ROYAL CREST DR	MF-3	ERC	EROC	None	SRD
21	285455	1600 ROYAL CREST DR	MF-3	ERC	EROC	None	SRD
21, 22	285478	1601 ROYAL CREST DR	MF-3; GR; LO; MF-2; SF-3-NP; LR	ERC	EROC	None; Single-Family	SRD
22	285488	2229 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
22	285490	2237 E RIVERSIDE DR	CS-1; GR-NP	ERC	EROC	Mixed Use	SRD
22	285491	1703 BURTON DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
22	285492	1701 BURTON DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
22	285493	1700 WILLOW CREEK DR	GR-NP	ERC	EROC	Mixed Use	SRD
22	285495	2317 E RIVERSIDE DR	Unzoned	ERC	EROC	Transportation	SRD
22	286259	2204 WOODLAND AVE	LR-NP	ERC	EROC	Commercial	SRD
22	286260	1704 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286261	1706 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286262	1708 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286263	1710 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286264	1712 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286265	1714 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286266	1716 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286267	1718 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286268	1720 WILLOW CREEK DR	LR-NP	ERC	EROC	Commercial	SRD
22	286269	1713 BURTON DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
22	286270	1711 BURTON DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
22	286271	1709 BURTON DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
22	286272	1707 BURTON DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
22	286273	1705 BURTON DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
22	286707	2301 E RIVERSIDE DR	LR-V-CO-NP; LO-CO-NP	ERC	EROC	Mixed Use; Office	SRD

Tract # (1)	PROP ID (2)	Property Address (3)	Current Zoning (4)	Proposed Zoning (5)	Neighbor-hood Planning Area (6)	Current Future Land Use (7)	Proposed Future Land Use (8)
23	286708	2425 E RIVERSIDE DR	MF-3-CO	ERC	EROC	None	SRD
23	286711	2435 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
23	363718	2429 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
23	363719	2501 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
23	363720	2507 E RIVERSIDE DR	GR-NP	ERC	EROC	Mixed Use	SRD
23	363721	2500 1/2 WILLOW HILL DR	GR	ERC	EROC	None	SRD
23	445742	4405 E RIVERSIDE DR	GR-CO	ERC	EROC	None	SRD
24	286709	1901 WILLOW CREEK DR	MF-3	ERC	EROC	None	SRD
25	286710	2200 S PLEASANT VALLEY RD	MF-2	ERC	EROC	None	SRD
25	286715	2201 S PLEASANT VALLEY RD	CS-CO	ERC	EROC	None	SRD
26	287438	2310 WICKERSHAM LN	MF-2	ERC	EROC	None	SRD
26	287440	4501 E RIVERSIDE DR	MF-2-NP; RR-NP	ERC	EROC	Multifamily; Recreation/Open Space	SRD
26	287933	2207 WICKERSHAM LN	GR; MF-2	ERC	EROC	None	SRD
26	287935	2239 CROMWELL CIR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	445755	4600 SHERINGHAM DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	445757	4400 SHERINGHAM DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551506	4821 E RIVERSIDE DR	MF-2	ERC	EROC	None	SRD
26	551507	4823 E RIVERSIDE DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551508	4825 E RIVERSIDE DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
26	551509	2004 KIRKSEY DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551510	2006 KIRKSEY DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551511	2008 KIRKSEY DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551512	2010 KIRKSEY DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551514	2100 KIRKSEY DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551516	2102 KIRKSEY DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551517	2104 KIRKSEY DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551518	2106 KIRKSEY DR	MF-2-NP	ERC	EROC	Multifamily	SRD
26	551520	2107 KIRKSEY DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551523	2105 KIRKSEY DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551525	2103 KIRKSEY DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551527	2101 KIRKSEY DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551533	2009 KIRKSEY DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551535	2007 KIRKSEY DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551536	2005 KIRKSEY DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551537	2003 KIRKSEY DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551538	4901 E RIVERSIDE DR	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551539	2000 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551540	2002 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551541	2004 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551545	2008 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551546	2010 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551547	2100 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551549	2102 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551551	2104 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551553	2106 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551556	2107 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551558	2105 B KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551559	2105 A KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551560	2103 B KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551561	2103 A KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551562	2101 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551564	2011 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD

Tract # (1)	PROP ID (2)	Property Address (3)	Current Zoning (4)	Proposed Zoning (5)	Neighbor-hood Planning Area (6)	Current Future Land Use (7)	Proposed Future Land Use (8)
26	551566	2009 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551568	2007 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551570	2005 B KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551571	2005 A KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551572	2003 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551573	2001 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
26	551574	5007 E RIVERSIDE DR	SF-2-NP, SF-3-NP	ERC	EROC	Single-Family	SRD
26	551575	5021 E RIVERSIDE DR	SF-2-NP, SF-3-NP	ERC	EROC	Single-Family	SRD
26	551576	5107 E RIVERSIDE DR	SF-3-NP	ERC	EROC	Single-Family	SRD
26	729666	2011 KIRKSEY DR	SF-3-NP	ERC	EROC	Single-Family	SRD
26	799730	2006 KENNETH AVE	SF-3-NP	Not rezoning	EROC	Single-Family	SRD
27	289266	5201 E RIVERSIDE DR	GO-MU-CO-NP; SF-2-NP	ERC	EROC	Mixed Use/Office; Single-Family	SRD
28	289259	5309 E RIVERSIDE DR	P-NP	Not rezoning	EROC	Civic	SRD
28	289260	5309 E RIVERSIDE DR	P-NP	Not rezoning	EROC	Civic	SRD
28	445813	ABS 24 DELVALLE S ACR 14.638	P-NP	Not rezoning	EROC	Civic	SRD
28	445814	ABS 24 DELVALLE S ACR 0.517	P-NP	Not rezoning	EROC	Civic	SRD
29	507766	5401 E RIVERSIDE DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
30	289265	5601 E RIVERSIDE DR	IP-NP	ERC	EROC	Industry	SRD
30	292085	2400 GROVE BLVD	LI-NP	ERC	EROC	Industry	SRD
30	292127	2201 GROVE BLVD	RR-NP; GR-MU-CO-NP	ERC	MONTOPOLIS	Mixed Use	SRD
30	445977	2410 GROVE BLVD	LI-NP	ERC	EROC	Industry	SRD
30	445978	LOT 2-A BLK A LESS 12.3433AC MARSHALL HILLS SEC 1-C RESUB OF LOT 1	LI-NP	ERC	EROC	Civic	SRD
31	290483	2101 MONTOPOLIS DR	GR-MU-NP	ERC	MONTOPOLIS	Commercial	SRD
31	290484	2013 MONTOPOLIS DR	GR-MU-NP	ERC	MONTOPOLIS	Commercial	SRD
31	290485	6301 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290486	6305 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290487	6307 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290488	6309 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290489	6401 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290490	6407 E RIVERSIDE DR	GR-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290491	6503 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290492	6505 E RIVERSIDE DR	CS-MU-NP, MF-2-NP	ERC	MONTOPOLIS	Mixed Use, Multifamily	SRD
31	290493	6603 E RIVERSIDE DR	CS-MU-NP; MF-2-NP	ERC	MONTOPOLIS	Mixed Use; Multifamily	SRD
31	290498	6625 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290499	2000 THRASHER LN	LR-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	290509	6507 E RIVERSIDE DR	CS-MU-NP; MF-2-NP	ERC	MONTOPOLIS	Mixed Use, Multifamily	SRD
31	290513	6605 E RIVERSIDE DR	CS-MU-NP; SF-3-NP	ERC	MONTOPOLIS	Mixed Use, Single-Family	SRD
31	290514	6609 E RIVERSIDE DR	CS-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	380242	5707 E RIVERSIDE DR	LI-NP	ERC	EROC	Industry	SRD
31	507767	5701 E RIVERSIDE DR	LO-MU-CO-NP	ERC	EROC	Mixed Use/Office	SRD
31	748114	ABS 24 DELVALLE S ACR 10.8206	RR-NP; GR-MU-CO-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	758843	6101 E RIVERSIDE DR	RR-NP; GR-MU-CO-NP	ERC	MONTOPOLIS	Mixed Use	SRD
31	758844	6205 E RIVERSIDE DR	GR-MU-CO-NP	ERC	MONTOPOLIS	Mixed Use	SRD

Tract # (1)	PROP ID (2)	Property Address (3)	Current Zoning (4)	Proposed Zoning (5)	Neighbor-hood Planning Area (6)	Current Future Land Use (7)	Proposed Future Land Use (8)
32	290508	2201 MONTOPOLIS DR	MF-3-CO-NP	ERC	MONTOPOLIS	Multifamily	SRD
32	725369	LOT 1 BLK A GROVE ADDN	RR-NP; GR-MU-CO-NP	ERC	MONTOPOLIS	Mixed Use	SRD
33	290503	2108 THRASHER LN	MF-2-NP	ERC	MONTOPOLIS	Multifamily	SRD
34	290530	6801 E RIVERSIDE DR	GO-MU-CO-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	290533	2005 THRASHER LN	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	290534	6701 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	290546	6707 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291250	6809 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291251	6811 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291282	6903 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291283	6905 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291284	6907 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291285	7001 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291286	7003 E RIVERSIDE DR	GR-MU-NP; SF-3-NP	ERC	MONTOPOLIS	Mixed Use; Single-Family	SRD
34	291287	ABS 24 DELVALLE S ACR 4.0000	GR-MU-NP; SF-3-NP	ERC	MONTOPOLIS	Mixed Use; Single-Family	SRD
34	291288	7105 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291289	7107 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291300	7103 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291324	7203 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
34	291336	7207 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
35	291586	7305 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
35	291587	7307 18 E RIVERSIDE DR	SF-3-NP; LR-MU-NP	ERC	MONTOPOLIS	Mixed Use; Commercial	SRD
35	291609	7311 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
35	291610	7311 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
35	291611	7401 2 E RIVERSIDE DR	CS-MU-CO-NP	ERC	MONTOPOLIS	Mixed Use	SRD
35	291615	7401 E RIVERSIDE DR	GR-MU-NP	ERC	MONTOPOLIS	Mixed Use	SRD
35	291616	7403 21 E RIVERSIDE DR	GR-MU-NP; CS-NP	ERC	MONTOPOLIS	Mixed Use; Commercial	SRD
35	291636	7405 E RIVERSIDE DR	GR-MU-NP; CS-NP	ERC	MONTOPOLIS	Mixed Use; Commercial	SRD
35	291637	7409 E RIVERSIDE DR	GR-MU-NP; CS-NP	ERC	MONTOPOLIS	Mixed Use; Commercial	SRD
35	380227	7320 E BEN WHITE BLVD	CS-NP	ERC	MONTOPOLIS	Commercial	SRD
35	445866	7216 E BEN WHITE BLVD	CS-NP	ERC	MONTOPOLIS	Commercial	SRD
35	445867	7310 E BEN WHITE BLVD	CS-NP	ERC	MONTOPOLIS	Commercial	SRD

**Notes:**

- (1) The tract number refers to the numbered tracts on the East Riverside Corridor Zoning Tract Map.
- (2) Each TCAD Property ID number represents a separate property, as recorded by the Travis Central Appraisal District (TCAD).
- (3) The City of Austin addresses listed for each property are those addresses on file with the city pertaining to that property. If a City of Austin address was not available for a property, the TCAD address and/or legal lot description was used.
- (4) For more information about zoning categories, visit: <http://www.austintexas.gov/page/zoning-districts>
- (5) For more information about the East Riverside Corridor Regulating Plan, visit: <http://www.austintexas.gov/eastriverside>
- (6) EROC is "East Riverside Oltorf Combined" Neighborhood Planning Area
- (7) For more information about Future Land Use designations, visit: [ftp://ftp.ci.austin.tx.us/npsd/website/Planning\\_Zoning/land\\_use\\_policy\\_guide.pdf](ftp://ftp.ci.austin.tx.us/npsd/website/Planning_Zoning/land_use_policy_guide.pdf)
- (8) SRD is "Specific Regulating District"

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**Exhibit D: Affordability Impact Statement**



AFFORDABILITY IMPACT STATEMENT  
 NEIGHBORHOOD HOUSING AND COMMUNITY DEVELOPMENT  
 CITY COUNCIL AGENDA: PENDING CASE NUMBER: PENDING

PROPOSED CODE AMENDMENT:	<b>EAST RIVERSIDE CORRIDOR REGULATING PLAN</b>
IMPACT ON REGULATORY BARRIERS TO HOUSING DEVELOPMENT:	<input type="checkbox"/> INCREASE <input checked="" type="checkbox"/> DECREASE <input type="checkbox"/> NO IMPACT  BY PROVIDING A CONSISTENT AND TRANSPARENT REGULATING FRAMEWORK FOR THE AREA, THE PROPOSED REGULATING PLAN DECREASES REGULATORY BARRIERS TO HOUSING DEVELOPMENT.
LAND USE / ZONING OPPORTUNITIES FOR AFFORDABLE HOUSING DEVELOPMENT	<input checked="" type="checkbox"/> INCREASE <input type="checkbox"/> DECREASE <input type="checkbox"/> NO IMPACT  THE PROPOSED REGULATING PLAN INCREASES OPPORTUNITIES FOR AFFORDABLE HOUSING DEVELOPMENT THROUGH NEW LAND USE/ZONING OPPORTUNITIES AND THE CREATION OF A DEVELOPMENT BONUS PROGRAM.
IMPACT ON COST OF DEVELOPMENT	<input type="checkbox"/> INCREASE <input type="checkbox"/> DECREASE <input type="checkbox"/> NO IMPACT  <input checked="" type="checkbox"/> NEUTRAL  BY ADDING ADDITIONAL DEVELOPMENT REQUIREMENTS, THE PROPOSED REGULATING PLAN WILL LIKELY INCREASE THE COST OF DEVELOPMENT. HOWEVER, INCREASED HEIGHT AND DENSITY ALLOWED IN THE PLAN CREATE COST EFFICIENCIES THAT MAY OFFSET ADDITIONAL COSTS.
IMPACT ON PRODUCTION OF AFFORDABLE HOUSING	<input checked="" type="checkbox"/> INCREASE <input type="checkbox"/> DECREASE <input type="checkbox"/> NO IMPACT  THE PROPOSED REGULATING PLAN ENCOURAGES PRIVATE SECTOR DEVELOPMENT OF AFFORDABLE HOUSING THROUGH THE CREATION OF A DEVELOPMENT BONUS PROGRAM.
PROPOSED CHANGES IMPACTING HOUSING AFFORDABILITY:	THE EAST RIVERSIDE REGULATING PLAN PROVIDES POSITIVE IMPACTS ON AFFORDABILITY IN THE AREA AND THE CITY AT LARGE, INCLUDING INCREASING THE SUPPLY OF HOUSING WHEN OCCUPANCY IS AT 96% CITY-WIDE AND RENTS ARE RISING; SUPPORTING THE CREATION OF TRANSIT-FRIENDLY NEIGHBORHOODS SO THAT LESS HOUSEHOLD INCOME IS SPENT ON TRANSPORTATION COSTS; AND ENCOURAGING PRIVATE SECTOR DEVELOPMENT OF AFFORDABLE HOUSING THROUGH THE CREATION OF A DEVELOPMENT BONUS PROGRAM.
ALTERNATIVE LANGUAGE TO MAXIMIZE AFFORDABLE HOUSING OPPORTUNITIES:	



OTHER HOUSING POLICY  
CONSIDERATIONS:

THE EAST RIVERSIDE MASTER PLAN, ADOPTED BY THE AUSTIN CITY COUNCIL IN 2010, HIGHLIGHTED THE CHALLENGE OF PLANNING FOR THE FUTURE OF THE EAST RIVERSIDE AREA WHILE ALSO RETAINING AFFORDABLE HOUSING STOCK DUE TO THE FACT THAT THE EXISTING SUPPLY OF PRIVATELY-OWNED MARKET RATE AFFORDABLE HOUSING IN THE AREA IS LARGELY AGING, CLASS C STOCK.

THE MASTER PLAN STRESSED THAT PRESERVATION AND CREATION OF AFFORDABLE HOUSING IN THE EAST RIVERSIDE CORRIDOR WILL BE VITAL TO PROVIDING HOUSING OPTIONS FOR HOUSEHOLDS THAT WISH TO REMAIN IN THE CORRIDOR AS WELL AS PROVIDING A VARIETY OF HOUSING OPTIONS FOR FUTURE RESIDENTS. THE PLAN FURTHER OFFERED A NUMBER OF APPROACHES FOR THE CITY OF AUSTIN AND OTHER LOCAL ENTITIES TO ADDRESS CONCERNS RELATED TO EQUITY AND AFFORDABLE HOUSING IN THE AREA, INCLUDING:

- MAINTAIN AND RENEW EXISTING SUBSIDIZED AFFORDABLE HOUSING.
- PRESERVE EXISTING NON-SUBSIDIZED AFFORDABLE HOUSING
- INCREASE SUPPLY OF HOUSING - ESPECIALLY ATTACHED HOMEOWNERSHIP HOUSING PRODUCTS - TO ADDRESS THE LIMITED PRODUCT OF THIS TYPE AVAILABLE IN THE CORRIDOR AREA IN CONJUNCTION WITH HIGH DEMAND.
- ENCOURAGE PRIVATE SECTOR FUNDING AND/OR CONSTRUCTION OF AFFORDABLE HOUSING THROUGH THE PROVISION OF DEVELOPMENT BONUSES.
- EXPAND PUBLIC SECTOR FUNDING OF AFFORDABLE HOUSING.
- EXPLORE FEASIBILITY OF A TOD CATALYST PROJECT ON THE CITY-OWNED LAND AT THE EAST RIVERSIDE DRIVE/PLEASANT VALLEY BLVD INTERSECTION
- PROMOTE COMMUNITY-BASED HOUSING DEVELOPMENT ORGANIZATIONS
- SUPPORT ASSET CREATION
- COORDINATE CITY SERVICES TO MITIGATE EFFECTS OF POTENTIAL DISPLACEMENT.

WHILE THE EAST RIVERSIDE REGULATING PLAN BY ITS NATURE CANNOT ADDRESS THE FULL SCOPE OF THE AFFORDABLE HOUSING CONCERN IN THE AREA, THE APPROACHES LISTED ABOVE REMAIN CRITICAL TO ADDRESSING AFFORDABLE HOUSING NEEDS IN THE AREA AND CITYWIDE. MOST OF THE AFFORDABLE HOUSING TOOLS INTRODUCED IN THE EAST RIVERSIDE MASTER PLAN ARE CITY-WIDE EFFORTS THAT MUST BE ADDRESSED THROUGH COLLABORATION AMONG MULTIPLE CITY DEPARTMENTS. INITIATIVES SUCH AS AFFORDABLE HOUSING PRESERVATION, RELOCATION POLICY,

AND TARGETED AFFORDABLE HOUSING INVESTMENT IN  
TRANSIT-RICH AREAS ARE ONGOING TOPICS ON WHICH THE  
CITY WILL CONTINUE TO FOCUS SIGNIFICANT EFFORT AND  
INVESTMENT.

DATE PREPARED:

OCTOBER 23, 2012

DIRECTOR'S SIGNATURE: \_\_\_\_\_

ELIZABETH A. SPENCER

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**Exhibit E: Public Comments**

on this notice. You may examine the files at the fifth floor of One Texas Center, 505 Barton Springs Road, Austin, Texas 78704 between the hours of 7:45 a.m. and 4:45 p.m., Monday through Friday.

For additional information on the City of Austin's land development process, please visit our web site <http://www.austintexas.gov/development>.

A separate Code Amendment (File number C20-2011-003) is being proposed to Amend Title 25 of the Land Development Code to create the East Riverside Corridor (ERC) base zoning district and establish associated use and site development regulations as specified in the East Riverside Corridor Regulating Plan. The Notice for Public Hearing on the proposed Code Amendment C20-2011-003 is enclosed.

**PLANNING COMMISSION HEARING**

DATE: October 23, 2013 TIME: 6:00 P.M.

LOCATION: City Hall, Rm. 1002, Council Chambers  
301 W. 2<sup>nd</sup> St., Austin, TX

**CITY COUNCIL HEARING**

Date to be determined. Another notice will be sent when the City Council hearing date is set.

**Contact Information**

For questions regarding the proposed ERC zoning changes, please call or email:

Erica Leak, Planning and Development Review Department, at (512) 974-2856 or  
[erica.leak@austintexas.gov](mailto:erica.leak@austintexas.gov)

Si Ud necesita información en Español, favor de llamar a Debbie Valero al (512) 974-3531.

Office hours are 7:45a.m. to 4:45 p.m. Monday through Friday. Please be sure to refer to the File Number on the first page when you call. See enclosed sheets for more information.

.....  
**PLANNING COMMISSION ZONING CASE COMMENT FORM**

**Planning Commission Hearing Date: Oct. 23, 2012**

**Zoning Case Numbers (circle one): C14-2012-0111 or C14-2012-0112**

You may also send your written comments by mail to the Planning and Development Review Department, c/o Erica Leak, P. O. Box 1088, Austin, TX 78767-8835 or by fax to (512) 974-2269.

Name (please print) R. Joseph Rodriguez

Address 1516 Poppy Seed Lane, 78741

☒ I am in favor  
(Estoy de acuerdo)  
☐ I object  
(No estoy de acuerdo)

Comments:

I am in favor. Thank you!

**PLANNING COMMISSION NEIGHBORHOOD PLAN AMENDMENT COMMENT FORM**

**Planning Commission Hearing Date:** Oct. 23, 2012

**Plan Amendment Case Numbers (circle one):** NPA-2012-021.02 or NPA-2012-005.04

You may also send your written comments by mail to the Planning and Development Review Department, c/o Erica Leak, P. O. Box 1088, Austin, TX 78767-8835 or by fax to (512) 974-2269.

Name (please print)

R. Joseph Rodriguez

☒ I am in favor  
(Estoy de acuerdo)

Address

1516 Poppy Seed Lane, 78741

☐ I object  
(No estoy de acuerdo)

Comments:

Thank you for the communication. Please add more descriptive language in the future to help us understand more details.

**INFORMATION ON PUBLIC HEARINGS**

The Planning and Development Review Department has filed an application for a neighborhood plan amendment and zoning/ rezoning to implement the land use and zoning recommendations of the East Riverside Corridor Master Plan. This notice has been mailed to you because City Ordinance requires that all property owners within 500 feet, residents who have a City utility service address within 500 feet, and registered environmental or neighborhood organizations whose declared boundaries are within 500 feet be notified that an application for a neighborhood plan amendment or zoning change has been filed.

This request will be reviewed and acted upon at two public hearings: First, before the Planning Commission and then before the City Council. After a public hearing, the Planning Commission reviews and evaluates City staff recommendation(s) and public input and then sends its own recommendation on the neighborhood plan amendment and zoning/rezoning request to the City Council. The Planning Commission meeting date and location is shown on this notice. Another notice will be sent once the City Council public hearing is set.

During its public hearing, the board or commission may postpone or continue an applicant's hearing to a later date. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

If you have any questions concerning this notice, please contact the City of Austin Planning and Development Review Department staff person at the number shown on this notice. If you would like to express your support or opposition to this request, you may do so in several ways:

- by attending the Planning Commission hearing and conveying your concerns at that meeting
- by writing to the Planning Commission, using the form provided on the previous page
- by writing to the city contact, listed on the previous page

**COMMENTS RE 9/14/12 DRAFT ERC REGULATING PLAN – POST-9/25 MEETING**

ARTICLE & PAGE #	COMMENTS	MEETING RESPONSE/ACTION
Art. 1.4 Alternative Equivalent Compliance p. 6	CONFIRM that this is not a way to sidestep/ignore compatibility standards	Confirmed
p. 6	What would alternative equivalent compliance regarding parking be?	Probably same as Commercial Design Standards  Does this allow for fast track to Resident Parking Permits for negatively impacted neighborhoods?
Art. 1.4.3.A.2 Decision Making Responsibility p. 7	Due to problems experienced in the past with City staff taking the developer's agent's word for what can and cannot be done, it is important to provide notification to the NPCT, Neighborhood Associations and affected property owners when applications for Alternative Equivalent Compliance are submitted, allowing for "Interested Parties" to be kept apprised & provide input. Such notification could result in the identification of unintended consequences, and even more creative solutions to compliance.	No notification required or public input allowed for under AEC for TODs and Commercial Design Standards.  Discussion item for PC C&O Com.
Art. 1.4.3.B.6.a.iv Amendments to Alternative Compliance Concept Plans p. 8	If the change is outside of the regular Land Code, the request has to go to the BOA for a variance? Who grants the waivers?	Applicant has to start over if he applied for a minor amendment and in reality it is a major amendment.  The default, if requested change is outside the LDC, is that Applicant would have to go to the BOA, unless otherwise specifically noted.
Art. 1.4.4.B Criteria p. 9	CONFIRM that even with the challenges listed in 1.4.4.B.1 & 2, Applicant still must comply with compatibility standards.	Confirmed
Art. 1.4.5 Effect of	Approval will not establish a precedent — How can this	Impossible to enforce.

ARTICLE & PAGE #	COMMENTS	MEETING RESPONSE/ACTION
Approval p. 9	be enforced? We've heard it too many times.	
Art. 1 Figure 1-11 Summary of NMU Subdistrict Development Standards p. 21	IMPORTANT include under Building Height (2nd column) that NMU outside the HUB boundaries are not eligible for a Development Bonus. (Some property owners may claim that the map is too difficult to read.)	Will be done.
Art. 2.1.5 Land Use Standards – Intent p. 25	CONFIRM that this includes accommodating single family residential.	Confirmed – will come up with language to include in 2.1.5 sentence.
Art. 3.3.2 Circulation, Connectivity & Streetscape Standards p. 37	CONFIRM that NMU sidewalk standards are based on the principal roadway it faces.	Confirmed
Art. 4.2.4.D.1 & 2 Compatibility Standards pp. 57-58	How is the Screening Zone determined – is there any public notification?  NEED to prohibit amplified sound and overwhelming odors (such as outdoor grilling, taquerias, etc.) in screening zones.	No public notification re screening zone – applicant decides on whether and type of screening.  P. 59 - Art. 4.2.4.D.2.b Permitted Activity: remove outdoor dining entirely.
4.2.4.D.5 Additional Standards p. 62	ADD a new subsection e to define decibel level of music compatibility.	Perhaps add: Music or outdoor noise must comply with current sound ordinance.
Art. 4.2.4.E Waivers p. 62	DELETE this entire section. This completely negates the promise of certainty in development that is supposed to make this a worthwhile plan. Subsection 3 is not necessary as the Land Use Code already provides for BOA granted variances.	Delete waiver subsections E.1 & 2 and revise E.3: Variances may only be granted by BOA due to hardship pursuant to LDC ____.
Art. 4.3.1 Relationship to Buildings to Streets and Walkways - Purpose	CONFIRM that the last line of 4.3.1 will not change compatibility required setbacks (as referenced in Art. 1.4 Alternative Equivalent Compliance).	Confirmed

ARTICLE & PAGE #	COMMENTS	MEETING RESPONSE/ACTION
p. 63		
Art. 4.3.2.B Active Edge p. 64	CONFIRM that when CTC is the principal roadway, the retail commercial should be on that frontage, not the backside abutting SF residential.	Confirmed
Art. 4.3.3.C Add'l Standard for Buildings 3-Stories or Higher p. 66	What would an alternative equivalent compliance be for this situation? Would applicant still have to comply with compatibility standards?	AEC might be building placement; Applicant still has to comply with compatibility standards.
Art. 4.3.3.D Corner Sites p. 66	Need to understand how this works with frontage on CTC and IH-35.	CTC takes precedence.
Art. 4.3.4.B Supplemental Zones – Standards p. 67	I think the principal street would be the CTC, but what if applicant chooses to claim the highway as the principal street, or that due to his building placement, he has more frontage on the highway?	Principal street is CTC.
Art. 4.8.2 Sign Regulations – Standards p. 75	What are UNO sign regulations? More restrictive or less restrictive than regular sign regulations?	UNO sign regs. are more restrictive.
Art. 4.9.3.C. Location Criteria p. 77	ADD Country Club Creek as a specific location	Will include Country Club Creek Trail, and also, if Montopolis approves, the Montopolis trail being developed (Stefan Wray is contact).
Art. 4.10.3.b.a & 4.10.3.C Public Open Space & Trails – Fee in Lieu p. 80	I thought fees in lieu for open space would be prohibited. There's no requirement that open space fees in lieu be spent within or near the ERC or least within the EROC and/or Montopolis Planning Areas. The Corridor Master Plan merely states that it is recommended that the funds be spent near the site.	Will check the Parkland Dedication Ordinance to confirm that fees would not be spent outside area.
Art. 6.2.1 Development Bonus – Applicability Standards p. 95	IMPORTANT - Need to note in the table that NMU properties outside the HUB boundaries are not eligible for development bonuses.	Reference to Figure 1-8 is sufficient.



ARTICLE & PAGE #	COMMENTS	MEETING RESPONSE/ACTION
Art. 6.3.5.A.1 p. 96	Fees in lieu are not required to be invested within Corridor boundaries or nearby.	Policy decision.
Art. 6.4.2 Publicly Accessible Open Space Bonus p. 98	No requirement that fees in lieu be spent in ERC boundaries, nearby or EROC or Montopolis.	No fee in lieu option for Open Space bonus.

# East Riverside Corridor Regulating Plan

DRAFT REPORT DATE - September 14, 2012

Comments provided by Ron Thrower - September 27, 2012

Item	Page	Section	Relates to	Issue	Solution
1	5	1.3.2 & 1.3.3	Review Process	Screening of Equipment and Utilities are only under Building Permit Review	Ground mounted utilities and equipment (transformers, AC units, etc.) should be reviewed during Site Plan Review.
2	7	1.4.3	AEC	All AEC proposals should require notification. In the instance where connectivity is proposed, abutting landowners that share the proposed connectivity should have the option to provide input.	Provide notification for any AEC process to abutting landowners for alignments of any cross connections (ped., bike, vehicle)
3	10	1.5	NonConforming Uses / Noncomplying Structures	Effects many property owners and uses. Has this been quantified? Should not tie limitations to another entities findings (TCAD).	None presented.
4	12	Figure 1-2	Subdistrict Map	Lowest common denominator does not provide for densities needed in corridor boundary. If SF and duplex properties were surgically removed from the corridor boundary of the vision plan, those uses should not be permitted in the corridor boundary?	Remove Neighborhood Residential subdistrict from every property in the corridor boundary. Especially the large swaths located on the eastern end of the boundary. Most of this area is vacant and the needs for density in the corridor to meet transit opportunities is greatly needed.
5	15	Figure 1-5	Collector Street Map	Easternmost north-south collector runs through a mile of drainage easement, flood plain and utility infrastructure. Costs of construction is doubled.	Relocate collector roadway to Frontier Valley / Maxwell. Existing roads are in place and less costs necessary for any upgrades to collector roadway.

# East Riverside Corridor Regulating Plan

DRAFT REPORT DATE - September 14, 2012

Comments provided by Ron Thrower - September 27, 2012

Item	Page	Section	Relates to	Issue	Solution
6	15	Figure 1-5	Collector Street Map	Easternmost collector located parallel and north of E. Riverside Drive is located too close to E. Riverside Drive.	Consider moving collector north to provide for greater distance from E. Riverside Drive. This collector will be heavily used as it connects all development from Montopolis and east to Frontier Valley.
7	15	Figure 1-5	Collector Street Map	Westernmost collector located parallel and north of E. Riverside Drive is unlikely location for collector roadway due to proximity to E. Riverside Drive.	Consider relocating further north or eliminating. The triangle roadway system of E. Riverside, Tinnin Ford and Lakeshore is ample. OR consider downgrading to alley for commercial services along E. Riverside.
8	16	Figure 1-6	Hub Map	HUB boundaries are not large enough to reflect greater density needs versus lower densities actually constructed.	Enlarge HUB boundaries to 1/2 mile and increase subdistrict boundaries accordingly.
9	17	Figure 1-7	Height Map	35' is not enough height to gain enough density to help create transit opportunities.	Modify all districts to a 40' minimum height.
10	19-23	Figures 1-9 thru 1-13	Subdistrict Development Regulations	Environmental maximum impervious cover is coded by LDC 25-8, not ECM.	Change citation to LDC 25-8.
11	20 & 21	Figures 1-10 & 1-11	Subdistrict Development Regulations	Allows for 1 story development in HUB boundaries.	Modify HUB boundary development under all subdistricts to be 2-story minimum.
12	23	Figure 1-13	NR Subdistrict Development Regulations	Land uses of SF detached, SF attached, duplex and townhome does not provide for densities necessary for transit opportunities.	Modify to remove the lowest common denominator developments from the corridor boundary. OR eliminate this subdistrict entirely.
13	27	2.3.4.E	Subdistrict Types	Same as above	Same as above.

# East Riverside Corridor Regulating Plan

DRAFT REPORT DATE - September 14, 2012

Comments provided by Ron Thrower - September 27, 2012

Item	Page	Section	Relates to	Issue	Solution
14	27	2.3.5	Drive-through Facilities	Redundancy	A covers B. Consider language contained in many Restrictive Covenants - "Drive-thru's as an accessory use, are prohibited".
15	28	Figure 2-1	Land Use Table	Same as #12 above.	Same as #12 above.
16	28	Figure 2-1	Land Use Table	What is an Administrative Use?	Define
17	32	Figure 2-1	Land Use Table	Why is Congregate Living a conditional use?	The greater needs for affordable assisted living should not be mired in a public process.
18	Several	Through-out	License Agreements	Required infrastructure in the rights-of-way should not be forced into a license agreement.	Remove required items in ROW from license agreement process.
19	41	3.3.2.4	Utilities	Utilities underground to the building.	Utilities at rear of building (away from principal streets) should be allowed as overhead, especially along alleys and service drives.
20	42	3.4.3	Parking	Parking along streets in front of property should be counted as meeting required parking count.	Add in section to allow for on-street parking spaces to be counted in required parking counts.
21	43	3.4.4	Angled parking	Limitations of parallel parking only on CMU, NMU, ERC CTC, and ERC PPC.	All types of parking should be allowed along every street and corridor provided that ROW is of sufficient size.
22	44	3.5.1	Project Circulation Plan	Adjoining property owners are not notified of potential connection locations.	Require notice to adjoining property owners and seek input.
23	45	3.5.1.3	ROW Dedication	Preliminary Plats do not dedicate ROW.	Remove the reference.

# East Riverside Corridor Regulating Plan

DRAFT REPORT DATE - September 14, 2012

Comments provided by Ron Thrower - September 27, 2012

Item	Page	Section	Relates to	Issue	Solution
24	46	3.5.2.B.4	ROW Dedication	Limits the amount of development rights based on whole site area to just FAR.	Modify to include all development standards for the remainder site to be based on the whole site. This will promote the dedication of the right-of-way.
25	48	3.5.4.D	Subdivision of Internal Blocks	This should be an administrative process. Has this been vetted through AWU?	Make an administrative process. AWU will need to modify policies that require each lot to have access to public utilities for private services only on each lot. AWU does not want public utilities internal to developments.
26	49	3.5.5.B.2 & 3	Curb Cut spacing	Dimensions and method of measurements needs clarification. If blocks are at 660', presumably measured at the ROW, then a driveway at 330' spacing does not fit.	Keep method of measurement as currently defined as edge to edge and change number accordingly.
27	51	3.5.6.C	Alley Use	Limits alley use for service access only. If alleys are sized to also provide for fire access, then dual purpose should be considered viable.	Modify to allow for alleys to be used as Fire Access if approved by Fire Dept..
28	56	4.2.3.D.1	Impervious Cover	Inapplicable LDC Sections	Remove references to 25-8-397, 453, 454, and 514
29	56	4.2.3.D.2	Impervious Cover for Mixed Use	Very subjective.	Clearly state that any mix of major land uses in the Suburban Watersheds is allowed 80% impervious cover.

# East Riverside Corridor Regulating Plan

DRAFT REPORT DATE - September 14, 2012

Comments provided by Ron Thrower - September 27, 2012

Item	Page	Section	Relates to	Issue	Solution
30	57	4.2.4.B	Compatibility Exceptions	Triggering properties can occur inside boundary.	No property inside corridor boundary should trigger. The majority of existing SF and duplexes were removed from corridor boundary.
31	57	4.2.4.C	PUD as triggering property	Most PUD's are mixed-use and some deal with compatibility their own way. PUD's that are mixed-use and have 12.44 UPA or less should not ever trigger compatibility standards.	PUD's with mixed-use should not trigger compatibility standards.
32	58	4.2.4.D.1.b.ii	Narrow Type screening	Walls are very expensive.	Modify to wall or fence.
33	59	4.2.4.D.2.b	Permitted Activity	Gardens are not allowed in areas with dillo dirt	Modify ECM to promote compost in topsoil for reveg areas but to never use Dillo Dirt.
34	61	4.2.4.D.3.c	Height	Clarification of measurement	Consider less than and greater than signs for clarification.
35	61	4.2.4.D.4.b.ii	Parking Structures	Public View needs clarification	Clarify to only from right-of-way or triggering property.
36	62	4.2.4.E	Waivers	Drastically different from current code	Keep as found in current code
37	66	4.3.3.C	Additional standards for buildings 3-stories or higher	More area is now required for Fire Department? If the access is 25' wide for two-way fire truck access, that should be adequate.	Keep same as existing code

# East Riverside Corridor Regulating Plan

DRAFT REPORT DATE - September 14, 2012

Comments provided by Ron Thrower - September 27, 2012

Item	Page	Section	Relates to	Issue	Solution
38	66	4.3.3.F	Phased Projects	Very difficult to meet standards for each individual phase on larger scale projects. If plan is truly long-term vision, then long-term form build-out should not be constrained to individual phase compliance.	Remove section.
39	67	4.3.3.H	Industrial Uses	Larger industrial users require cut / fill greater than 8' and should not go through a variance process for meeting these standards.	Consider waiving all cut / fill in E. Riverside Corridor Boundary.
40	68	4.3.4.C.2	Pedestrian walkways	Requires license agreement.	First, all required infrastructure should not require an license agreement. Second, why does a pedestrian walkway ever require a license agreement? Doesn't this include every sidewalk?
41	69	4.4.2.A	Parking Requirements	Minimums are at 60% for all uses?	Clarify that residential also is at a 60% minimum requirement for aprking.
42	69	4.4.3	Sharede Parking	Shared parking will likely never meet the 60% reduction to be useful.	Remove shared parking provision.
43	69	4.4.4.A	Reduction for on-street parking	On-street parking is allowed to be counted as required parking. If city removes the on-street parking counted as required, does this create a problem for the landowner?	Clarify that removal of on-street parking by the city reduces the required parking count by the number removed.
44	70	4.4.5.A	Parking Standards	References Type I driveways which are residential driveways	Change to Type II

# East Riverside Corridor Regulating Plan

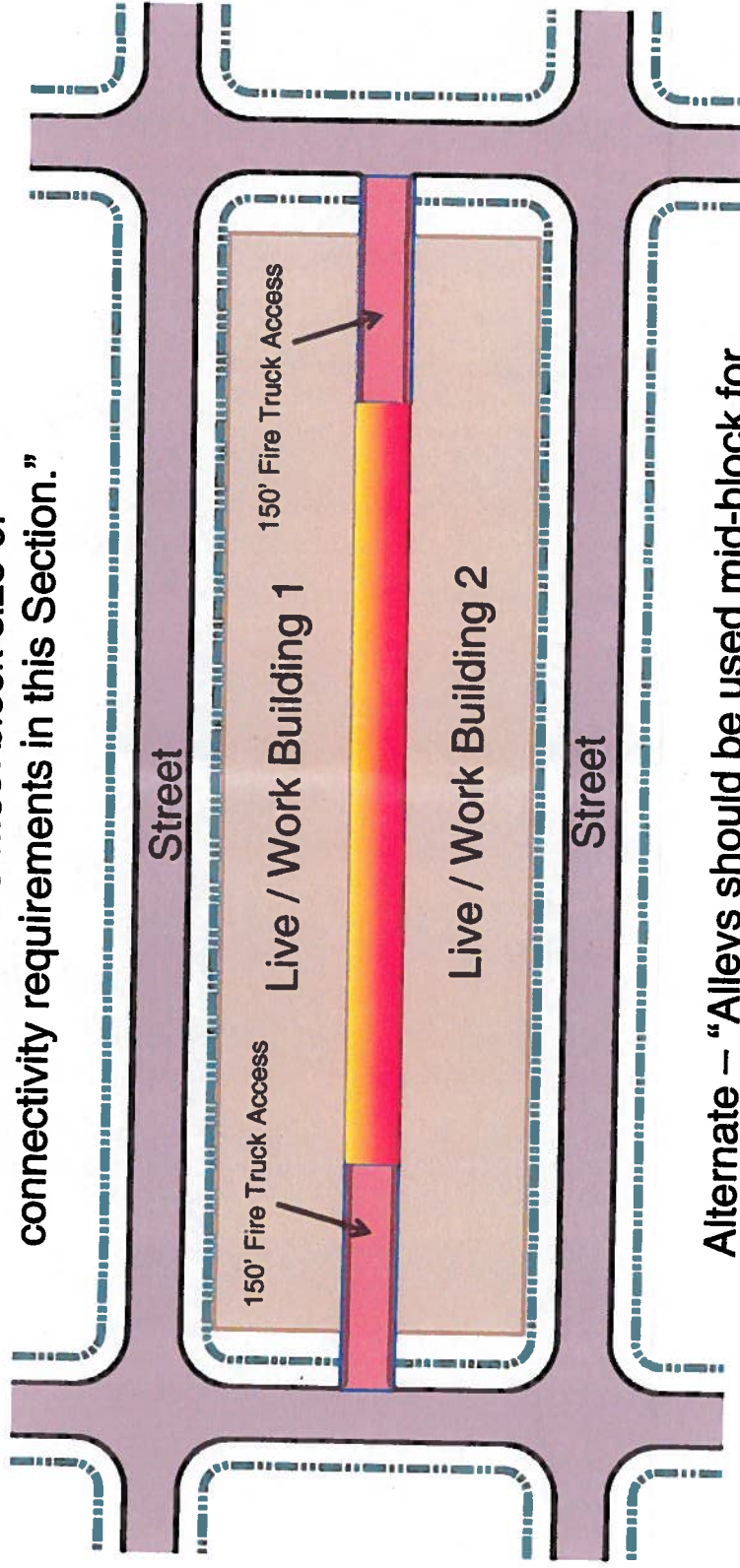
DRAFT REPORT DATE - September 14, 2012

Comments provided by Ron Thrower - September 27, 2012

<u>Item</u>	<u>Page</u>	<u>Section</u>	<u>Relates to</u>	<u>Issue</u>	<u>Solution</u>
45	72	4.4.6.B.4	Bicycle parking standards	Confusing	Diagram would be helpful
46	73	4.7.2.B	Screening of Equipment and Utilities	Acoustic impacts as fully contained is very problematic.	Needs clarification.
47	79	4.9.3.G	Public Dedication	Developer can choose to dedicate and perpetually maintain a public open space over a private open space requirement. Develops will need incentives to create a public space in this instance.	Consider a 2:1 benefit of public open space versus private open space to promote public interaction and perpetual private maintenance.
48	81	4.11.3.A	Creek Setbacks	Suburban watersheds have greater setbacks than Urban watersheds, so why encourage urban watershed setbacks for suburban creeks?	Possibly backwards?
49	82	4.11.5.B	Cooperative stormwater management	Regional water quality is only limited to urban watersheds.	Include regional WQ as allowed in all watersheds.
50	100	6.4.6.A	Additional WQ Setback Bonus	Only allows for bonus for removal of impervious cover in CWQZ. Should contain provision for WQIZ impervious cover removal.	Modify to allow for bonus for removal of impervious cover in WQTZ.

