

**HISTORIC LANDMARK COMMISSION
MAY 20, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0038
Sixth Street
418 E. 6th Street**

PROPOSAL

Install new doors in existing openings and add a rooftop deck on a contributing building.

PROJECT SPECIFICATIONS

The existing building is a c. 1910 brick, vernacular commercial building. It was originally one-story, however a second story addition, set back from the front wall, has been added. The façade had three arched openings and a cornice with simple brick detailing. Although the arched openings have transom windows that may be original, the entry doors and multi-lite windows are not original and are not sized or detailed appropriately for the building.

The applicant proposes to install double entry doors in the center arched opening, and tri-fold doors on the outer openings. The areas of the openings not filled by the doors will be filled in with painted wood material.

The applicant further proposed to construct a deck suspended above the roof of the one-story section of the building. The deck will be set 5'-0" back from the existing parapet and will have a metal guardrail. The applicant also proposes to install a horizontally oriented window in the front wall of the second story.

STANDARDS FOR REVIEW

The existing property is contributing to the 6th Street National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.

- Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The Sixth Street Design Guidelines state:

For all buildings:

27. Set activities back such that they are not visible from the sidewalk below.
- At a minimum, they should be set back the height of a one-story building.

For historic buildings:

37. Replace features that are missing or beyond repair.
- Reconstruct the original element, based on adequate evidence, if possible. This is the strongly preferred option.
 - If evidence is missing, a simplified interpretation of similar elements may be considered.
42. If the storefront is altered, restoring it to the original design is preferred.
- If evidence of the original design is missing, use a simplified interpretation or similar storefronts.
43. Alternative designs that are contemporary interpretations of traditional storefronts may be considered in limited cases.
- Where original is missing and no evidence of its character exists, a new design that uses the traditional elements may be considered.
 - However, it must continue to convey the character of the typical storefronts, including the transparent character of the display window.
 - Altering the size of the historic window opening or blocking it with opaque material is inappropriate.
44. Maintain historically significant storefront openings.
- If these elements have already been altered, consider restoring them if their original condition can be determined.
49. Use door styles that are found on traditional 6th Street storefronts.
- Double leaf doors are appropriate replacements in these applications, where the original is missing.
 - Wood panel doors are appropriate on most buildings.
56. Set a new roof terrace back from the building front.

- This will allow one to continue to perceive the historic character of the cornice line.
- Roof terrace railings and furniture should be placed well behind the parapet.

Further the Downtown Austin Plan calls for developing stepback provisions for E. 6th Street National Register Historic District that would, "require rooftop additions on historic buildings to be stepped back from the front façade of the original, historic structure by approximately 15 feet."

The proposed rooftop deck - being suspended above the existing roof and set only 5'-0" from the parapet - does not meet the guidelines. The deck should be set further back from the façade and/or lowered so it is not visible from the street.

The addition of the horizontal band of windows on the façade of the second story is not compatible with the existing building or the architectural character of the National Register District. A window configuration more similar to those found on historic buildings would be more compatible.

The new double entry doors and trifold doors do not meet the guidelines, which call for replicating a more historic design and configuration when possible. Additionally using opaque material to fill in areas of the openings not filled in with the new doors does not meet the guidelines.

STAFF RECOMMENDATION

Release the permit; however, highly recommend that the applicant reconsider the rooftop deck and either eliminate it from the design, or propose a design that is less visible from the street. Additionally, recommend that the applicant design more historically appropriate storefronts, entry doors, and second story windows.

