

**HISTORIC LANDMARK COMMISSION
MAY 20, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0037
Old West Austin
1706 Westover**

PROPOSAL

Construct a second story addition on an existing detached garage.

PROJECT SPECIFICATIONS

The house is a Minimal Traditional style, one story with a side gable roof, with a center front door and small front facing gable roof over the stoop that is supported by squared posts set on piers. The existing detached garage sits at the rear of the lot and is accessed by a side-loaded driveway.

The applicant proposes to construct an addition to the existing garage. The new construction will consist of a 34 sq. ft. addition at the front of the garage and a 386 sq. ft. second story addition set back from the new front wall to accommodate a second story balcony. The entire garage will be clad in horizontal hardi siding and will be painted to match the existing house. The roof will have a front facing gable and will have shingles matching those on the main house. A one car-wide garage door will provide access from the new gravel strip driveway.

The applicant also proposes to replace an existing concrete walk from the sidewalk to the front door of the house with a gravel walkway of similar dimension and layout, and construct a new rear deck on the house.

STANDARDS FOR REVIEW

The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial

evidence.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.

The existing garage is not architecturally significant. The proposed additions to the garage are compatible in scale, massing, form, and materials of the existing house and meet the guidelines for review.

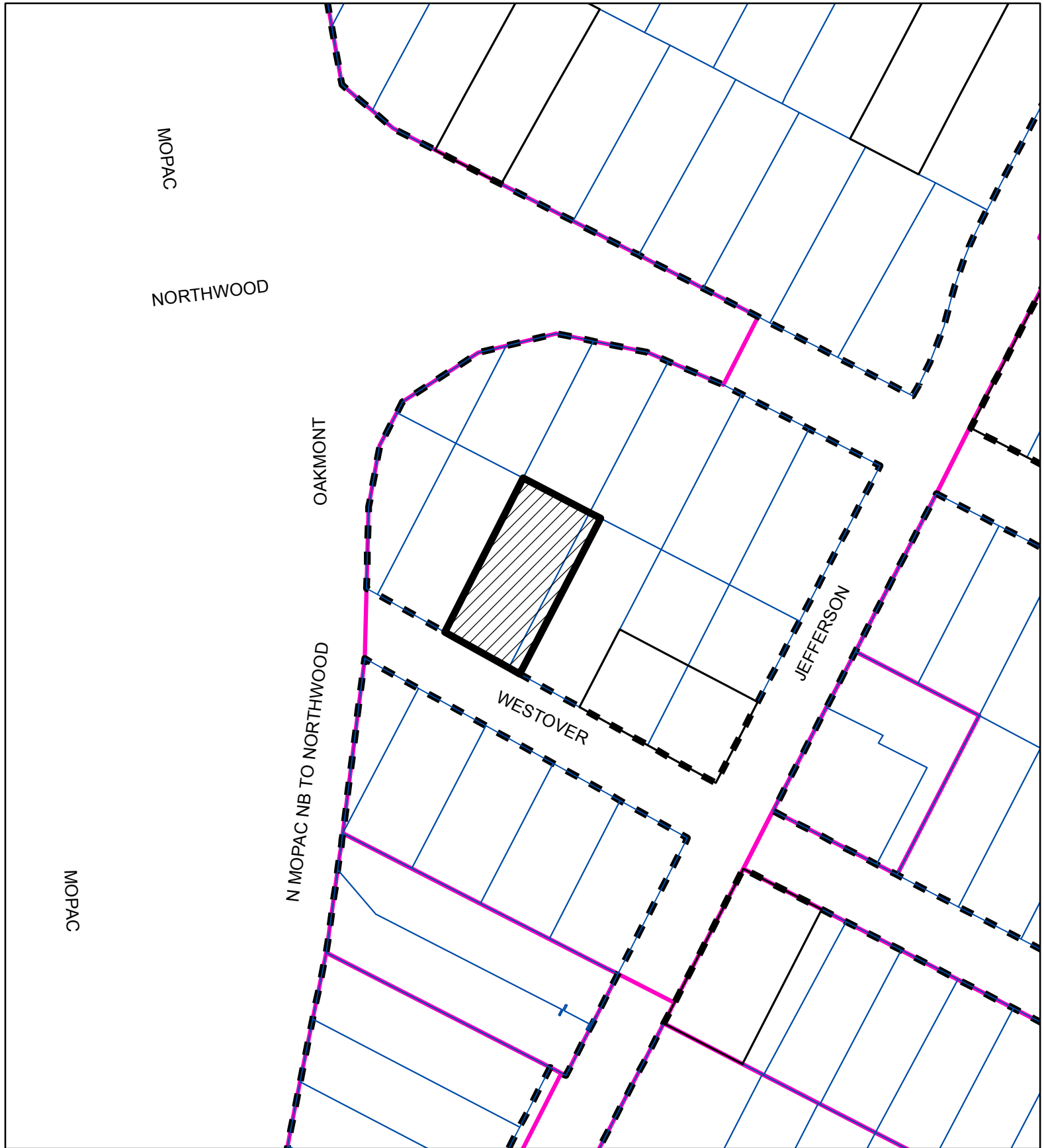
STAFF RECOMMENDATION

Release the permit per the proposed design.