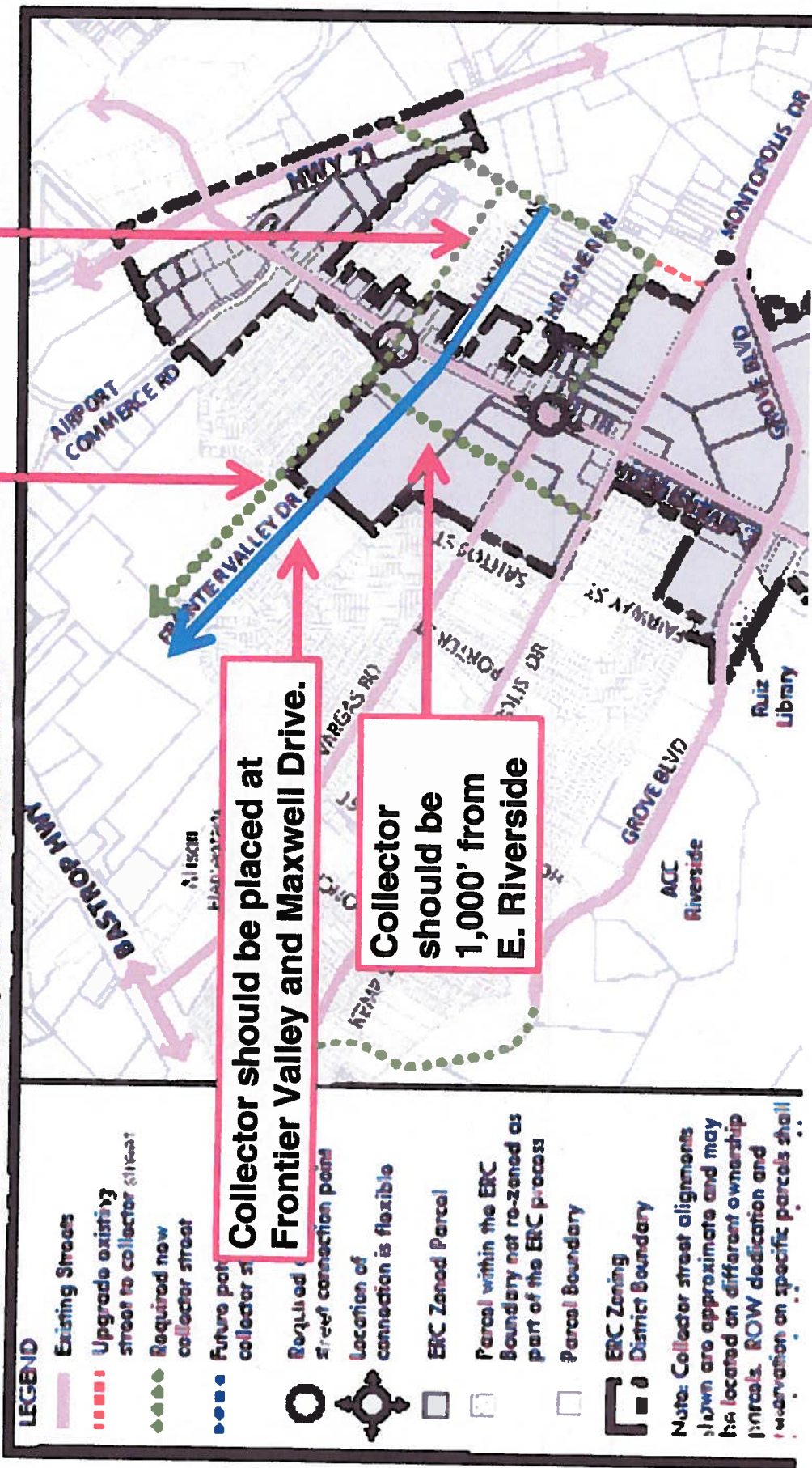


Page 51, Subsection 3.5.6.C – “Alleys should be used mid-block for service access and shall not substitute for streets required for emergency vehicle access or to meet block size or connectivity requirements in this Section.”



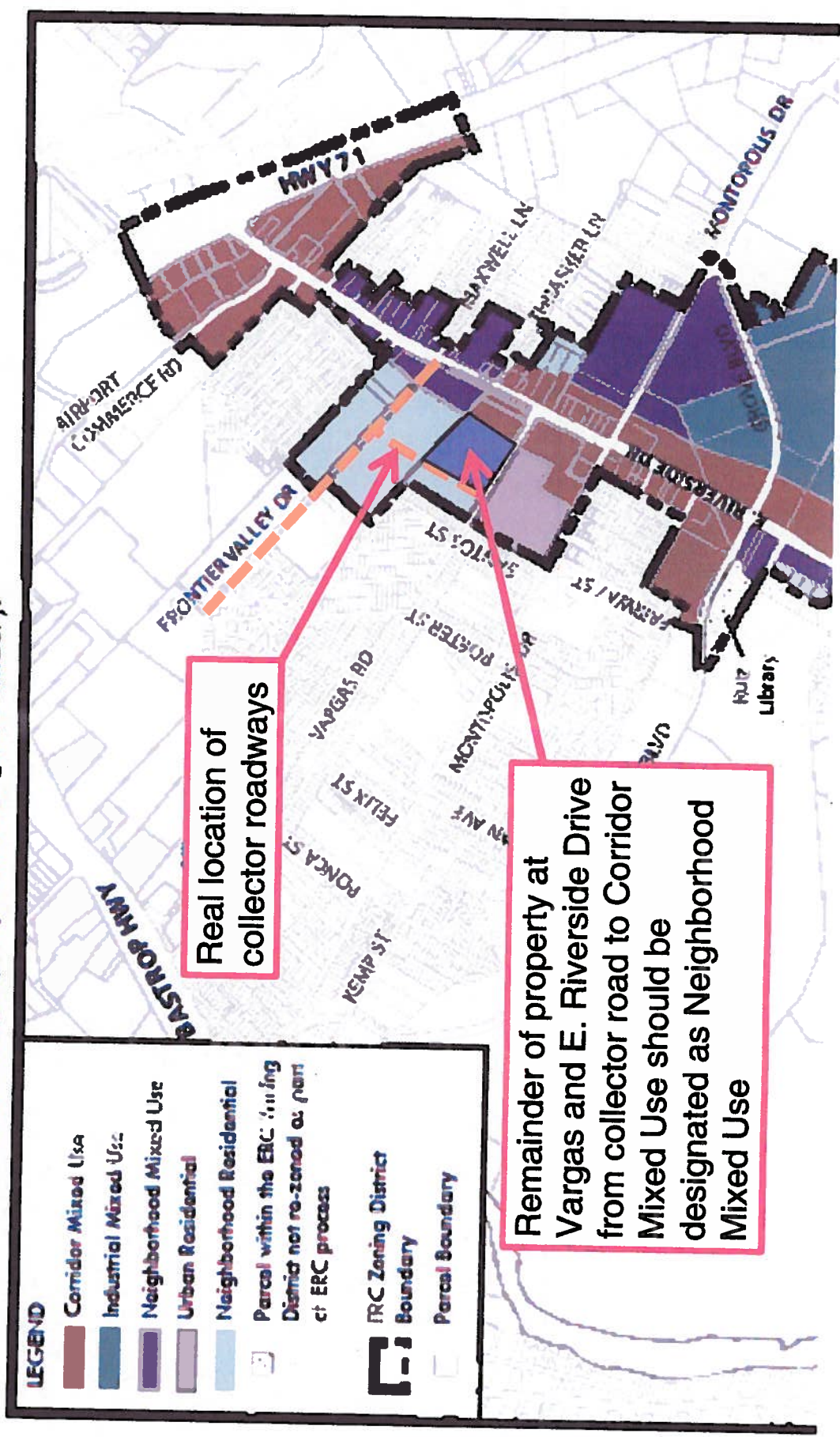
Alternate – “Alleys should be used mid-block for service access and for required emergency vehicle access, but shall not substitute for streets or to meet minimum block size or connectivity requirements in this Section.”

**Figure 1-5: East Riverside Corridor Collector Street Map**  
Shows existing and new streets designated as Collector streets.





**Figure 1-2: East Riverside Corridor Subdistrict Map**  
 Identifies the subdistrict for each property within the ERC boundary.



## Penick Place Neighborhood Association Petition

October 12, 2012

Case Number: EROC NPA-2012-0021.02

E. Riverside Dr & Penick Dr

Esteemed members of Austin City Council,

We, the undersigned owners of property affected by the requested zoning change described in the referenced file, do hereby protest against any change of the Land Development Code which would zone the property to any classification other than SF-1 (NP) as previously voted by Council into the EROC NPA. This zoning category satisfies all NP draft goal statements, land use compatibility standards, the original Penick subdivision master plan and balances development intensity.

Specifically, the proposed zoning change is contraindicative of a primary zoning principle of the COA. (as defined on page 5 of the City of Austin Neighborhood Planning Guide to Zoning: "Zoning changes should promote compatibility with adjacent and nearby uses and should not result in detrimental impacts to the neighborhood character.") Proposing the new zoning category 'SRD' is incongruent with the location of below named properties as the majority of lots under petition do not have frontage along east Riverside Dr.

The Penick Place Neighborhood Association wishes to facilitate the completion of our "subdivision" as closely as possible to its original inception when Harvey Penick had the first houses built here in 1954. Specifically, all of the residences on Penick Dr. were originally zoned and constructed as Single Family Residences. Since then, the owners/residents have been unanimous in our determination that the zoning remain unchanged as it was rezoned in 2005 through an alliance with COA planning, the Penick Place neighborhood association and the named developers, Greif/Yount Partnership. A delicate balance of zoning intensification(LR-MU) along the Riverside corridor was negotiated in exchange for a zoning downgrade in density from SF-3 to SF-1 on every single re-subdivided lot that faces existing residences along Penick Dr. These zoning changes were amenable to all stakeholders with the stipulation of carefully agreed upon conditional overlays. Those conditions are considered contingencies by the neighborhood association for a successful future development of the area. We advise your review of the CO in the previous NP draft per planning commissions summary of recommendations from comparable developments. Along with easement definitions, transition treatments, code variance (ie. height) for screen and traffic abatement structures, existing Penick Place Restrictive Covenants, Traffic impact Analysis, specific assignment and identification of developer/interest and their intended development plan within the already clearly defined zoning parameters.

100% of the houses on Penick Dr are owner-occupied - and it is the wish of the entire 100% that the traditional Neighborhood Character be preserved by maintaining its current zoning category. This provides a design reflectivity that ensures the property value and lifestyle that come with being a owner occupied neighborhood along the East Riverside corridor. We look forward to the successful completion of our neighborhood as it was originally intended, with a sense of value in ownership, a unique history, and a consistency in design that affords it a special identity which ultimately contributes to the diversity of the area.

### SUMMARY OF PROPERTY ID:

tract #10 prop ID 759245. plat number: 0306120208 -(5600 E riverside dr)  
tract #10 prop ID 759246. plat number: 0306120209- (5617 Penick Dr)  
tract #10 prop ID 759247. plat number: 0306120210 -(5701 Penick Dr)  
tract #10 prop ID 759248. plat number: 0306120211- (5709 Penick Dr)  
tract #10 prop ID 759249. plat number: 0306120212- (5717 Penick Dr)

Signature

Printed Name

Address

Donald M. Stewart DONALD M. STEWART 5648 Penick Dr

Bill Cassis BILL CASSIS 5602 Penick Dr

Dorilyn Bishop Dorilyn Bishop 5604 Penick Dr

Marilyn W. White Marilyn W. White 5604 Penick Dr

Lophis Hongkong 5704 Penick Dr

Luke Denson 5700 Penick Dr

Stanley E. Weber STANLEY E. WEBER 5702 Penick Dr

Trey Sheffield TREY SHEFFIELD 5606 PENICK DR

Date: 10.16.12Contact Name: Bill CassisPhone Number: 512.632.2748

**JIMMY NASSOUR**  
ATTORNEY AT LAW

3839 Bee Cave Rd., Suite 200  
AUSTIN, TEXAS 78746

TELEPHONE (512) 474-2900  
FAX (512) 474-4547

October 8, 2012

City of Austin PDR  
c/o Erica Leak  
PO Box 1088  
Austin, TX 78767

Re: EROC NPA-2012-0021.02  
Tract No. 22 Property ID No. 285488  
2229 East Riverside Drive

I am writing as the owner and authorized representative for the above referenced property that falls within the boundaries of the East Riverside Corridor Master Plan and Regulating Plan. Please note that I also have an ownership interest in 1903 East Riverside Drive (19/285452) and 1919 East Riverside Drive (19/285453). These two properties have been designated as "Corridor Mixed Use" and this is acceptable.

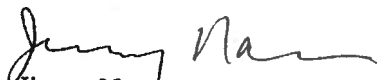
Tract No. 22/285488 however, has been designated "Neighborhood Mixed Use" even though it is adjacent to two "Corridor Mixed Use" tracts and together these three tracts are bounded on all sides by public right of way, specifically, East Riverside Drive, Burton Drive and Willow Creek Drive.

My understanding is that this planning effort is grounded in a thoughtful projection of appropriate future land uses. It is my contention that these uses will be most efficiently realized through redevelopment requiring critical mass land assemblage along core transit corridors. For that reason, it seems odd and inappropriate to me that these disparate planning categories would be assigned mid-block on this three parcel island-like multiple ownership site.

Please accept this letter as my request that the above referenced parcel be granted "Corridor Mixed Use" status in the final adoption of this East Riverside Corridor Master Plan and Regulating Plan.

Thank you in advance for your consideration in this matter.

Sincerely,

  
Jimmy Nassour  
Managing Partner

# COATS | ROSE

*A Professional Corporation*

JOHN M. JOSEPH

jmjoseph@coatsrose.com  
Direct Dial  
512.541.3593

May 10, 2012

**VIA EMAIL & REGULAR MAIL**

Ms. Erica Leak, Senior Planner  
Planning & Development Review Department  
City of Austin  
P.O. Box 1088  
Austin, Texas 78767

Re: East Riverside Corridor Plan; 1600 S. Pleasant Valley, Austin, Texas 78741  
("Property")

Dear Ms. Leak,

I am writing to you on behalf of this firm's client, GHI Investments, LLC, the current owner of the above-referenced property. We are in receipt of the referenced Corridor Plan.

As you know, the City of Austin is currently going through the process of public hearings and consideration of the East Riverside Corridor Regulating Plan ("ERC"). As you may or may not be aware, our client's property is located very near the intersection of the South Pleasant Valley and East Riverside Drive. I have attached a map with our client's property highlighted. The draft ERC shows the Property within the Neighborhood Mixed Use Sub-district ("NMU"). NMU is very inconsistent with the existing use, previous uses and the most likely potential uses for property. It would seem to my client that the City of Austin and the ERC Plan would benefit from more of the properties, in proximity to the station locations, be targeted for the highest densities.

I am requesting, on behalf of the property owner, that the City of Austin change the designation for this Property to Corridor Mixed-Use Sub-district ("CMU"). In addition to the uses allowed in the "CMU" sub-district, we ask that you add the following current and former uses of the property to the list of allowed uses:

- Automotive Repair Services
- Automotive Sales

1717 W. 6<sup>th</sup> Street, Suite 420 Austin, Texas 78703

Phone: 512-469-7987 Fax: 512-469-9408

Web: [www.coatsrose.com](http://www.coatsrose.com)



May 10, 2012  
Page 2

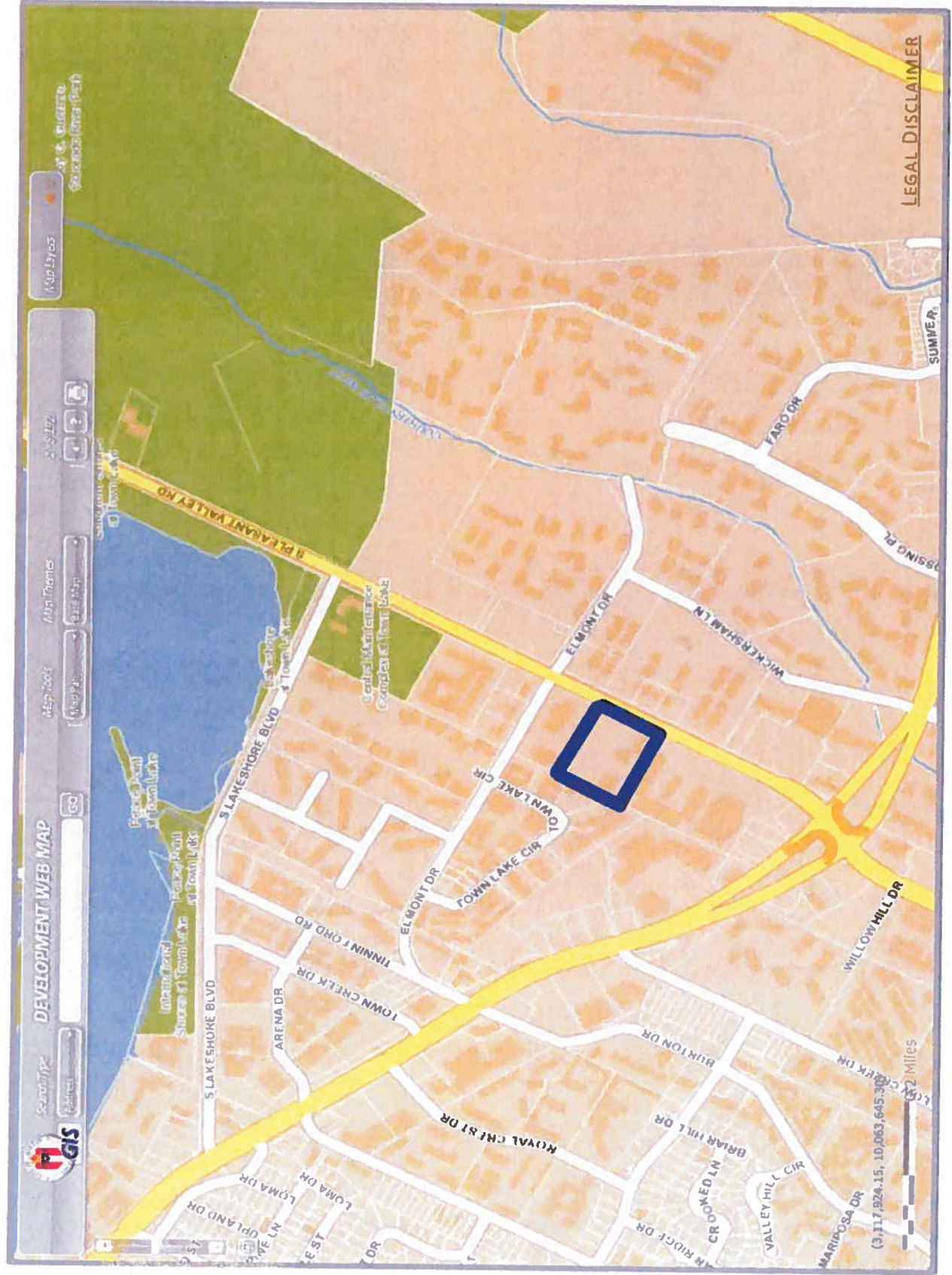
Please let me know if there is another formal procedure to make this request. In the meantime, please feel free to contact me at [jmjoseph@coatsrose.com](mailto:jmjoseph@coatsrose.com) or 541-3593 with any questions.

Sincerely,



John M. Joseph

cc: GHI Investments, LLC



# Thrower Design

P. O. Box 41957  
Austin, Texas 78704  
(512) 476-4456

October 26, 2012

Honorable Mayor Lee Leffingwell  
Mayor Pro Tem Sheryl Cole  
Council Member Chris Riley  
Council Member Mike Martinez  
Council Member Kathie Tovo  
Council Member Laura Morrison  
Council Member Bill Spelman

RE: Vargas Properties I, Ltd. – 18.09 Acres at Vargas & E. Riverside Drive and the East  
Riverside Regulating Plan

Dear Mayor, Mayor Pro Tem, Council Members,

This firm represents the above referenced property owner in their land holdings along the East Riverside Corridor (ERC). Vargas Properties I, Ltd. Has been involved with the E. Riverside Corridor Vision Plan and Regulating Plan over the many years this process has been in existence.

As you are aware, and as I have reiterated at many public hearings, the property owners wish to see the ERC planned appropriately so that the end product (what actually gets built) meets or exceeds the long sought walkable urbanism environment for Austin's gateway to the Airport. Without an appropriately planned corridor that anticipates transit opportunities to support the cripplingly dependent corridor densities, the concept of walkable urbanism is lost.

The 18-acre Vargas Properties parcel is entirely within the ERC boundary and welcomes the designation of the front 400' along E. Riverside Drive as Corridor Mixed Use Subdistrict

L A N D P L A N N E R S

as outlined in the Vision Plan and the Regulating Plan. Please refer to attached Exhibit that reflects the 18-acres outlined in Green and the 4.5-acres shaded in brown. These Corridor Mixed Use properties are vital to the future development of HUB properties to bring density to the ERC. The area designated as Corridor Mixed Use comprises approximately 4.50 acres leaving approximately 13.5 acres that is currently designated as Neighborhood Residential Subdistrict. It is this 13.5 acres that is the concern of Vargas Properties I, Ltd., in the viability to help bring walkable urbanism to the ERC.

Recently, an adjoining property sought and gained a zoning change for a Multi-family project. Part of our discussions with the developer of the MF project was to assert the need for the proposed Collector Roadway to be as far from E. Riverside Drive as possible. Thankfully, all of you on City Council agreed with this alignment of the Collector Roadway. Refer to Exhibit that shows the 1,000' Collector in orange and dashed line. One thing that is apparent through this process is that the Collector will not get built with that MF project. As such, it is now even more apparent that properties inside the ERC Boundary are encouraged to not only set aside land for the Collectors but also have these Collectors built. That encouragement can only come with projects that have enough development intensity and density to warrant the construction of the Collectors.

As such, Vargas Properties I, Ltd, respectfully requests consideration of a change in the Subdistrict Boundary of the 13.5 acres from Neighborhood Residential to Neighborhood Mixed Use as an effort to ensure that the Collector Roadway (on my client's property) is built with a project that brings the development intensity and densities necessary to support walkable urbanism. Refer to Exhibit that reflects the requested change to the 13.5-acre area shaded in purple.

Thank you for your consideration of this matter. Please let me know if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "A. Ron Thrower".

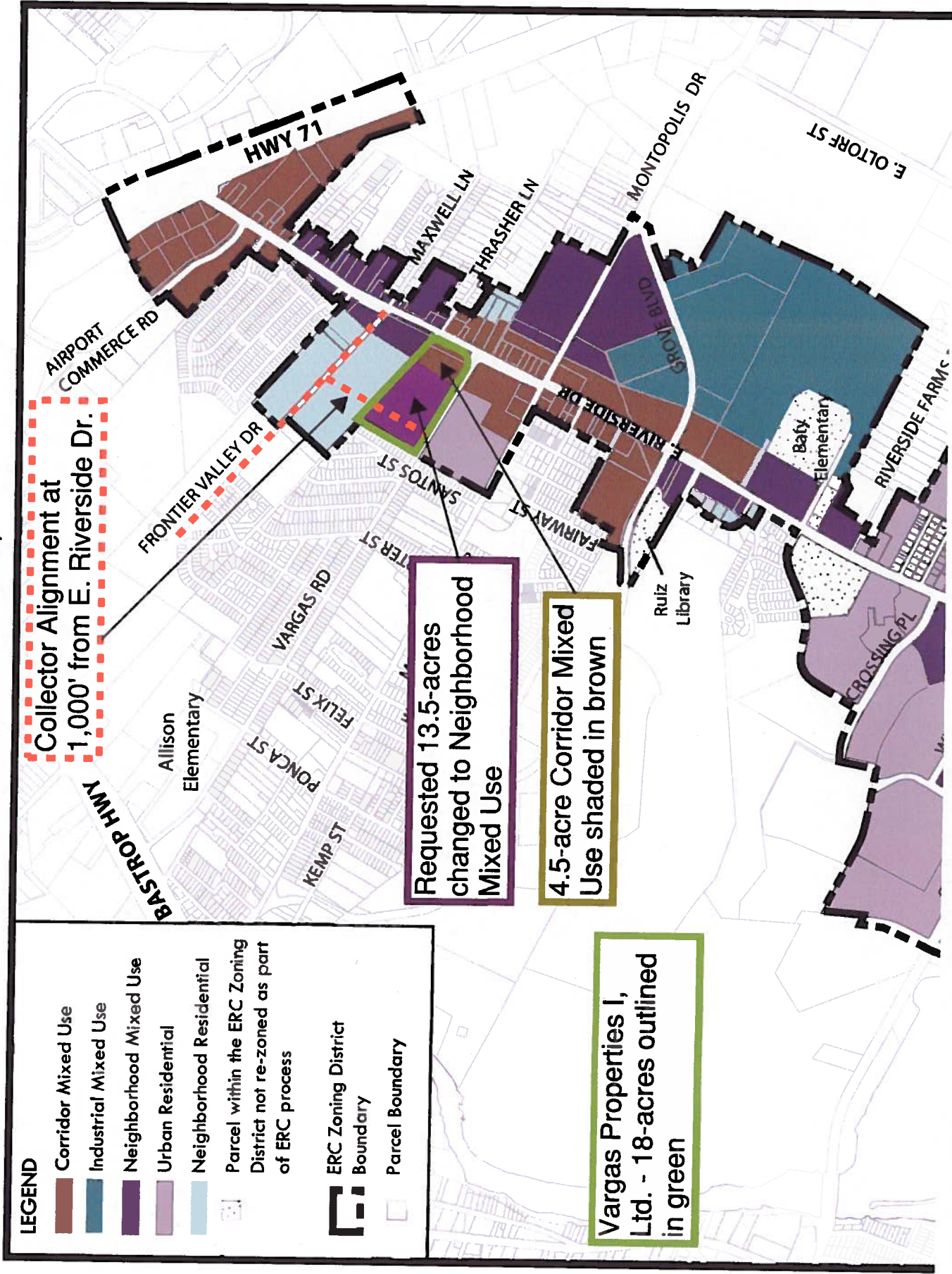
A. Ron Thrower



# Vargas Properties I, Ltd. Exhibit

**Figure 1-2: East Riverside Corridor Subdistrict Map**

Identifies the subdistrict for each property within the ERC boundary.



### **Positive Effects of Transitional Housing Along Perimeters of Neighborhoods**

1. Security increased for neighborhood. Perimeter homeowners and Wall Effect
2. Visually more appealing. Currently many run down houses. Apts. get visually hidden from interior of neighborhood
3. Increases Property Value in neighborhood. Wall Effect reduces Apt penetration
4. Brings working middle class Teachers, firemen, police, etc into medium range multifamily transition homes.
5. Reduces traffic on highways and creates more money for businesses in the area.
6. Reduces pollution, less travel time to work.
7. Transitional housing owners more likely to keep up their property than apt residents
8. Good for area businesses as people with more disposable income are in the area
9. Closeness to downtown results in more residents using public transportation
10. More upscale businesses become available for area residents

**I am a homeowner in a transitional area.** I'm right across from an apt complex. I am not currently included in the rezoning but would like to be. I have had personal experience with apt tenants walking thru my yard and taking an occasional tool or toy. When I put up a secure fence out front that stopped. There is also significant noise on Parker Lane, squealing tires, fire trucks, etc.

Changing my property to allow a higher density housing would create the Wall effect I mentioned above and provide attractive residences for people with good incomes that would be an asset to the neighborhood. They would be happy to trade a little noise from the road and apts for an opportunity to purchase an upscale residence that required a minimal commute.

**I request that the West side of Parker Lane up to Woodland Hills be included in the rezoning. Additionally I believe it would be in the neighborhoods best interest to include the apt complex South of the current line on Parker Lane in the rezoning.** Otherwise it is less likely to be remodeled and will continue to be a place where several people crowd into a one bedroom apt. Not the intended use of a small apt. I suggest that the neighborhood association and the Corridor Planners also consider the positive aspects of creating the wall effect all around places that are currently next to businesses or apartments.

Thank You

Alan Sherman 1618 Parker Lane - Tax listing 1715 Sylvan

THE MOST RESTRICTIVE PART OF THE EXISTING CODE IS THE FAR LIMITATIONS. THE CURRENT FARs FOR MF-A, MF-S, MU, LIMIT THE SITE TO LESS THAN  $\frac{1}{3}$  OF THE ACTUAL NUMBER OF UNITS THAT CAN FIT W/ HEIGHT LIMITATIONS, & SETBACK. THE CITY IS SUBSTANTIALLY UNDER ZONED TO MEET THE DEMAND FURTHER, CURRENT ZONING IS DONE W/ OUT REGARD TO ACTUAL BLDG CONSTRUCTION TYPE OR THE AFFORDABILITY OF THE PROJECT TO OVERCOME THE COST OF CONSTRUCTION. A MIXED USE BLDG W/ RETAIL & RESIDENTIAL NEED 65' NOT 60'. THE LIMITED DENSITIES MAKE PROBLEMS DIFFICULT TO OVERCOME.

Please do your best to reduce crime in the area. "Affordable housing" doesn't mean you should be able to pay your rent without a job or any income.



10/4/12

## Density Bonus program

- please consider utilizing any <sup>in-lieu</sup> bonus fees collected for affordable housing on priority basis in Corvallis and secondly in EROC-NP and Montopolis-NP areas.

Steven  
Aleman

4 Oct. 12  
6 pm.

Thanks For the Open House  
Very Professional Lika. Good Setting  
Great environment.

Thank you  
Hm 6211641641  
Crew 78741  
Billy New

Oct 4 -

What an awesome plan!

## Affordability

WE CONTINUE TO LOSE AFFORDABLE  
HOUSING, DUE TO NEW CONSTRUCTION  
AND TO REHAB OF EXISTING  
UNITS WHICH HAS EXPLODED  
IN THIS AREA.

TO MITIGATE THAT LOSS WE  
NEED TO MAXIMIZE THE DENSITY  
WE HAVE IMAGES FOR THE  
CORRIDOR AND ENCOURAGE  
A MAX OF HOUSING BEYOND  
SINGLE-FAMILY AND APARTMENTS  
WE MUST MIX OUR DEVELOPMENT  
↓

With small units up to larger  
units as well as a mix  
(within projects) from 40%  
to full market. Do not  
allow the "Architecture of  
Apartheid".

If our "grand bargain" is that density is to happen in our corridors rather than encroach upon our neighborhoods we must not dilute our density in the corridors

SO: • Remove All Neighborhood Residential from the Corridor Boundaries

- Height minimum in district should be 40'
- Subdistrict Development Regs need 2 story minimum
- Allow Conspicuous living as a permitted use



- No property ~~to~~ within the  
Boundaries of the DISTRICT  
Should TRIGGER compatibility
- P.U.Ds. with mixed use should  
NOT TRIGGER compatibility
- Neighborhood Residential.  
Should not allow single  
families.



## ~~Parking~~

- On STREET ~~Parking~~ should COUNT towards REQUIRED ~~Parking~~
- Allow All types of ~~Parking~~ FORWARD, BACKIN - ETC.

## ~~Reclaiming Areas~~

Require Amix of compost  
AND TOP SOIL TO  
ENCOURAGE (AND NOT EXCLUDE)  
GARDENING.

## Leak, Erica

---

**From:** sonia rivera <ser.personal@hotmail.com>  
**Sent:** Wednesday, May 23, 2012 3:21 PM  
**To:** Leak, Erica  
**Subject:** Response: E. Riverside Corridor Regulating Plan update

Hi Erica,

Thank you for keeping me updated on the planning.

Upon reading the info from the link, I am concerned about some of the comments enclosed. I am concerned that the East Riverside Corridor will remain "Affordable Housing" and deemed a low income area. I recall Section 8 housing begun in the area around 1986 which I believe led to the downfall of Riverside. Therefore, I do not see a change occurring in the next 5 years if it hasn't happened in the past 25 years.

I would like to think the area would be improved for visitor's first impression of Austin who drive through Riverside on their way to Downtown Conventions or Hotels to and from airport. It was my understanding when I purchased my home there would be a revitalization of East Riverside as seen on S. Congress and S. Lamar. It looks like the developers are not interested.

Please advise if I am misinterpreting the information.

Sincerely,  
Sonia E. Rivera  
Home Owner/Riverside Meadows

---

**Subject:** E. Riverside Corridor Regulating Plan update  
**Date:** Mon, 7 May 2012 11:13:41 -0500  
**From:** [Erica.Leak@austintexas.gov](mailto:Erica.Leak@austintexas.gov)  
**To:** [ser.personal@hotmail.com](mailto:ser.personal@hotmail.com)

Dear East Riverside Corridor Stakeholder,

The final piece of the Draft East Riverside Corridor (ERC) Regulating Plan is now online and available for review. The draft recommendations for the ERC Development Bonus (Article 6 of the Draft ERC Regulating Plan) can be accessed directly here: [ftp://ftp.ci.austin.tx.us/npzd/Austingo/erc\\_db\\_recs.pdf](http://ftp.ci.austin.tx.us/npzd/Austingo/erc_db_recs.pdf) or through a link on the East Riverside Corridor website. You can also review a printed copy at Ruiz Library, 1600 Grove Blvd., or at the 5<sup>th</sup> floor reception desk at One Texas Center, 505 Barton Springs Road.

Please send questions or comments about the draft recommendations to me by Friday, May 25th. Following this public comment period, staff will schedule a review of the complete ERC Regulating Plan, including the development bonus program, by relevant Planning Commission Committees, followed by Planning Commission and City Council public hearings.

Remember that the East Riverside Corridor website address has changed to: <http://www.austintexas.gov/eastriverside>.

Best wishes,  
Erica Leak

City of Austin  
Planning & Development Review Dept.  
T: 512.974.2856  
[erica.leak@austintexas.gov](mailto:erica.leak@austintexas.gov)



## **Leak, Erica**

---

**From:** Richard Llewellyn/Mary Lovell <stonelew@sbcglobal.net>  
**Sent:** Monday, May 07, 2012 12:22 PM  
**To:** Leak, Erica  
**Subject:** Re: E. Riverside Corridor Regulating Plan update

Erica,

Here's my knee jerk reaction, esp. since I don't see specific percentages of affordable (like at Mueller where their number is 25%.)

IMHO, what is permitted on E Riverside will encourage the city to do along every corridor, such as the 65 to 120 ft. bonus height on Parker Lane. Frankly, I am concerned that the goal is to rid this and most close-in neighborhoods of single family use or compatibility protections. Look to Rainey Street as a cautionary tale of premature zoning based on over-optimism of condo demand.

I'll re-read the 13 pages, particularly the rationale and no doubt get back to you will more before the 25th.

Thanks!

Mary Lovell

1401 S Congress (the yellow lantana is going great, the dwarf nandinas, not so much)  
Phone 282-2818

--- On Mon, 5/7/12, Leak, Erica <[Erica.Leak@austintexas.gov](mailto:Erica.Leak@austintexas.gov)> wrote:

**From:** Leak, Erica <[Erica.Leak@austintexas.gov](mailto:Erica.Leak@austintexas.gov)>  
**Subject:** E. Riverside Corridor Regulating Plan update  
**To:** [stonelew@sbcglobal.net](mailto:stonelew@sbcglobal.net)  
**Date:** Monday, May 7, 2012, 11:12 AM

Dear East Riverside Corridor Stakeholder,

The final piece of the Draft East Riverside Corridor (ERC) Regulating Plan is now online and available for review. The draft recommendations for the ERC Development Bonus (Article 6 of the Draft ERC Regulating Plan) can be accessed directly here: [ftp://ftp.ci.austin.tx.us/npzd/Austingo/erc\\_db\\_recs.pdf](ftp://ftp.ci.austin.tx.us/npzd/Austingo/erc_db_recs.pdf) or through a link on the East Riverside Corridor website. You can also review a printed copy at Ruiz Library, 1600 Grove Blvd., or at the 5<sup>th</sup> floor reception desk at One Texas Center, 505 Barton Springs Road.