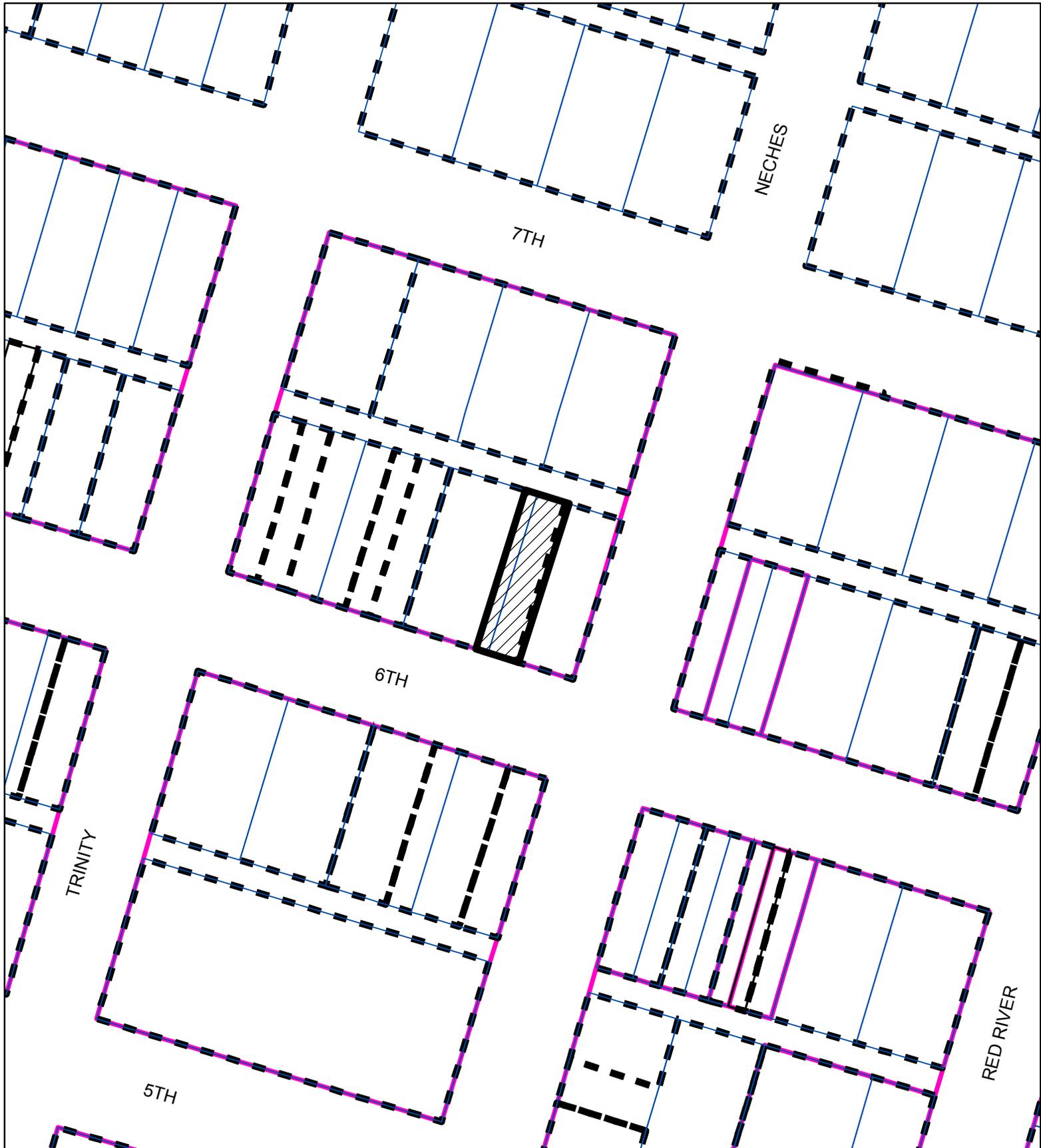
PHOTOS



418 E. 6th Street



Past googlemaps.com view of 418 E. 6th Street



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2013-0038
 LOCATION: 418 East 6th Street



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This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

418 E. 6th. St. Remodel - Ph I

418 E. 6th st
Austin, TX. 78701



**Facilities
Services
of Austin**

503 E. 6th st., suite B
c/o PO Box 684671
Austin, TX. 78768
512-481-0181

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Space Planning/Engineering -