PHOTOS







SUBJECT TRACT



ZONING BOUNDARY

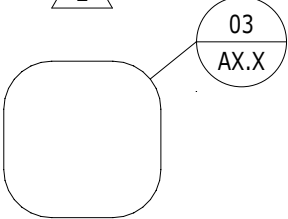




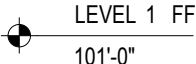


CASE#: NRD-2013-0037
LOCATION: 1706 Westover Road



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This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

SYMBOL KEYS:



ELEVATION MARKER

BUILDING SECTION MARKER

ELEVATION MARKER

SPOT ELEVATION MARKER

DOOR NUMBER TAG

WINDOW TAG

REVISION NUMBER

ENLARGED PLAN / DETAIL TAG

SITE CACLULATIONS:

AREAS (IN SQUARE FEET):	
(E) HOUSE :	1950
(E) GARAGE:	360
WOOD DECK STAIRS TO GUEST RM:	34.3 (68.6 MEASURED)
NEW SECOND STORY GUEST ROOM:	386
DEMOLISHED IMPERVIOUS COVER:	
DRIVEWAY	503
FLATWORK	1599
(E) DECKING @ 50%	458
DECKING @ 50%	127.5 (255 MEASURED)
	115.5 (231 MEASURED)
SITE:	
PROPOSED IMP:	9427
ALLOWED IMP @ 45%:	4041.3
PROPOSED BLDG :	4242.2
ALLOWED BLDG @ 40%:	2696
	3770.8

PROJECT MAP:



Index Of Drawings		Historic Landmark commission	Permit	
Sht. No.	Sheet Name			
A-1	Title Sheet	■		
A-2	Notes	■		
A-3	Site Plan	■		
A-4	Site Work	■		
A-5	First Floor Plan	■		
A-6	Second Floor Plan	■		
A-7	Exterior Elevations	■		
A-8	Roof Plan & Roof Details	■		
A-9	Section and Details	■		
A-10	Section & Wall Details	■		
A-11	Structural			
A-12	Electrical & Plumbing			

PROJECT DESCRIPTION:

GARAGE ADDITION TO DETACHED GARAGE. SITE IS ZONED SF-3 - NP

ADDRESSES AFFECTED:
1706 Westover Road
Austin, Tx, 78703

LEGAL DESCRIPTION:
LOT 11 & W 10 FT OF LOT 12 BLK 4 BRYKERWOODS C

PROJECT DIRECTORY:

OWNER / CLIENT:

John AND Tamara Plemmons
1706 Westover Road
Austin, Tx 78703

ARCHITECT:

SMITH L HOLT, LLC
100 E Skyview rd.
Austin, TX 78752
(512) 420 0026
Contact: Smith Holt, AIA
smith@smithholt.com

ENGINEER:

Board of Adjusments:

C15-2013-0022

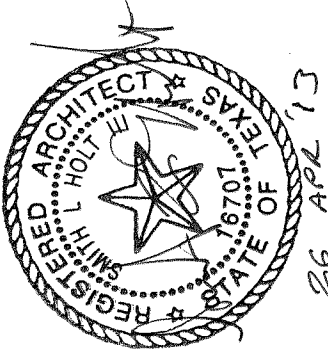
PROJECT CODES:

This project falls within the jursidiction of the City of Austin, TX and is subject to all developmental regulations set forth for residential improvements, including but not limited to:

2006 International Residential Code with Austin Amendments
2009 Uniform Plumbing Code
2011 National Electrical Code
2009 International Energy Conservation Code

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Garage
Guest Room

Title Sheet

Construction Documents
Job:
12016
Date of Issue:
26 Apr 2013
Sheet Number:

A-1

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1.

PROTECT EXISTING TREES, LANDSCAPING, AND PROPERTY DURING CONSTRUCTION. PAY PARTICULAR ATTENTION TO EXISTING TREE ROOT SYSTEMS, EXPOSED TRUNKS, AND BRANCH DRIP LINES. PROVIDE STANDARD CITY OF AUSTIN BARRIERS AND GROUND PROTECTION. NO WORK IS TO OCCUR WITHIN 10'-0" OF TREE TRUNK.
2.

PRIOR TO INSTALLATION, ALL STOCKED MATERIALS SHALL BE PROTECTED FROM THE ELEMENTS AND OFF THE GROUND, AS NEEDED, TO ASSURE THEIR GOOD CONDITION.
3.

CONTRACTOR TO FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE INSTALLATION OF FINISHES. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND IS RESPONSIBLE FOR AND LIBEL TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY HIS WORK.
4.

CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES AND ANY OTHER REGULATING AUTHORITIES HAVING JURISDICTION OVER SAID PROJECT. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND/OR ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE OR REGULATION.
5.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT PROVIDED BY THE OWNER, INSPECTION FEES, AND DEPOSITS REQUIRED FOR THE INSTALLATION OF ALL WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL FOR LOCAL INSPECTIONS AND OBTAIN APPROVAL FROM THE CITY OF AUSTIN INSPECTORS FOR COMPLETED WORK.
6.

QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST QUALITY AND MATERIALS USED OF THE BEST TYPES THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO INDUSTRY STANDARDS AND MANUFACTURER SPECIFICATIONS.
7.

TRASH REMOVAL: CONTRACTOR SHALL PROVIDE FOR TRASH REMOVAL. EACH CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND/OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY, AT HIS OPTION, PAY FOR ITS REMOVAL AND BACK-CHARGE THE CONTRACTOR.
8.

RECYCLING: CONTRACTOR SHALL USE A DISPOSAL SERVICE THAT RECYLES CONSTRUCTION WASTE. DOCUMENTATION OF VOLUMES RECYCLED SHALL BE PROVIDED ON AN ONGOING BASIS.
9.

THERE SHALL BE NO CLEANING OF EQUIPMENT OR TOOLS ON SITE ALLOWING RUN OFF OF ANYTHING BUT CLEAN WATER. AS EXAMPLES: PAINT BRUSH CLEANING IS NOT ALLOWED IN LANDSCAPING. THE WASHOUT OF CONCRETE TRUCKS SHALL BE CONTAINED SO AS TO NOT ALLOW RUN-OFF OF CHEMICALS AND MATERIALS INTO THE LANDSCAPE.
10.

THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, INSERTS, BOXES, HANGERS, BLOCKING, ETC. WITH THE ARCHITECT PRIOR TO ANY FIELD CUTTING OR FIELD PENETRATIONS BEING MADE.
11.

ALL ERECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED AND ANY DRAWING SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS, UNLESS OTHERWISE NOTED.
12.

THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, AND/OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT OR OWNER/DEVELOPER SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
13.

IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW OR INDICATE ALL FASTENING OR FRAMING TECHNIQUES AND/OR DEVICES, OR TO SHOW ALL CONDITIONS PRESENT.
14.

SUBMIT SAMPLES OF ALL FINISH MATERIALS, PAINTS AND STAINS FOR APPROVAL BY THE OWNER.
15.

GENERAL CONTRACTOR TO PROVIDE MEANS TO SECURE AND PROTECT CONSTRUCTION AREAS FROM THE PUBLIC, AND PROTECT THE PUBLIC FROM CONSTRUCTION OPERATIONS, INCLUDING BLOCKING ACCESS TO THE POOL.
16.

DIMENSIONS GIVEN ON PLAN SHEETS ARE TO FACE OF FINISH OR FACE OF CONCRETE OR MASONRY, UNLESS OTHERWISE SHOWN TO BE AS FRAMING, CENTERLINE OR CLEAR DIMENSION.
17.

GENERAL CONTRACTOR SHALL PROVIDE BACKING FOR THE SUPPORT OF EQUIPMENT AND ACCESSORIES, INCLUDING, BUT NOT LIMITED TO: SHELIVING, LAVATORIES, CABINETS, TOILET ACCESSORIES, CLOSET ACCESSORIES, STAIR RAILINGS, LIGHT FIXTURES, BUILT-INS, AND OTHER OWNER EQUIPMENT REQUIRING BACKING AS A MEANS OF SUPPORT.
18.

ALL GYPSUM WALLBOARD SHALL BE ½". WALLS AT 'WET AREAS' WITHIN BATHROOMS, KITCHENS, OR UTILITY AREAS SHALL BE ½" GREEN BOARD. PROVIDE CEMENT BACKER BOARD AT SHOWER LOCATIONS.
19.

DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. CONTACT ARCHITECT FOR CLARIFICATION REGARDING CONFLICTS OR DIMENSIONS IN QUESTION.
20.

NO WOOD SHALL BE IN CONTACT WITH EARTH, MASONRY, OR CONCRETE. PROVIDE NYLON WASHERS OR SPACERS AT CONNECTIONS. ALL WOOD AT EXTERIOR LOCATIONS SHALL BE PRESSURE TREATED.
21.

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY CONFLICTING INFORMATION TO THE OWNER OR ARCHITECT FOR CLARIFICATION.
22.

ALL UTILITY CONNECTIONS AND WORK SHALL BE INSTALLED IN ACCORDANCE WITH PUBLIC UTILITY STANDARDS AND OTHER AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS, AND COORDINATE CONNECTIONS WITH THE REQUIRED ENTITIES.
23.

OWNER REQUESTS THE RIGHT TO PROVIDE CERTAIN ITEMS WITHIN THE STRUCTURE FOR THE CONTRACTOR TO INSTALL. SEE "OWNER PROVIDED, CONTRACTOR INSTALLED ITEMS" LIST.
24.

ALL FASTENERS EXPOSED TO VIEW OR TO ELEMENTS TO BE GALVANIZED.

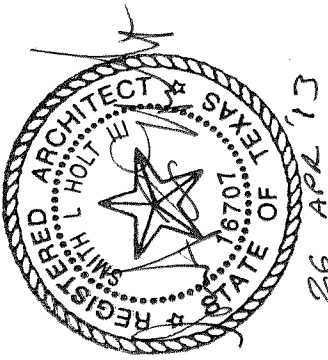
ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR
ADD	ADDENDUM
A/C	AIR CONDITIONING
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECT
BOD	BOTTOM OF DECK
BLDG	BUILDING
CO	CASED OPENING
CLG	CEILING
CTR	CENTER
CL	CENTER LINE
C/C	CENTER TO CENTER
CLR	CLEAR (ANCE)
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST	CONSTRUCTION
CJ	CONTROL JOINT
CONT	CONTINUOUS
DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EL	ELEVATION
ELEV	ELEVATOR
ENGR	ENGINEER
EQ	EQUAL
EJ	EXPANSION JOINT
EXT	EXTERIOR
FIN	FINISH (ED)
FEC	FIRE EXTINGUISHER CABINET
FR	FIRE RATED
FD	FLOOR DRAIN
FURN	FURNISH
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
HDCP	HANDICAP
HDW	HARDWARE
HTR	HEATER
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
HT	HEIGHT
HM	HOLLOW METAL
HB	HOSE BIB
INFO	INFORMATION
ID	INSIDE DIAMETER
INSUL	INSULATE, INSULATION
LAV	LAVATORY
MFR	MANUFACTURER
MAT	MATERIAL

MAX	MAXIMUM
MECH	MECHANICAL
MTL	METAL
MW	MILLWORK
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNT (ED)
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO., #	NUMBER
OC	ON CENTER
OH	OPPOSITE HAND
ORIG	ORIGINAL
OFOI	OWNER FURNISH/ OWNER INSTALL
OFCI	OWNER FURNISH/ CONTRACTOR INSTALL
PTD	PAINT (ED)
PR	PAIR
PERP	PERPENDICULAR
PLAM	PLASTIC LAMINATE
PT	POINT
PSI	POUNDS PER SQUARE INCH
PWR	POWER
PREFAB	PREFABRICATED
PREP	PREPARATION
PROJ	PROJECT (OR)
PL	PROPERTY LINE
QTY	QUANTITY
R, RAD	RADIUS
REINF	REINFORCE, REINFORCING
RH	RIGHT HAND
RHR	RIGHT HAND REVERSE
RD	ROOF DRAIN
RTU	ROOF TOP UNIT
RM	ROOM
RO	ROUGH OPENING
SCHED	SCHEDULE, SCHEDULED
SHT	SHEET
SC	SOLID CORE
SPEC	SPECIFICATION(S)
STD	STANDARD
STL	STEEL
STR	STRUCTURE, STRUCTURAL
THRU	THROUGH
TO	TOP OF
TBM	TOP OF BEAM
TOC	TOP OF CURB
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UTIL	UTILITY
VERT	VERTICAL
WC	WATER CLOSET
WWF	WELDED WIRE FABRIC
WDW	WINDOW
WD	WOOD