Please send questions or comments about the draft recommendations to me by Friday, May 25th. Following this public comment period, staff will schedule a review of the complete ERC Regulating Plan, including the development bonus program, by relevant Planning Commission Committees, followed by Planning Commission and City Council public hearings.

Remember that the East Riverside Corridor website address has changed to:

<http://www.austintexas.gov/eastriverside>.

Best wishes,

Erica Leak

City of Austin

Planning & Development Review Dept.

T: 512.974.2856

[erica.leak@austintexas.gov](mailto:erica.leak@austintexas.gov)

## Leak, Erica

---

**From:** Skip Cameron <scameron@austin.rr.com>  
**Sent:** Tuesday, May 15, 2012 2:29 PM  
**To:** Leak, Erica  
**Subject:** East Riverside Corridor Plan  
**Attachments:** CMT for Austin 2.ppt

Public transportation improvements are key to development, redevelopment, or enhancing people mobility. The proposed Urban Rail in the East Riverside Corridor is the most expensive solution imaginable. Cellular Mass Transit, an innovative system created by local citizen Richard Shultz <[remppshultz@sbcglobal.net](mailto:remppshultz@sbcglobal.net)> is a superior solution and is available free for the asking:

- Uses existing infrastructure
- Adds 14-18 passenger vans
- Provides neighborhood oriented transit centers (TC)
- Provides service from anywhere to anywhere within 1/2 mile
- Reduces wait time to  $\leq 10$  minutes
- Reduced total trip times by half.
- Attracts many more riders
- Fares more than pay operating costs
- Vans and TC costs can be covered within CapMetro's capital budget without any tax or fee increases.
- Flexible and adaptable to changing customer needs

Here is a short Powerpoint presented to the Campo Transit Working Group May 11, 2012.  
CMT was also presented to Cap Metro in 2007, and the Campo Transit Working Group in April 2008.

Citizens, please insist that politicians and bureaucracy leaders and staff embrace, try and implement CMT for the greater good of the entire community.

Skip Cameron, President  
Bull Creek Foundation  
8711 Bluegrass Dr.  
Austin, TX 78759  
(512) 794-0531

---

**Exhibit F: Staff and Planning Commission recommended amendments to the Sept. 14,  
2012 Draft East Riverside Corridor Regulating Plan**

## Potential Amendments to the Sept. 14, 2012 Draft ERC Regulating Plan

### Staff and Planning Commission recommended changes to the Sept. 14 draft E. Riverside Corridor Regulating Plan:

1. Pp. 19-23, Figures 1-9 thru 1-13, Subdistrict Development Regulations, Environmental maximum impervious cover citations: Change from ECM to LDC 25-8. (**Note:** Incorrect code citation).
2. P. 56, Subsection 4.2.3.D.1 Impervious Cover: Change to just cite LDC 25-8. (**Note:** Incorrect code citation).
3. P. 59, Subsection 4.2.4.D.2.b – Remove “Outdoor dining (not after 10:00pm).” from list of permitted activity in the use restricted zone.
4. P. 61, Subsection 4.2.4.D.4.b.ii – Modify to read: Automobiles in a parking structure must be screened from public view from the public right of way and from the triggering property.
5. P. 62, Subsection 4.2.4.E – Remove subsections 1 and 2 and modify subsection 3 to read: Variances may only be granted by the Board of Adjustment due to hardship, per LDC Section 25-2-473 (Variance Requirements).
6. P. 77, Subsection 4.9.3.C (paragraph after subsection 7) – Modify to read: Where private common open space areas, trails, parks, or other public spaces exist or are proposed in the Montopolis Greenbelt Trail route, the Country Club Creek Trail route, or in the City of Austin Trails Master Plan, Austin Parks and Recreation Long-Range Plan, Sidewalk Master Plan, or Bicycle Plan within or adjacent to the tract to be subdivided or developed...
7. P. 97, Subsection 6.4.1.C.2 – Modify to read: The developer shall pay into the Transit-Area Housing Assistance Fund...
8. P. 97, Subsection 6.4.1.C.3 – This fee should be reviewed as needed, or at least every 5 years.
9. P. 97, Subsection 6.4.1.C.3 – Remove \$.50 fee (**Background:** Staff has been discussing different methodologies to calculate in-lieu fees with affordable housing advocates. Analysis shows that there is no market for buildings over 90 feet at present, but the question is whether to have a placeholder fee in place in case anyone does choose to build a building over that height.)
10. Miscellaneous spelling and grammar corrections.

### Other Planning Commission recommended changes to the Sept. 14 draft E. Riverside Corridor Regulating Plan:

11. P. 32, Figure 2-1, Make Congregate Living a permitted use in all ERC Subdistricts.

### Items from Planning Commission for staff to make recommendations about for City Council deliberation:

12. Notification requirement for Alternative Equivalent Compliance requests.
13. Collector street map modifications.
14. P. 51, Subsection 3.5.6.C. – If acceptable to the Fire Department, whether alleys should be able to be used for fire access.
15. Adding minimum density, FAR, or height requirements.

### Miscellaneous Notes:

- Commissioner Jack requested that staff look at infrastructure costs associated with additional density within the ERC area.

**Exhibit G: Draft East Riverside Corridor Regulating Plan**

[illegible]

**DATE EFFECTIVE: xxxxxxxx**

**Adopted February 25, 2010**

September 14, 2012 DRAFT



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**Regulating Plan  
for the  
EAST RIVERSIDE CORRIDOR ZONING DISTRICT**

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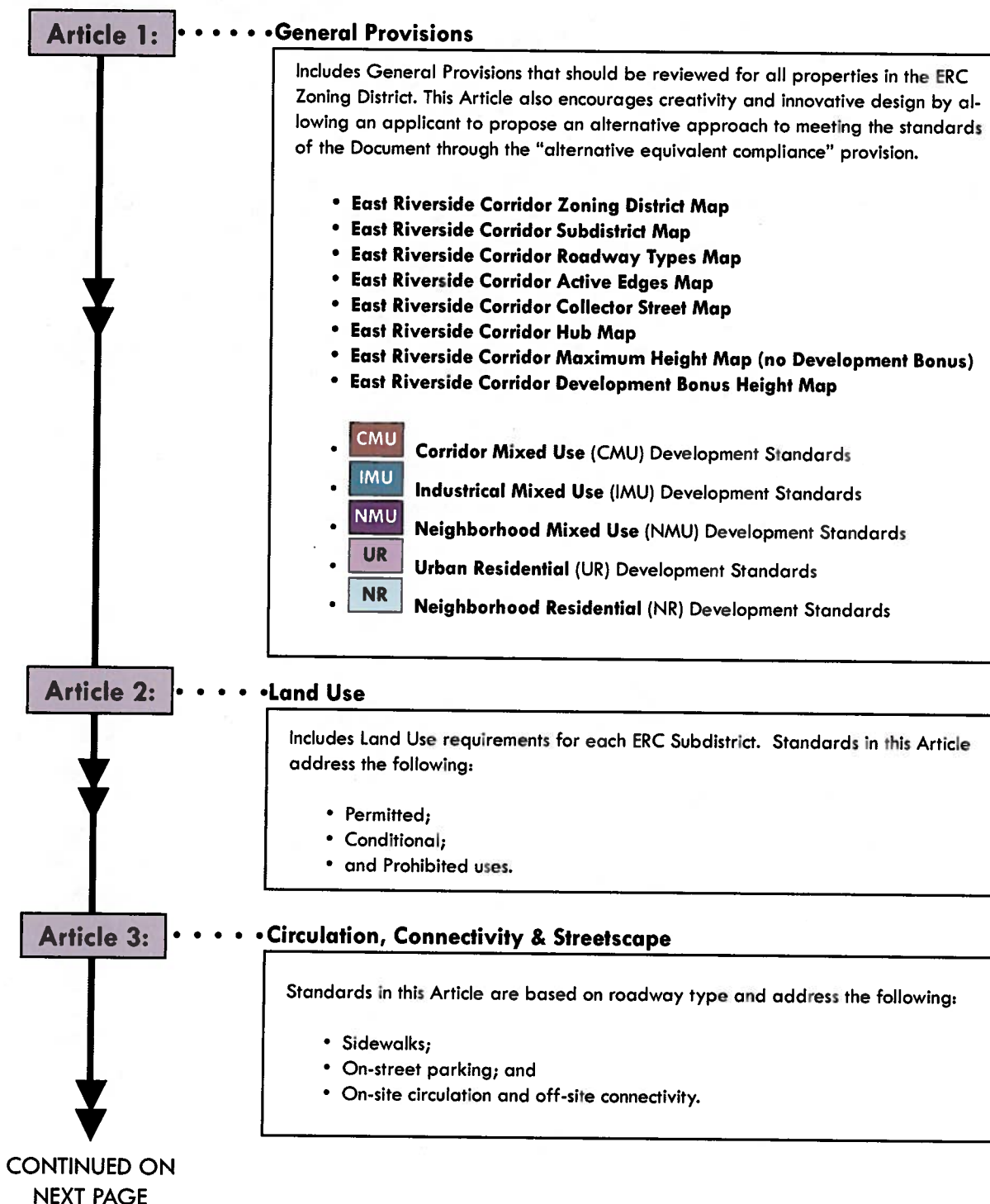


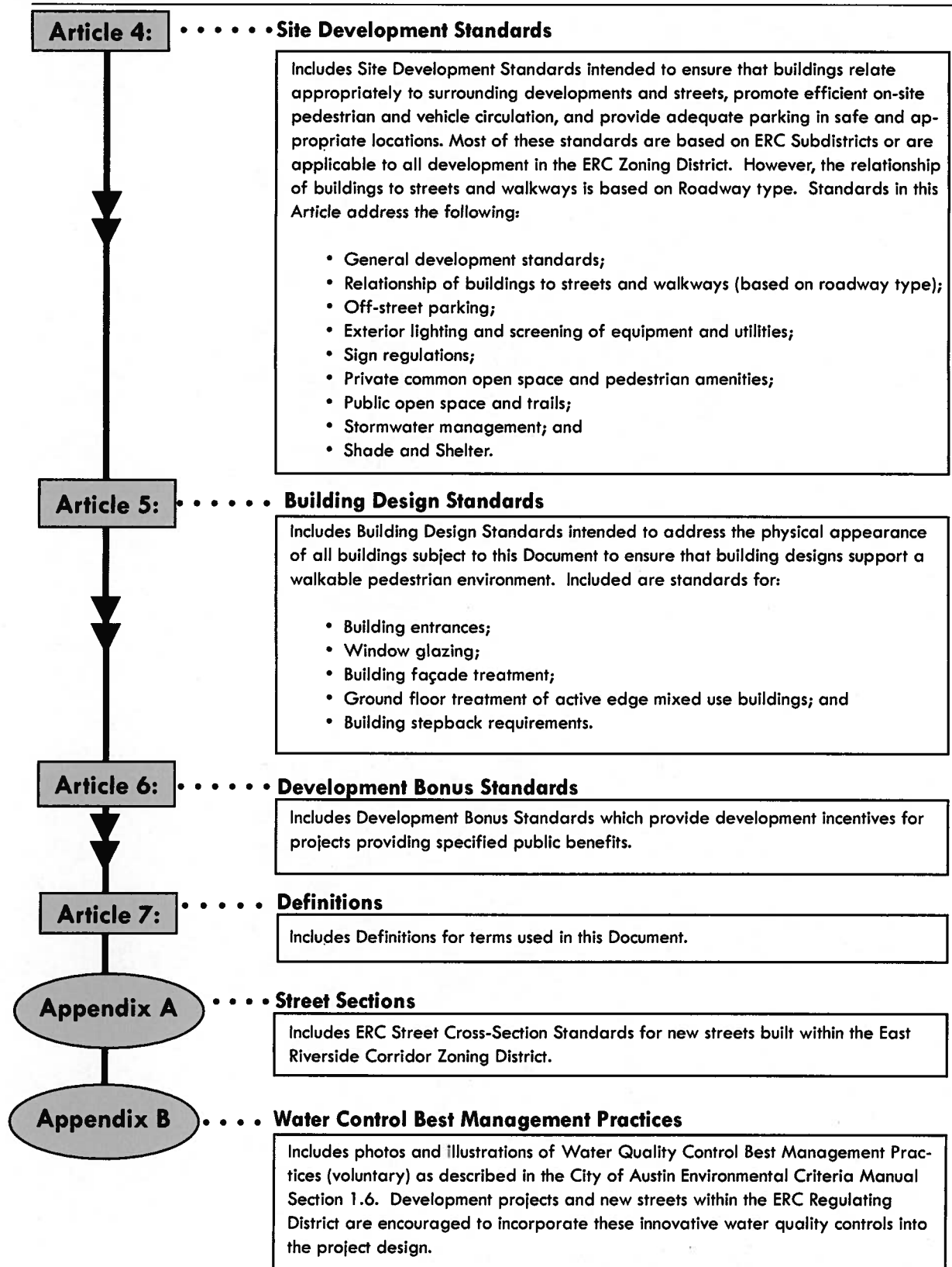
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## INTRODUCTION TO THIS DOCUMENT

This Document is divided into seven Articles. The Diagram below provides an overview of the organization and a short summary of the standards addressed within each Article. Two appendices located at the end of the document contain 1) Street Cross Sections for new Collector streets within the ERC Zoning Boundary and 2) optional Water Quality Standards.










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## **Determining Applicability:**

Applicability of the Standards included in this document is determined largely by The East Riverside Corridor (ERC) Subdistrict of the property in question, whether a property is within an ERC Hub, and the roadway type(s) adjacent to it. Therefore an important first step in the development process is to identify a property's subdistrict, adjacent roadway type(s), and whether the property is within a Hub. The size of the site and the type of development (residential, commercial, mixed use, etc.) also need to be considered, since different standards may apply. The applicability at the beginning section of each article summarizes the applicability of the standards described in that article.

### **1 ERC Subdistricts**

The ERC Subdistricts are shown in Figure 1-2. Permitted land uses and general development and urban design standards for a property are based upon the applicable ERC Subdistrict. The five subdistricts in the East Riverside Corridor Zoning District are listed below and described in Section 2.3.4.

-  **Corridor Mixed Use**
-  **Industrial Mixed-Use (IMU)**
-  **Neighborhood Mixed Use**
-  **Urban Residential (UR)**
-  **Neighborhood Residential (NR)**

---

## **2 Roadway Types**

All existing and future streets in the ERC Zoning District will have one of four roadway type designations, which establish many of the sidewalk, streetscape and building placement standards in this Document. The four ERC roadway types are shown on the ERC Roadway Type Map in Figure 1-3 and are listed below. See Section 3.2.2 for Roadway Type descriptions.

**ERC Core Transit Corridors** 

**ERC Pedestrian Priority Collector** 

**ERC Urban Roadway** 

**ERC Highways** 

## **3 ERC Hubs**

Within the ERC Zoning District, there are four designated Hubs, or areas where the most intensive development within the corridor is encouraged. These are shown on the ERC Hubs Map in Figure 1-6. Properties within the Hub boundaries are eligible for development bonuses in exchange for the provision of specified community benefits (See Article 6).

# ARTICLE 1: GENERAL PROVISIONS

---

## 1.1. GENERAL INTENT

On February 25, 2010, the Austin City Council adopted the East Riverside Corridor (ERC) Master Plan as an amendment to the Austin Tomorrow Comprehensive Plan. The ERC Master Plan presents a long-term vision for the area to redevelop the existing low density, auto-oriented commercial uses into an urban mixed-use neighborhood that is more pedestrian- and bicycle-friendly. An important element of the plan is to enhance development design quality and create great places where people can live, work, shop, interact and recreate within a walking distance of one another.

This Document addresses the physical relationship between development and adjacent properties, streets, neighborhoods, and the natural environment in order to implement the vision of an urban mixed-use neighborhood that supports current and future transit options. The general purposes of this Document are:

- 1.1.1. To promote the Vision for the East Riverside Corridor Master Plan;
- 1.1.2. To provide appropriate standards to ensure a high quality appearance for development and redevelopment within the ERC Zoning District and promote pedestrian-friendly design while also allowing for individuality, creativity, and artistic expression;
- 1.1.3. To improve the area's access to transit services and create an environment that promotes walking and cycling;
- 1.1.4. To promote transit-supportive development and redevelopment within the ERC Hubs in order to successfully integrate land use and transit by providing greater density than the City of Austin average, a mix of uses, and a quality pedestrian environment around defined centers;
- 1.1.5. To encourage development and redevelopment that relates to and connects with adjoining streets, transit, bikeways, pathways, open spaces, and neighborhoods;
- 1.1.6. To allow for and encourage dense mixed-use and residential uses to accommodate some of the region's expected population growth;
- 1.1.7. To encourage development that serves people of all incomes and ages and provides a safe and welcoming environment for all types of households;
- 1.1.8. To provide standards to ensure quality usable open space for new residential development, employees, and visitors as redevelopment occurs;
- 1.1.9. To promote sustainable stormwater management and watershed protection practices; and
- 1.1.10. To provide a set of clear standards to facilitate development and redevelopment in the ERC Zoning District, in addition to being flexible and responsive to market conditions and fluctuations.



## **1.2. APPLICABILITY**

### **1.2.1. General Applicability**

This Document applies to all development within the ERC Zoning District as shown in Figure 1-1. This Document sets forth the regulations for the East Riverside Corridor Zoning District. The applicability of the regulations varies by section and is dependent on the ERC Subdistrict in which a property is located, whether the property is within an ERC Hub, the roadway type(s) adjacent to it, and the size of the site and type of development activity proposed. General exemptions from the requirements of this Document are listed in Subsection 1.2.3.D, and additional exemptions from specific standards are listed in subsequent sections of this Document.

### **1.2.2. Land Use and General Development Standards**

A. All properties in the ERC Zoning District are subject to the following Articles and Sections of this Document:

1. Article 2, Land Use Standards;
2. Section 3.5, Connectivity and Circulation;
3. Section 4.2, General Development Standards; and
4. Section 4.10, Public Open Space and Trails.

### **1.2.3. ERC Design Standards**

A. The ERC Design Standards are intended to ensure that new buildings and significant remodels will be designed in accordance with the vision described in the East Riverside Corridor Master Plan. For purposes of applying the design standards in this Document, ERC Design Standards are:

1. Article 3, Circulation, Connectivity, and Streetscape (except Subsection 3.5.2 Dedication of ERC Collector Streets);
2. Article 4, Site Development Standards (except Section 4.2 General Standards and Section 4.10 Public Open Space and Trails); and
3. Article 5, Building Design Standards.

#### **B. Full Compliance**

Unless exempted in Subsection C (Partial Compliance), or D (General Exemption) the following activity is subject to full compliance with this Document:

1. New construction on previously undeveloped land; and

2. New construction or site development where the Director determines that all buildings on the site have been or will be demolished.

**C. Partial Compliance**

For a project that is not subject to Subsection B (Full Compliance) or D (General Exemptions), the Director shall determine which standards of this Document apply to the project or a portion of the project in accordance with the following requirements:

1. All sites must comply with Article 3 (Circulation, Connectivity, and Streetscape);
2. A new building or building addition as defined by the adopted Existing Building Code must comply with:
  - a. Article 4 (Site Development Standards) unless compliance cannot be achieved due to:
    - i. The location of existing buildings or other improvements retained on the site;
    - ii. The size or nature of the proposed building limits placement on the site;
    - iii. Topography, protected trees, or critical environmental features; or
    - iv. The location of pre-existing water quality or detention facilities.
  - v. A waiver from the requirements of Article 4 shall be to the minimum extent required based on the criteria of this subsection.
  - b. Article 5 (Building Design Standards);
3. A remodeled building or facade must comply with:
  - a. Section 4.6 (Exterior Lighting); and
  - b. Article 5 (Building Design Standards) where the remodeled building is considered a "Level 3" Alteration or Addition as defined by the adopted Existing Building Code such that the work area exceeds 50% of the aggregate area of the building and one or more exterior façades of the building are modified as a result of the Alteration. If, however, the façade that faces the Principal Street is remodeled, then that façade is subject to Article 5 even if the overall work area is less than 50% of the aggregate area of the building.

**D. General Exemptions from the ERC Design Standards**

Except as otherwise provided in this Document, the following types of development are exempt from the ERC Design Standards of this Document:

## Article 1

1. Development that does not require a site plan under LDC Sections 25-5-2(B), (C), (E), (F), (G), (H), (I) or (J), except that Section 4.6 (Exterior Lighting) shall apply;
2. Interior remodeling of a building;
3. Sidewalk, shared use and urban trail projects managed by the City of Austin and processed under the City's General Permit program which are undertaken for the purpose of bringing existing facilities into compliance with the Americans with Disabilities Act.

### 1.2.4. Exemption from Subchapter E of the Land Development Code

For the areas within the ERC Zoning District which have been zoned ERC (Figure 1-1), this Document supersedes all standards and regulations in Chapter 25-2 Subchapter E: Design Standards and Mixed Use.

### 1.2.5. Conflicting Provisions

- A. If the provisions of this Document are inconsistent with provisions found in other adopted codes, ordinances, or regulations of the City of Austin, this Document shall control unless otherwise expressly provided.
- B. For a Heritage Tree, the Director may approve modification of any numeric development standard in this Document to the minimum extent required to preserve the Heritage Tree.
- C. The following provisions supersede the requirements of this Document to the extent of conflict:

Regulations applicable to a Waterfront Overlay district.

### 1.2.6. Accessibility

Accessibility, integration and inclusion of people with disabilities are fundamental components of our vision for the future of the City of Austin. This Document shall not supersede any applicable state or federal accessibility statutes and regulations. Administration and enforcement of this Document shall comply with all such statutes and regulations. All pedestrian routes constructed within the public right-of-way shall be constructed so as to provide legally accessible transitions to pedestrian routes on adjacent properties.

### 1.2.7. State and Federal Facilities

Compliance with the standards of this Document at all state and federal facilities is strongly encouraged so that the Master Plan Vision for the East Riverside Corridor planning area is supported and reinforced.

### **1.3. REVIEW PROCESS**

#### **1.3.1. Standards Applicable During Subdivision Plan Review**

The standards contained in the following sections of this Document shall be applied in the normal review process for subdivision plans as set forth in Chapter 25-4 of the Austin Code:

- A. Article 2, Land Use Standards;**
- B. Section 3.5, Connectivity and Circulation;**
- C. Section 4.2, General Development Standards;**
- D. Section 4.9, Private Common Open Space and Pedestrian Amenities; and**
- E. Section 4.10, Public Open Space and Trails;**

In addition to meeting the review criteria specified in Chapter 25-4 of the LDC, each subdivision plan application shall evidence compliance with the standards listed above.

#### **1.3.2. Standards Applicable During Site Plan Review**

The standards contained in the following sections of this Document shall be applied in the normal review process for site plans as set forth in Chapter 25-5 of the LDC:

- A. Article 2, Land Use Standards;**
- B. Article 3, Circulation, Connectivity, and Streetscape;**
- C. Article 4, Site Development Standards;**
- D. Section 5.3, Building Entrances;**
- E. Section 5.6, Active Edge Standards; and**
- F. Article 6, Development Bonus.**

In addition to meeting the review criteria specified in Chapter 25-5, each site plan application shall evidence compliance with the standards listed above.

#### **1.3.3. Standards Applicable During Building Permit Review**

The standards contained in the following sections of this Document shall be applied in the normal review process for building permits as set forth in Chapter 25-11 of the Austin Code:

- A. Section 4.6, Exterior Lighting (for fixtures affixed to buildings);**
- B. Section 4.7, Screening of Equipment and Utilities (for fixtures affixed to buildings);**

## **Article 1**

---

- C. Section 4.8, Sign Regulations; and
- D. Article 5, Building Design Standards.

In addition to meeting the review criteria specified in LDC Chapter 25-11, each building permit application shall evidence compliance with the standards listed above.

### **1.4. ALTERNATIVE EQUIVALENT COMPLIANCE**

#### **1.4.1. Purpose and Scope**

To encourage creative and original design, and to accommodate projects where the particular site conditions or the proposed use prevent strict compliance with this Document, alternative equivalent compliance allows development to occur in a manner that meets the intent of this Document, yet through an alternative design that does not strictly adhere to the Document's standards. The procedure is intended to be used for relief from a specific design standard or standards, and is not a general waiver of regulations.

#### **1.4.2. Applicability**

The alternative equivalent compliance procedure shall be available only for the following sections of this Document:

- A. Section 3.3 - Sidewalk Standards;
- B. Section 3.4 - On-Street Parking;
- C. Section 3.5 - Connectivity and Circulation;
- D. Section 4.2.3 - Other Site Development Standards;
- E. Section 4.3 - Relationship of Buildings to Streets and Walkways;
- F. Section 4.4 - Off-Street Vehicular and Bicycle Parking;
- G. Section 4.6 - Exterior Lighting;
- H. Section 4.7 - Screening of Equipment and Utilities;
- I. Section 4.8 - Sign Regulations;
- J. Section 4.9 - Private Common Open Space and Pedestrian Amenities; and
- K. Article 5 - Building Design Standards.

#### **1.4.3. Procedure**

The applicant may select at his or her discretion whether to seek an informal recommendation or a formal approval on a proposal for alternative compliance.

**A. Option One: Informal Recommendation****1. Pre-Application Conference Required**

If an applicant desires only an informal response and recommendation as to a proposal for alternative compliance, he or she shall request and attend a pre-application conference prior to submitting the site plan and/or building permit application for the development. At the conference, the applicant shall provide a written summary of the project and the proposed alternative compliance, and the Director shall offer an informal, non-binding response and recommendation regarding the appropriateness of the proposed alternative. Based on that response, the applicant may prepare a site plan and/or building permit application that proposes alternative compliance, and such application shall include sufficient explanation and justification, in both written and graphic form, for the alternative compliance requested.

**2. Decision-Making Responsibility**

Final approval of any alternative compliance proposed under this section shall be the responsibility of the decision-making body responsible for deciding upon the application. The final decision-making body for site plans is the either the Director or the appropriate Land Use Commission, as specified in LDC Chapter 25-5, and the building official for building permits.

**B. Option Two: Formal Decision****1. Pre-Application Conference**

If an applicant desires formal approval of a proposal for alternative compliance, he or she shall request and attend a pre-application conference prior to submitting the site plan and/or building permit application for the development.

**2. Alternative Compliance Concept Plan Required**

At least ten days prior to the pre-application conference, the applicant shall submit an alternative compliance concept plan application to the Director, which shall include:

- a. A written description of and justification for the proposed alternative method of compliance, specifically addressing the criteria in Subsection 1.4.4; and
- b. A concept plan that describes and illustrates, in written and graphic format, the intended locations and quantities of proposed buildings on the site, the layout of proposed vehicle and pedestrian access and circulation systems, and areas designated to meet requirements for open space, parking, on-site amenities, utilities, and landscape. The concept plan shall describe the site's topography



and shall provide a general description of environmental characteristics to assist in determining compliance with this Document. If alternative compliance is requested from the standards of Article 5 Building Design Standards, the concept plan also shall include descriptions and illustrations of the proposed building design elements that would not comply with the standards of this Document.

### **3. Decision by Director**

The Director shall review the concept plan for compliance with the criteria in Subsection 1.4.4 and shall approve, approve with conditions, or deny the concept plan in writing.

### **4. Expiration of Alternative Compliance Concept Plans**

- a. An approved alternative compliance concept plan shall expire if three years pass following its approval and no building permit that implements the concept plan has been issued.
- b. An approved alternative compliance concept plan shall expire simultaneously with the site plan and/or building permit for which it was approved.

### **5. Effect of Approval**

Written approval of an alternative compliance concept plan does not authorize any development activity, but rather authorizes the applicant to prepare a site plan and/or building permit application that incorporates the approved alternative compliance, and authorizes the decision-making body (either the Land Use Commission or the Director for site plans, and the Building Official for building permits) to review the site plan and/or building permit application for compliance with the alternative compliance concept plan, in addition to all other applicable requirements. The site plan and/or building permit application shall include a copy of the approved alternative compliance concept plan.

### **6. Amendments to Alternative Compliance Concept Plans**

- a. Minor amendments to any approved alternative compliance concept plan may be approved, approved with conditions, or denied administratively by the Director. For purposes of this provision, minor amendments are those that do not result in:
  - i. An increase of 10 percent or more in the amount of square footage of a land use or structure;
  - ii. A change in the types of uses in the project;

- iii. An increase or decrease of 20 percent or more in the number of dwelling units in the project; or
  - iv. A change that would bring the project out of compliance with any requirement or regulation set forth in the City Code outside this Document unless a variance to or waiver from such requirement or regulation is obtained.
- b. Amendments that are not determined by the Director to be minor amendments under Subsection B.6.a. above shall be deemed major amendments. The applicant may seek approval of a major amendment by re-submitting the original approved plan along with the proposed amendment to the Director for review in the same manner prescribed in Subsection B.2. above.
  - c. If any site plan and/or building permit application includes a major amendment from the terms of the approved concept plan that has not been approved by the Director, the concept plan shall be void and the application shall be reviewed for compliance with the standards of this Document and all other applicable requirements.

#### **1.4.4. Criteria**

Alternative equivalent compliance may be approved only if the applicant demonstrates that the following criteria have been met:

- A. The proposed alternative will perform as well or better than the standard or standards being modified and achieves the intent of the subject Article of this Document from which the alternative is sought; or
- B. The proposed alternative achieves the intent of the subject Article of this Document from which the alternative is sought to the maximum extent practicable, and is necessary because:
  - 1. Physical characteristics unique to the subject site (such as, but not limited to, slopes, size, shape, and vegetation) make strict compliance with the subject standard impracticable or unreasonable; or
  - 2. Physical design characteristics unique to the proposed use or type of use make strict compliance with the subject standard impracticable or unreasonable.
- C. In the case of multiple alternative equivalent compliance or variance requests, the Director shall consider the cumulative affect they would have on meeting the intent statements in Sections 1.1, 2.1, 3.1, 4.1, 5.1 or 6.1.

#### **1.4.5. Effect of Approval**

Alternative compliance shall apply only to the specific site for which it is requested and shall not establish a precedent for approval of other requests.

### **1.5. NONCONFORMING USES AND NONCOMPLYING STRUCTURES**

All properties within the ERC Zoning District shall remain subject to Article 7 Nonconforming Uses and Article 8 Noncomplying Structures in the City LDC Sections 25-2-941 through 25-2-964. With reference to Article 7, all uses are governed by Group "D" regulations prescribed by Section 25-2-947.

### **1.6. TEXT AND GRAPHICS WITHIN THIS DOCUMENT**

This Document was created with numerous images to enhance understanding and comprehension by providing visual aids to some of the standards. However, in the event of a conflict or inconsistency between the text of this Document and any heading, caption, figure, illustration, table, or map, the text shall control.

### **1.7. REGULATORY MAPS AND MATERIALS**

The materials provided in this section include regulatory maps and ERC Subdistrict development standards summary sheets.

Figures 1-1 through 1-8 contain the ERC regulatory maps. They include:

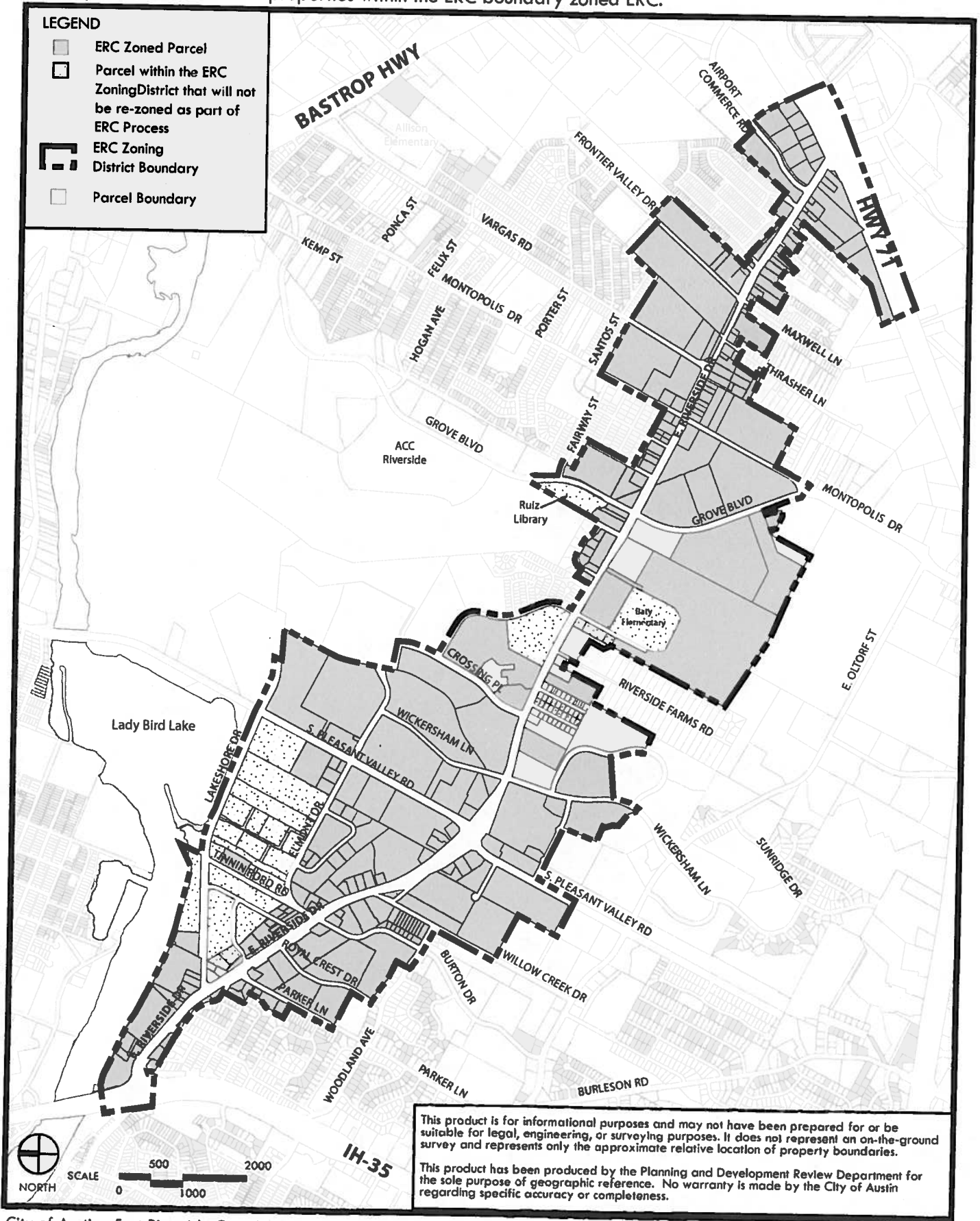
- East Riverside Corridor Zoning Map
- East Riverside Corridor Subdistrict Map
- East Riverside Corridor Roadway Type Map
- East Riverside Corridor Active Edges Map
- East Riverside Corridor Collector Street Map
- East Riverside Corridor Hub Map
- East Riverside Corridor Height Map
- East Riverside Corridor Development Bonus Height Map

These maps should be used to determine the requirements for a property depending on the property's subdistrict, roadway type, whether it includes an active edge, whether a collector street crosses it, whether it is in a Hub, and whether it is eligible for a development bonus.

Figures 1-9 through 1-13 contain ERC Subdistrict development standards summary sheets for the five subdistricts in the ERC Zoning District. These summary sheets should be used in tandem with the regulatory maps and the Document text to determine the standards that apply to a property.

**Figure 1-1: East Riverside Corridor (ERC) Zoning Map**

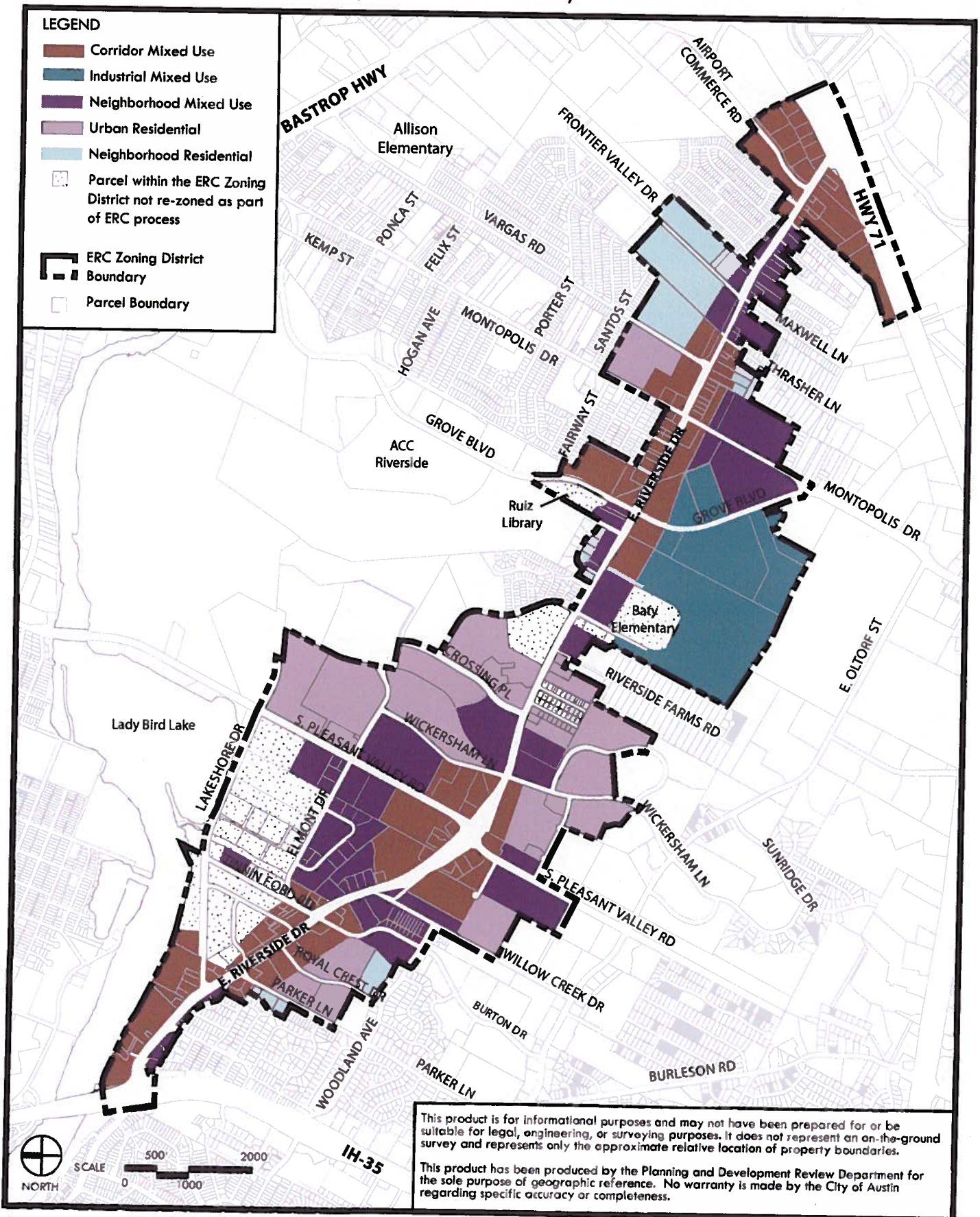
The map below indicates the properties within the ERC boundary zoned ERC.