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Steve Simon, CFM

**Mechanical, Electrical,
Plumbing Engineers -**

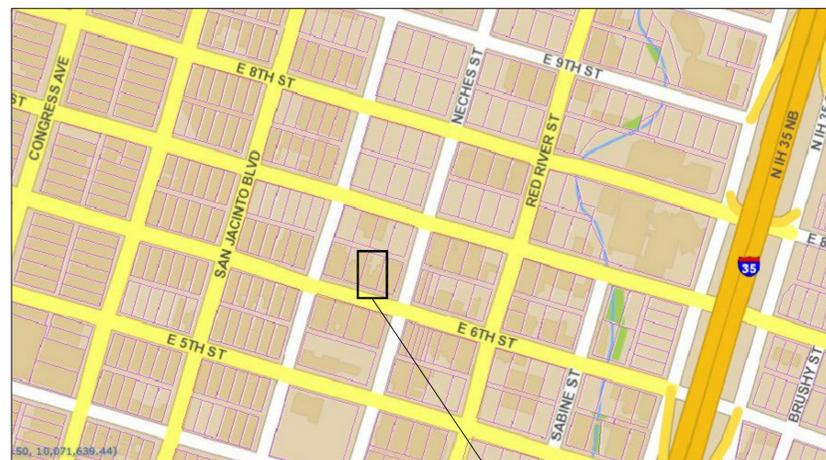
Capt & Smart
3001 S. Lamar
Austin, TX 78704
512-443-6888

List of Drawings

Architectural -

- Cover Sheet
- A1.1 Storefront
- A1.2 Section
- A1.3 Floorplan - 1st Floor
- A1.3.2 Elevation Iso - 1st Floor
- A1.4 Floorplan - 2nd Floor
- A1.4.2 Elevation Iso - 2nd Floor
- A1.5 Roofplan
- A2 Occupancy

Notes



Location

418 E. 6th.

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SHEET -

Cover



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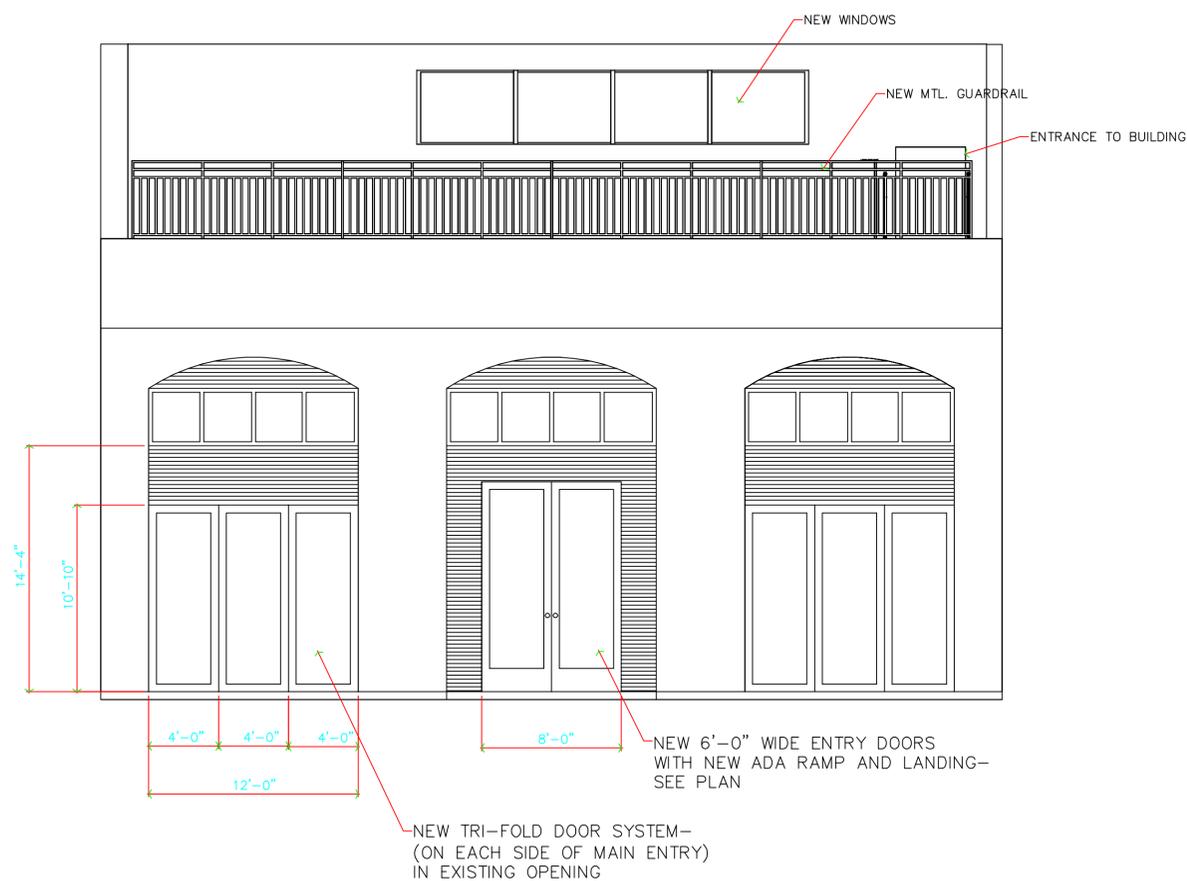
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Existing storefront
 3/16"=1'