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Garage
Guest Room

Notes

Construction Documents

Job: 12016

Date of Issue: 26 Apr 2013

Sheet Number:

A-2

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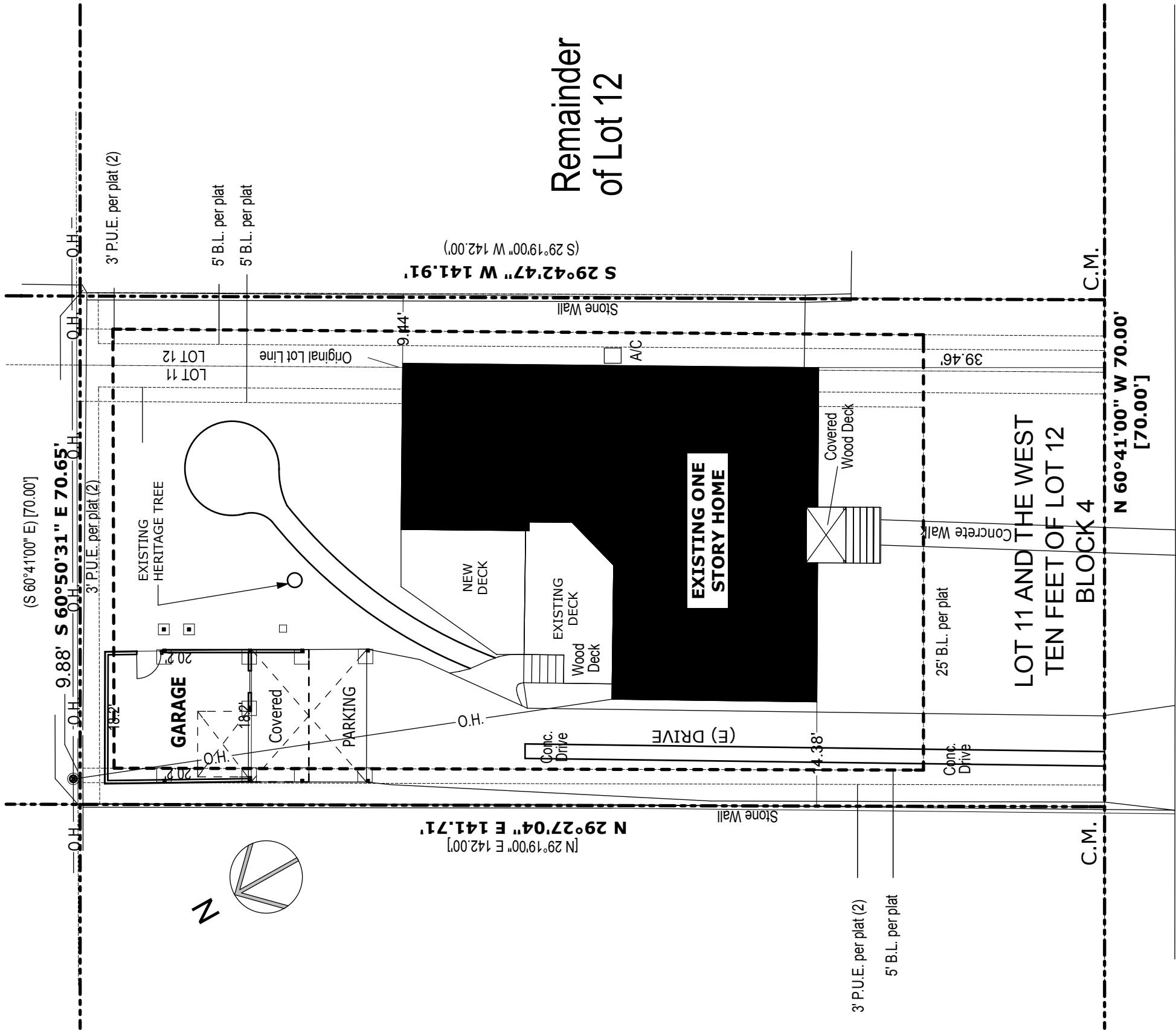
AREAS (IN SQUARE FEET):

- (E) HOUSE : 1950
- (E) GARAGE: 360
- NEW FIRST FLOOR AREA: 34.3 (68.6 MEASURED)
- NEW SECOND STORY GUEST ROOM: 386
- BALCONY: 178 (ABOVE DRIVEWAY)
- DEMOLISHED IMPERVIOUS COVER: 503
- DRIVEWAY 1599
- FLATWORK 458
- (E) DECKING @ 50% 127.5 (255 MEASURED)
- DECKING @ 50% 115.5 (231 MEASURED)
- SITE: 9427
- PROPOSED IMP: 4041.3
- ALLOWED IMP @ 45%: 4242.2
- PROPOSED BLDG : 2696
- ALLOWED BLDG @ 40%: 3770.8

1

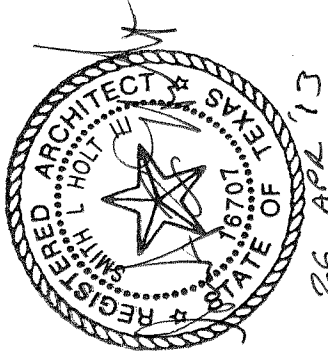
Site Plan

SCALE: 1/16" = 1'-0"



WESTOVER ROAD

(50' R.O.W.)