**Figure 1-2: East Riverside Corridor Subdistrict Map**

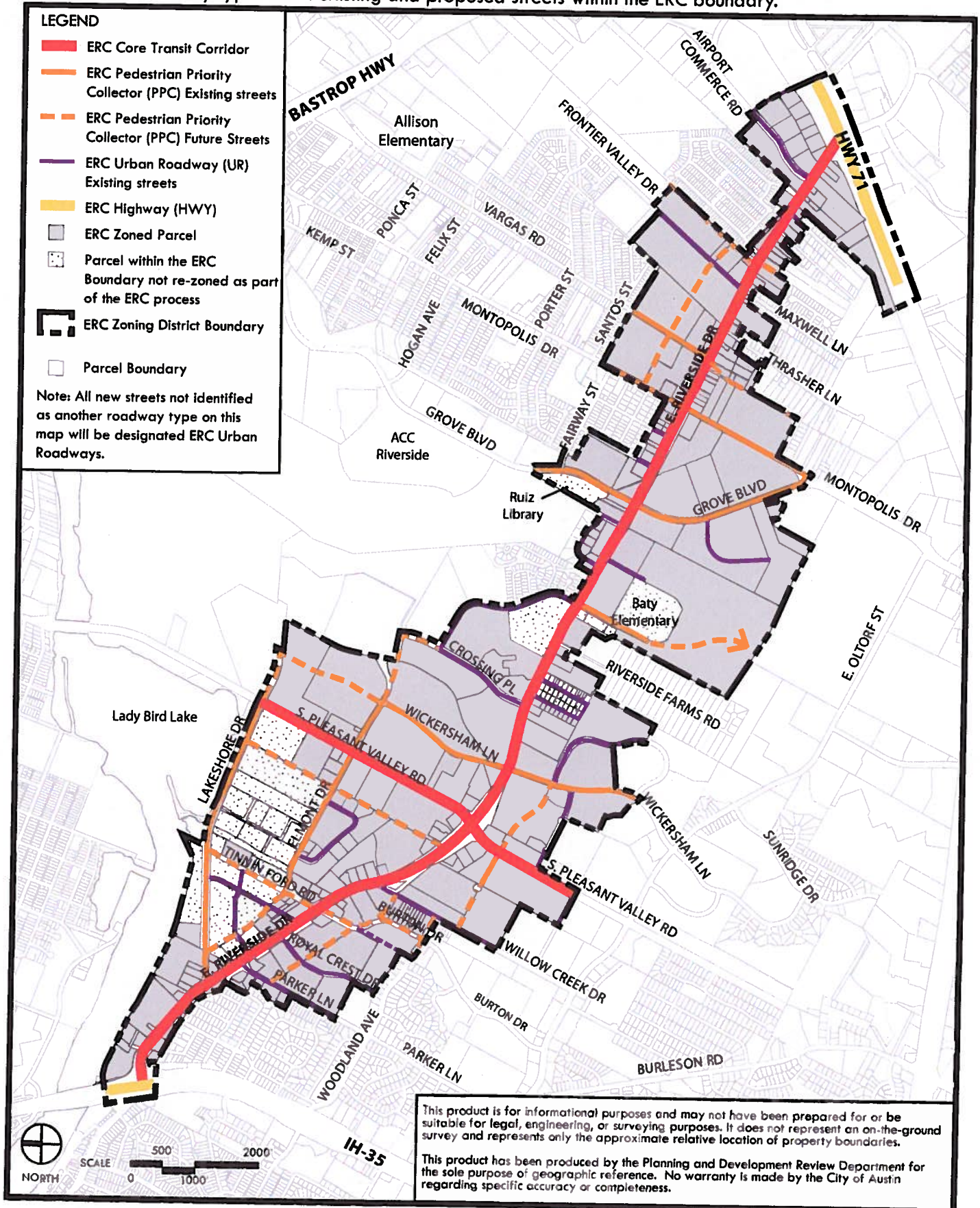
Identifies the subdistrict for each property within the ERC boundary.





**Figure 1-3: East Riverside Corridor Roadway Type Map**

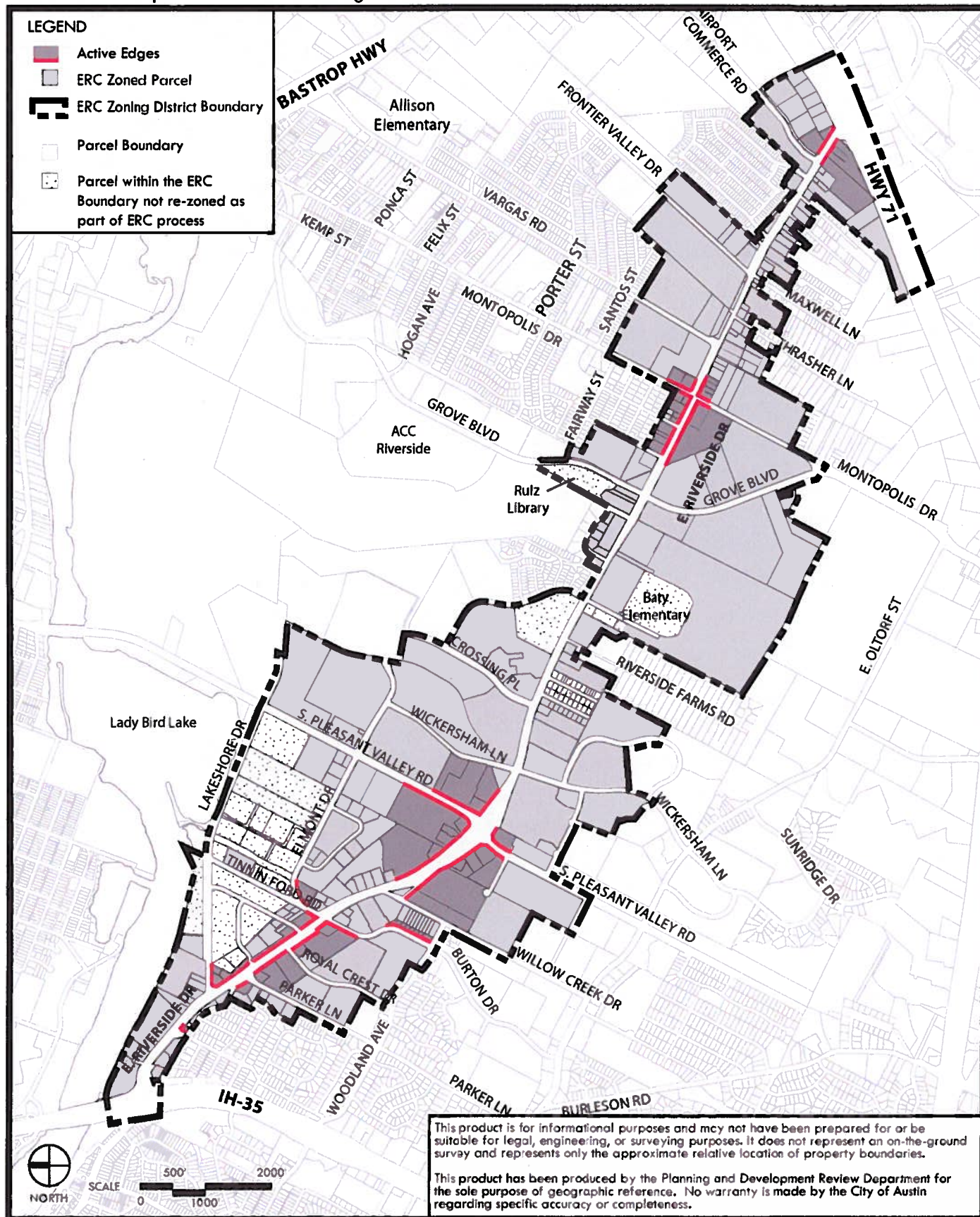
Indicates the Roadway type for all existing and proposed streets within the ERC boundary.





**Figure 1-4: East Riverside Corridor Active Edges Map**

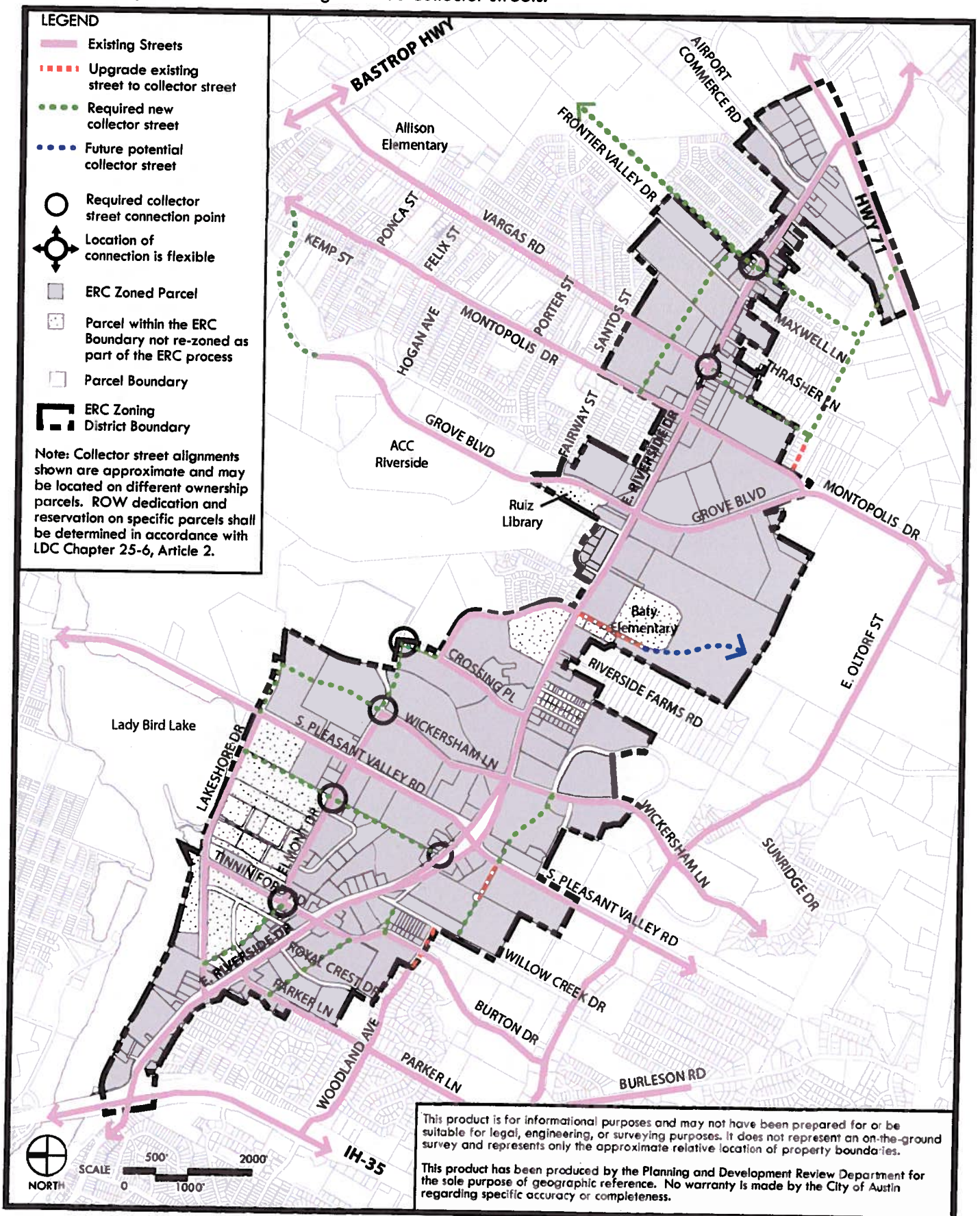
This map shows properties that have an active edge requirement and on which street face the active edge is located. The requirements for Active Edges can be found in Section 5.6 of this document.





**Figure 1-5: East Riverside Corridor Collector Street Map**

Shows existing and new streets designated as Collector streets.





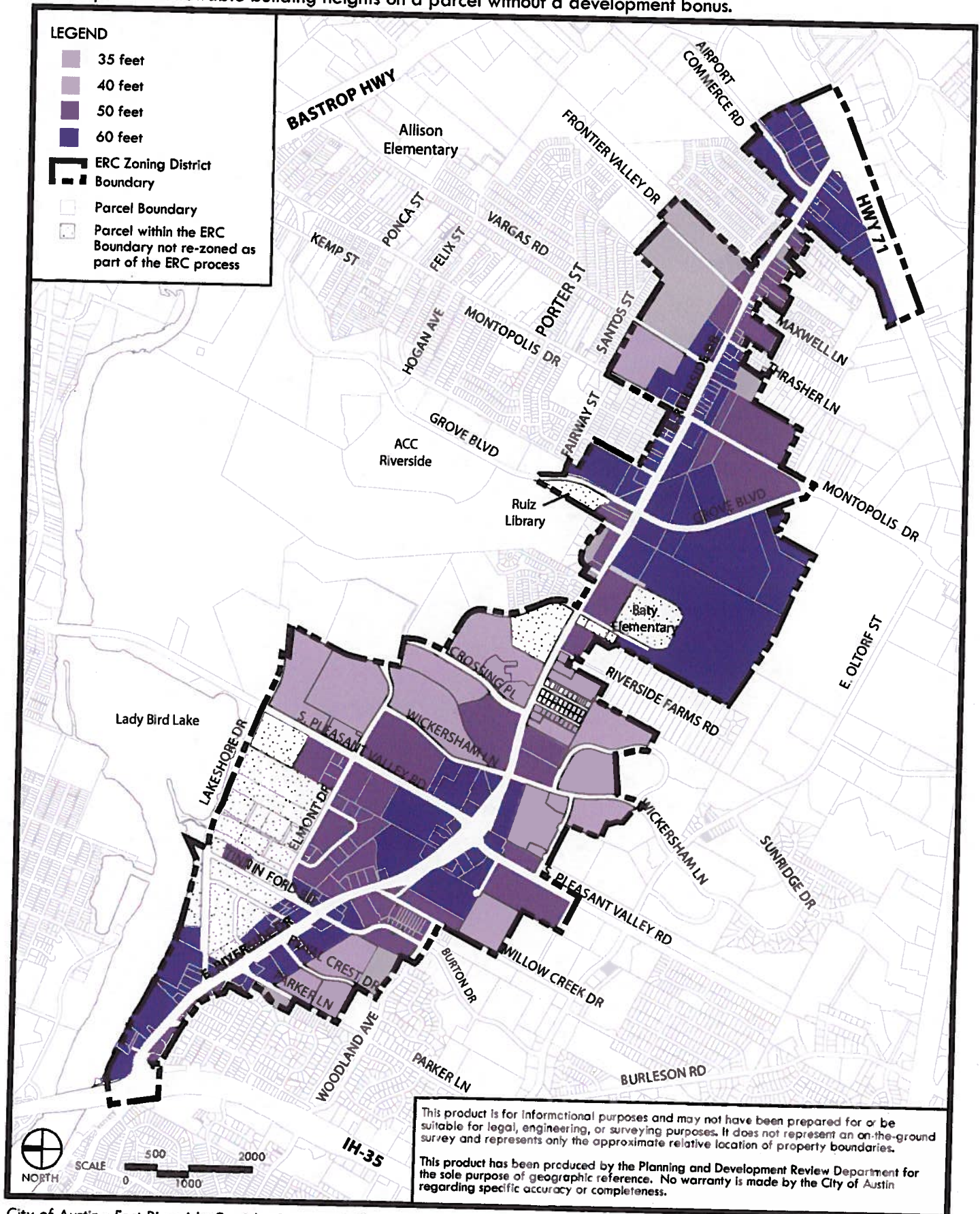
**This map shows the Hubs within the ERC boundary. Properties located within a Hub are eligible for additional entitlements as outlined in Article 6.**





**Figure 1-7: East Riverside Corridor Height Map**

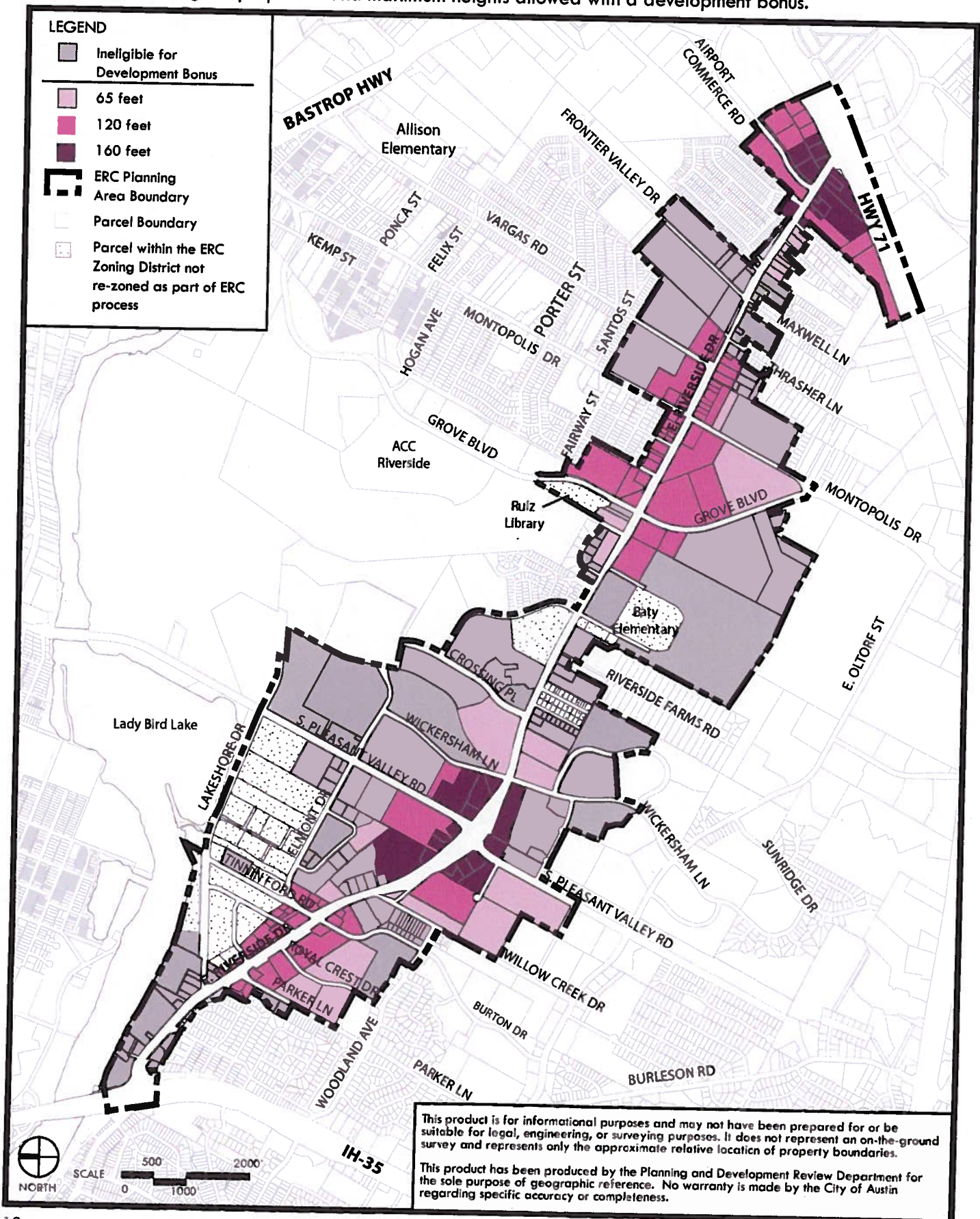
This map shows allowable building heights on a parcel without a development bonus.





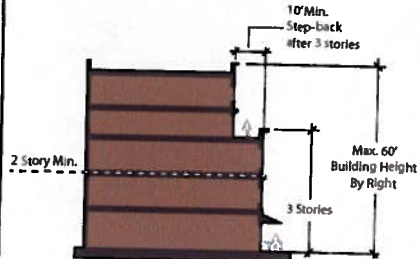
**Figure 1-8: East Riverside Corridor Development Bonus Height Map**

This map shows eligible properties and maximum heights allowed with a development bonus.



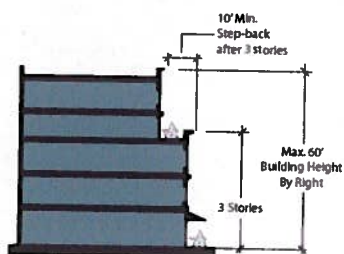



**Figure 1-9: Corridor Mixed Use (CMU)**  
Summary of CMU Subdistrict Development Standards

CMU		Lot Size	Floor to Area Ratio (FAR)	<h1>CORRIDOR MIXED USE (CMU) SUBDISTRICT</h1> <p>Corridor Mixed Use is the highest density district designation within the East Riverside Corridor and will typically be expressed as residential or office uses over commercial ground floor uses, such as retail or office. The ground floors of these buildings are envisioned to be primarily retail or office while upper floors may be office and/or residential. Mixed use development is key within this subdistrict because it will help to create a walkable environment with a variety of land uses located in a compact area.</p>  <p><b>ABOVE:</b> Typical minimum stories, height limit, and step back requirements for buildings within the Corridor Mixed Use (CMU) Subdistrict.*</p> <p>*Max. Building Height with a Density Bonus is established on Figure 1-8.</p>																			
		Minimum Lot Size: 2,500 sf Minimum Lot Width: 20'	Maximum Floor-to-Area Ratio (FAR) by Right: 2:1																				
IMU		Minimum Setbacks	Note: Additional building height may be granted in exchange for the provision of public benefits. Maximum FAR waived with a development bonus. Development bonus criteria and standards are detailed in Article 6.																				
NMU		Front and Street Side Yard*: No ground-level front yard or side yard setbacks are required. Instead, development must meet the building placement standards in Section 4.3.	Building Height																				
UR		Interior Side Yard: 0' Rear Yard: 0'	Maximum Building Height: 60 feet maximum w/ a minumum of 2 stories.																				
NR		Upper-Story Building Facade Street-Side Step-backs: The building facade at the fourth story and above must be stepped back a minimum of 10 feet from the ground-level building facade line.	Maximum Building Height with Development Bonus: See Figure 1-8.																				
		* If the street right-of-way is less than 60 feet in width, see Section 4.3.3.C.	Compatibility																				
			See Section 4.2.4 for compatibility standards.																				
<h2>Corridor Mixed Use (CMU) Land Use Summary*</h2> <table><tr><th colspan="2">Land Use</th></tr><tr><td>Residential, attached</td><td>Permitted</td></tr><tr><td>Residential, detached</td><td>Not Permitted</td></tr><tr><td>Smaller-scale Retail (less than 50,000 sq. ft.)</td><td>Permitted</td></tr><tr><td>General Retail</td><td>Permitted</td></tr><tr><td>Office</td><td>Permitted</td></tr><tr><td>Warehousing &amp; Light Manufacturing</td><td>Not Permitted</td></tr><tr><td>Education / Religion</td><td>Permitted</td></tr><tr><td>Hospitality (hotels/motels)</td><td>Permitted</td></tr><tr><td>Civic Uses (public)</td><td>Permitted</td></tr></table> <p>*The table above provides a summary only of land uses permitted within the Corridor Mixed Use Subdistrict. See Section 2.3.3. for a complete list of permitted land uses.</p>				Land Use		Residential, attached	Permitted	Residential, detached	Not Permitted	Smaller-scale Retail (less than 50,000 sq. ft.)	Permitted	General Retail	Permitted	Office	Permitted	Warehousing & Light Manufacturing	Not Permitted	Education / Religion	Permitted	Hospitality (hotels/motels)	Permitted	Civic Uses (public)	Permitted
Land Use																							
Residential, attached	Permitted																						
Residential, detached	Not Permitted																						
Smaller-scale Retail (less than 50,000 sq. ft.)	Permitted																						
General Retail	Permitted																						
Office	Permitted																						
Warehousing & Light Manufacturing	Not Permitted																						
Education / Religion	Permitted																						
Hospitality (hotels/motels)	Permitted																						
Civic Uses (public)	Permitted																						
<h2>Building Placement</h2> <p>Building placement determined by Roadway type and Active Edge Designation.</p> <p>*See Fig. 1-3 for Roadway Type designation and Section 4.3 for design requirements.</p>																							
<h2>Maximum Impervious Cover</h2> <p>Impervious Cover: 90% or Maximum Allowed by Environmental Criteria Manual.*</p> <p>*The Environmental Criteria Manual is one of 9 Technical Criteria Manuals used by the City of Austin.</p>																							
<h2>Building Height</h2> <p>Maximum Building Height: 60 feet maximum w/ a minumum of 2 stories.</p> <p>Maximum Building Height with Development Bonus: See Figure 1-8.</p>																							
<h2>Compatibility</h2> <p>See Section 4.2.4 for compatibility standards.</p>																							
<h2>Corridor Mixed Use (CMU) Land Use Summary*</h2> <table><tr><th colspan="2">Land Use</th></tr><tr><td>Residential, attached</td><td>Permitted</td></tr><tr><td>Residential, detached</td><td>Not Permitted</td></tr><tr><td>Smaller-scale Retail (less than 50,000 sq. ft.)</td><td>Permitted</td></tr><tr><td>General Retail</td><td>Permitted</td></tr><tr><td>Office</td><td>Permitted</td></tr><tr><td>Warehousing &amp; Light Manufacturing</td><td>Not Permitted</td></tr><tr><td>Education / Religion</td><td>Permitted</td></tr><tr><td>Hospitality (hotels/motels)</td><td>Permitted</td></tr><tr><td>Civic Uses (public)</td><td>Permitted</td></tr></table> <p>*The table above provides a summary only of land uses permitted within the Corridor Mixed Use Subdistrict. See Section 2.3.3. for a complete list of permitted land uses.</p>				Land Use		Residential, attached	Permitted	Residential, detached	Not Permitted	Smaller-scale Retail (less than 50,000 sq. ft.)	Permitted	General Retail	Permitted	Office	Permitted	Warehousing & Light Manufacturing	Not Permitted	Education / Religion	Permitted	Hospitality (hotels/motels)	Permitted	Civic Uses (public)	Permitted
Land Use																							
Residential, attached	Permitted																						
Residential, detached	Not Permitted																						
Smaller-scale Retail (less than 50,000 sq. ft.)	Permitted																						
General Retail	Permitted																						
Office	Permitted																						
Warehousing & Light Manufacturing	Not Permitted																						
Education / Religion	Permitted																						
Hospitality (hotels/motels)	Permitted																						
Civic Uses (public)	Permitted																						




**Figure 1-10: Industrial Mixed Use (IMU)**  
Summary of IMU Subdistrict Development Standards

Lot Size		Floor to Area Ratio (FAR)		INDUSTRIAL MIXED USE (IMU) SUBDISTRICT																					
CMU	Minimum Lot Size: 2,500 sf Minimum Lot Width: 20'	Maximum Floor-to-Area Ratio (FAR) by Right: 2:1  Note: Additional building height may be granted in exchange for the provision of public benefits. Maximum FAR waived with a development bonus. Development bonus criteria and standards are detailed in Article 6.		Industrial Mixed Use is a transition subdistrict used to accommodate existing industrial uses and enable future development to include residential and commercial uses.																					
IMU	Minimum Setbacks	Building Height																							
NMU	Front and Street Side Yard*: No ground-level front yard or side yard setbacks are required. Instead, development must meet the building placement standards in Section 4.3.	Maximum Building Height: 60 feet.  Maximum Building Height with Development Bonus: See Figure 1-8.		ABOVE: Typical height limit requirement for buildings within the Industrial Mixed Use (IMU) Subdistrict.  *Max. Building Height with a Density Bonus is established on Figure 1-8.																					
UR	Interior Side Yard: 0' Rear Yard: 0'	Compatibility		NR																					
NR	Upper-Story Building Facade Street-Side Step-backs: The building facade at the fourth story and above must be stepped back a minimum of 10 feet from the ground-level building facade line.	See Section 4.2.4 for compatibility standards.																							
* If the street right-of-way is less than 60 feet in width, see Section 4.3.3.C.																									
Building Placement				Industrial Mixed Use (IMU) Land Use Summary*																					
Building placement determined by Roadway type and Active Edge Designation.				<table><tr><th colspan="2">Land Use</th></tr><tr><td>Residential, attached</td><td>Permitted</td></tr><tr><td>Residential, detached</td><td>Not Permitted</td></tr><tr><td>Smaller-scale Retail (less than 50,000 sq. ft.)</td><td>Permitted</td></tr><tr><td>General Retail</td><td>Permitted</td></tr><tr><td>Office</td><td>Permitted</td></tr><tr><td>Warehousing &amp; Light Manufacturing</td><td>Permitted</td></tr><tr><td>Education / Religion</td><td>Permitted</td></tr><tr><td>Hospitality (hotels/motels)</td><td>Permitted</td></tr><tr><td>Civic Uses (public)</td><td>Permitted</td></tr></table>		Land Use		Residential, attached	Permitted	Residential, detached	Not Permitted	Smaller-scale Retail (less than 50,000 sq. ft.)	Permitted	General Retail	Permitted	Office	Permitted	Warehousing & Light Manufacturing	Permitted	Education / Religion	Permitted	Hospitality (hotels/motels)	Permitted	Civic Uses (public)	Permitted
Land Use																									
Residential, attached	Permitted																								
Residential, detached	Not Permitted																								
Smaller-scale Retail (less than 50,000 sq. ft.)	Permitted																								
General Retail	Permitted																								
Office	Permitted																								
Warehousing & Light Manufacturing	Permitted																								
Education / Religion	Permitted																								
Hospitality (hotels/motels)	Permitted																								
Civic Uses (public)	Permitted																								
*See Fig. 1-3 for Roadway Type designation and Section 4.3 for design requirements.																									
Maximum Impervious Cover																									
Impervious Cover: 90% or Maximum Allowed by Environmental Criteria Manual.*																									
*The Environmental Criteria Manual is one of 9 Technical Criteria Manuals used by the City of Austin.																									

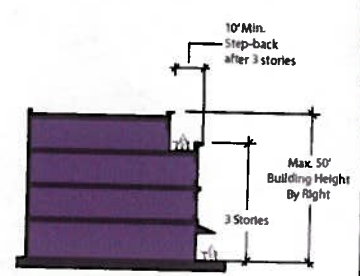
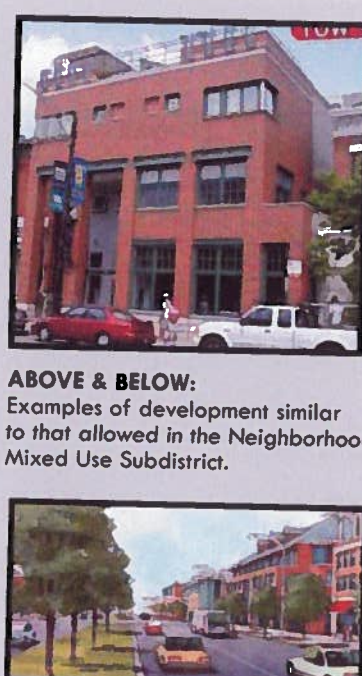


ABOVE & BELOW:  
Examples of development similar to that allowed in the Industrial Mixed Use Subdistrict.



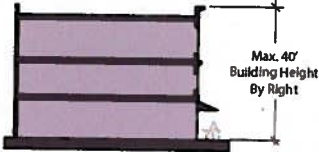
\*The table above provides a summary only of land uses permitted within the Industrial Mixed Use Subdistrict. See Section 2.3.3. for a complete list of permitted land uses.

**Figure 1-11: Neighborhood Mixed Use (NMU)**  
Summary of NMU Subdistrict Development Standards


	<b>Lot Size</b>	<b>Floor to Area Ratio (FAR)</b>	<b>NEIGHBORHOOD MIXED USE (NMU) SUBDISTRICT</b>  The Neighborhood Mixed Use Subdistrict provides for mid-rise residential with neighborhood-oriented retail and smaller employers. It is intended to have opportunities for attached residential and smaller-scale commercial uses.   <b>ABOVE:</b> Typical height limit and step back requirements for buildings within the Neighborhood Mixed Use (NMU) Subdistrict.*  *Max. Building Height with a Density Bonus is established on Figure 1-8.																					
CMU	<b>Minimum Lot Size:</b> 1,600 sf <b>Minimum Lot Width:</b> 20'	<b>Maximum Floor-to-Area Ratio (FAR) by Right:</b> 1:1  Note: Additional building height may be granted in exchange for the provision of public benefits. Maximum FAR waived with a development bonus. Development bonus criteria and standards are detailed in Article 6.		CMU																				
IMU	<b>Minimum Setbacks</b>			IMU																				
NMU	<b>Front and Street Side Yard*:</b> No ground-level front yard or side yard setbacks are required. Instead, development must meet the building placement standards in Section 4.3.	<b>Building Height</b>  <b>Maximum Building Height:</b> 50 feet  <b>Maximum Building Height with Development Bonus:</b> See Figure 1-8.		NMU																				
	<b>Interior Side Yard:</b> 0' <b>Rear Yard:</b> 0'			UR																				
UR	<b>Upper-Story Building Facade Street-Side Step-backs:</b> The building facade at the fourth story and above must be stepped back a minimum of 10 feet from the ground-level building facade line.			UR																				
NR	* If the street right-of-way is less than 60 feet in width, see Section 4.3.3.C.	<b>Compatibility</b>  See Section 4.2.4 for compatibility standards.	NR																					
<b>Building Placement</b>		<b>Neighborhood Mixed Use (NMU) Land Use Summary*</b>																						
Building placement determined by Roadway type and Active Edge Designation.		<table><tr><th colspan="2">Land Use</th></tr><tr><td>Residential, attached</td><td>Permitted</td></tr><tr><td>Residential, detached</td><td>Not Permitted</td></tr><tr><td>Smaller-scale Retail (less than 50,000 sq. ft.)</td><td>Permitted</td></tr><tr><td>General Retail</td><td>Not Permitted</td></tr><tr><td>Office</td><td>Permitted</td></tr><tr><td>Warehousing &amp; Light Manufacturing</td><td>Not Permitted</td></tr><tr><td>Education / Religion</td><td>Permitted</td></tr><tr><td>Hospitality (hotels/motels)</td><td>Permitted</td></tr><tr><td>Civic Uses (public)</td><td>Permitted</td></tr></table>			Land Use		Residential, attached	Permitted	Residential, detached	Not Permitted	Smaller-scale Retail (less than 50,000 sq. ft.)	Permitted	General Retail	Not Permitted	Office	Permitted	Warehousing & Light Manufacturing	Not Permitted	Education / Religion	Permitted	Hospitality (hotels/motels)	Permitted	Civic Uses (public)	Permitted
Land Use																								
Residential, attached	Permitted																							
Residential, detached	Not Permitted																							
Smaller-scale Retail (less than 50,000 sq. ft.)	Permitted																							
General Retail	Not Permitted																							
Office	Permitted																							
Warehousing & Light Manufacturing	Not Permitted																							
Education / Religion	Permitted																							
Hospitality (hotels/motels)	Permitted																							
Civic Uses (public)	Permitted																							
<b>Maximum Impervious Cover</b>																								
<b>Impervious Cover:</b> <b>80% or Maximum Allowed by Environmental Criteria Manual.*</b>		<p>*The table above provides a summary only of land uses permitted within the Neighborhood Mixed Use Subdistrict. See Section 2.3.3. for a complete list of permitted land uses.</p>																						
*The Environmental Criteria Manual is one of 9 Technical Criteria Manuals used by the City of Austin.																								




**Figure 1-12: Urban Residential (UR)**  
Summary of UR Subdistrict Development Standards

Lot Size		Floor to Area Ratio (FAR)	<div>URBAN RESIDENTIAL (UR) SUBDISTRICT</div> <div>Urban Residential is a residential zone that allows for a range of housing types, including townhouses, rowhouses, condos, or multifamily dwellings.</div> <div><div>Max. 40' Building Height By Right</div></div> <div>ABOVE: Typical height limit requirements for buildings within the Urban Residential (UR) Subdistrict.</div>	CMU
CMU	Minimum Lot Size: 1,200 sf Minimum Lot Width: 16'	Maximum Floor-to-Area Ratio (FAR) by Right: .75 :1		
IMU	Minimum Setbacks	Building Height		IMU
	Front and Street Side Yard*: No ground-level front yard or side yard setbacks are required. Instead, development must meet the building placement standards in Section 4.3.			
NMU	Interior Side Yard: 0' Rear Yard: 0'	Maximum Building Height: 40 feet		NMU
UR	Upper-Story Building Facade Street-Side Step-backs: The building facade at the fourth story and above must be stepped back a minimum of 10 feet from the ground-level building facade line.	Not eligible for Development Bonus	UR	
NR	* If the street right-of-way is less than 60 feet in width, see Section 4.3.3.C.	Compatibility	NR	
		See Section 4.2.4 for compatibility standards.		

Building Placement	
Building placement determined by Roadway type and Active Edge Designation.	
*See Fig. 1-3 for Roadway Type designation and Section 4.3 for design requirements.	
Maximum Impervious Cover	
Impervious Cover: 65% or Maximum Allowed by Environmental Criteria Manual.*	
*The Environmental Criteria Manual is one of 9 Technical Criteria Manuals used by the City of Austin.	



ABOVE & BELOW:  
Examples of development similar to that allowed in the Urban Residential



Urban Residential (UR)  
Land Use Summary\*

Land Use	
Residential, attached	Permitted
Residential, detached	Not Permitted
Smaller-scale Retail (less than 50,000 sq. ft.)	Not Permitted
General Retail	Not Permitted
Office	Not Permitted
Warehousing & Light Manufacturing	Not Permitted
Education / Religion	Permitted
Hospitality (hotels/motels)	Not Permitted
Civic Uses (public)	Permitted

\*The table above provides a summary only of land uses permitted within the Urban Residential Subdistrict. See Section 2.3.3. for a complete list of permitted land uses.

**Figure 1-13: Neighborhood Residential (NR)**  
Summary of NR Subdistrict Development Standards

<div>CMU</div> <div>IMU</div> <div>NMU</div> <div>UR</div> <div>NR</div>	<b>Lot Size</b>	<b>Floor to Area Ratio (FAR)</b>	<div>CMU</div> <div>IMU</div> <div>NMU</div> <div>UR</div> <div>NR</div>
	<b>Minimum Lot Size:</b> 1,600sf <b>Minimum Lot Width:</b> 18'	<b>Maximum Floor-to-Area Ratio (FAR) by Right:</b> .5 : 1	
	<b>Minimum Setbacks</b>		
	<b>Front and Street Side Yard*:</b> No ground-level front yard or side yard setbacks are required. Instead, development must meet the building placement standards in Section 4.3.	<b>Building Height</b>	
	<b>Interior Side Yard:</b> 0' <b>Rear Yard:</b> 0'	<b>Maximum Building Height:</b> 35 feet  <b>Not eligible for Development Bonus.</b>	
	<b>Compatibility</b>	See Section 4.2.4 for compatibility standards.	

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## ARTICLE 2: LAND USE STANDARDS

### 2.1. INTENT

The ERC Land Use Standards are used as a tool to create lively, walkable, healthy, livable areas where people are able to reduce vehicle usage without sacrificing access to neighborhood amenities. To accomplish this, the intent of Article 2 is to:

- 2.1.1. Allow for creation of a dense and vibrant Hubs, or areas where the most intensive development within the corridor is encouraged, with urban form and uses that require less reliance on the automobile and are more accommodating of pedestrian, transit, and bicycle transportation.
- 2.1.2. Provide for and encourage development and redevelopment that achieves a balance of jobs, housing, retail, open space and community facilities within close proximity to each other and to both current and future transit. The essence of a mixed-use area is that it creates opportunities to live, work and play within the same area.
- 2.1.3. Enable opportunities for transit-supportive development in the ERC Hubs.
- 2.1.4. Locate the highest level of activity and mix of uses in the Hubs and the Corridor Mixed Use Subdistrict along E. Riverside Drive and other major streets thereby supporting current and future transit ridership.
- 2.1.5. Enable redevelopment and adaptive reuse while accommodating existing uses.
- 2.1.6. Allow for dense residential uses to accommodate some of the region's expected population growth.
- 2.1.7. Provide for a variety of housing options to be developed in close proximity to potential jobsites as well as public transit so that residents may reduce their dependency on personal vehicles and save on transportation costs.

### 2.2. APPLICABILITY

For the purposes of applying the standards in this Article, refer to Section 2.3 for ERC Subdistrict descriptions and Figure 1-2 (Subdistricts Map) for ERC Subdistrict locations.