PH I - Proposed storefront

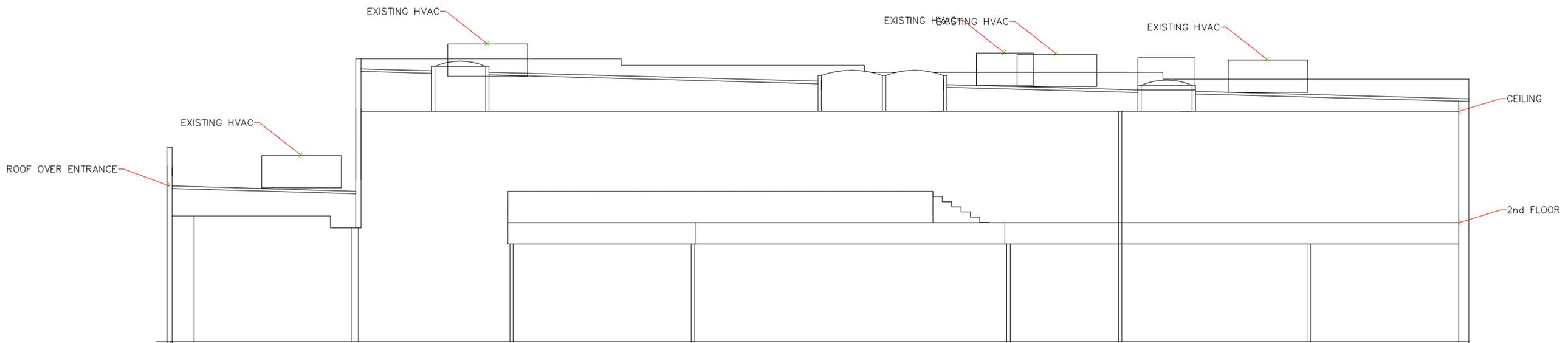
REVISION - 1

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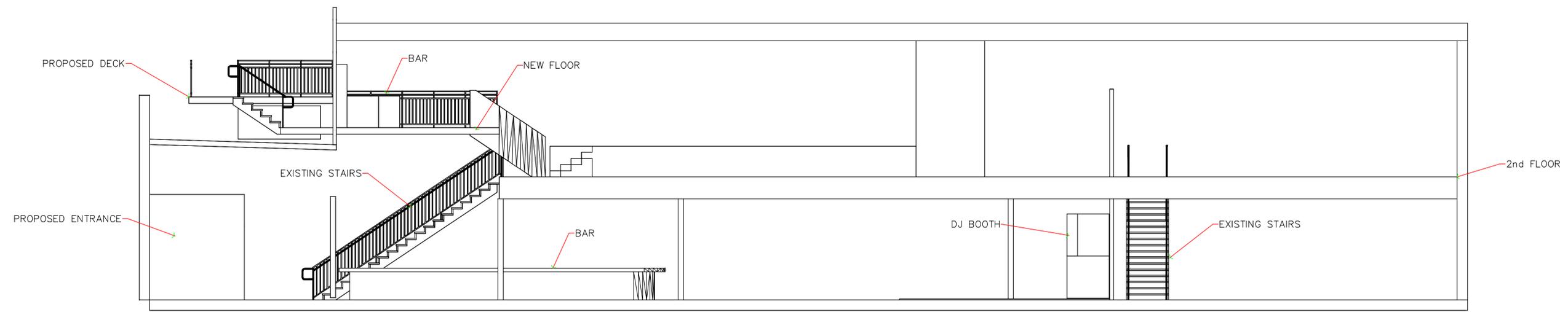
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**A1.1
 STOREFRONT**



○ Existing section
3/16"=1'