Garage
Guest Room

Site Plan

Construction
Documents

Job:
12016

Date of Issue:
26 Apr 2013

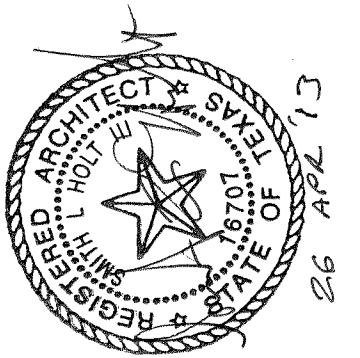
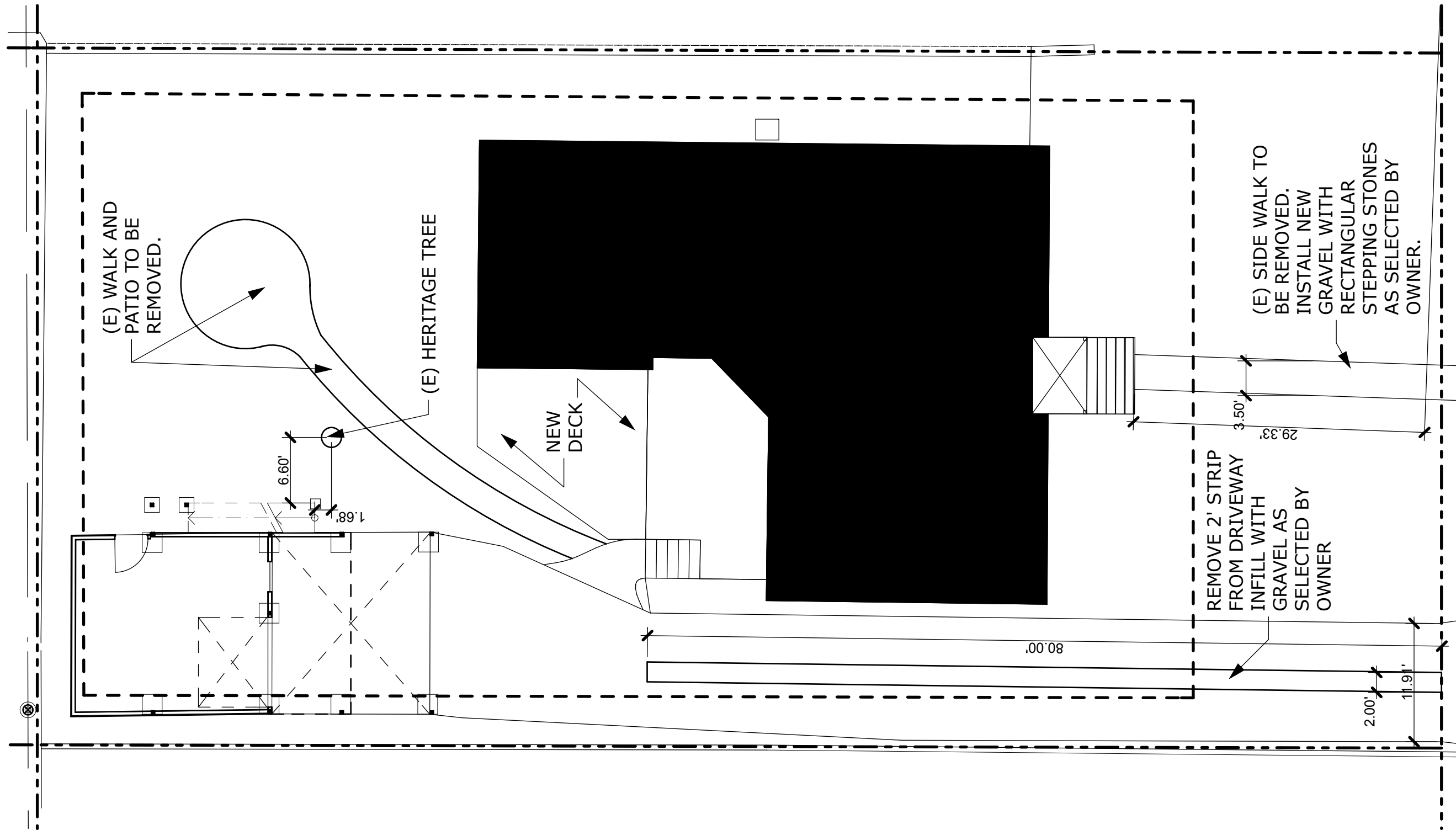
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Site Work

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Date of Issue:
26 Apr 2013

Sheet Number:

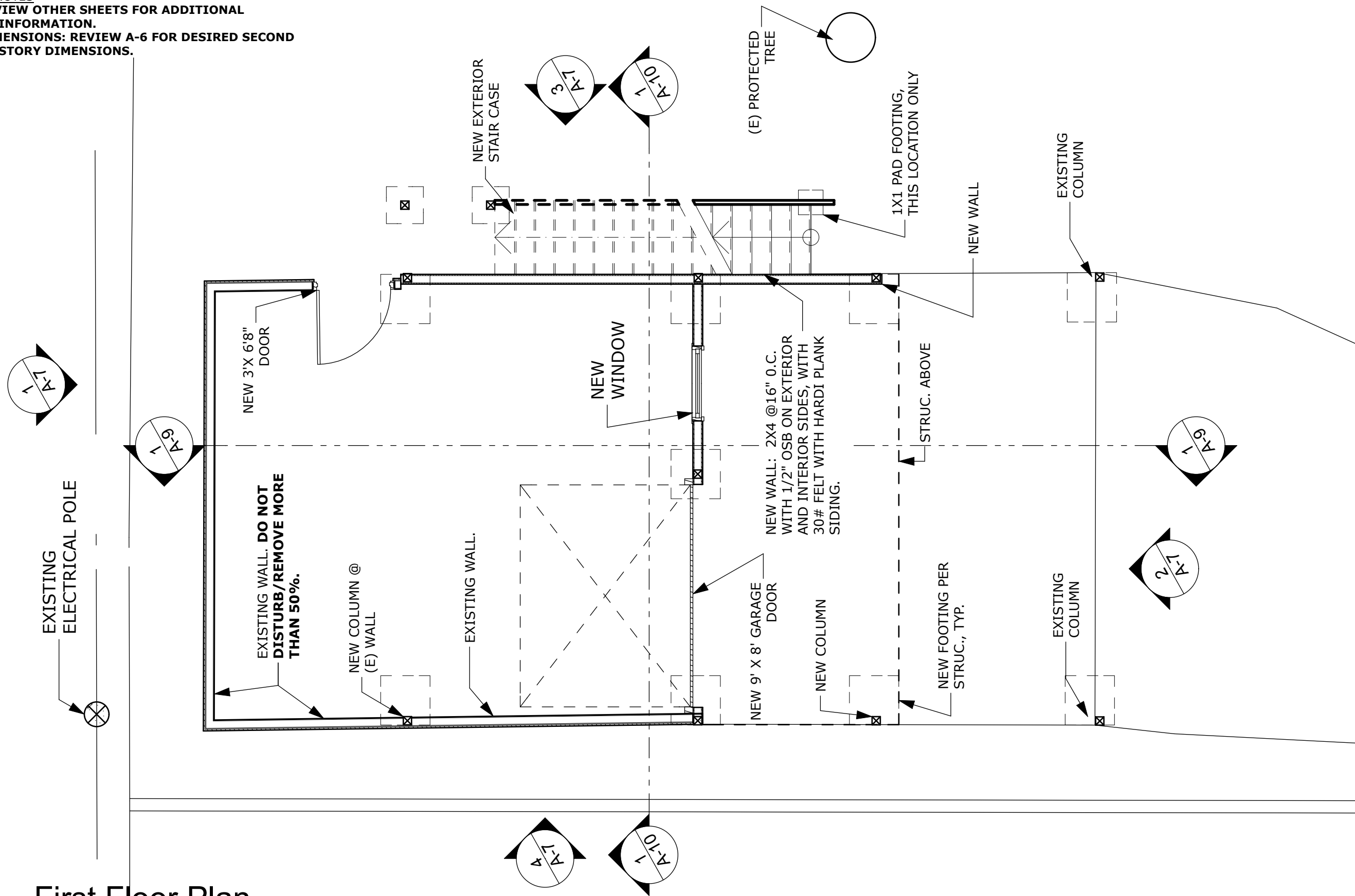
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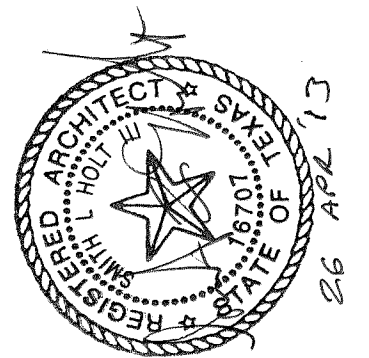
- 1. REVIEW OTHER SHEETS FOR ADDITIONAL INFORMATION.**
- 2. DIMENSIONS: REVIEW A-6 FOR DESIRED SECOND STORY DIMENSIONS.**



1

First Floor Plan

SCALE: 1/4" = 1'-0"



Garage
Guest Room

First Floor Plan

Construction Documents

Job:
12016

Date of Issue:
26 Apr 2013

Sheet Number:

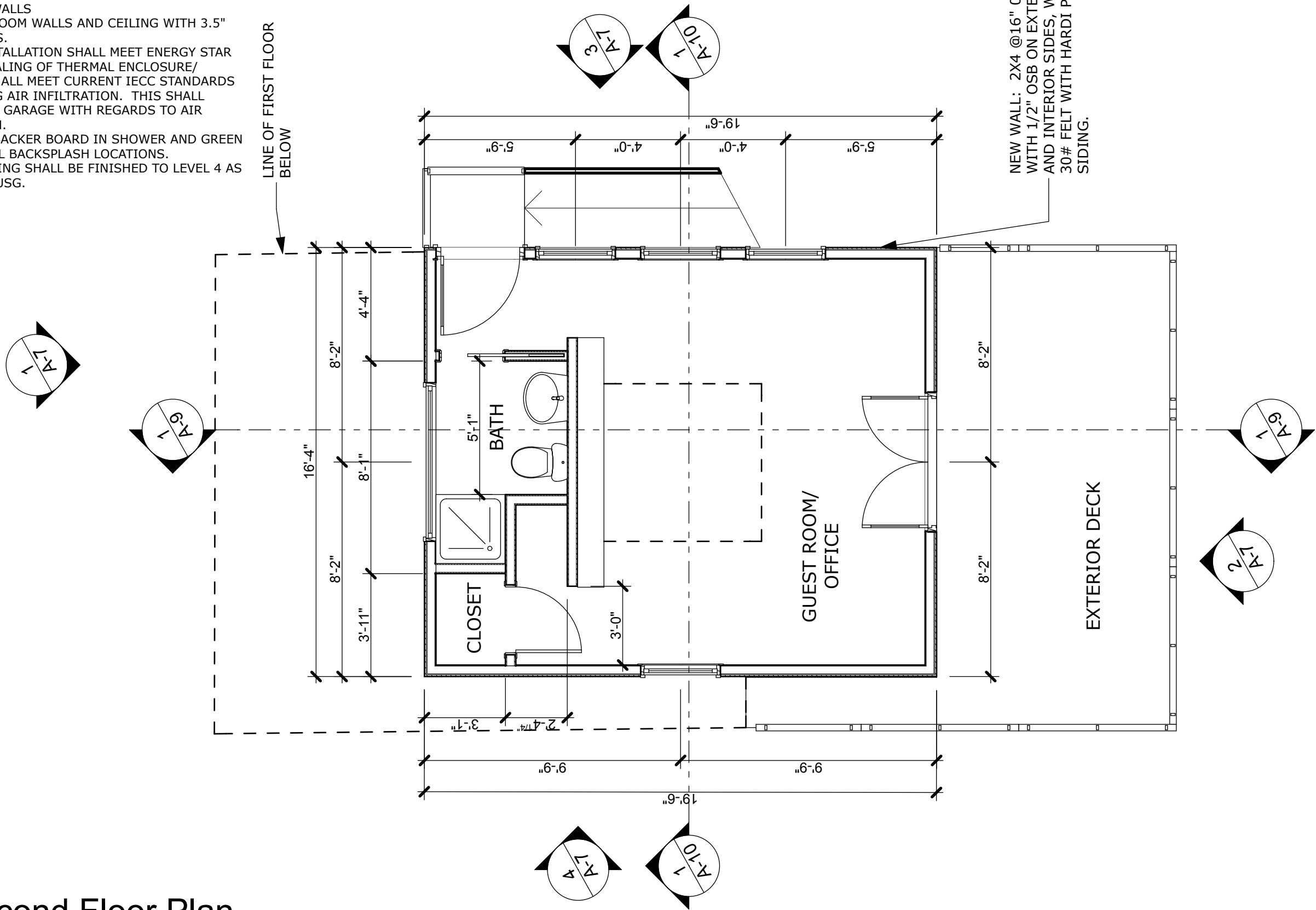
A-5

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A-5 First Floor Plan : Plotted on 4/26/13 at 3:38 PM by Smith Holt. File Path: /Volumes/Project Files/12016 Plemmons/K.1 Drawings/12016 - Model - CD.pln

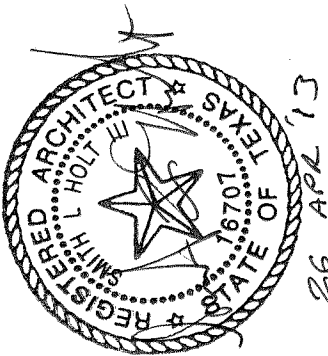
- PLAN NOTES
1. **REVIEW OTHER SHEETS FOR ADDITIONAL INFORMATION.**
 2. PROVIDE 2X6 BLOCKING AT 34" AND 72" AFF IN BATHROOM WALLS
 3. INSULATE BATHROOM WALLS AND CEILING WITH 3.5" SOUND BATTS.
 4. INSULATION INSTALLATION SHALL MEET ENERGY STAR GRADE I; SEALING OF THERMAL ENCLOSURE/ ENVELOPE SHALL MEET CURRENT IECC STANDARDS FOR LIMITING AIR INFILTRATION. THIS SHALL INCLUDE THE GARAGE WITH REGARDS TO AIR INFILTRATION.
 5. USE CONCRETE BACKER BOARD IN SHOWER AND GREEN BOARD AT ALL BACKSPLASH LOCATIONS.
 6. WALLS AND CEILING SHALL BE FINISHED TO LEVEL 4 AS DEFINED BY USG.

LINE OF FIRST FLOOR
BELOW



1 Second Floor Plan

SCALE: 1/4" = 1'-0"