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 2.3</b> East Riverside Corridor Subdistricts	●	●	●	●	●	●	●	●	●	- All development
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

## **2.3. EAST RIVERSIDE CORRIDOR SUBDISTRICTS**

### **2.3.1. Applicability**

### **2.3.2. ERC Subdistricts General**

- A.** The locations of the ERC Subdistricts in the ERC Zoning District are depicted in Figure 1-1, East Riverside Corridor Subdistricts Map.
- B.** The ERC Subdistricts vary in terms of use, development intensity, and level of urban character.
- C.** The Corridor Mixed Use, Neighborhood Mixed Use and Industrial Mixed Use Subdistricts permit combinations of uses within a building or a site.

### **2.3.3. Land Use Summary Table**

The Land Use Summary Table in Figure 2-1 establishes the permitted, conditional, and prohibited uses according to ERC Subdistrict and any additional regulations that apply to a particular use in a specific subdistrict.

### **2.3.4. Subdistrict Types**

#### **A. CMU Corridor Mixed Use (CMU) Subdistrict**

Corridor Mixed Use is the highest density district designation within the East Riverside Corridor and will typically consist of mixed use buildings such as residential or offices uses over retail or office ground floor uses. The ground floors of these buildings are envisioned to be primarily retail or office while upper floors may be office and/or residential. Mixed use development is key within this subdistrict because it will help to create a walkable environment with a variety of land uses located in a compact area.

Within the CMU Subdistrict, certain areas are identified as active edges on the East Riverside Corridor Active Edge Map Figure 1-4. An active edge designation imposes additional specific land use and design requirements for development at visible intersections and along key streets near the East Riverside Corridor Hubs to ensure that the ground floors of those buildings are designed to accommodate pedestrian oriented uses at some point in time.

#### **B. IMU Industrial Mixed Use (IMU) Subdistrict**

Industrial Mixed Use is a transitional subdistrict used to accommodate existing industrial uses and enable future development to include residential and commercial uses.



**C. NMU Neighborhood Mixed Use (NMU) Subdistrict**

The Neighborhood Mixed Use Subdistrict provides for mid-rise residential with neighborhood-oriented retail and smaller employers. It is intended to have opportunities for attached residential and smaller-scale commercial uses.

**D. UR Urban Residential (UR) Subdistrict**

Urban Residential is a residential subdistrict that allows for a range of housing types, including townhouses, rowhouses, condos, or multifamily dwellings.

**E. NR Neighborhood Residential (NR) Subdistrict**

Neighborhood Residential is the residential transition subdistrict located between the higher density, more active urban Subdistricts and existing single-family neighborhoods. It provides for a height transition to the existing neighborhoods outside of the ERC Zoning District. The Neighborhood Residential Subdistrict provides for single family homes, duplexes, townhouses, rowhouses, and smaller scale mutli-family buildings.

**2.3.5. Drive-Through Facilities**

- A. A use with a drive-through facility is prohibited in the ERC Zoning District.
- B. A drive-through facility serving a restaurant use is prohibited in the ERC Zoning District.

## Article 2

**Figure 2-1: Land Use Table**

<p>P = Permitted      C = Conditional      -- = Prohibited</p>						
	CMU	IMU	NMU	UR	NR	Additional Requirements
<b>Residential Uses</b>						
Bed & Breakfast (Group 1)	P	P	P	P	P	
Bed & Breakfast (Group 2)	P	P	P	P	P	
Condominium Residential	P	P	P	P	P	
Duplex Residential	--	--	--	P	P	
Group Residential	P	P	P	P	P	
MF Residential	P	P	P	P	P	
Retirement Housing (Small site)	P	P	P	P	P	
Retirement Housing (Large site)	C	C	C	C	--	
SF Attached	--	--	--	P	P	
SF Residential (Detached)	--	--	--	--	P	
Small Lot SF Residential	--	--	--	P	P	
Townhouse Residential	--	--	P	P	P	
Two-Family Residential	--	--	--	P	P	
<b>Commercial Uses</b>						
Admin and Business Offices	P	P	P	--	--	Use is limited to 5,000 gross SF in NMU
Art Gallery	P	P	P	--	--	
Art Workshop	P	P	P	--	--	
Automotive Rentals	P	P	--	--	--	Max. of 10 fleet cars in CMU, Max. of 20 fleet cards in IMU
Automotive Repair Services	--	P	--	--	--	
Automotive Sales	--	P	--	--	--	Max. of 20 vehicles for sale or rental on site.
Automotive Washing (of any type)	--	P	--	--	--	
Building Maintenance Services	P	P	--	--	--	In CMU, use must be in an enclosed structure
Business or Trade School	P	P	P	--	--	

	P = Permitted			C = Conditional		-- = Prohibited		Additional Requirements
	CMU	IMU	NMU	UR	NR			
Business Support Services	P	P	P	--	--			
Cocktail Lounge	C	C	C	--	--			May not be located within 1,320' of another cocktail lounge.
Commercial Blood Plasma Center	--	P	--	--	--			Permitted subject to LDC Section 25-2-803
Commercial Off-Street Parking	P	P	P	--	--			May not exceed 1 ac. in size. Not located within 100' of corner. Not more than one per 300'. Must meet all design requirements in this document.
Communication Services	P	P	P	--	--			
Construction Sales and Services	--	P	--	--	--			
Consumer Convenience Services	P	P	P	--	--			
Consumer Repair Services	P	P	P	--	--			
Convenience Storage	C	P	--	--	--			In CMU & IMU, use must be enclosed in single building on site; no direct entry to individual storage units from outside.
Drop-Off Recycling Collection Facility	--	P	--	--	--			
Electronic Prototype Assembly	P	P	--	--	--			
Electronic Testing	P	P	--	--	--			
Equipment Repair Services	--	P	--	--	--			
Equipment Sales	--	P	--	--	--			
Exterminating Services	--	P	--	--	--			
Financial Services	P	P	P	--	--			
Food Preparation	P	P	P	--	--			
Food Sales	P	P	P	--	--			Limited to 5,000 SF in NMU
Funeral Services	--	P	--	--	--			
General Retail Sales (Convenience)	P	P	P	--	--			Limited to 5,000 SF in NMU

## Article 2

	P = Permitted	C = Conditional	-- = Prohibited			
	CMU	IMU	NMU	UR	NR	Additional Requirements
General Retail Sales (General)	P	P	P	--	--	Limited to 50,000 SF in CMU & NMU
Hotel-Motel	P	P	P	--	--	
Indoor Entertainment	P	P	--	--	--	
Indoor Sports and Recreation	P	P	--	--	--	
Kennels	P	P	--	--	--	
Laundry Services	--	P	--	--	--	
Liquor Sales	C	C	C	--	--	May not be located within 1,320' of another liquor sales use.
Medical Offices -- 5000 SF+	P	P	--	--	--	
Medical Offices -- less than 5000 SF	P	P	P	--	--	
Monument Retail Sales	--	--	--	--	--	
Off-Site Accessory Parking	P	P	P	--	--	May not exceed 1 acre in size. Not located within 100' of corner. Not more than one per 300'. Must meet all design requirements in this document.
Outdoor Sports and Recreation	--	P	--	--	--	
Pawn Shop Services	P	P	P	--	--	May not be located within 5,280' of another Pawn Shop service use.
Personal Improvement Services	P	P	P	--	--	Limited to 5,000 SF in NMU
Personal Services	P	P	P	--	--	
Pet Services	P	P	P	--	--	
Plant Nursery	--	P	C	--	--	
Printing and Publishing	P	P	C	--	--	
Professional Office	P	P	P	--	--	Limited to 5,000 SF in NMU
Research Assembly Services	--	P	--	--	--	
Research Services	P	P	C	--	--	
Research Testing Services	--	P	--	--	--	
Research Warehousing Services	--	P	--	--	--	



P = Permitted      C = Conditional      -- = Prohibited						
	CMU	IMU	NMU	UR	NR	Additional Requirements
Restaurant (General)	P	P	P	--	--	Conditional use permit required for late hours. See section 4.2.4 for other potential restrictions.
Restaurant (Limited)	P	P	P	--	--	Limited to 5,000 SF in NMU. Conditional use permit required for late hours. See section 4.2.4 for other potential restrictions.
Service Station	--	C	C	--	--	May not fuel more than 8 vehicles at one time (NMU, IMU)
Software Development	P	P	P	--	--	Limited to 5,000 SF in NMU
Special Use Historic	C	C	C	--	--	Use must comply with LDC 25-2-807
Theater	P	P	P	--	--	
Veterinary Services	P	P	P	--	--	Service to be conducted within enclosed structure. Veterinary hospitals for livestock and large animals not permitted.
Civic Uses						
Administrative Uses	P	P	P	--	--	Incidental maintenance of administration service vehicles prohibited on-site in CMU and NMU.
Club or Lodge	C	C	--	--	--	May not be located within 1,320' of another club or lodge.
College or University Facilities	P	P	--	--	--	Existing use in place prior to 11/07/07 not considered a non-conforming use.
Communication Service Facilities	P	P	--	--	--	
Community Recreation (Private)	P	P	C	C	C	
Community Recreation (Public)	P	P	C	C	C	

## Article 2

	P = Permitted	C = Conditional	-- = Prohibited			
	CMU	IMU	NMU	UR	NR	Additional Requirements
Congregate Living	C	C	C	C	--	
Convalescent Services	C	C	C	C	--	
Counseling Services	P	P	C	--	--	
Cultural Services	P	P	P	C	C	
Day Care Services (Commercial)	P	P	P	P	C	
Day Care Services (General)	P	P	P	P	C	
Day Care Services (Limited)	P	P	P	P	P	
Employee Recreation	--	P	--	--	--	
Family Home	P	P	P	P	P	
Group Home, Class I (General)	P	P	P	P	C	
Group Home, Class I (Limited)	P	P	P			
Group Home, Class II	C	P	C	C	--	
Guidance Services	P	P	P	--	--	
Hospital Services (General)	C	C	C	--	--	
Hospital Services (Limited)	P	P	C	--	--	
Local Utility Service	C	P	C	C	C	
Maintenance & Service Facilities	--	C	--	--	--	
Major Utility Facilities	--	C	--	--	--	
Park & Rec Services (General)	P	P	P	P	P	
Park & Rec Services (Special)	P	P	P	--	--	
Postal Facilities	--	C	C	--	--	
Private Primary Educational Facilities	P	P	P	C	C	
Private Secondary Educational Facilities	P	P	P	C	C	
Public Primary Educational Facilities	P	P	P	P	P	
Public Secondary Educational Facilities	P	P	P	P	P	
Qualified Community Garden	--	P	--	P	P	

P = Permitted      C = Conditional      -- = Prohibited						
	CMU	IMU	NMU	UR	NR	Additional Requirements
Railroad Facilities	C	P	C			
Religious Assembly	P	P	P	P	P	
Residential Treatment	C	C	C	C	--	
Safety Services	P	P	P	C	C	
Telecommunication Tower	--	--	C	C	C	Subject to 25-2-839. Located on top of building or Architectural Component. Prohibited in CMU.
Transitional Housing	C	C	--	--	--	
Transportation Terminal	C	C	C	C	C	
Industrial Uses						
Basic Industry	--	P	--	--	--	Use may not produce noise, vibration, smoke, dust, odor, heat, glare, fume, electrical interference, or waste- run-off outside an enclosed structure.
Custom Manufacturing	P	P	P	--	--	Use may not produce noise, vibration, smoke, dust, odor, heat, glare, fume, electrical interference, or waste- run-off outside an enclosed structure.
General Warehousing & Distribution	--	P	--	--	--	
Light Manufacturing	--	P	--	--	--	
Limited Warehousing & Distribution	--	P	--	--	--	
Recycling Center	--	P	--	--	--	
Agricultural Uses						
Urban Farm	--	C	C	C	C	



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## **ARTICLE 3:**

### **CIRCULATION, CONNECTIVITY AND STREETScape STANDARDS**

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The applicability of standards in Article 3 is based on the ERC Subdistrict in which a property is located and the Roadway Type designation of the street(s) adjacent to it. Refer to Article 1 for descriptions and maps of ERC Subdistricts and ERC Roadway Types.

#### **3.1. INTENT**

The standards of Article 3 are intended to:

- 3.1.1.** Increase mobility both within the East Riverside Corridor area and to surrounding areas by improving connectivity and accommodations for pedestrians, cyclists and transit;
- 3.1.2.** Encourage a greater percentage of travel accomplished by walking, biking, and transit;
- 3.1.3.** Provide built environment, streetscape and street designs that are safe and enjoyable for pedestrians and cyclists;
- 3.1.4.** Ensure that site design promotes efficient pedestrian, bicycle and vehicle circulation patterns;
- 3.1.5.** Ensure the creation of a high-quality street and sidewalk environment that is supportive of pedestrian, bicycle and transit mobility and that is appropriate to the roadway context;
- 3.1.6.** Ensure that trees, sidewalks, buildings and bicycle accommodations – major elements that make up a streetscape – are arranged in a manner that supports the creation of a safe, human-scaled, and well-defined roadway environment;
- 3.1.7.** Ensure that there are multiple travel route options for all transportation modes in and around the ERC Zoning District;
- 3.1.8.** Ensure that vehicular parking is accommodated in a manner that enriches and supports, rather than diminishes, the roadside pedestrian and bicycle environment, and that does not create a barrier between the roadside environment and the roadside buildings; and
- 3.1.9.** Ensure that sites are developed in a manner that supports and encourages connectivity for all modes of travel and that new and existing development, pedestrian and bicycle paths, and open spaces complement and link to one another.

## 3.2. EAST RIVERSIDE CORRIDOR ROADWAY TYPES

Each existing and future street in the ERC Zoning District has a roadway type designation, which establishes many of the sidewalk, streetscape and building placement standards in this Document. The four ERC roadway types are shown on the East Riverside Corridor Roadway Type Map in Figure 1-3. Because roadway types define the urban design framework of the City, they have been used as an organizing tool to provide a consistent regulatory approach to create a cohesive development pattern along Austin's streets and remove some of the inconsistency that arises from having a variety of zoning districts and development standards fronting a single street.

### 3.2.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 3.2</b> East Riverside Corridor Roadway Types	●	●	●	●	●	●	●	●	●	- All development
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 3.2.2. Roadway Types

The following four roadway types are refinements of roadway types used in other parts of the city. These roadway types apply to the East Riverside Corridor Zoning District.

#### A. ERC Core Transit Corridors

ERC Core Transit Corridors include streets within the ERC Zoning District that have or will have a sufficient population density, mix of uses, and transit facilities to encourage and support transit use. They have a high level of visibility and offer some of the best locations for retail service activity. East Riverside Drive & Pleasant Valley Road, within the boundaries of the ERC Zoning District, are designated ERC Core Transit Corridors.

#### B. ERC Pedestrian Priority Collector

ERC Pedestrian Priority Collector is the roadway designation for existing and future collector streets that also serve as primary pedestrian routes within the ERC Zoning District. Figure 1-5, East Riverside Corridor Collector Street Map, of this Document identifies locations for new collector streets to form direct vehicular, bicycle and pedestrian connections between major roadways in the ERC Zoning District as the area redevelops. All new streets built in accordance with the ERC Collector Street Plan will be designated as ERC Pedestrian Priority Collectors. The required collector streets provide a grid-like network of streets which enable connectivity and circulation, while encouraging walkability.

### C. ERC Urban Roadway

The ERC Urban Roadway designation is for all existing and future streets located within the ERC Zoning District not designated as ERC Core Transit Corridors, ERC Pedestrian Priority Collectors or ERC Highways, excluding smaller circulation routes like alleys. These streets form the finer grained network of streets that provide connections with and complement the transportation framework created by the other roadway types. Any new street in the ERC Zoning District that does not have an ERC Core Transit Corridor, ERC Pedestrian Priority Collector or ERC Highway designation, nor is identified as a proposed new collector street on Figure 1-5: ERC Collector Street Map, will be designated as an ERC Urban Roadway for the purpose of applying the standards in this Document.

### D. ERC Highways

ERC Highways include Highway 71 (Ben White Blvd.) and Interstate Highway 35 (I-35) and their frontage roads in the ERC Zoning District.

## 3.3. SIDEWALK STANDARDS

### 3.3.1. General Applicability

In order to create an environment that is supportive of pedestrian, bike and transit mobility, public sidewalks shall be provided on both sides of all streets in the ERC Zoning District. The requirements of this section must be met on all adjacent roadway types.

### 3.3.2. Sidewalk Standards for All Roadway Types

#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
Section 3.3.2 Sidewalk Standards for All Roadway Types	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	- All development - Requirement must be met on all adjacent roadway types
	●	●	●	●	●	●	●	●	●	
See Article 1 for maps and Sections 2.3.4 & 3.2.2. for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### B. Sidewalks

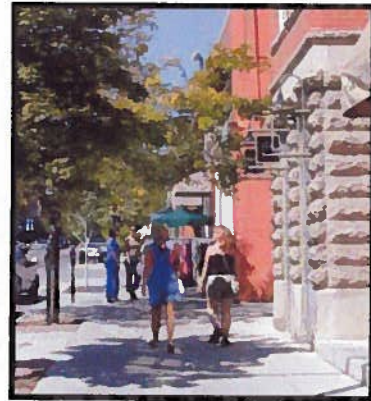
Public sidewalks are required and shall meet the standards of Figure 3-2. The minimum sidewalk width requirement shall apply regardless of the available right-of-way. If necessary to meet the required sidewalk width, the sidewalk shall extend onto private property to fulfill the minimum requirement, with a sidewalk easement provided.

## Article 3

Sidewalks shall consist of two zones: a planting zone located adjacent to the curb, and a clear zone (see Figures 3-3 and 3-4).

### 1. Planting Zone

The planting zone is intended for the placement of street trees, if required, and street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility (see Figure 3-1).



**Figure 3-1:**  
Example of Sidewalk with Planting Zone and Clear Zone

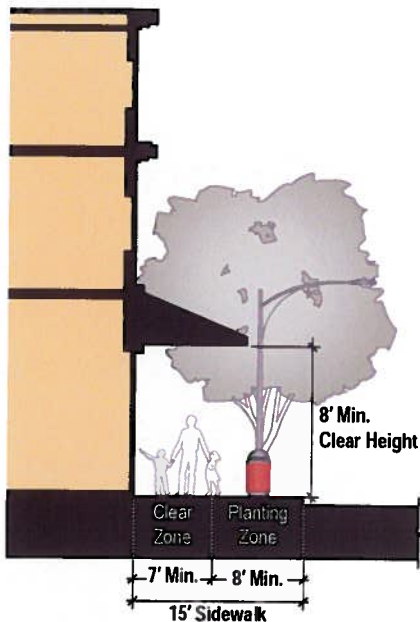
### 2. Clear Zone

The clear zone shall be hardscaped, shall be located adjacent to the planting zone, and shall comply with ADA and Texas Accessibility Standards and shall be unobstructed by any permanent or nonpermanent element for the required minimum width and a minimum height of eight feet (see Figure 3-2). Accessibility is required to connect sidewalk clear zones on adjacent sites.

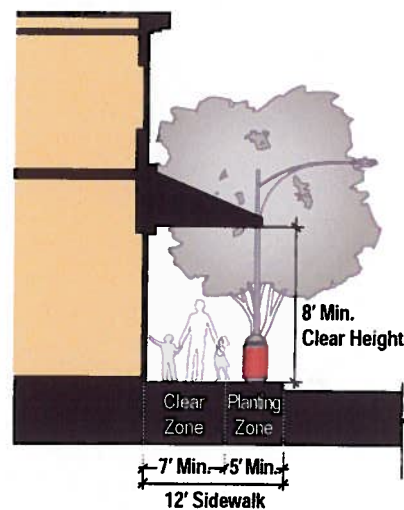


**Figure 3-2:** Required standards for public sidewalks within the ERC Zoning District.

Standards	Applies if subdistrict is:	Applies if the adjacent street is:				Additional Requirements
	CMU	CTC	PPC	UR	HWY	
Min. Total Sidewalk Width includes planting and clear zone. (Feet)	varies	15'	12'	12'	10'	
Min. Planting Zone Width (Feet)	varies	8'	7'	7'	optional	
Minimum Clear Zone Width	varies	7'	5'	5'	8'	Along ERC Highways, sidewalks shall be located a minimum of 2 feet from the property line in compliance with TCM Section 4.2.1.
Street Trees Required	●	●	●			All required trees must be a minimum of 3 caliper inches and shall be planted at an average spacing not greater than 30 feet on center. See Section 3.3.2.B.4 "Utilities" for sites with utility conflicts.
See Article 1 for maps and Sections 2.3.4 & 3.2.2. for descriptions of ERC Subdistricts and ERC Roadway Types.						



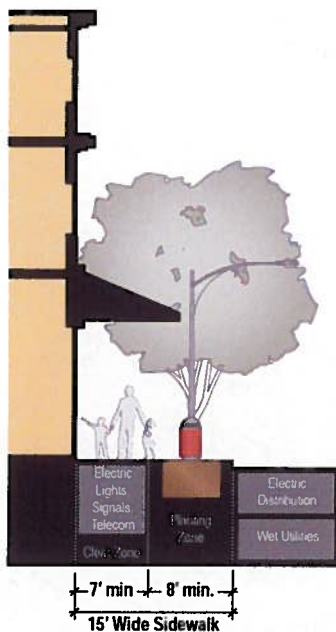
**Figure 3-3:**  
ERC Core Transit Corridor (CTC)  
Sidewalk Standards



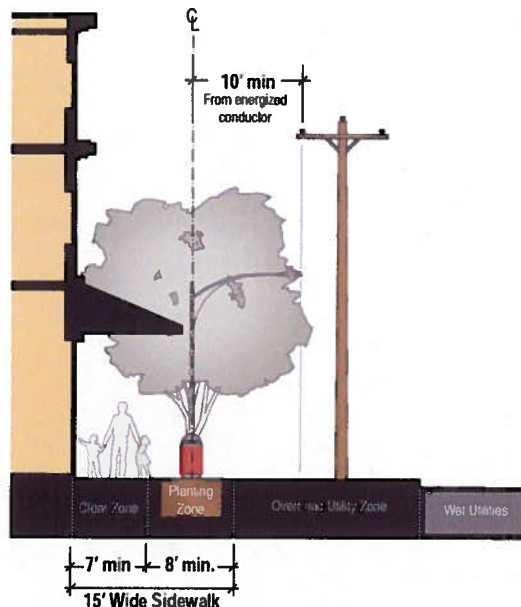
**Figure 3-4:**  
ERC Pedestrian Priority (PPC) & Urban Roadway (UR)  
Sidewalk Standards

### 3. Accommodating Bicycle Facilities

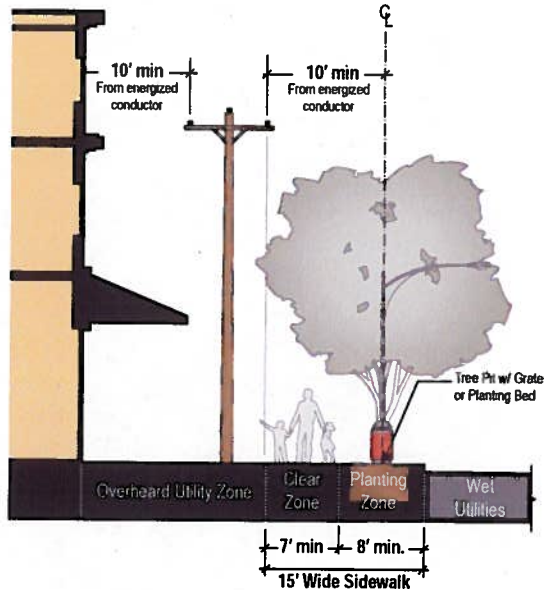
- a. If the adjacent street is designated an ERC Core Transit Corridor or ERC Pedestrian Priority Collector, sidewalks may only encroach in the right-of-way (ROW) to the extent that enough ROW remains to be able to accommodate a cycle track per National Association of City Transportation Officials (NACTO) standards (on ERC Core Transit Corridors) or 6-foot wide on-street bicycle lane (on ERC Pedestrian Priority Collectors) on both sides of the street in the future.
- b. If optional parallel parking is provided adjacent to required 6' bike lanes then the width of the parallel parking stall shall be no less than 8' wide.



**Figure 3-5:**  
ERC Core Transit Corridor  
with underground utilities.



**Figure 3-6:**  
ERC Core Transit Corridor with overhead util-  
ity zone at curb.



**Figure 3-7:**

ERC Core Transit Corridor with overhead utility zone.

#### 4. Utilities

- a. All utility lines shall be underground from the building to the property line. Utility lines within the right-of-way shall be placed underground or relocated to the rear of the site to the maximum extent practicable as determined by the Director (See Figure 3-5).
- b. Where existing electric utilities remain overhead and are located behind the curb, an overhead utility zone shall be provided so that no portion of the building is located within a 10-foot radius of the energized conductor. In addition, street trees shall be set back from an energized conductor by a minimum of ten feet as measured from the centerline of the tree. Options for street tree planting and sidewalk placement in combination with overhead utilities are illustrated in Figures 3-6 and 3-7.
- c. Utility compatible trees may be used so that the trees can be located beneath, rather than offset from, the overhead electric utilities if the Director determines that one of the following conditions is met:
  - i. If the depth of a lot is 120 feet or less and electric utilities remain overhead and are located behind the curb; or
  - ii. If, in order to meet all of the requirements of this section, the building façade would be required to set back 30 feet or more beyond the curb face (Note: if the requirements of this section can be met within existing right-of-way, utility compatible trees may not be used).

## Article 3

### 3.4. ON-STREET PARKING

#### 3.4.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 3.4</b> On-street parking	●	●	●	●	●	●	●	●	●	Optional for all development.
See Article 1 for maps and Sections 2.3.4 & 3.2.2. for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### 3.4.2. Purpose

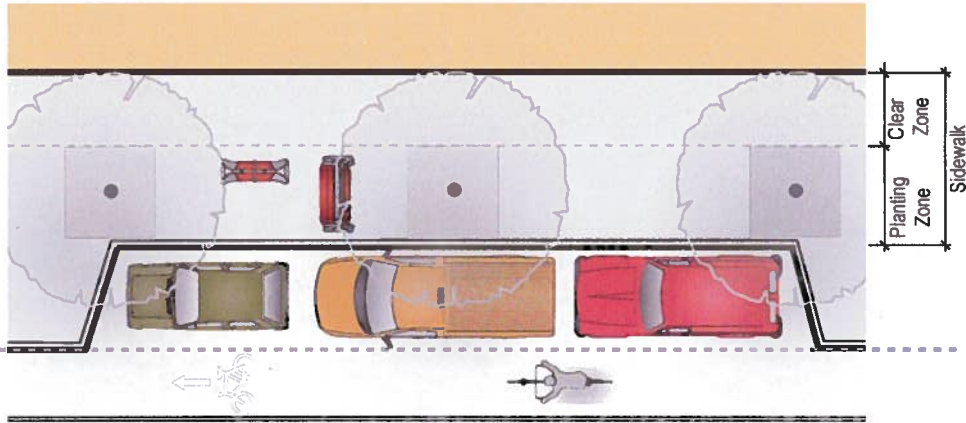
On-street parking is encouraged within the ERC Zoning District to increase the viability of adjacent retail and to serve other local parking needs. On-street parking also provides protection for pedestrians creating a more pleasant sidewalk experience, and when coupled with a cycle track, on-street parking provides a protective buffer for bicyclists. Approval of the City Traffic Engineer and compliance with fire access standards is required.

#### 3.4.3. On-Street Parallel Parking

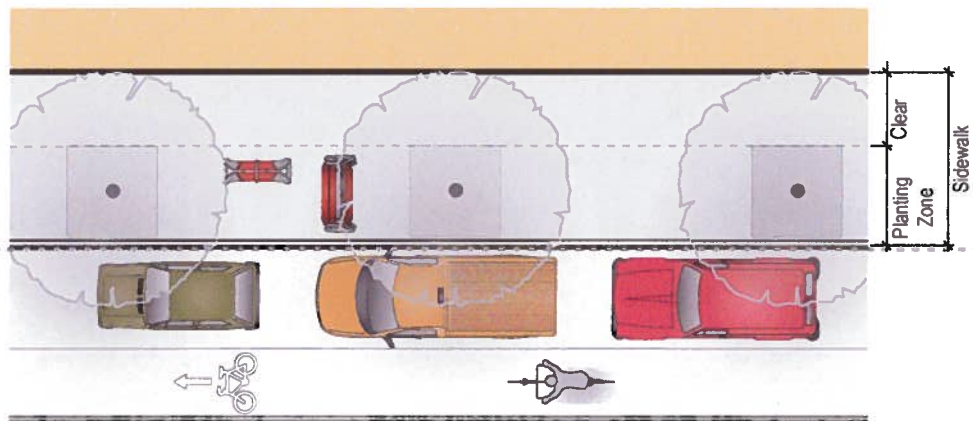
- A. On-street parallel parking is encouraged along all streets in the ERC Zoning District where feasible. On street parking is subject to the approval of the City Traffic Engineer.
- B. In the future, the City could consider converting the outside lanes of East Riverside Drive to on-street parking during off-peak hours to support local business and new residential activity.
- C. The City Traffic Engineer may determine that on-street parking is not feasible due to limited right-of-way width or lack of appropriate and adequate easement, transit activity conflict and interference, inadequate sight distance caused by vertical or horizontal curvature of a street, high roadway speeds, or other safety concerns.
- D. The design for on-street parallel parking may be accommodated by providing parking inside the curb line (Figure 3-8 and 3-9).
- E. If on-street parking is provided, the sidewalk standards under Section 3.3.2 shall continue to apply, with both a clear zone and planting zone placed adjacent to the curb at the inside of the parking spaces.
- F. If optional parallel parking is provided adjacent to required 6' bike lanes, then the width of the parallel parking stall shall be no less than 8' wide.

#### 3.4.4. Head-in and Angle Parking Restrictions

Only parallel parking is allowed in the CMU or NMU Subdistricts or on an ERC Core Transit Corridor or ERC Pedestrian Priority Collector in the ERC Zoning District.



**Figure 3-8:**  
On-street parallel parking design inside the curb line.



**Figure 3-9:**  
On-street parallel parking - standard design adjacent to the curb.



## Article 3

### 3.5. CONNECTIVITY AND CIRCULATION

#### 3.5.1. Project Circulation Plan

##### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
Section 3.5.1 Project Circulation Plan	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	All development.
	●	●	●	●	●	●	●	●	●	

See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.

##### B. Standards

1. A Project Circulation Plan must be submitted with a site plan or subdivision application for an area of five acres or larger that is subject to the requirements of this section. The Project Circulation Plan shall be developed and reviewed for its consistency with this Section 3.5.1 and the ERC Collector Street Map (Figure 1-5), which illustrates proposed locations for new collector streets in the ERC Planning Area. Collector streets shown on the ERC Collector Street Map (Figure 1-5) are required.
2. The Project Circulation Plan must demonstrate:
  - a. How the on-site circulation system meets the standards of this Section 3.5;
  - b. How the on-site circulation system integrates with existing and planned streets, bicycle and pedestrian facilities, and trails in the surrounding area;
  - c. How new street design conforms with the recommended street cross section standards in Appendix A and reflects the intent of this Article;
  - d. How new collector street alignments conform with the ERC Collector Street Map (Figure 1-5) or how deviations from the Collector Street Plan, in terms of street placement, alignment, and design, are consistent with the intent statements in this Document;
  - e. Consideration for pedestrians, bicyclists, transit, and vehicles; and
  - f. That the street and pathway system will contribute to safe and convenient pedestrian connections between primary destinations in the ERC area (e.g. transit station, commercial services, parks) and residential areas.

3. For a subdivision, right of way dedication on the preliminary plan will document the project circulation plan. A restrictive covenant or easement shall be recorded and referenced on preliminary plan and final plat in lieu of dedication if approved through a variance from the Land Use Commission. The covenant may be amended if the director approves a revision to the Project Circulation Plan as authorized under this chapter.

#### **4. Director Approval**

- a. A Project Circulation Plan must be reviewed and approved by the Director under the requirements of this section.
  - b. A Project Circulation Plan should create interconnected blocks bounded by streets. The Director may approve a Project Circulation Plan containing blocks bounded by railroad right-of-way, subdivision boundary lines, or natural features if no reasonable alternatives are available.
  - c. Revisions to the Project Circulation Plan may be approved by the Director after considering the circulation characteristics of a proposed development plan, the need for access to adjoining properties, and the compatibility of surrounding development.
  - d. The Director may waive the requirement for a Project Circulation Plan if the Director finds that a plan is not necessary due to the nature of the proposed development on the site, the existence of surrounding incompatible development, or other factors unique to the property which make strict compliance unfeasible.
  - e. A subdivision or site plan may not be approved if the Project Circulation Plan is not approved. The Directors' decision approving or disapproving a Project Circulation Plan is subject to appeal by the applicant under the requirements of Section 25-5-112(c) of the LDC. A disapproval by the Director may be appealed by the applicant to the Land Use Commission.
5. Joint Access. If necessary to ensure access to the streets by the general public and transit vehicles, the director may require joint use driveways within the site to adjacent properties.

## Article 3

### 3.5.2. Dedication of ERC Collector Streets

#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 3.5.2</b> Dedication of ERC Collector Streets	●	●	●	●	●		●			All development.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

**B.** Right-of-way shall be dedicated for collector streets as identified on the ERC Collector Street Map (Figure 1-5) in conformance with LDC Section 25-6-51(a)(2) (an approved collector plan) and associated requirements in LDC Chapter 25-6, Article 2 (Reservation and Dedication of Right-of-Way).

1. New collector streets are required to follow the street cross-sections provided in Appendix A. The sidewalks and streetscapes of new collector streets shall meet the applicable standards in Article 3.
2. Collector street alignments shown on Figure 1-5 are approximate, are subject to modification as deemed appropriate by the Director and may be located on different ownership parcels. ROW dedication and reservation on specific parcels shall be determined in accordance with LDC Chapter 25-6, Article 2.
3. If a site is five acres or larger in size and required to build a new street(s) to meet the block size standards in Section 3.5.4, street alignment shall follow the collector street alignment as identified in Figure 1-5.
4. If a site is less than five acres in size, or would otherwise not be required to provide a new street(s) on the site in compliance with the block size standards in Section 3.5.4 or any other requirement, Floor-to-Area (FAR) calculations for the non-dedicated portion of the site shall be made based on the total site prior to the dedication of Right-of-Way.

### 3.5.3. Standards for New Streets

#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 3.5.3.</b> Standards for New Streets	●	●	●	●	●					- Any new street built in the ERC Zoning District.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

- B. Any new street built in the ERC Zoning District is recommended to follow one of the street cross-sections provided in Appendix A. Those streets designated as Collector streets in Figure 1-5 must provide the required minimum ROW as shown in the street cross sections provided in Appendix A.
- C. New streets are encouraged to incorporate Innovative Water Quality Controls as described in Environmental Criteria Manual Section 1.6 and illustrated in Appendix B of this Document.

### 3.5.4. Block Standards

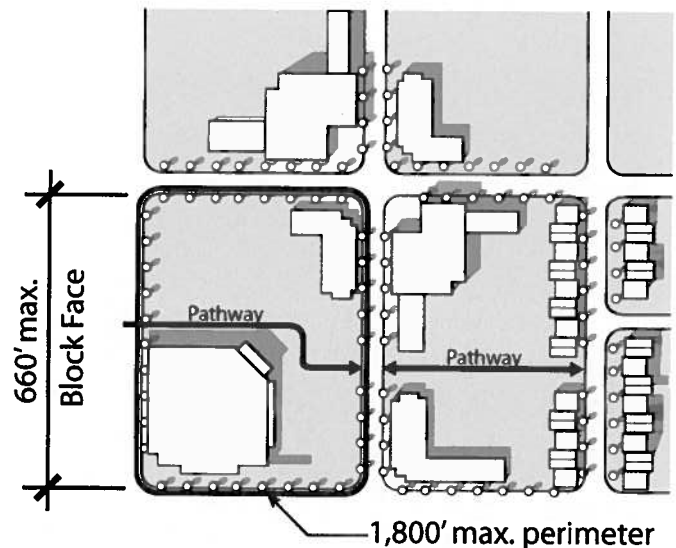
#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 3.5.4</b> Block Standards	●	●	●	●	●	●	●	●	●	- A site five acres or larger, or any block face exceeding 500 feet in length. - A site containing three or more buildings
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### B. Maximum Block Size

A site five acres or larger, or a site smaller than five acres but containing three or more buildings, shall be generally divided into internal blocks. Streets connecting the blocks shall form an interconnected, grid-like transportation system on the site and connect to existing and future streets, using the East Riverside Corridor Master Plan Street Network Map as a guide. Notwithstanding the provisions of new streets consistent with the ERC Collector Street Plan, the maximum length of any block face shall be 660 feet and the maximum block perimeter shall be 1,800 feet as measured from the curb line (see Figure 3-10) with the following exemptions, subject to the approval of the Director:

1. Block size should not exceed the standards in Subsection B above unless there are special circumstances including, but not limited to: restricted access due to easements, rail right-of-way, natural features (such as waterways and floodplain), and existing development.
2. Contiguous green spaces or parks are not subject to the block-length requirements, but if the green space or park is longer than 500 feet, it must include a minimum of one pedestrian and bicycle shared use path as a mid-block connection. This path shall connect to other existing or planned pedestrian/bicycle routes through the site or adjacent to the site.



**Figure 3-10:**

Example of a development meeting block standards and mid-block pathways.

### **C. Mid-block Pathway**

For a block face exceeding 500 feet in length, a pedestrian pathway shall be provided as a mid-block route to connect to public streets and/or other existing or planned pedestrian routes through the site or adjacent to the site (see Figure 3-10).










### **D. Subdivision of Internal Blocks**

Internal blocks abutting new streets may be subdivided to allow for the sale and development of individual blocks without frontage on a public street if the Director determines that the new street is equivalent to a public street in terms of pedestrian and bicycle access, allowing future bus transit access, utilities, pavement design, construction quality, and vehicle access requirements.



### 3.5.5. Curb Cut Spacing and Dimensional Standards

#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
Section 3.5.5 Curb-cut Spacing Standards and Dimensional Standards	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	All development.
										
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### B. Curb Cut Spacing

##### 1. General Standards

In addition to the standards under Subsections C and D below, curb-cuts on streets in the ERC Zoning District shall be located in accordance with the driveway spacing standards in Section 5 of the Transportation Criteria Manual (TCM), except as modified in 2, 3 and 4 below.

##### 2. ERC Core Transit Corridors

Curb cuts for vehicular connections between the site and any adjacent ERC Core Transit Corridor shall not occur more frequently than every 330 feet. Joint access may be required for abutting lots that have insufficient frontage for their own driveway to the Core Transit Corridor per this standard; otherwise access shall be provided from an ERC Urban Roadway, Highway, or Alley.

##### 3. ERC Pedestrian Priority Collectors

Curb cuts for vehicular connections between the site and any adjacent ERC Pedestrian Priority Collectors shall not occur more frequently than every 100 feet. Joint access may be required for abutting lots that have insufficient frontage for their own driveway to the Pedestrian Priority Collector per this standard; otherwise access shall be provided from an ERC Urban Roadway, Highway, or Alley.

##### 4. ERC Highways

Curb-cuts on ERC Highways shall be located in accordance with TxDOT driveway spacing standards located in the TxDOT Access Management Manual. The driveway spacing requirements are related to the posted speed limits. TxDOT is part of the City of Austin review process and all site developments that abut a state highway

## Article 3

system are reviewed by the TxDOT Driveway and Utility Permit Office and Area Engineer's office prior to final approval by the City.

### C. Curb-Cut Width Standards

Transportation Criteria Manual (TCM) specifies driveway standards in Section 5.3.2. These standards shall continue to apply to residential (Type I) and commercial (Type II) driveways, except as provided in this subsection.