○ PH I - Proposed section
3/16"=1'



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A1.2 Section

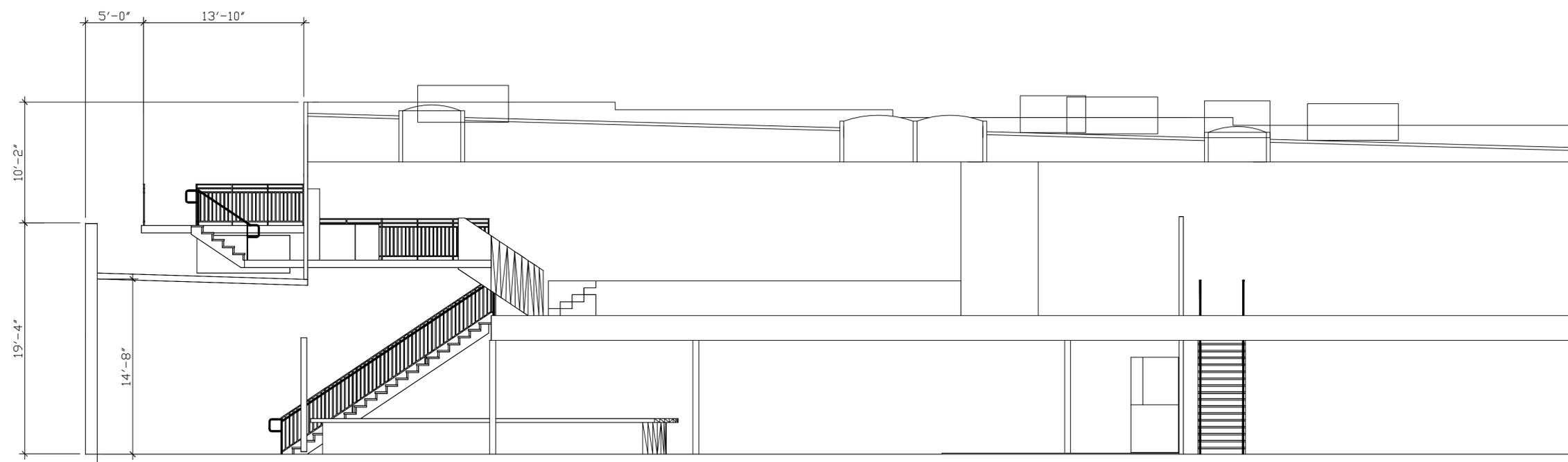


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○ PH I - Dimensions
3/16"=1'

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**A3.2
Dimensions**