1. The maximum Type I driveway width for townhouse residences shall be 18 feet.
2. Driveways along street frontages with an active edge designation are discouraged. When they are deemed necessary by the Director, the maximum Type II driveway width for multi-family residential and commercial uses shall be 30 feet along an active edge.
3. Other Type II driveways within the ERC Zoning District shall be no more than 30 feet wide, and they may be expanded to a maximum width of 35 feet when deemed necessary by the Director for proper traffic circulation and access.
4. The maximum curb return radius for all Type II driveways shall be 15 feet in the CMU, NMU, and UR Subdistricts. The maximum curb return radius may be expanded when deemed necessary by the Director for proper traffic circulation and access.
5. Sidewalk clear zones crossing a driveway shall be continuous and as straight and level as possible. Curb cuts shall ramp up and down to the level of the sidewalk rather than require additional curb ramps along the sidewalk.

### 3.5.6. Commercial and Residential Alleys

#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 3.5.6</b> Commercial and Residential Alleys	●	●	●	●	●	●	●	●	●	Optional for all development
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

- B. Alleys are encouraged to focus specific types of activity "behind the scenes" and to potentially allow for another point of access to the site. Alleys shall comply with the Commercial Alley or Residential Alley cross-sections as shown in Appendix A.

- C. Alleys should be used mid-block for service access and shall not substitute for streets required for emergency vehicle access or to meet block size or connectivity requirements in this Section.

### 3.5.7. Pedestrian, Bicycle, and Vehicular Circulation

#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 3.5.7</b> Pedestrian, Bicycle, and Vehicular Con- nectivity	●	●	●	●	●	●	●	●	●	All development.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### B. All sites or development subject to this section shall:

1. Provide connections to adjacent sites with private drives or public/private streets to link to existing private drives or public/private streets on adjacent sites;
2. Provide direct pedestrian access from any street adjacent to the property line to a building entrance (the pedestrian access point must be fully accessible during operating hours); and
3. Where public parkland is adjacent to the property line, provide pedestrian and bicycle access from the trail or walkway system on that parkland to the building entrance (the pedestrian and bicycle access points must be fully accessible during operating hours and shall meet City standards for pedestrian and bike ways).

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## **ARTICLE 4: SITE DEVELOPMENT STANDARDS**

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The applicability of standards in Article 4 is based on the ERC Subdistrict in which a property is located and the Roadway Type designation of streets adjacent to it. Refer to Article 1 for maps and Sections 2.3.4 and 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.

### **4.1. INTENT**

The standards of Article 4 are intended to:

- 4.1.1. Ensure that buildings relate appropriately to the surrounding area, create a cohesive visual identity and attractive street scene, and frame the pedestrian environment;
- 4.1.2. Ensure that buildings relate appropriately to their roadway context, allowing for easy pedestrian access to buildings and providing well-defined edges to the roadway environment;
- 4.1.3. Provide opportunities for roadside uses that enliven and enrich the roadway and pedestrian environment, such as outdoor dining, porches, patios, and landscape features;
- 4.1.4. Ensure that vehicular parking is accommodated in a manner that enriches and supports, rather than diminishes, the pedestrian environment;
- 4.1.5. Provide adequate, secure, and convenient bicycle parking to meet the needs of the users of a development and to encourage cycling activity;
- 4.1.6. Ensure that utilities and mechanical equipment are obscured and are not prominent features of a development that negatively impact the visual experience;
- 4.1.7. Ensure that exterior lighting creates a safe night-time atmosphere and encourages activity in the evening, but does not overwhelm the environment and intrude onto adjacent properties;
- 4.1.8. Provide both private and public open space amenities to residents, workers, and visitors of the ERC Zoning District so that the urban character of the ERC area is balanced with the open space needs of these populations;
- 4.1.9. Encourage innovative, sustainable stormwater management practices; and
- 4.1.10. Ensure that trees or man-made shading devices are used alongside streets and connecting sidewalks to businesses to encourage pedestrian activity by providing a sheltered and comfortable walking environment.



## 4.2. GENERAL DEVELOPMENT STANDARDS

### 4.2.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
Section 4.2 General Development Standards	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	All development.
	●	●	●	●	●	●	●	●	●	
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 4.2.2. General Development Standards Summary

The Development Standards Summary sheets (Figure 1-9 through 1-13) establish site development standards for each ERC Subdistrict and any additional regulations that apply in a specific subdistrict.

### 4.2.3. Other Site Development Standards

For all development in the ERC Zoning District:

#### A. Maximum Units Per Acre

There are no maximum units per acre requirements.

#### B. Minimum Building Stories in CMU Subdistrict

The minimum number of stories for buildings on all properties in the CMU Subdistrict is two stories. A minimum of 50% of building footprint must be two stories.

For properties located in all other subdistricts there is no minimum number of stories.

For the purposes of this document, two stories is defined in Figure 4-1. These standards apply regardless of whether the building is built at the property line or behind a supplemental zone.

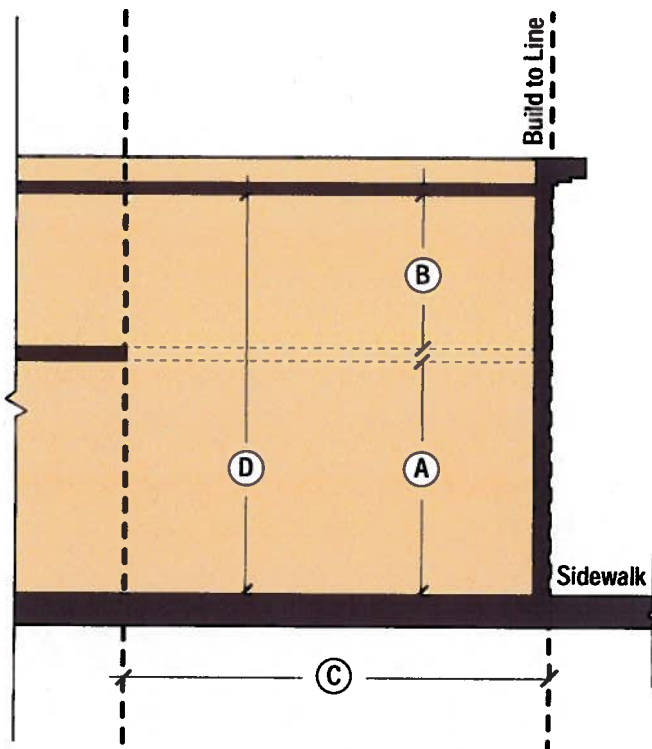


Figure 4-1: Two Story Minimum Requirements (illustration above and chart below).

	Definition	Requirements without Active Edge Designation	Requirements with Active Edge Designation
Ⓐ	<b>Ground Floor:</b> Measured from the finished floor to the bottom of floor structure above.	9' Minimum Height	12' Minimum Height
Ⓑ	<b>Upper Floors:</b> Measured from the finished floor to the bottom of floor or roof structure above.	8' Minimum Height	8' Minimum Height
Ⓒ	Maximum depth of a room or space where either an atrium or mezzanine is permitted.  Mezzanine square footage provided within this depth can contribute to the 50% total two-story requirement.	24' Maximum Depth	24' Maximum Depth
Ⓓ	<b>Double Height Space, if provided:</b> Measured from the finished floor to the bottom of floor or roof structure above.	18' Minimum Height	22' Minimum Height
See Figure 1-4 for properties with active edge designations.			

## Article 4

### C. Maximum Impervious Cover Requirements (per ERC Zoning)

Standards	The following Maximum Impervious Cover and Maximum Building Coverage Standards apply per Subdistrict.*				
	CMU	IMU	NMU	UR	NR
Maximum Impervious Cover Limits	90%	90%	80%	65%	55%
Maximum Building Coverage	90%	90%	80%	65%	55%
* Watershed Impervious Cover limits also apply. See Subsection D.					

### D. Maximum Impervious Cover Limits and Maximum Building Coverage

1. All properties in the ERC Zoning district are subject to LDC Article 8, Sections 25-8-393, 397,453, 454, and 514 (Watershed Impervious Cover limits), which also set impervious cover limits based on the watershed in which a property is located. Note: At the time this Document was adopted, LDC Section 25-2-492 (Site Development Regulations) require that the stricter of the ERC zoning impervious cover limit or the watershed impervious cover limit applies.
2. For purposes of applying Suburban Watershed impervious cover limits, the maximum impervious cover for mixed-use projects shall be 80%.
3. Maximum building coverage shall be equal to the maximum impervious cover permitted in each ERC Subdistrict per ERC zoning or per Watershed regulations, whichever is more restrictive.

#### 4.2.4. Compatibility Standards

##### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
Section 4.2.4 Compatibility Standards	●	●	●	●		●	●	●	●	Except as provided in Section 4.2.4.B (Exceptions), this article applies to the following uses: multi-family, commercial, or industrial use or a Planned Unit Development (PUD) with a residential density of greater than 12.45 units per acre within 300 feet of a triggering property.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

## B. Exceptions

Properties within the ERC Hubs, as shown in Figure 1-6, will not trigger the standards of Subsection D below.

## C. Triggering Properties

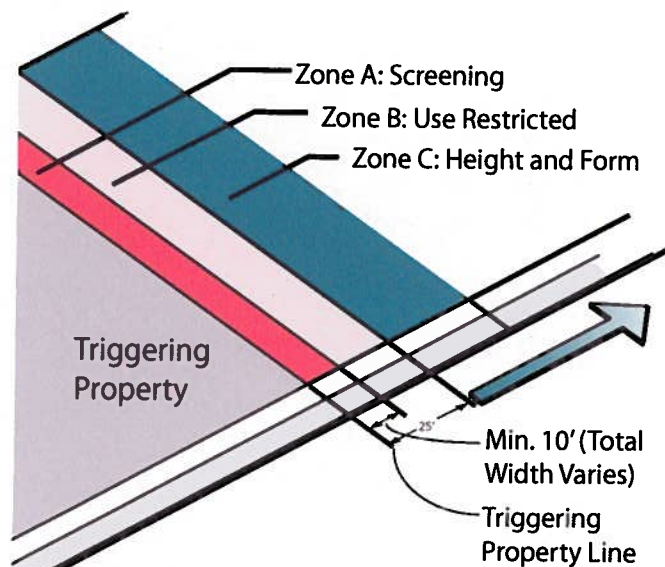
1. Duplex Residential
2. Single-Family Attached Residential
3. Single-Family Residential
4. Small Lot Single-Family Residential
5. Two-Family Residential
6. Planned Unit Development (PUD) with a residential density of less than 12.44 units per acre.

## D. Standards

The ERC Regulating Plan incorporates three Compatibility Transition Zones (See Figure 4-2 Transition Zone locations). The Compatibility Transition Zones are defined as follows:

### 1. Zone A: Screening Zone Described

The Screening Zone is intended to provide a buffer between a triggering property and an immediately adjacent development to which this standard applies. It consists mainly of vegetative landscaping and may contain a wall or fence. If the property line of the triggering property is located more than 25 feet from the property line of the new development, the Screening Zone is not required. If the triggering property shares a



**Figure 4-2: Transition Zone Locations**

This diagram illustrates the relationship between a triggering property, Zone A, Zone B, and Zone C.

common property line to the development to which this standard applies, the 25' buffer area may be comprised of a 25' Wide Type Screening Zone, or a 10' Narrow Type Screening Zone in conjunction with a 15' Use Restricted Zone. See Figures 4-2 and 4-3.

**a. Location and Width of Zone A Screening Zone**

- i. Location:** Immediately abutting the property line of the triggering property located between the triggering property and Zone B.
- ii. Width:** The Screening Zone can be one of two types, Wide or Narrow (See Figure 4-3). The width of Zone A varies depending on which type of Screening Zone is applied.

**b. Narrow Type (to be used in conjunction with Use Restricted Zone)**

- i. Width:** Varies with a minimum width of 10 feet.
- ii. Installation Requirements:**
  - A wall six feet in height;
  - One shade tree per 25 lineal feet;
  - Three understory trees per 100 lineal feet; and
  - 40 shrubs per 100 lineal feet.

**c. Wide Type (to be used without an adjacent Use Restricted Zone)**

- i. Width:** Minimum width of 25 feet.
- ii. Installation Requirements**
  - Six shade trees per 100 lineal feet;
  - Five understory trees per 100 lineal feet; and
  - 60 shrubs per 100 lineal feet.

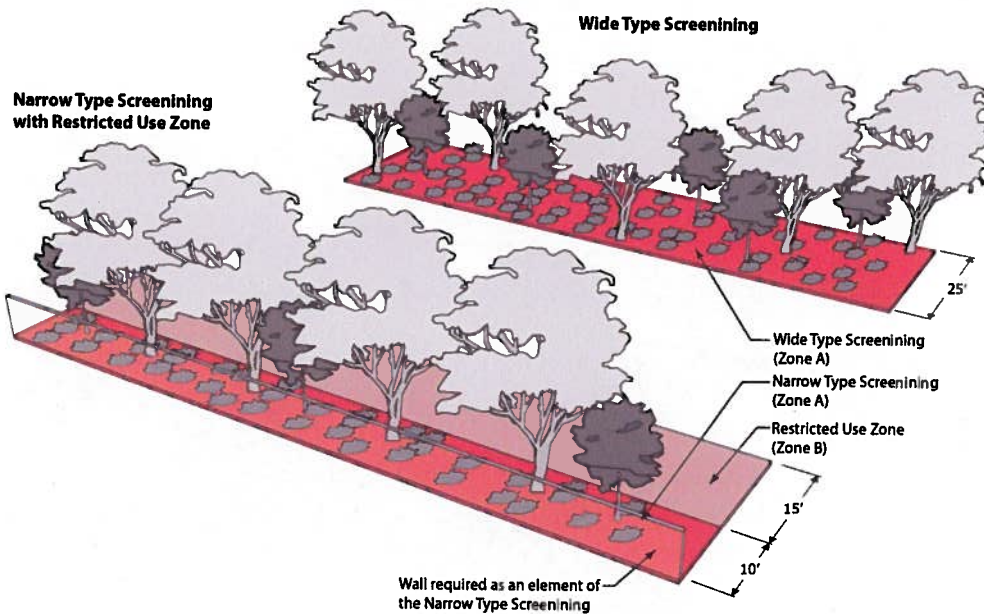
**iii. Optional Requirements**

In lieu of planting required shrubs, a berm with a minimum height of three feet may be installed.  
May include a wall or fence.

**2. Zone B: Use Restricted Zone Described**

The Zone B Use Restricted Zone may only be utilized with the fulfillment of Zone A Narrow Type Screening Zone requirements, at a minimum. It allows defined low intensity uses if required screening and landscaping is provided.





**Figure 4-3: Narrow Type and Wide Type Screening Zones**

This diagram illustrates the Zone A Narrow Type Screening with Zone B Restricted Use and Zone A Wide Type Screening (no Zone B).

**a. Location and Width of Zone B Use Restricted Zone**

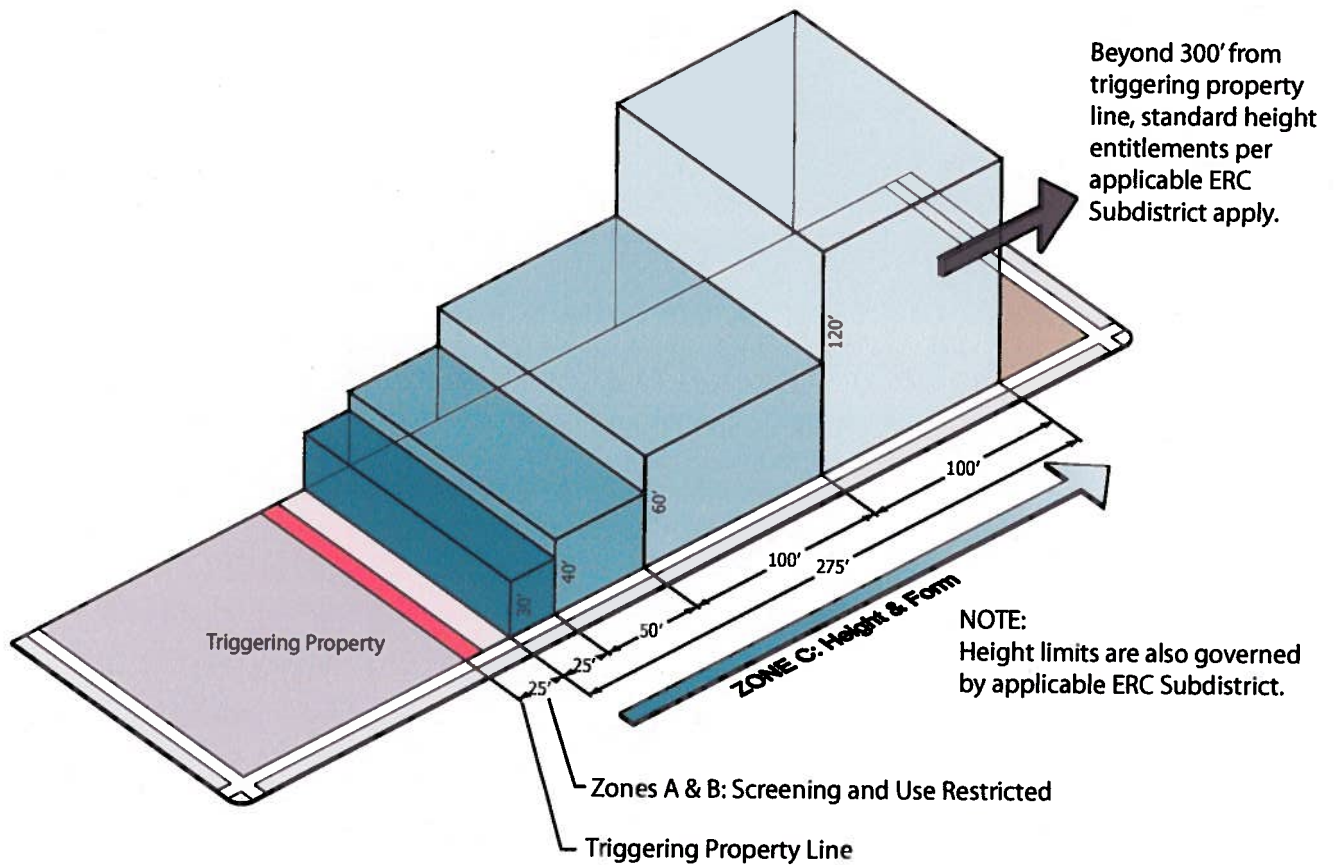
- i. **Location:** Located between Zone A and Zone C.
- ii. **Width:** The width varies between 0 and 15 feet.

**b. Permitted Activity**

Yard, landscaping, fence, wall.  
 Garden.  
 Outdoor dining (not after 10:00 pm).  
 Stormwater facilities.  
 Surface parking lot.  
 Path, walkway.  
 Alley.

**3. Zone C: Height and Form Zone Described**

The Height and Form Zone provides a transition in scale and design from residential triggering properties to other building types.



**Figure 4-4: ERC Compatibility Height Restrictions**

The compatibility standards for the ERC incorporates three Transition Zones: Zone A - Screening; Zone B - Use Restricted; and Zone C - Height & Form

**a. Location and Width of Zone C Height and Form Zone**

- i. **Location:** Adjacent to the boundary of Zone B furthest from the property line of the triggering property.
- ii. **Width:** Total width of 275 ft.

**b. Permitted Activity**

All uses allowed in the designated ERC Subdistrict on the site are permitted in Zone C.

**c. Height**

See Figure 4-4 for illustration of ERC Compatibility height restrictions.

NOTE: Allowable height is also limited by the maximum allowable height for each ERC Subdistrict. Whichever height limit is most restrictive, per this section or ERC Subdistrict, determines the height allowed on the site.

- i. Between 25 and 50 feet from the triggering property line, no building or structure may exceed 30 feet or two stories in height.
- ii. Between 51 feet and 100 feet from the triggering property line, no building or structure may exceed 40 feet.
- iii. Between 101 feet and 200 feet from the triggering property line, no building or structure can exceed 60 feet.
- iv. Between 201 feet and 300 feet from the triggering property line, no building or structure can exceed 120 feet.

**4. Form****a. Facade Articulation**

Any portion of a building wall facing an adjoining triggering property and exceeding 60 feet in length must meet the building façade articulation requirements for Principal Streets as described in Section 5.5.2 and Figure 5-3 of this Document.

**b. Parking Structures**

For a parking structure facing a triggering property listed in this Subsection and located 100 feet or less from a common property line:

- i. The headlights of an automobile in a parking structure may not be directly visible from the triggering property.
- ii. Automobiles in a parking structure must be screened from public view.
- iii. All lighting from parking structure interiors must be screened from view so that the light source is not directly visible from adjacent triggering property.
- iv. Green screens, or other plant material growing on a structure permanently attached to the parking garage structure, may be used to screen openings in parking garage walls, as long as the structure meets the screening requirements of this Subsection.

**c. Material Regulations**

- i. Materials on building facades facing a triggering property and located 100 feet or less from a common property line shall be the same as, or of equal quality to, the material used for street facing building facade.
- ii. A highly reflective surface, including reflective glass and a reflective metal roof with a pitch that exceeds a run of seven to a rise of 12, may not be used, unless the reflective surface is a solar panel or copper or painted metal roof or if the roofing material was selected to help meet the requirements for an Austin Energy Green Building (AEGB) rating or to obtain Leadership in Energy and Environmental Design (LEED) certification.

**5. Additional Standards**

- a. The noise level of mechanical equipment may not exceed 70 db at the property line of a triggering property.
- b. A permanently placed refuse receptacle, including a dumpster, may not be located 50 feet or less from adjoining triggering property. The location of and access to a permanently placed refuse receptacle, including a dumpster, must comply with guidelines published by the City. The Planning and Development Review Department shall review and must approve the location of and access to each refuse receptacle on a property.
- c. Collection or dumping of a permanently placed refuse receptacle 100 feet or less from adjoining triggering property is prohibited between 10:00 pm and 7:00 am.
- d. An intensive recreational use, including a swimming pool, tennis court, ball court, or playground, may not be constructed 50 feet or less from adjoining triggering property.

**E. Waivers**

1. Except as provided by Subsection 2 below, the Land Use Commission, or council on appeal from a Land Use Commission decision, may waive a requirement of the ERC Compatibility Standards if the Land Use Commission or council determine that a waiver is appropriate and will not harm the surrounding area.
2. The Land Use Commission or council may not approve a waiver that reduces a required setback to less than five feet.
3. This section does not prohibit the Board of Zoning Adjustment from granting a variance from a requirement of this article under Section 25-2-473 (Variance Requirements).

### **4.3. RELATIONSHIP OF BUILDINGS TO STREETS AND WALKWAYS**

#### **4.3.1. Purpose**

This Document alters the standard manner of applying setbacks. Conventional zoning code applies a minimum building setback from the property line. However, the goal for the East Riverside Corridor is to build compact environments that are designed around the pedestrian with attractive and aligned street facades that frame the streetscape. Therefore, this Document does not require minimum or maximum setbacks and instead employs the use of build-to lines where a building, or a portion of a building, must be built up to the property line or the sidewalk clear zone (or supplemental zone if provided).

#### **4.3.2. Building Placement Factors**

Building placement standards vary according to the roadway type of the lot or site's principal street.

##### **A. Principal Street Determination**

1. Any roadway type with an active edge designation has priority. See Figure 1-4, Active Edge Map, for parcels with an active edge designation.
2. Absent an active edge designation, the following roadway types are listed from highest to lowest priority for purposes of this Article and Article 5:
  - a. ERC Core Transit Corridor;
  - b. ERC Pedestrian Priority Collector;
  - c. ERC Urban Roadway; and
  - d. ERC Highway.

The street with the highest level of priority adjacent to the lot or site is considered the "principal street" for the purpose of applying many of the standards in Articles 4 and 5. For a lot or site that is adjacent to more than one street with an active edge designation and for which both streets have the same principal street designation, the street designated by the lot owner shall be considered the principal street.

For a lot or site that is absent an active edge that is adjacent to more than one street of equal roadway type priority, the street with the highest level of transit service, as determined by the Director, shall be considered the principal street. If the streets do not have transit service or the level of transit service is equal, the street designated by the lot owner shall be considered the principal street.



## B. Active Edge

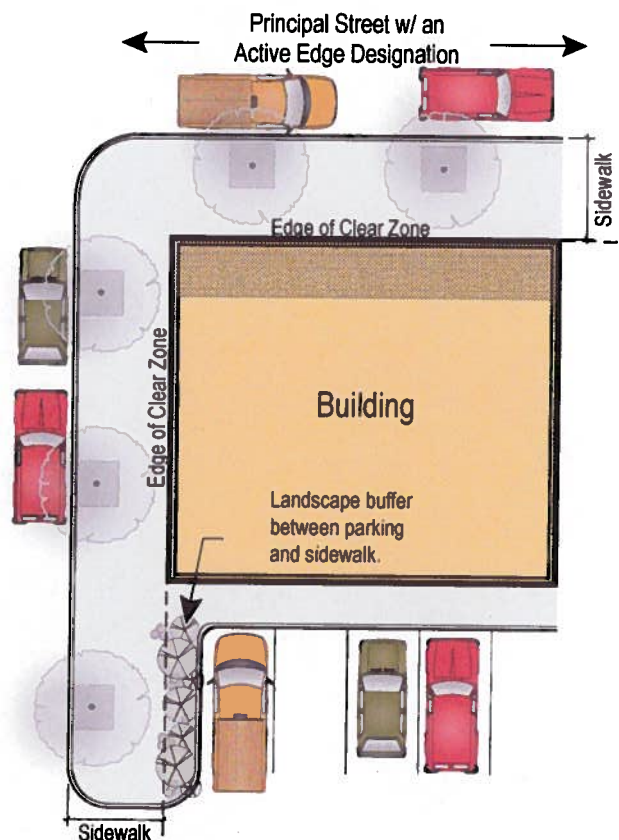
To enliven pedestrian activity areas, which are located along major streets and at key intersections, ERC zoning requires development along portions of streets designated as active edges, as shown in Figure 1-4, to meet active edge standards. Building placement near or adjacent to the street is an essential component along these active edge locations. Specific standards for buildings along street segments with an active edge designation are detailed below in Subsection 4.3.3 Building Placement. In addition, see Section 5.6.2 for active edge requirements for off street parking.

## C. Supplemental Zone (Optional)

A supplemental zone may be provided at the option of the applicant between the street-facing façade line and the required sidewalk clear zone. This zone is available so that a development may provide active public uses such as a plaza, outdoor café or patio, or in more residential settings, private porches or open space. The extent to which such space may be provided is governed by the provisions in Subsection 4.3.4.



**Figure 4-5:**  
Example of Supplemental Zone outdoor dining area.



**Figure 4-6:**  
**Building placement along an Active Edge**  
Building placement requirement along an active edge with required landscaping between the parking and the clear zone along other adjacent streets.

### 4.3.3. Building Placement

#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 4.3.3</b> Building Placement	●	●	●	●	●	●	●	●	●	All development -Required along the principal street -Corner site provisions -Active Edge standards -Industrial use provisions -See Figure 4-7, Building Placement Standards.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### B. General Standards

A minimum percentage of the net frontage length of the property (or of the block if internal blocks are created within a site) along the principal street must consist of continuous building façade built up to the property line, build-to line, sidewalk clear zone, or the supplemental zone if one is provided (see Figure 4-6). Properties with active edge designations must comply with the active edge minimum net frontage length requirement for that edge or edges, regardless of the street type. The minimum net frontage length requirement varies according to the roadway type and the presence of an active edge. For the purpose of applying the standards in this Document, "net frontage length" is defined in Article 7. The minimum net frontage length requirement is shown in the table below. When only a portion of the site frontage is designated as an active edge, the active edge net frontage requirement shall be met for that portion of the site, but may be applied toward the overall net frontage requirement for the site based on the principal roadway type.

The building placement standards in the following Figure 4-7 apply to the site's principal street:

Figure 4-7: Building Placement Standards				
	CTC	PPC	UR	HWY
Basic Standard	75% net frontage length to clear zone*	75% net frontage length to clear zone*	50% net frontage length to clear zone*	None
Active Edge Standard	100% net frontage length to clear zone*			

\*or supplemental zone if provided

**C. Additional Standard for Buildings Three Stories or Higher**

If the street right-of-way is less than 60 feet in width, the minimum front yard setback for buildings three or more stories in height shall be 30 feet from the center line of the street to ensure adequate fire access.

**D. Corner Sites**

For a site occupying one or more corners, the building placement standards must be met for the principal street and one other street that abuts the site and intersects the principal street. If more than one other street intersects with the principal street, the building placement standards shall be met on the principal street and the street with the highest level of roadway type priority adjacent to the lot or site according to priorities established in Section 4.3.2.



**Figure 4-8:**  
Example of building placement for Civic Buildings.

**E. Sites with Internal Blocks**

For a site with internal blocks, the principal street for each block shall be determined according to priorities established in Section 4.3.2 with buildings following the building placement standards established in Section 4.3.3.

**F. Phased Projects**

Each phase of development in a phased project must independently satisfy all requirements, including the building placement standards of this section. The Director may modify this requirement to the minimum extent necessary.

**G. Civic Buildings**

In order to provide greater flexibility to create a distinctive architectural statement, civic buildings, as defined in Article 7 Definitions, are not required to meet the building placement standards in this section, so long as parking is not located between the building frontage and the street (see Figure 4-8).

## H. Industrial Uses

1. In the Industrial Mixed Use Subdistrict:
  - a. If the principal street is an ERC Urban Roadway, development of an industrial use is exempt from the building placement requirements in Section 4.3.3.B.
  - b. If the principal street is an ERC Core Transit Corridor or ERC Pedestrian Priority Collector, all development shall meet the building placement requirements in Section 4.3.3.B.
2. For industrial uses, loading dock bay doors must be located to the side or rear of the building and shall not face the principal street.

### 4.3.4. Supplemental Zones

#### A. Applicability

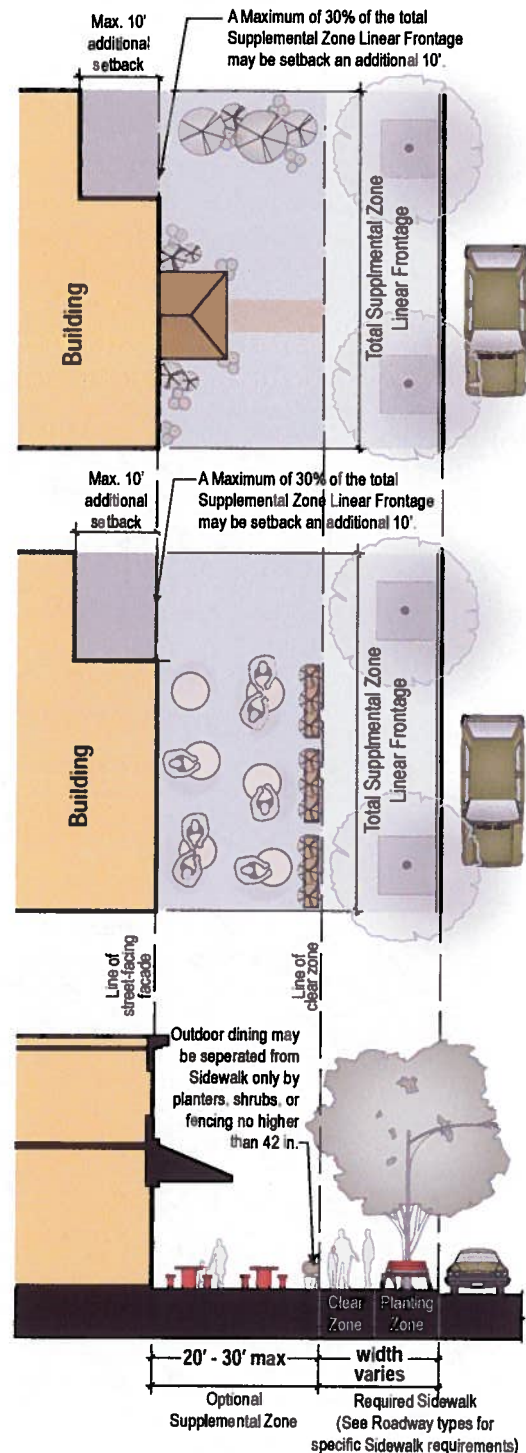
Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 4.3.4</b> Supplemental Zones	●	●	●	●	●	●	●	●		Optional for all development
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### B. Standards

1. A supplemental zone may be provided, at the option of the applicant, between the line of the street-facing façade and the required sidewalk clear zone. If a supplemental zone is provided, up to 30 percent of the linear frontage of the supplemental zone may be set back an additional 10 feet for a maximum of 30 feet deep and the remainder of the supplemental zone shall be a maximum of 20 feet deep (see Figures 4-9).
  2. Since there are no building frontage requirements if the principal street is an ERC Highway, supplemental zone standards are not applicable if the principal street is an ERC Highway.
- C. The supplemental zone must be designed as occupiable space to accommodate active use. It shall include at least one of the following elements:
1. Accessory outdoor dining, provided that the dining area may be separated from the sidewalk only with planters, shrubs, or fencing with a maximum height of 42 inches (see Figure 4-9);



2. Balconies, pedestrian walkways, porches, handicap ramps, and stoops; provided, however, that no such feature shall extend beyond the supplemental zone into the public ROW without a license agreement;
  3. Terraces, provided that they have a maximum finished floor height of 24 inches above the sidewalk elevation and shall be surrounded by a guardrail that meets City specifications;
  4. Landscape and water features;
  5. Plazas; and
  6. Incidental display and sales.
- D. Any features in the supplemental zone must not obstruct the open pedestrian connection between the building's primary entrance and the clear zone.



**Figure 4-9:**  
Sample illustrations of development incorporating the optional supplemental zone.



## 4.4. OFF-STREET AUTOMOBILE AND BICYCLE PARKING

### 4.4.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
Section 4.4 Off-Street Auto- mobile and Bicycle Parking	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	- All development - Active Edge standards
	●	●	●	●	●	●	●	●	●	

See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.

### 4.4.2. Automobile Parking Requirements

#### A. Minimum Automobile Parking Requirement:

60 percent of that prescribed by the LDC Section 25-6 Appendix A (Tables of Off-Street Parking and Loading Requirements).

#### B. Maximum Automobile Parking Requirement:

110 percent of that prescribed by Appendix A.

### 4.4.3. Shared Parking

Shared parking arrangements are encouraged to ensure that any vehicular parking provided is utilized to the greatest extent possible and to limit the provision of unnecessary parking spaces. Shared parking opportunities must be approved by the Director during site plan review.

### 4.4.4. Reduction of Minimum Off-Street Parking Requirements

This section provides for reductions in the minimum off-street parking requirements in Subsection 4.4.2. The minimum off-street parking requirement shall be reduced as follows:

- A. By one space for each on-street parking space located adjacent to the site. On-street parking utilized to meet minimum parking requirements may at any time be removed or modified by the City of Austin.
- B. By up to 10 percent to preserve significant stands of trees or protected trees in addition to those required to be preserved by the Code, pursuant to protection measures specified in the Environmental Criteria Manual. If the applicant provides more parking spaces than the minimum required, the additional parking spaces may not result in the removal of significant stands of trees or protected trees.

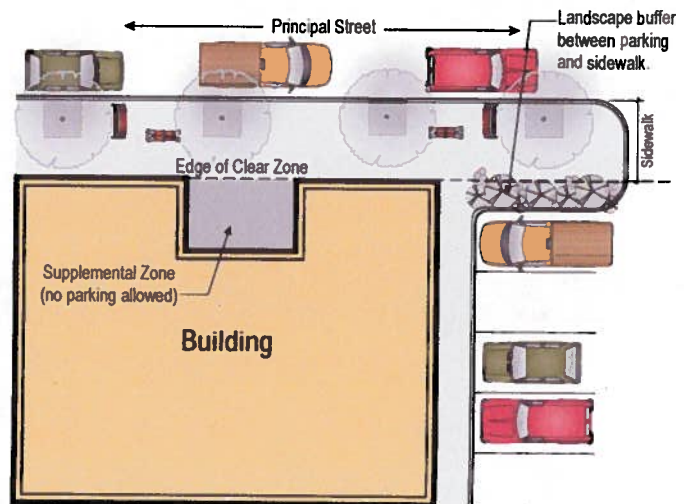
## Article 4

- C. By 20 spaces for every car-sharing vehicle provided in a program that complies with the requirements prescribed by the Director by administrative rule.
- D. By 20 spaces for an electric vehicle charging station installed and maintained in accordance with Austin Energy standards.
- E. By 10 percent if a shower facility area is provided on-site per the criteria below: (1) For buildings with 5,000 to 19,999 square feet of gross floor area, a minimum of one unisex shower and changing facility shall be provided. (2) For buildings with 20,000 to 99,999 square feet of gross floor area, a minimum of one shower and changing facility per gender shall be provided. (3) For buildings with 100,000 or more square feet of gross floor area, a minimum of two showers and changing facilities per gender shall be provided.
- F. By one motor vehicle parking space for each fully enclosed and lockable bicycle parking space.
- G. By 10 percent if parking spaces are leased or sold separately from occupied units or spaces.

Unless otherwise specified, the above reductions may be applied cumulatively, and may be applied in addition to the parking reduction authorized in Subsection 4.4.2, but in no case may the minimum off-street parking requirements for a project set forth in Chapter 25-6, Appendix A, be reduced to less than 50 percent.

### 4.4.5. Parking Design Standards

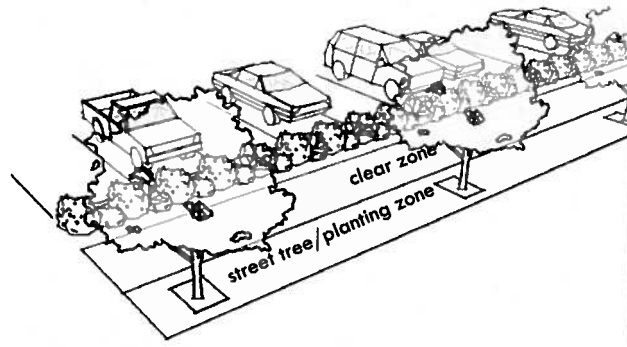
- A. For all roadway types except ERC Highway and where Type 1 driveways are allowed, off-street parking is prohibited between the principal street and the corresponding street-facing façade line (see Figure 4-10).
- B. Any off-street surface parking along a street designated as an ERC Core Transit Corridor or ERC Pedestrian Priority Collector shall have landscape buffering in accord with Environmental Criteria



**Figure 4-10:**

No Parking is allowed between the street and the building facade. When parking is located to the side of a building, screening is required between the parking and the sidewalk (ERC Core Transit Corridor Example).

Manual [Section 2.4.3] between the clear zone (or the supplemental zone if provided) and the parking area. The buffering method chosen must include shade trees unless already provided in an adjacent planting zone (Figure 4-11).



**Figure 4-11:**

Required screening for surface parking along all streets.

- C. Off-street surface parking is prohibited along street segments designated as active edges on Figure 1-4, Active Edges Map. Parking structures may be located along active edges provided they meet the applicable active edge standards in Section 5.6.
- D. Off-street parking provided as part of a building or parking structure adjacent to the principal street, an ERC Core Transit Corridor, or an ERC Pedestrian Priority Collector must meet the active edge ground floor space standards in Section 5.6 for the net frontage length required by the roadway type.
- E. Commercial off-street parking and off-site accessory parking must comply with the limitations and requirements in Figure 2-1, the ERC Land Use Table.

#### 4.4.6. Bicycle Parking Requirements

##### A. Minimum Requirement

Bicycle parking shall be as prescribed by the LDC Appendix A (Tables of Off-Street Parking and Loading Requirements). The required amount shall be calculated based on the motor vehicle spaces required by Appendix A prior to any available parking reductions.

1. For retail uses, a minimum of 75% of all required bicycle parking shall be located along the principal street and within 50 feet of a primary building entrance. If premium bicycle parking is provided in a garage and signage is provided to communicate that bicycle parking available in a garage, then a minimum of 50% of all required bicycle parking shall be located along the principal street and within 50 feet of a primary building entrance. For all other uses, the requirement is a minimum of 10%.
2. After meeting the requirement in 1. above, the remainder of required bicycle parking may be located:

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- a. Within 50 feet of other building entryways not on the principal street; or
- b. At employee entrances; or
- c. Within a building; or
- d. In a covered motor vehicle parking area.

### **B. Standards**

All bicycle parking shall meet the standards as prescribed in the LDC and as follows:

- 1. Bicycle parking is encouraged in the sidewalk planting zone, but shall not obstruct walkways.
- 2. Bicycle parking facilities shall either be lockable enclosures in which the bicycle is stored, or a secure stationary rack, which support the frame so the bicycle cannot easily be pushed or fall to one side. Racks that require a user-supplied lock should accommodate locking the frame and both wheels using either a cable or U-shaped lock.
- 3. Bicycle parking spaces shall be at least 6 feet long and 3 feet wide, and overhead clearance in covered spaces shall be a minimum of 7 feet.
- 4. A 5-foot aisle for bicycle maneuvering, which may be provided within the required sidewalk clear zone, shall be provided and maintained beside or between each row of bicycle parking.
- 5. Bicycle racks or lockers shall be securely anchored.
- 6. Bicycle parking shall be located in a well lighted, secure, and visible location.
- 7. Bicycle racks may be located in a parking lot provided the clearances described in this section are met.

### **4.5. DRIVE-THROUGH FACILITIES**

Drive-through facilities are not allowed in the ERC Zoning District.

## 4.6. EXTERIOR LIGHTING

### 4.6.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 4.6</b> Exterior Lighting	●	●	●	●	●	●	●	●	●	All development except Duplex, Single-family Attached, Townhouse, and Two family residential uses.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 4.6.2. Standards

All development to which this standard is applicable shall comply with the Exterior Lighting regulations in LDC Chapter 25-2, Subchapter E.

## 4.7. SCREENING OF EQUIPMENT AND UTILITIES

### 4.7.1. Applicability

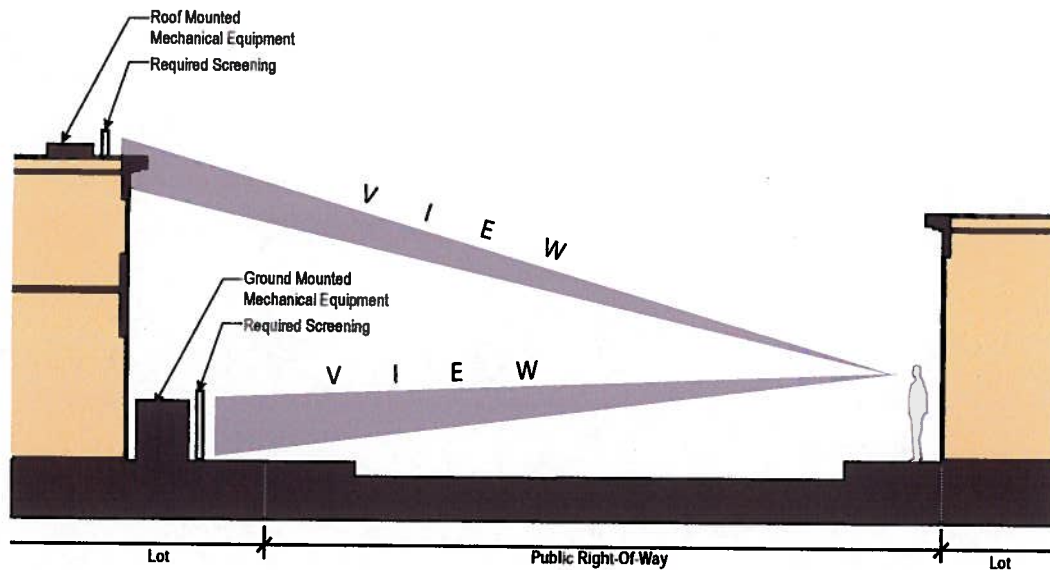
Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 4.7</b> Screening of Equipment and Utilities	●	●	●	●	●	●	●	●	●	- All development - Exceptions are: local utility services, electric service transformers within the right-of-way, and telecommunications towers
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 4.7.2. Standards

All development, with the exception of local utility services, electric service transformers within the right-of-way, and telecommunications towers, shall comply with the following requirements:

- A. Solid waste collection areas and mechanical equipment, including equipment located on a rooftop but not including solar panels, shall be screened from the view of a person standing on the property line on the far side of a street (see Figure 4-12).
- B. Loading docks, truck parking, outdoor storage, trash collection, trash compaction, and other service functions shall be incorporated into the overall design of the building and landscape so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and streets. Screening materials





**Figure 4-12:**

Required screening of mechanical equipment from the property across the street.

for solid waste collection and loading areas shall be the same as, or of equal quality to, the materials used for the principal building. Loading docks, truck parking, outdoor storage, trash collection, trash compaction, and other service functions may be placed alongside public alleys without the necessity of screening, unless screening is required in Section 4.2.4, Compatibility Standards.

## 4.8. SIGN REGULATIONS

### 4.8.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 4.8</b> Sign Regulations	●		●	●	●	●	●	●		All development that meets the standards for full compliance or partial compliance with the ERC Design Standards, as defined in Subsections 1.2.3.B. and 1.2.3.C.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### 4.8.2. Standards

All development on Riverside Drive to which this standard is applicable shall comply with the Sign Regulations in LDC Section 25-10-124: Scenic Roadway Sign District Regulations, except that 25-10-124 Section B.2 is modified to read, "The sign height may not exceed 6 feet." All development not on Riverside Drive to which this standard is applicable shall comply with the Sign Regulations in LDC Section 25-10-133: University Overlay Zoning District Signs.

### 4.9. PRIVATE COMMON OPEN SPACE AND PEDESTRIAN AMENITIES

#### 4.9.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 4.9</b> Private Common Open Space and Pedestrian Amenities	●	●	●	●	●	●	●	●	●	- All site plans two acres in size or larger and all multifamily and condominium uses except as provided in 25-2-776 and 25-2-780.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### 4.9.2. Purpose

Open air and semi-enclosed public gathering spaces can act as central organizing elements in a development. They can also help to shape the relationship between different land uses and provide focal points and anchors for pedestrian activity. Goals and requirements for common open space and pedestrian amenities complement the LDC requirements for dedicated public open space and parks, and serve similar purposes.

#### 4.9.3. Standards

##### A. Percentage of Gross Site Area

All development subject to this section shall devote a minimum of five percent of gross site area to private common open space or pedestrian amenities.

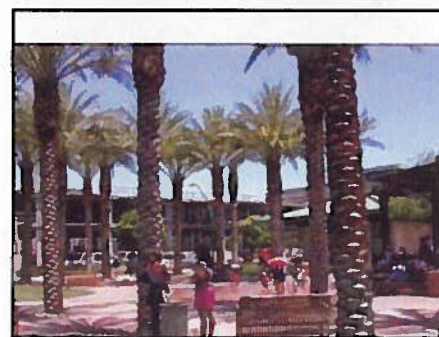
##### B. Amenity Required

The private common open space required under Section A above shall consist of one or more of the following types of private common open space or pedestrian amenities:

1. A natural and undeveloped private common open space, for use of the residents, employees, and visitors to the development.

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2. A landscape area other than one required by LDC Subchapter C, Article 9 (Landscaping), provided such landscaped area has a minimum depth and width of 20 feet and a minimum total area of 650 square feet. The area shall include pedestrian amenities.
3. A patio or plaza with outdoor seating areas, provided the patio or plaza has a minimum depth and width of 20 feet and a minimum total area of 650 square feet. The area shall include pedestrian amenities including fully or partially shaded spaces with flexible or permanent seating to support these places as gathering areas.
4. A play area with amenities or equipment suitable for children under nine years of age, provided the play area has a minimum depth and width of 20 feet and a minimum total area of 650 square feet. Play areas shall comply with the most current Consumer Product Safety Commission guidelines for playgrounds as well as ASTM International standards as applicable and shall have impediments between the activity area and any nearby vehicular drives or parking areas to minimize the opportunities for young children to wander into traffic. Such impediments may include berms, fencing, landscaping or other barriers as appropriate to the site and which meet safety standards. Play areas shall include partially-shaded areas with flexible or permanent seating for adult supervision. A project which chooses this option may reduce the total amount of open space required by 10 percent.
5. Spaces that provide educational, historic, or cultural features, or sensory experiences such as culinary, therapeutic or sculptural gardens; soundscapes; and interactive water features.
6. Swimming pool, wading pool, or splash pad.
7. Water quality and storm water detention ponds designed as an amenity and approved by the Director.
8. A multi-use trail proposed in the City of Austin Trails Master Plan, Austin Parks and Recreation Long-Range Plan, Sidewalk Master Plan, or Bicycle Plan.



**Figure 4-13:**  
Examples of Open Space Amenities

9. Basketball, tennis, volleyball, or other sport courts or playing fields.
10. A combination of the above-listed amenities. (See Figure 4-13).

### **C. Location Criteria**

To the maximum extent feasible, where significant natural and scenic resource assets exist on a property, the developer shall give priority to their preservation as private common open space. In reviewing the proposed location of private common open space areas, the Director shall use all applicable plans, maps, and reports to determine whether significant resources exist on a proposed site that should be protected, with priority being given to the following areas (which are not listed in a particular order):

1. Wetlands, native prairies, or meadows;
2. Flood hazard areas;
3. Lakes, rivers, and stream/riparian corridors;
4. Tree preservation areas;
5. Karst areas;
6. Cultural or historically significant structures, landscapes, features and/or places; and
7. Agricultural lands used for cultivation of local produce.

Where private common open space areas, trails, parks, or other public spaces exist or are proposed in the City of Austin Trails Master Plan, Austin Parks and Recreation Long-Range Plan, Sidewalk Master Plan, or Bicycle Plan within or adjacent to the tract to be subdivided or developed, the private common open space or pedestrian amenity shall, to the maximum extent feasible, be located to adjoin, extend, and enlarge the presently existing or proposed trail, park, or other open area land. Public access easements may be required in order to guarantee public access to these facilities.

### **D. Areas Not Credited**

Lands within the following areas shall not be counted towards private common open space or pedestrian amenities required by this section:

1. Open space in required street yard;
2. Public or private streets or rights of way;
3. Off-street parking, loading areas, driveways, and service areas;

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4. Water quality and stormwater detention ponds, unless designed as an accessible amenity and approved by the Director; and
5. A required sidewalk planting zone.

### E. Design Criteria

Land set aside for private common open space or pedestrian amenities pursuant to this section shall meet the following design criteria, as relevant:

1. Common open space areas shall be located so as to be readily accessible and usable by residents or visitors in various locations of the development, unless the lands are sensitive natural resources and access should be restricted.
2. Open space areas shall be compact and contiguous unless the open space is used as a continuation of an existing trail, or specific or unique topographic features that are adjacent or adjoining require a different configuration. An example of such topographic features would be the provision of a trail or private open area along a riparian corridor.
3. The surface of a required open space must be suitable for outdoor activities. A surface must consist of lawn, garden, flagstone, wood planking, concrete, or other serviceable, dust free material. Asphalt or similar surfacing may be used for designated recreation areas such as multi-purpose trails, tennis courts, and basketball courts. Decomposed granite may be used if approved by the Director and if accessibility requirements are met. A combination of different materials is encouraged.
4. Not more than 30 percent of the required open space may be located on a roof, balcony, or other area above ground level. In determining the amount of open space on a roof, an area occupied by a vent, mechanical equipment or structure that does not enhance the usability of the space is excluded.
5. This subsection provides for the covering of a required open space.
  - a. Not more than 50 percent of ground level open space may be covered by a fixed manmade obstruction, including a roof, balcony, or building projection. Roof gardens and sculptural elements that are accessible to the public will not be considered manmade obstructions.
  - b. Open space above ground level may be covered, but must have at least one exterior side open and unobstructed, except for railings or balustrades.

### F. Maintenance

All private common open space or pedestrian amenity areas shall be permanently maintained by the owners of the development.



## G. Public Dedication

Instead of providing on-site private common open space or pedestrian amenities as required in this section, the developer of a property may request approval of the Director of the Parks and Recreation Department (PARD) to dedicate on-site public open space in partial or complete fulfillment of the private common open space requirement. The applicant shall pay all costs of transferring the land to the City, including costs set out in the LDC Section 25-1-602(G). All land dedicated to the City under this section shall be permanently maintained by the owners of the development, unless waived by the Director.

## 4.10. PUBLIC OPEN SPACE AND TRAILS

### 4.10.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 4.10</b> Public Open Space and Trails	●	●	●	●	●	●	●	●	●	- All development
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 4.10.2. Purpose

Because of the urban form of development envisioned for the ERC Zoning District, it is important to provide public open space and parks facilities for local residents. Some development sites will be better suited than others to provide on-site parkland for reasons including, but not limited to, the location of the site within the ERC Zoning District and to core activity areas, site constraints, and size of site.

Parks should be distributed throughout the planning area to properly serve ERC residents, employees, and visitors.

### 4.10.3. Parkland Dedication

#### A. On-site Parkland Dedication Allowance

If, as part of a development project, the parkland dedication requirement established in Section 25-1 Article 14 of the LDC is met in part or in full with a dedication of public parkland on site, FAR calculations for the non-dedicated portion of the site shall be made based on the total site area prior to the dedication.

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### B. Sites 20 acres or Larger

If a site is 20 acres or larger and requires a dedication of public parkland according to Section 25-1-601 of the LDC, a minimum of five percent of the gross site area shall be dedicated to public open space or parkland on-site in partial or complete fulfillment of the parkland dedication requirement.

- a. If more than five percent of the gross site area is required to be dedicated, a property owner may request to pay a fee-in-lieu payment for the remainder of the requirement, in accordance with Subsection C. below.
- b. If less than five percent of the gross site area is required to be dedicated as public parkland, private common open space requirements described in Section 4.9 must still be fulfilled in the remainder of the five percent gross site area.

### C. Fee In Lieu

As described in the parkland dedication requirements in Section 25-1 Article 14 of the LDC, instead of, or in combination with, meeting parkland dedication requirements on site, a property owner may request approval to deposit with the City a nonrefundable cash payment, based on a formula established in Section 25-1-605 of the LDC. The Director of the PARD shall review the request and accept or deny the request.

## 4.11. STORMWATER MANAGEMENT

### 4.11.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 4.11</b> Stormwater Man- agement	●	●	●	●	●	●	●	●	●	- All development
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 4.11.2. Purpose

The East Riverside Corridor area is challenged with an existing development pattern that was in some cases built prior to Austin's current stormwater management policies. As a result, stormwater management is an important issue influencing the future sustainability of the ERC area. All new development and redevelopment is required to comply with the City's current stormwater management regulations. Redevelopment of this area also presents an opportunity to integrate innovative stormwater management techniques into an urban development pattern.

**4.11.3. Creek Setbacks**

- A.** All properties in the ERC District are subject to Critical Water Quality Zone and Transition Zone setback requirements established in LDC Section 25-8-92(C). Properties in the suburban watersheds are encouraged to meet urban watershed creek setback requirements.
- B.** If the development requires a dedication of public parkland according to Section 25-2-601 of the LDC, the developer of a property may request approval of the Director of the Parks and Recreation Department (PARD) to dedicate up to 50% of the acreage within the creek setback required by this section in partial or complete fulfillment of the parkland dedication requirement, as described in Section 25-2-063 of the LDC.

**4.11.4. Innovative Water Quality Controls**

- A.** Water quality controls are required by LDC Section 25-8-211 for new or redevelopment projects, including those to be built in the ERC Zoning District.
- B.** Appendix B of this Document illustrates Innovative Water Quality Controls (ECM 1.6.7) and other Water Quality Control Best Management Practices as described in ECM Section 1.6. These types of water quality controls are encouraged but not required.
- C.** To encourage use of innovative water quality controls, for development in a location where payment-in-lieu is allowed (such as the Lady Bird Lake Watershed), the volume of on-site water quality controls may be reduced for sites four acres or smaller as follows: Water quality controls for the first one-acre of development may be substituted using payment-in-lieu of on-site controls. On-site, innovative controls must be used for the remaining portion of the site, if any, above one acre. Thus, for a two-acre site, the first acre could use payment-in-lieu and the second acre would require on-site, innovative controls. The Water Quality Volume (WQV) provided would thus be 50% of that for treatment for the whole site. For a 4-acre site, the first acre could use payment-in-lieu and the remaining three acres would require on-site, innovative controls. The Water Quality Volume (WQV) provided would thus be 75% of that for treatment for the whole site. A site larger than four acres would need to provide on-site water quality controls for all of its developed area. Innovative Water Quality Controls are those presented in Environmental Criteria Manual (ECM) Section 1.6.7. PDRD staff will maintain the ability currently allowed by ECM 1.6.4 to further reduce the level of required WQV on-site control if special circumstances exist which warrant the reduction.

**4.11.5. Cooperative Stormwater Management Solutions**

- A.** New development or redevelopment is encouraged to enter into cooperative agreements with surrounding properties to provide detention or other stormwater management facility(ies) that serve multiple properties; this facility(ies) would treat the stormwater runoff volume from all or a portion of the properties.

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- B. If a developer or group of developers located in an urban watershed (Town Lake Watershed) propose a regional water quality structure that treats the stormwater runoff from at least 10 acres of previously untreated offsite land, the City may cost participate in the construction of the structure (ECM 1.9).

### 4.12. SHADE AND SHELTER

#### 4.12.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
Section 4.12 Shade and Shelter	●	●	●	●	●	●	●	●	●	<ul style="list-style-type: none"> <li>- All mixed use and non-residential development</li> <li>- Development along an active edge</li> <li>- Corner site provisions</li> </ul>
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### 4.12.2. Purpose

Austin's climate requires shade and shelter amenities in order to accommodate and promote pedestrian activity. These amenities will provide greater connectivity between sites and allow for a more continuous and walkable network of buildings. Projects subject to this section shall meet the following shade and shelter requirements.

#### 4.12.3. Standards

Projects subject to this section shall meet the following shade and shelter requirements.

#### 4.12.4. Shaded Sidewalk

- A. A shaded sidewalk shall be provided alongside at least:
1. 50 percent of all building frontages adjacent to the principal street; and
  2. 50 percent of all building frontages adjacent to off-street parking.
- B. When adjacent to parking, the shaded sidewalk shall be raised above the level of the parking by way of a defined edge, such as a curb. ADA ramps along the building must also be shaded (see Figure 4-14).



**Figure 4-14:**

Example of an ADA ramp with shade structure.

- C.** A shaded sidewalk must meet the following requirements:
  - 1.** Along a street, a shaded sidewalk shall comply with the applicable sidewalk standards for its designated roadway type. If not otherwise required, the shaded sidewalk shall provide trees planted no more than 30 feet on center.
  - 2.** Along any parking adjacent to the building, the shaded sidewalk shall consist of a minimum 5 foot clear zone and 5 foot planting zone, planted with trees no more than 30 feet on center, or a 5 foot clear zone with a minimum 5 foot wide overhead weather protection.
- D.** On active edges, a shaded sidewalk shall be provided along at least 80 percent of the active edge designation.
- E.** Building entrances on all roadway types, other than those used solely for emergency purposes, shall be located under a shade device, such as an awning or portico.
- F.** For Emergency Service Providers, Alternative Equivalent Compliance may be sought for relief from the principal street shaded sidewalk requirements in Subsections A and C above to the extent necessary for emergency service vehicle and overhead door clearance.



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## ARTICLE 5: BUILDING DESIGN STANDARDS

### 5.1. INTENT

The standards of Article 5 are intended to use building design in order to:

- 5.1.1. Ensure that buildings foster the creation of a human-scale environment;
- 5.1.2. Ensure that buildings taller than three stories are stepped back from the street above the third story to help maintain a human-scale environment and wider views above the third story;
- 5.1.3. Ensure that building entryways are convenient and easily accessible from the road-side pedestrian realm;
- 5.1.4. Ensure that buildings provide an interesting and engaging visual experience at the pedestrian level; and
- 5.1.5. Ensure that the design and construction of ground floor building space near transit, at visible intersections, and along streets that lead to transit, accommodates for active pedestrian-oriented uses even if these types of uses may not be supported by current market conditions.

### 5.2. APPLICABILITY

For the purpose of applying the standards in this Article, refer to Article 1 for maps and Sections 2.3.4 and 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types and refer to Subsection 4.3.2.A: Principal Street Determination.

### 5.3. BUILDING ENTRANCES

#### 5.3.1. Building Entrance Standards for Pedestrians

##### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
Section 5.3.1 Building Entrance Standards for Pedestrians	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	<ul style="list-style-type: none"><li>- All development</li><li>- Corner site provisions</li><li>- Active Edge standards</li></ul>
	●	●	●	●	●	●	●	●		
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

##### B. Standards

1. Primary customer and/or resident building entrances for spaces along the elevation facing the principal street shall face the principal street and connect directly to the

## Article 5

sidewalk clear zone or supplemental zone along the principal street. Supplemental customer and/or resident entrances are encouraged on any other building facade.

2. Building entrances shall be provided for all separate ground floor commercial tenant spaces that are located along the elevation facing the principal street and along any active edge designation.
3. For sites on one or more corners, a building entrance shall be provided for each separate ground floor commercial tenant space along all adjacent roadway types unless an entrance is already provided along the principal street.
4. For a ground floor commercial tenant space that does not have frontage along a street, the entrance must be connected with a shaded sidewalk as described in Section 4.12.
5. Buildings containing only residential uses and located along street segments without an active edge designation are encouraged to have the ground level floor area adjacent to public streets be habitable and located no more than 60 inches above the elevation of the sidewalk.

### 5.3.2. Building Entrance and Exit Standards for Vehicles

#### A. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 5.3.2</b> Building Entrance Standards for Vehicles	●	●	●	●	●	●	●	●		<ul style="list-style-type: none"> <li>- All development</li> <li>- Corner site provisions</li> <li>- Active Edge standards</li> </ul>
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

#### B. Standards

1. Vehicular building entrances and exits shall be located to the rear or side of a building, except as provided in Subsection B.3 below.
2. Where multiple street frontages are present, vehicular building entrances and exits shall not face the principal street or be located within 100 feet of the principal street, as measured from the curb line, except as provided in Subsection B.3 below.
3. Vehicle entrances and exits for structured parking may face a principal street only when no other feasible access is available on another street frontage or alley, as determined by the Director.

## 5.4. WINDOW GLAZING REQUIREMENTS

### 5.4.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:	Application Details:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY		
Section 5.4 Window Glazing										All mixed use and non-residential development and all development along an active edge	-Corner site provisions -Exceptions include: building facades facing loading areas, rear service areas, alleys, or facades adjoining other buildings (attached to more than 50 percent of the sidewall)
	●	●	●	●	●	●	●	●	●	Development containing only residential units not along an active edge. Exceptions include: Single-Family, Duplex, Single-Family Attached, Townhouse, and Two-Family Residential uses	-Same exceptions as above
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.											

### 5.4.2. Purpose

- A. Glazing provides interest for the pedestrian, connects the building exterior and interior, puts eyes on the street, promotes reusability, and provides a human-scale element on building facades. Projects subject to this section shall meet the minimum requirements as stipulated below, but may provide additional glazing and facade relief beyond what is required under this section. Refer to Article 7 for definition of Glazing.

### 5.4.3. Standards

- A. All mixed use development, non-residential development, and all development along an active edge shall satisfy the following:
1. At least 40 percent of the wall area along the principal street that is below ten feet above grade, as measured from the finished floor level of this facade's entry, shall consist of glazing (see Figure 5-1).
  2. At least 25 percent of wall area along the principal street between 10 feet and 30 feet, as measured from the finished level of this facade's entry, shall consist of glazing (Figure 5-1).

3. At least one-half of the total area of all glazing on ground-floor facades that face the principal street shall have a Visible Transmittance (VT) of 0.6 or higher.

4. For all other street facing facades, at least 25 percent of the wall area below ten feet, as measured from the finished floor level of this facade's entry, shall consist of Glazing.

5. Exception: For Emergency Service Providers, the Glazing requirements of this section shall apply to the wall area excluding emergency vehicle overhead doors.

B. Development containing only residential units that is not along an active edge shall satisfy the following:

1. At least 25 percent of the principal street ground floor wall area below ten feet, as measured from the finished floor level of this facade's entry, shall consist of glazing; and

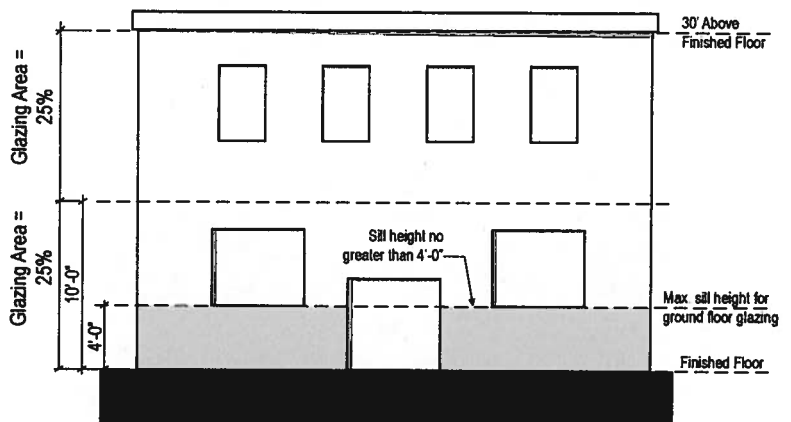
2. The second floor façade along the principal street must provide a minimum of 25 percent glazing between 10 feet and 30 feet as measured from the finished floor of the facade's entry (see Figure 5-2).

C. The maximum sill height for any ground floor glazing necessary to meet the minimum glazing standards of this section shall be 4 feet.



**Figure 5-1:**

Commercial or Mixed Use building meeting glazing requirements.



**Figure 5-2:**

Residential building meeting glazing requirements.

- D. Any façade that is built up to an interior mid-block property line is not required to have glazing on that façade if no prohibitions and no contractual or legal impediments exist that would prevent a building from being constructed on the adjacent property up to the wall of that façade.
- E. The requirements in this section shall not apply if the Building Code prohibits windows on such facades.
- F. The requirements in this section may be reduced to the extent necessary to comply with the Energy Code and/or Green Building Program Standards. Shading devices and/or the use of fritted glass are encouraged to mitigate solar impacts, particularly on south and west facing facades.

## 5.5. BUILDING FAÇADE ARTICULATION

### 5.5.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:	Application Details:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY		
Section 5.5 Building Façade Articulation										Building facades greater than 60 feet in length	Required along the principal street
	●	●	●	●	●	●	●	●	●	Building facades greater than 40 feet in length	Requirement must be met on all building facades facing open space, a parking lot, or a street other than the principal street.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.											

### 5.5.2. Standards

So as to provide visual interest and create community character and pedestrian scale, a building shall comply with the following façade articulation requirements.

- A. Along the principal street, building facades greater than 60 feet in length shall:
  1. Include façade modulation such that a portion of the façade steps back or extends forward with a depth of at least 24 inches (see Figure 5-3).
  2. The distance from the inside edge of a building projection to the nearest inside edge of an adjacent projection shall not be less than 20 feet and not greater than 60 feet (see Figure 5-3).
  3. For the purposes of meeting the requirements of this section, changes in plane shall not be deducted from the net frontage length requirement in Subsection 4.3.3 Building Placement so long as they do not exceed the maximum allowable supplemental zone standards as established in Subsection 4.3.4.



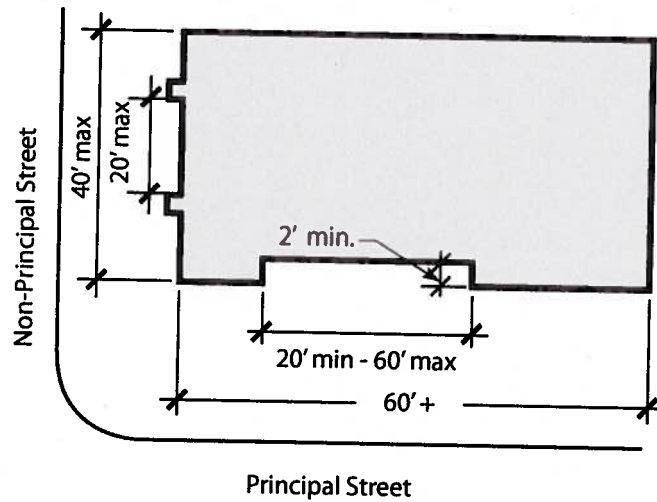
## Article 5

**B. Building façades that face an open space, parking lot, or a street other than the principal street must be broken up by at least one discernable architectural element every 20 feet. The architectural elements can include, but are not limited to (see Figure 5-4):**

1. Changes in material, color, and/or texture either horizontally or vertically at intervals not less than 20 feet and not greater than 60 feet; or
2. The construction of building entrances, bay windows, display windows, storefronts, arcades, facade relief, panels, balconies, cornices, bases, pilasters, and columns.

### C. Civic Buildings

In order to provide greater flexibility to create a distinctive architectural statement, civic buildings, as defined in Article 7 Definitions, are not required to meet the building façade articulation standards in this section. For buildings of a civic nature that do not fall under the definition of Civic in Article 7, Alternative Equivalent Compliance, as described in Article 1, may be sought for relief from the building façade articulation standards in this section. Alternative Equivalent Compliance may be granted if the intent of this Document is met.



**Figure 5-3:**  
Diagram of building facade articulation.



**Figure 5-4:**  
Image showing example of building articulation.

## 5.6. ACTIVE EDGE STANDARDS

### 5.6.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
<b>Section 5.6</b> Active Edge Standards	●	●	●	●	●	●	●	●	●	<ul style="list-style-type: none"> <li>- All development along all active edge designations, except Emergency Service Providers.</li> <li>- Off street parking provided as part of a building or parking structure adjacent to any roadway type.</li> </ul>
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 5.6.2. Ground Floor Spaces

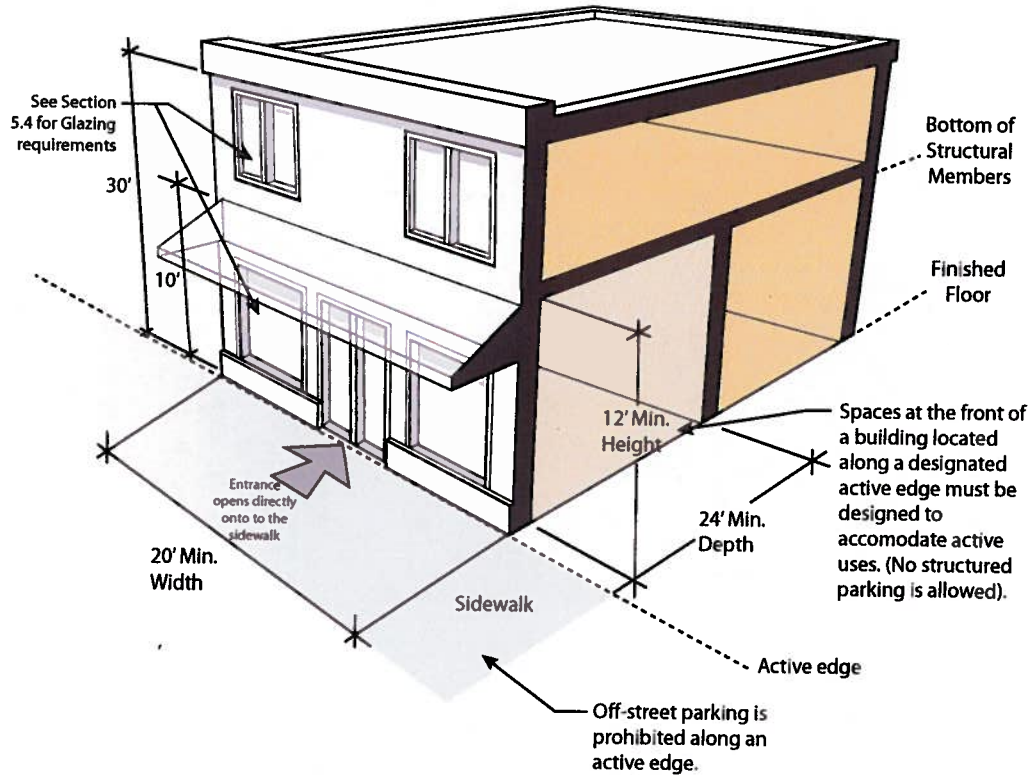
For that portion of a building façade that is along a street segment designated as an active edge, the building must be designed and constructed to accommodate active uses such as retail and commercial services (see Figure 5-5). The building, including the ground floor, may contain any use allowed on the property, as identified in Section 2.3.

#### A. Active Use Area

Each ground floor space shall be constructed to accommodate, at a minimum, Business Occupancy and/or Mercantile Occupancy groups as defined by the currently adopted Commercial Building Code. If residential use is provided immediately above the ground floor level (i.e., second floor residential), horizontal occupancy separation shall be provided to accommodate future Business or Mercantile Occupancies as required by the currently adopted Commercial Building Code at the time of construction.

The ground floor active use area shall be designed according to the following standards (see Figure 5-6):

1. An entrance that opens directly onto the sidewalk according to Section 5.3;
2. A depth of not less than 24 feet measured from the street frontage wall;
3. A height of not less than 12 feet measured from the entry level finished floor to the bottom of the structural members of the ceiling;
4. Each space shall be a minimum of 20 feet wide; and
5. A front façade that meets the window glazing requirements in Section 5.4.



**Figure 5-5:**

Illustration showing required active use area along an Active Edge. Parking is not allowed between the street and building frontage along an Active Edge, nor is it allowed within the front 24 feet of the building along an Active Edge.

## B. Parking

1. Off-street surface parking is prohibited along an active edge designation.
2. Structured parking may be located along an active edge but vehicle parking is not permitted in the required ground floor active use area described in this section.
3. Off street parking provided as part of a building or parking structure adjacent to a street designated as a Core Transit Corridor or Pedestrian Priority Collector roadway type, regardless of whether it has an active edge requirement, must meet the ground floor space standards of this Section 5.6.

## 5.7. BUILDING STEP-BACK REQUIREMENT

### 5.7.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
Section 5.7 Building Step-Back Requirement	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	Requirement applicable to all development 4 stories or higher.
	●	●	●	●	●	●	●	●	●	
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 5.7.2. Standards

The street-facing building façades at the 4th story and above shall be stepped back from the street to maintain a pedestrian scale along the street frontage. The step back shall be a minimum of 10 feet deep, measured from the line of the street-facing façade.

## 5.8. TELECOMMUNICATIONS TOWER REQUIREMENTS

### 5.8.1. Applicability

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
Section 5.8 Telecommunications Tower Requirements	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	- All development in applicable Subdistricts.
	●		●			●	●	●	●	
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 5.8.2. Standards

Free standing towers are prohibited in CMU and NMU Subdistricts. In those subdistricts, a telecommunications tower must be located on top of a building or be an architectural component of the building.

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## ARTICLE 6: DEVELOPMENT BONUS

### 6.1. INTENT

The standards of Article 6 are intended to:

- 6.1.1. Encourage construction of projects with height or density greater than is allowed in the ERC Subdistrict in exchange for the provision of community benefits;
- 6.1.2. Encourage the provision of affordable housing and mixed income communities;
- 6.1.3. Encourage additional density while allowing new development to support "public benefits" that are important to achieve as the East Riverside Corridor area transforms in to a pedestrian-friendly urban neighborhood. These public benefits include affordable housing, open space, improved bicycling facilities, commercial or office uses, and improved flood and water quality controls.

### 6.2. APPLICABILITY

For the purpose of applying the standards in this Article, refer to Article 1 for maps and Sections 2.3.4 and 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types and refer to Subsection 4.3.2.A: Principal Street Determination.

Standards	Applies if ERC Subdistrict is:					Applies if the adjacent street is:				Applies to the following:
	CMU	IMU	NMU	UR	NR	CTC	PPC	UR	HWY	
Section 6.2.1 Development Bonus	●	●	●			●	●	●	●	- Properties eligible for development bonuses, as shown on Figure 1-8.
See Article 1 for maps and Sections 2.3.4 & 3.2.2 for descriptions of ERC Subdistricts and ERC Roadway Types.										

### 6.3. STANDARDS

- 6.3.1. A development bonus shall be granted to an eligible property, as shown on Figure 1-8, East Riverside Corridor Development Bonus Height Map, that meets the requirements provided of this Section.
- 6.3.2. The development bonus requirements must be met in full to receive the bonus; exceptions are prohibited. It is the responsibility of the applicant to document that all of the requirements are met. Documentation of compliance with all development bonus requirements is required prior to site plan approval.
- 6.3.3. The development bonus allows development on a site to be exempt from maximum Floor-to-Area Ratio (FAR) requirements in Section 4.2 and/or exceed its "maximum height by right" limitation up to the "maximum height with development bonus"



limitation established in Figure 1-8, East Riverside Corridor Development Bonus Height Map.

**6.3.4.** For purposes of applying standards in this section, the Bonus Area is the greater of:

- A.** The gross floor area that exceeds the "maximum base FAR by right" limitation; or,
- B.** The gross floor area that exceeds the "maximum height by right" limitation.

**6.3.5.** Required Public Benefit Percentages

**A.** To be eligible for the development bonus described in Subsection 6.3.3 above, the applicant must provide public benefits as described below:

- 1.** A minimum of 50% of the Bonus Area shall be earned through the provision of on-site affordable housing or payment of an in-lieu fee for affordable housing, as described in Subsection 6.4.1 below; and
- 2.** A minimum of 25% of the Bonus Area shall be earned through the provision of publicly accessible open space, as described in Subsection 6.4.2 below; and
- 3.** The remainder of the Bonus Area shall be earned through the provision of any combination of public benefit options for which the project is eligible, as described in Section 6.4 below.
- 4.** A project providing a public benefit meeting multiple public benefit criteria will be granted cumulative Bonus Area for all benefits for which the criteria is met.

## **6.4. Public Benefit Bonus Options**

### **6.4.1. Affordable Housing Bonus**

Unless eligible for the following exceptions, projects must provide on-site affordable housing as described in Subsection 6.4.1.B.

**A.** Exceptions:

- 1.** Projects greater than 90 feet in height and with a floor area ratio (FAR) of at least 4:1 have the option to provide on-site affordable housing as described in Subsection 6.4.1.B. or pay an in-lieu fee for affordable housing as described in Subsection 6.4.1.C.
- 2.** Non-residential projects will pay the in-lieu fee for affordable housing as described in Subsection 6.4.1.C.

**B. On-Site Affordable Housing Benefit**

1. Bonus granted: 4 bonus square feet for each 1 square foot of on-site affordable housing provided.
2. An applicant must provide on-site affordable housing as described in the following section to be eligible for the development bonus described in Subsection 6.3.3 above.
3. The following requirements assign the specific level of affordability for each unit type, which shall run with the land:
4. Affordability Requirements for Owner-Occupied Units.

Habitable space as required in 6.4.1.A.1 shall be reserved as affordable through a City approved affordable housing land trust or other shared equity model approved by the Director of Neighborhood Housing and Community Development (NHCD), for not less than 99 years from the date a certificate of occupancy is issued, for ownership and occupancy by households earning no more than 80 percent of the Annual Median Family Income for the City of Austin Metropolitan Statistical Area as determined by the Director of NHCD.

**5. Affordability Requirements for Rental Units**

Habitable space as required in 6.4.1.A.1 shall be reserved as affordable, for a minimum of 40 years following the issuance of the certificate of occupancy, for rental by households earning no more than 60 percent of the Annual Median Family Income.

**C. In-lieu fee for Affordable Housing**

1. Bonus granted: 1 bonus square foot for each per square foot in-lieu fee paid for affordable housing.
2. The developer shall pay into the Housing Assistance Fund 100 percent of the fee prescribed by Subsection 3. below for each square foot of the bonus area granted through the provision of this public benefit.
3. The fee to be paid into the City fund for each square foot of Bonus Area is established as 50 cents. This fee should be reviewed at least every 5 years.
4. The developer must pay the fee prescribed by this section prior to the issuance of the Certificate of Occupancy.

**D. Affordability Definition**

For purposes of this section, a unit is affordable for purchase or rental if the house-

hold is required to spend no more than 30 percent of its gross monthly income on mortgage or rental payments for the unit, in addition to meeting the requirements of this section.

**6.4.2. Publicly Accessible Open Space Bonus**

- A. Bonus granted:** 10 bonus square feet for each 1 square foot of publicly-accessible open space provided.
- B. Requirements:** To qualify for this bonus, the following requirements must be met:
1. **Size and dimensions.** The open space must include at least 650 square feet of contiguous area with a minimum depth and width of 20 feet; and
  2. **Location.** Open space must be visible and accessible from a public right of way or a public park; and
  3. **Open space features.** The open space must meet the requirements of the LDC Chapter 25-2, Sec. 2.7.3.; and
  4. **A minimum of 50% of the open space must be open to the sky; and any portion of the open space that is not open to the sky must have a minimum vertical clearance of 20 feet; and**
  5. **Ownership and use.**
    - a. One of the following must be met:
      - i. The open space must be dedicated to the City; or
      - ii. A public access easement must be provided that allows for public access to and use of all the open space between the hours of 9:00am and dusk, at a minimum; and
    - b. The owner shall pay all costs of transferring the open space or easement to the City as set out in the LDC Section 25-1-602(G); and
  6. **Maintenance.** The property owner must execute a covenant with the City that ensures the installation, preservation, maintenance, and replacement, if necessary, of the open space features; and
  7. **Parks approval.** For open space that is dedicated to the City, the applicant must provide a letter from Austin Parks and Recreation Department stating that the open space features meet the requirements of the Department, and that the space is acceptable to the Department; and
  8. **Timing.** The requirements of this section must be met before a site plan permit is issued; and

9. **Eligibility.** To qualify for this bonus, an applicant cannot have exercised the fee-in-lieu option under Section 4.9 or 4.10 for the project, and a project's open space must exceed what is required by other ERC regulations.

**6.4.3. Commercial/Office Space Bonus**

- A.** Bonus granted: 5 bonus square feet for each 1 square foot of commercial or office space provided that is not required by ERC active edge requirements shown on Figure 1-4, East Riverside Corridor Active Edges Map.
- B.** Requirements:
1. Ground floor space must meet active edge requirements; and
  2. Must contain commercial or office uses; and
  3. The property owner must execute a covenant with the City attached to the deed of the site ensuring continuation and maintenance of the qualifying commercial or office spaces by the property owner for at least 20 years.

**6.4.4. Additional Stormwater Flood Mitigation Bonus**

- A.** Bonus granted: 5 bonus square feet for each additional 1 square foot of currently unmitigated impervious cover for which flood detention or downstream conveyance is provided above and beyond what is required by the by code and the Drainage Criteria Manual for the development of the site.
- B.** Requirements:
1. The additional stormwater detention or conveyance must provide a public drainage benefit above and beyond what is required for the site development. The proposal must comply with design principles laid out in the City of Austin's Drainage and Environmental Criteria Manuals.
  2. All proposals are subject to approval by the Director of the Watershed Protection Department.

**6.4.5. Additional Water Quality Controls Bonus**

- A.** Bonus granted: 5 bonus square feet for each additional 1 square foot of currently untreated impervious cover for which water quality treatment is provided above and beyond what is required by code and the Environmental Criteria Manual for the development of the site.
- B.** Requirements:
1. The additional water quality controls must comply with the requirements of the City

of Austin's Drainage and Environmental Criteria Manuals or an alternative approved by the Director of the Watershed Protection Department.

2. All proposals are subject to approval by the Director of the Watershed Protection Department.

**6.4.6. Additional Water Quality Setback Bonus**

- A. Bonus granted: 5 bonus square feet for each 1 square foot of existing impervious cover removed from the Critical Water Quality Zone.

**B. Requirements:**

1. Soil in the areas restored to pervious cover must be uncompacted and re-vegetated with native and adapted riparian plants.
2. All proposals are subject to approval by the Director of the Watershed Protection Department.

**6.4.7. Bicycle Facilities Bonus (only available to properties with nonresidential space)**

- A. Bonus granted: 20 bonus square feet for each 1 square foot of locker room facilities and associated long-term bicycle parking designed and available for use by employees that is not used to reduce the parking requirements in Section 4.4.4.

**B. Requirements:**

1. The locker room facility must include showers, a dressing area, and lockers (the facilities may be located outside of a building in a common area accessible to all buildings triggering this requirement); and
2. All nonresidential tenants of the building must be able to use the locker room facility; and
3. The locker room facility shall be separately accessible from commercial / retail toilet facilities; and
4. For buildings with less than 19,999 square feet of floor area containing commercial/retail space, a minimum of one unisex shower and changing facility shall be provided. For buildings with 20,000 to 99,999 square feet of floor area containing commercial/retail space, a minimum of one shower and changing facility per gender shall be provided. For buildings with 100,000 or more square feet of floor area containing commercial/retail space, a minimum of two showers and changing facilities per gender shall be provided; and
5. Provide two enclosed long-term bicycle parking spaces for each 10,000 square feet of nonresidential space in the project, in addition to the bicycle parking re-

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quired by code. Each bicycle parking space shall be installed in a covered (inside a building or in a parking garage), highly visible location and be:

- a. "Class I" racks / parking spaces as defined in the City of Austin Transportation Criteria Manual; or
- b. Located in a lockable bicycle storage room with means to secure individual bicycles within the room.



**Article 6**

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## ARTICLE 7: DEFINITIONS

Many terms used in this Document are defined in the LDC. Definitions are only included here if not defined in the LDC, or if the definition for this Document differs from the LDC.

### A

#### Active Edge

An active edge imposes specific land use and design requirements for development on specific street frontages in the CMU Subdistrict. The locations of active edges are shown on the ERC Active Edge map (Figure 1-4). It requires building facades to be located adjacent to or near to the clear zone, building entrance and window treatment oriented to the street, and accommodation of active ground floor uses through building design and construction along the street frontage, including, but not limited to: commercial, retail, restaurant, entertainment, and lobbies for civic, hotel, or multi-family uses.

#### Alley

A vehicular passageway to provide service access to buildings. They may provide space for, but not limited to, the following: loading areas, trash collection, utility location, and access to parking. These uses may not restrict traffic movement through the alley.

### B

#### Build-to Line

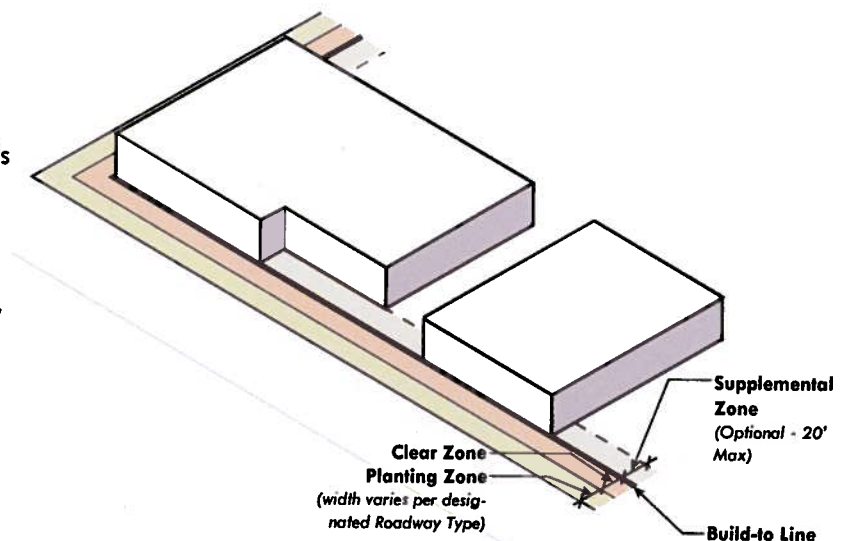
Implied line on a site or lot at the edge of the required sidewalk clear zone (or supplemental zone if provided) at which net frontage length is measured. (Figure 7-1)

#### Building

A structure that has a roof and walls, which is constructed in a permanent position on the ground. A building also includes parking structures that may or may not have fully enclosed walls.

#### Building Step-back

A building form in which upper stories of a building are stepped back from the street to maintain a pedestrian scale along the street frontage.



**Figure 7-1:**

Diagram illustrating the "Build-to Line".

**C****Civic Buildings**

For purposes of this Document, civic buildings shall consist of the following:

- College or University facilities
- Community Recreation (Public)
- Cultural Services
- Local Utility Services
- Parks and Recreation Services (General)
- Postal Services
- Public Primary Education Facilities
- Public Secondary Education Facilities
- Safety Services
- Transportation Terminal

**Clear Zone**

The area dedicated for an unobstructed sidewalk.

**Collector Street**

A street as defined in Section 25-1-21 (15) of the LDC.

**Commercial Use**

A use that appears in Section 25-2-4, Commercial Uses Described, of the LDC.

**Cycle Track**

A cycle track is an exclusive bike facility that combines the user experience of a separated path with the on-street infrastructure of a conventional bike lane. A cycle track is physically separated from motor traffic and distinct from the sidewalk. Cycle tracks have different forms but all share common elements—they provide space that is intended to be exclusively or primarily used for bicycles, and are separated from motor vehicle travel lanes, parking lanes, and sidewalks. In situations where on-street parking is allowed cycle tracks are located to the curb-side of the parking (in contrast to bike lanes). Cycle tracks may be one-way or two-way, and may be at street level, at sidewalk level, or at an intermediate level. If at sidewalk level, a curb or median separates them from motor traffic, while different pavement color/texture separates the cycle track from the sidewalk. If at street level, they can be separated from motor traffic by raised medians, on-street parking, or bollards. By separating cyclists from motor traffic, cycle tracks can offer a higher level of security than bike lanes and are attractive to a wider spectrum of the public.

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**D****Director**

Unless otherwise specified, the Director of the Planning and Development Review Department, or his or her designee.

**Drive-Through Facility**

Drive-through facilities provide services where the motorist generally waits in the car before and while the service is performed.

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**E****East Riverside Corridor Master Plan**

A document that creates a development vision, plan and recommendations specific to the East Riverside Corridor Planning Area in Austin, TX and adopted by the City Council on February 25, 2010 (Ordinance no. 20100225-078).

**East Riverside Corridor (ERC) Hubs**

The areas within the East Riverside Corridor Zoning District surrounding recommended future transit hubs, which have been designated for more concentrated development (shown in Figure 1-6). Properties within the Hubs do not trigger compatibility standards and are eligible for development bonuses.

**East Riverside Corridor (ERC) Planning Area**

The study area boundary for the East Riverside Corridor Master Plan.

**East Riverside Corridor (ERC) Zoning District**

A designation of land within the East Riverside Corridor planning area in which additional land development requirements and standards intended to implement the vision and recommendations of the East Riverside Corridor Master Plan are applied.

**East Riverside Corridor (ERC) Subdistrict**

A designation of land within the ERC Zoning District used for applying land use, design and development standards within a specific part of the ERC area. The following is a listing of ERC Subdistricts:

- Corridor Mixed Use Subdistrict
- Industrial Mixed Use Subdistrict
- Neighborhood Mixed Use Subdistrict
- Urban Residential Subdistrict
- Neighborhood Residential Subdistrict

## **F**

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### **Façade Line**

See definition for 'build-to line'.

### **Facade Relief**

Other non-glass materials that differ in texture from the adjacent facade material and made to be set in frames, as in windows and doors. Examples include, but are not limited to, metal panels, shutters, glass block, and wood panels.

### **Fully-Shielded Light Fixture**

A lighting fixture constructed in such a manner that the light source is not visible when viewed from the side and all light emitted by the fixture, either directly from the lamp or a diffusing element, or indirectly by reflection or refraction from any part of the luminaire, is projected below the horizontal as determined by photometric test or certified by the manufacturer. Any structural part of the light fixture providing this shielding must be permanently affixed.

### **Full Cut-off**

A luminaire light distribution where zero candela intensity occurs at or above an angle of 90 above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10%) at or above a vertical angle of 80 above nadir. This applies to all lateral angles around the luminaire.

## **G**

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### **Glazing**

The panes or sheets of glass set in frames, as in windows or doors. Glass includes tinted, fritted, vision, spandrel, or other forms of sheet formed glass.

## **H**

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### **Hardscape**

Nonliving components of a streetscape or landscape design, such as paved walkways, walls, sculpture, patios, stone and gravel areas, benches, fountains, and similar hard-surface areas and objects.

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**I****Internal Block**

One or more lots, tracts, or parcels of land within a site that are bounded by streets, railroads, or subdivision boundary lines.

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**J****Joint Use Driveway**

Refer to Section 25-6-417 of the Land Development Code.

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**K**

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**L****LDC**

The City of Austin Land Development Code.

**Light Fixture**

The complete lighting assembly (including the lamp, housing, reflectors, lenses and shields), less the support assembly (pole or mounting bracket); a light fixture.

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**M****Maximum Extent Feasible**

No feasible and prudent alternative exists, and all possible efforts to comply with the regulation or minimize potential harm or adverse impacts have been undertaken. Economic considerations may be taken into account but shall not be the overriding factor in determining "maximum extent feasible."

**Maximum Extent Practicable**

Under the circumstances, reasonable efforts have been undertaken to comply with the regulation or requirement, that the costs of compliance clearly outweigh the potential benefits to the public or would unreasonably burden the proposed project, and reasonable steps have been undertaken to minimize any potential harm or adverse impacts resulting from the noncompliance.

**Mixed Use Building**

A building containing more than one type of use. This may include, but is not limited to, a combination of residential, commercial, light manufacturing, office, and/or civic land uses.



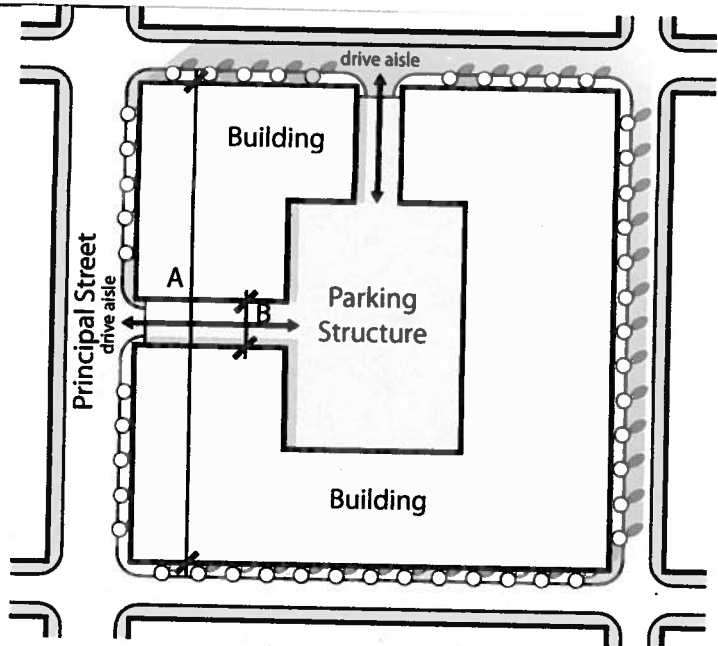
## N

### Net Frontage Length

Determined by calculating the total property length as measured by either the front lot line from property line to property line or, if internal blocks are created within a site, the total block length and subtracting compatibility setbacks, easements, streets, drive aisles, sidewalks, and stairs that occur at the building perimeter. (See Figure 7-2 for example).

### Net Site Area

Refer to Section 25-8-62 of the Land Development Code.



**Figure 7-2:**

The diagram above provides an example for determining Net Frontage Length. The net frontage length along the Principal Street for the example above would be the length of A minus B.

## O

## P

### Pedestrian-Oriented Business or Use:

A business or use which is commonly accessed by pedestrians from the street sidewalk and has a high customer use rate.

### Planting Zone

An area adjacent to the curb in which street trees may be planted. The zone is also intended for the placement of street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.

### Principal Building

A building in which is conducted the principal use of the lot on which it is located.

### Principal Entrance

The place of ingress and egress most frequently used by the public.

**Principal Street**

In this Document, the principal street of a lot or site is the street with the highest priority that is adjacent to the lot or site. Street priorities are established in Section 4.3.2 of this Document.

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**Q**

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**R**

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**S****Significant Stand of Trees**

Three or more Class 1 or Class 2 tree specimens with a minimum measurement of two-inch Diameter at Breast Height, meeting the standards outlined within Section 3.5.2 of the Environmental Criteria Manual and a minimum of 150 square feet of critical root zone preserved.

**Streetscape**

The elements within and along a street that define its appearance, identity, and functionality, including street furniture, landscaping, trees, sidewalks, and pavement treatments.

**Street**

For the purposes of this Document, a street includes public and private streets and private drives, but does not include alleys.

**Street-Facing Facade**

A wall of a building that is within 60 degrees of parallel to a street lot line; and is not behind another wall, as determined by measuring perpendicular to the street lot line. The length of a street-facing facade is measured parallel to the street lot line.

**Supplemental Zone**

An area between the sidewalk clear zone and the building edge for active public uses such as a plaza, outdoor café or patio.

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**T****TCM**

The City of Austin Transportation Criteria Manual.

**Article 7**

**U**

**V**

**W**

**X**

**Y**

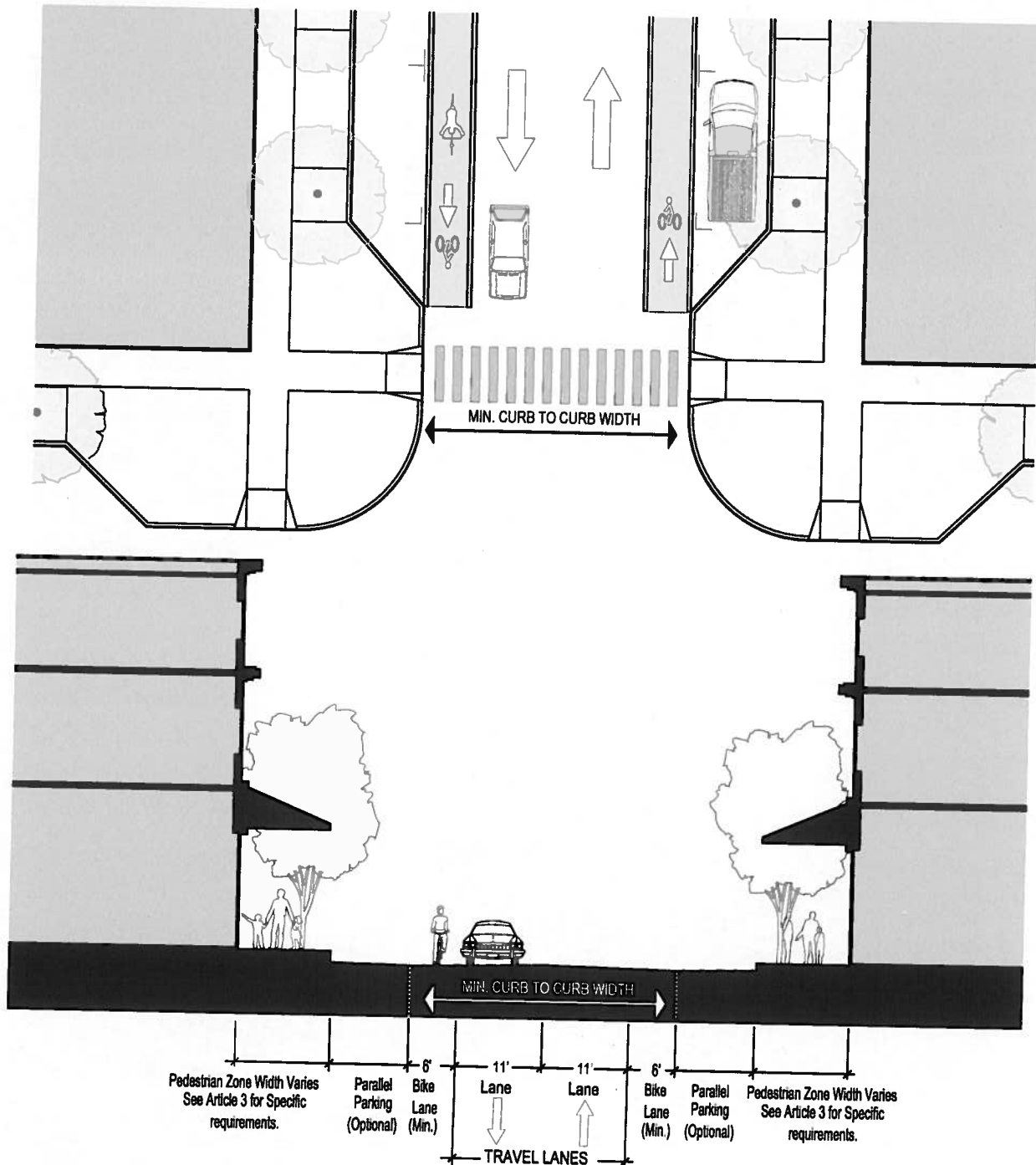
**Z**

MINOR ARTERIAL/COLLECTOR STREET



\* **Note:** An additional 20' of ROW width will be required within 200' of intersections with Pleasant Valley Road, East Riverside Drive, and Hwy 71.

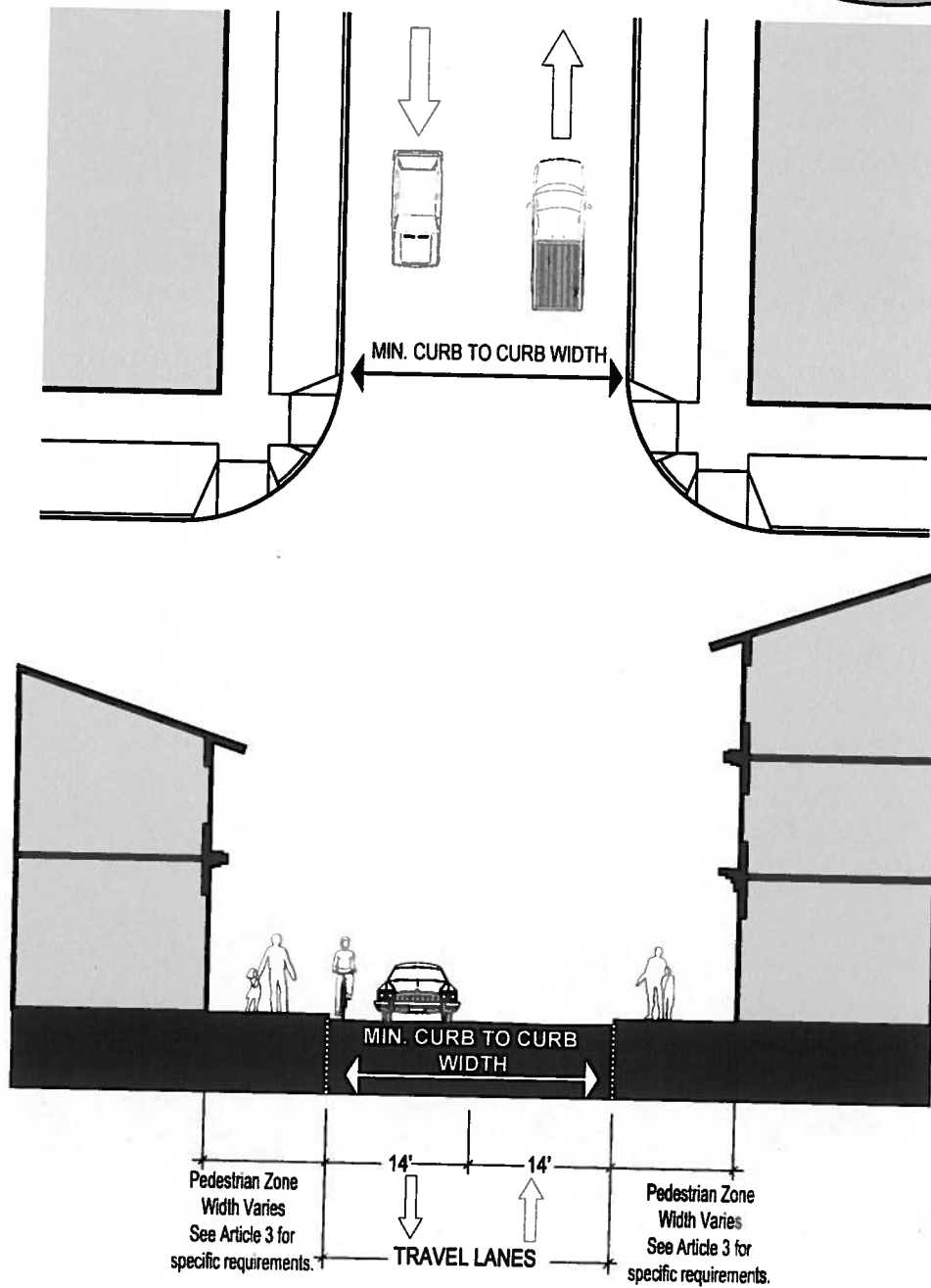
**\*\* Note:** If optional parallel parking is provided adjacent to required 6' bike lanes, then the width of the parallel parking stall shall be no less than 8' wide.



## Street Characteristics

Min. Curb to Curb	34'
Target Speed	35 mph or less
Curb Radius	10 - 15'
Bike Lanes	6' Min. Dedicated (Required on all Collector Streets) *
Parking	Parallel Parking on Both Sides (optional)

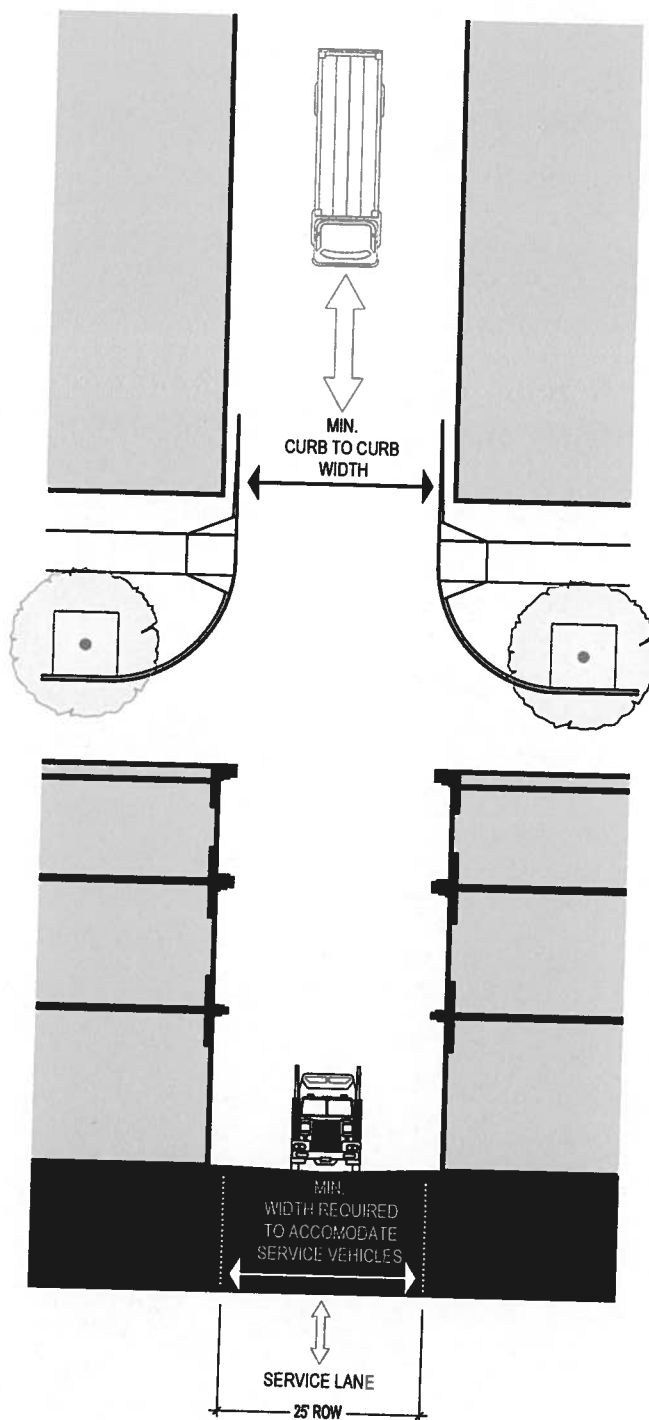
\* Note: If optional parallel parking is provided adjacent to required 6' bike lanes, then the width of the parallel parking stall shall be no less than 8' wide.



**Street Characteristics**

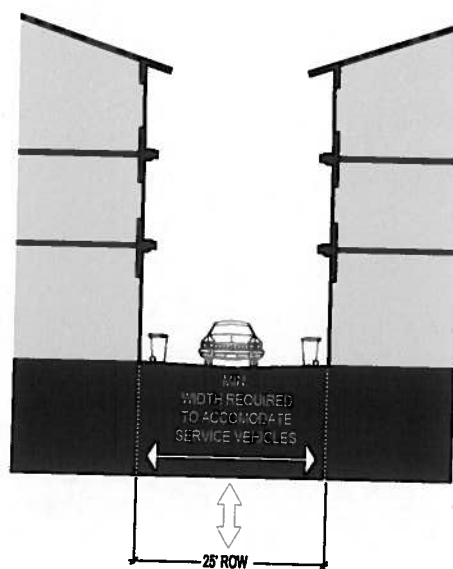
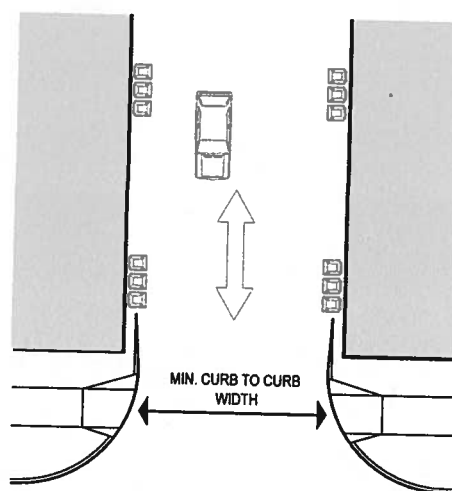
Min. Curb to Curb	25'
Target Speed	10 mph
Curb Radius	15'
Bike Lanes	Not Required
Parking	On-Street Parking on Both Sides of Street





**Street Characteristics**

Min. Service ROW	25'
Target Speed	10 mph
Curb Radius	15'
Bike Lanes	None
Parking	None



**Street Characteristics**

Min. Service ROW	25'
Target Speed	25 mph or less
Curb Radius	15'
Bike Lanes	None
Parking	None

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## APPENDIX B: INNOVATIVE WATER QUALITY CONTROLS

Development projects and new streets within the ERC Zoning District are encouraged to incorporate Innovative Water Quality Controls as described in the City of Austin Environmental Criteria Manual Section 1.6.7. This appendix provides examples of projects in Austin that have incorporated these best management practices (BMPs). In addition, City Council adopted an ordinance on December 16, 2010 that requires commercial stormwater runoff to be directed to 50% of required landscaped areas. Landscaped areas can be designed to comply with this new ordinance and also achieve water quality credit by integrating Innovative Water Quality Controls like rain gardens or vegetative filter strips.

### ■ Biofiltration



Example B -1: Sand Beach Biofiltration Pond (Lamar Blvd. and Cesar Chavez St.)

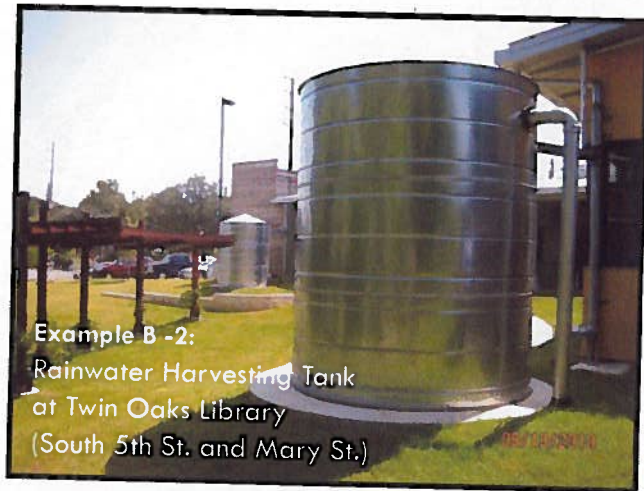
Sand Beach Biofiltration Pond (Lamar Blvd. and Cesar Chavez St.). Biofiltration enhances the traditional sedimentation/sand filter design, adding an organic filtration media with vegetation to remove pollutants. Biofiltration systems can serve as aesthetic amenities and, unlike sedimentation/sand filtration ponds, may be eligible for landscaping credit. Another example of an urban project using biofiltration is the Twin Oaks Library. For design criteria, see Environmental Criteria Manual 1.6.7(C).

## Appendix B

### ■ Rainwater Harvesting

Rainwater Harvesting Tank at Twin Oaks Library (South 5th St. and Mary St.).

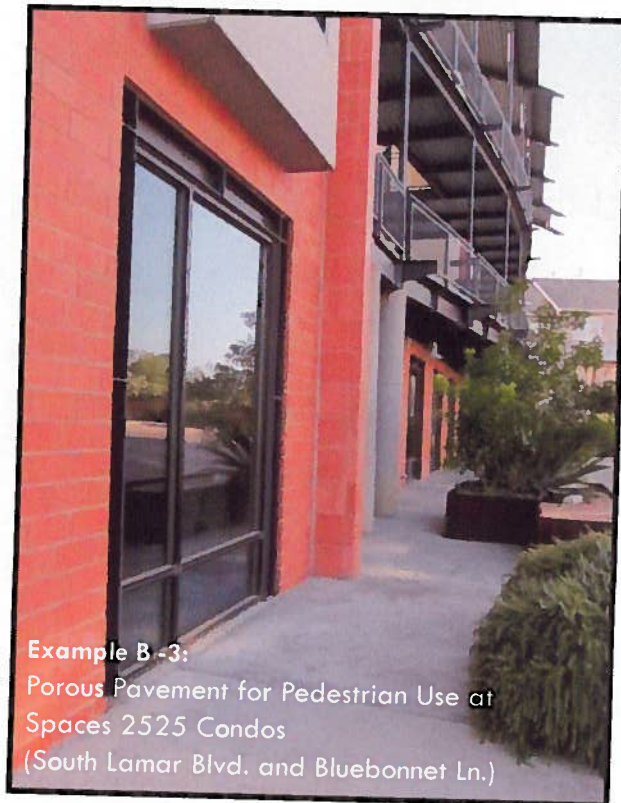
Although rainwater tanks can be located underground to save space, they can also serve as attractive, above-ground features. Several sites with rainwater harvesting tanks present signage for public education purposes. Rainwater harvesting also promotes water conservation by using stormwater runoff instead of potable water for landscaping irrigation or cooling water. Other examples of urban projects with rainwater harvesting include the Pedernales Lofts, the Bridges at Lamar, and the Austin Yellow Bike Project Headquarters. For design criteria, see Environmental Criteria Manual 1.6.7(D).



Example B -2:  
Rainwater Harvesting Tank  
at Twin Oaks Library  
(South 5th St. and Mary St.)

### ■ Porous Pavement for Pedestrian Use

Porous Pavement for Pedestrian Use at Spaces 2525 Condos (South Lamar Blvd. and Bluebonnet Ln.). Porous pavement is a permeable concrete surface with underlying layers of gravel and rock that provides groundwater recharge through infiltration. Porous pavement for pedestrian use (e.g., sidewalks and trails) can be counted as pervious area. Although porous pavement does not directly receive water quality credit, it can reduce the overall water quality volume required for the site—thus decreasing the amount of space needed for on-site controls. Other examples of porous pavement for pedestrian use can be found at Big Stacy Park and Zilker Park. For design criteria, see Environmental Criteria Manual 1.6.7(E).



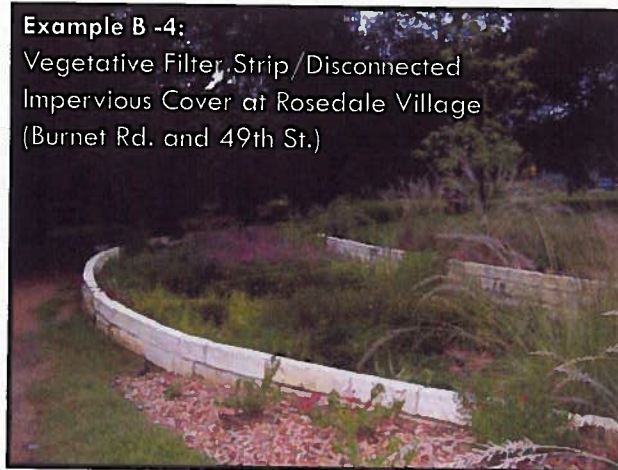
Example B -3:  
Porous Pavement for Pedestrian Use at  
Spaces 2525 Condos  
(South Lamar Blvd. and Bluebonnet Ln.)



## ■ Rain Garden Use

**Vegetative Filter Strip/Disconnected Impervious Cover at Rosedale Village (Burnet Rd. and 49th St.).** Vegetative filter strips (VFS) use the filtration properties of plants and soils to remove pollutants from runoff. They are typically used in relatively low-density developments as a passive, low maintenance water quality control. However, partial water quality credit can be received for the disconnection of impervious cover that allows stormwater runoff to be treated using smaller vegetated strips. For design criteria, see Environmental Criteria Manual 1.6.7(F).

**Example B -4:**  
Vegetative Filter Strip/Disconnected Impervious Cover at Rosedale Village (Burnet Rd. and 49th St.)



## ■ Commercial Landscape Ordinance

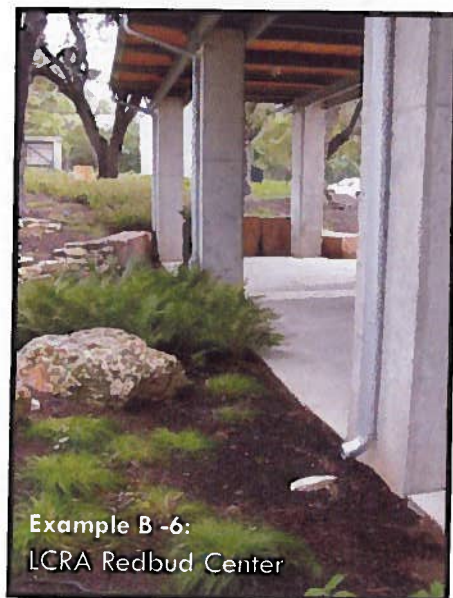
**Stormwater Runoff Directed to Landscaping at Highland Mall (top) and LCRA Redbud Center (bottom).** Austin requires landscaping of commercial sites for aesthetics, buffering, screening, and urban heat island abatement. This landscaping is traditionally

curbed off from surrounding pavement and relies heavily on potable water irrigation to survive. Meanwhile, rainfall running

off parking lots and rooftops is directed to storm drains and structural controls, bypassing the landscaping completely. There is a significant opportunity to bridge this existing divide by using rainwater more wisely on-site to conserve potable water, enhance water quality, and sustain the health of these urban landscapes. City Council recognized this opportunity and passed an ordinance on December 16, 2010 that requires commercial sites to direct stormwater to at least 50 percent of the required landscaping. There are a number of ways to comply, ranging from simpler solutions like overland flow and disconnected downspouts to more sophisticated designs like those shown in this document (e.g., rain gardens, rainwater harvesting, and vegetative filter strips).



**Example B -5:**  
Stormwater Runoff Directed to Landscaping at Highland Mall



**Example B -6:**  
LCRA Redbud Center