Garage Guest Room

Second Floor
Plan

Construction
Documents

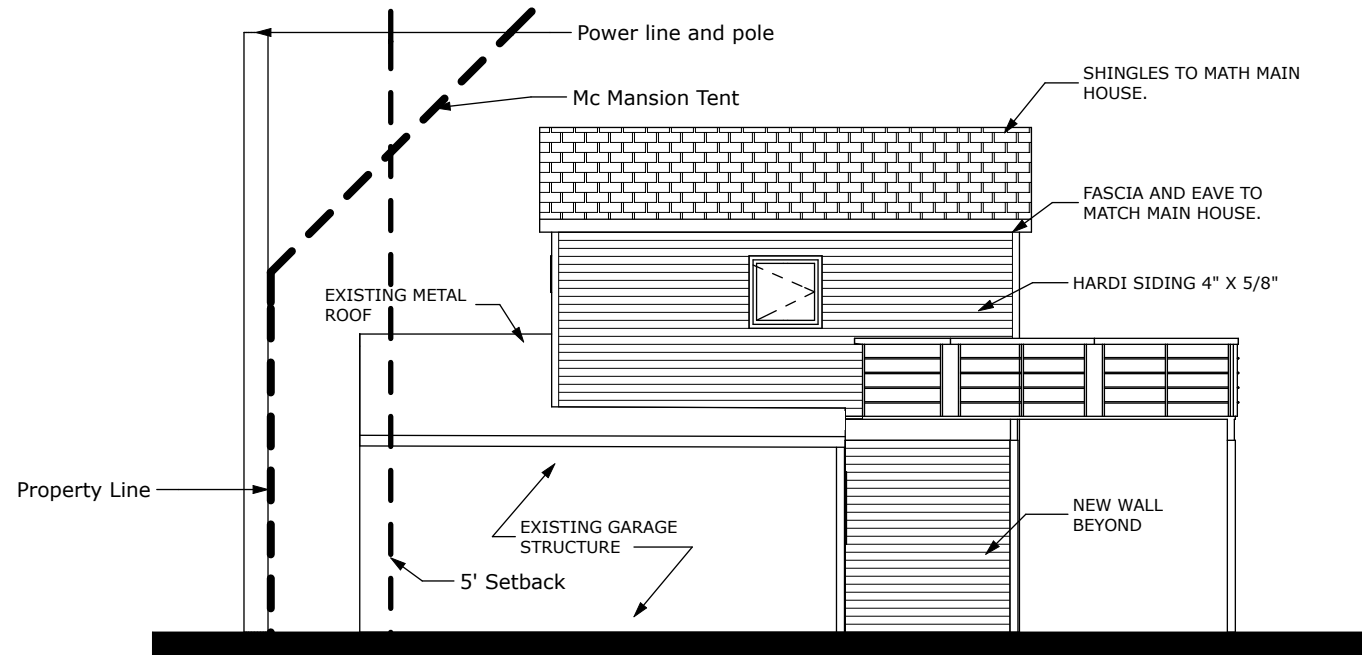
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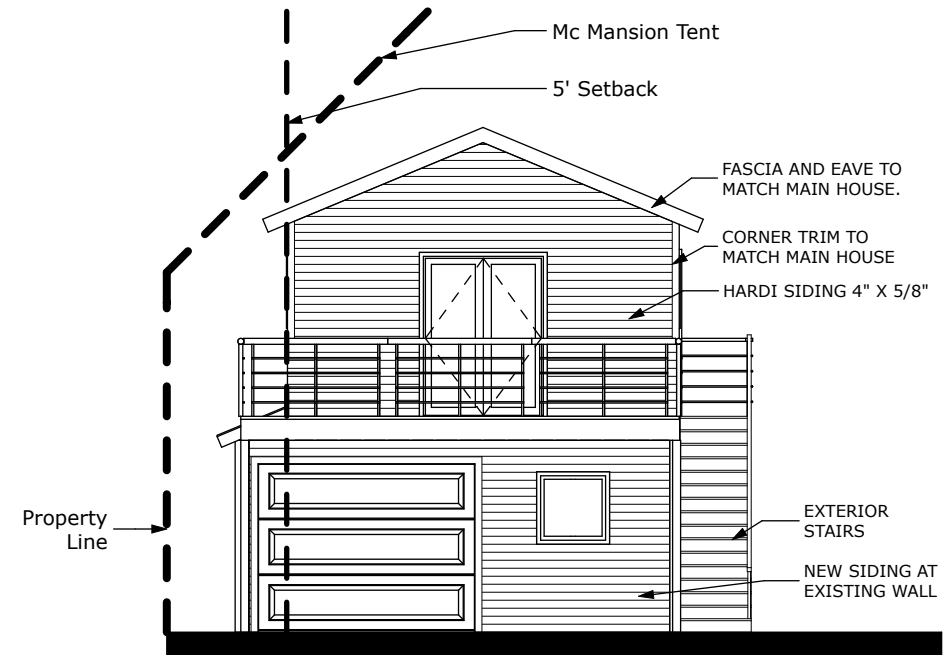
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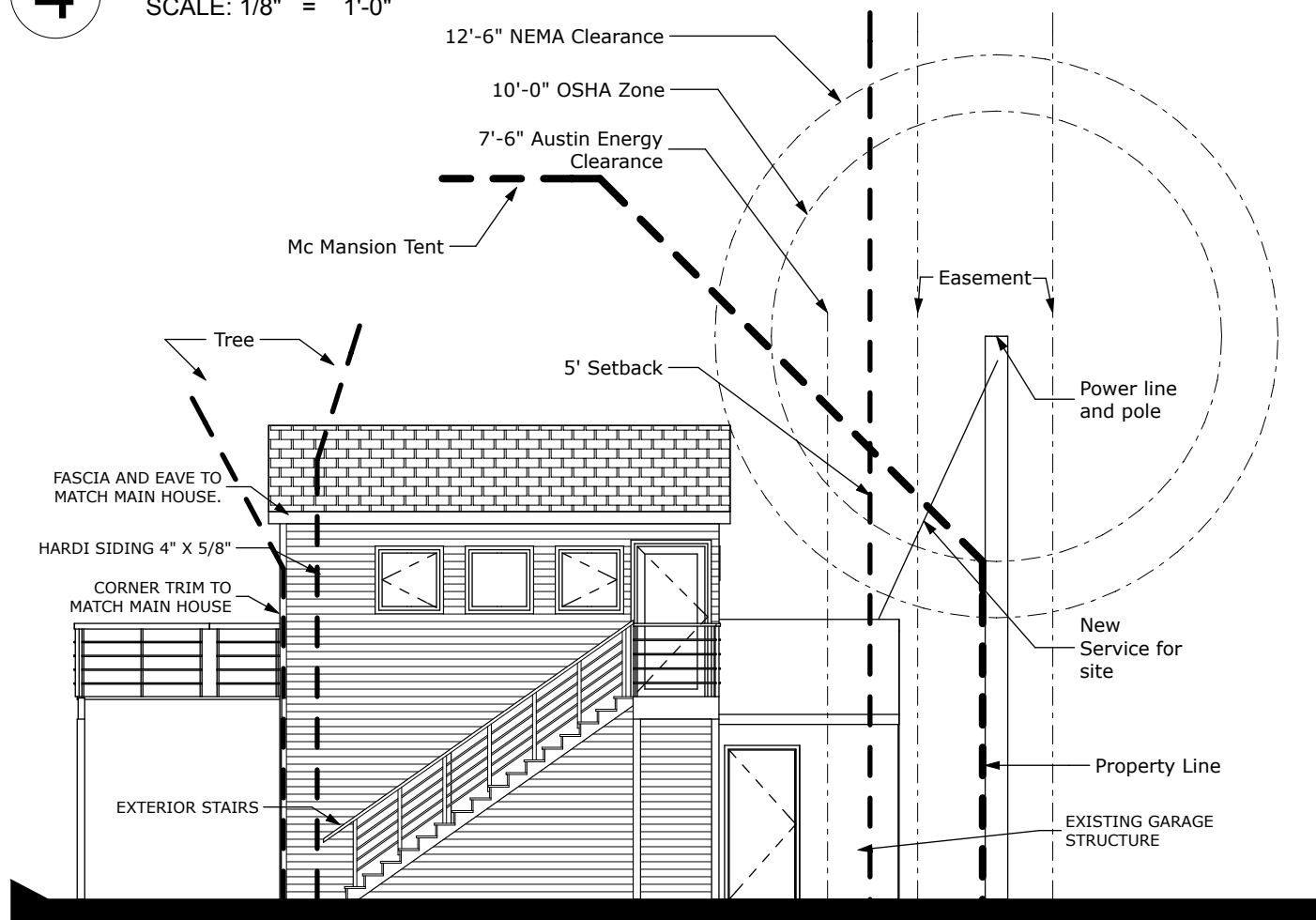
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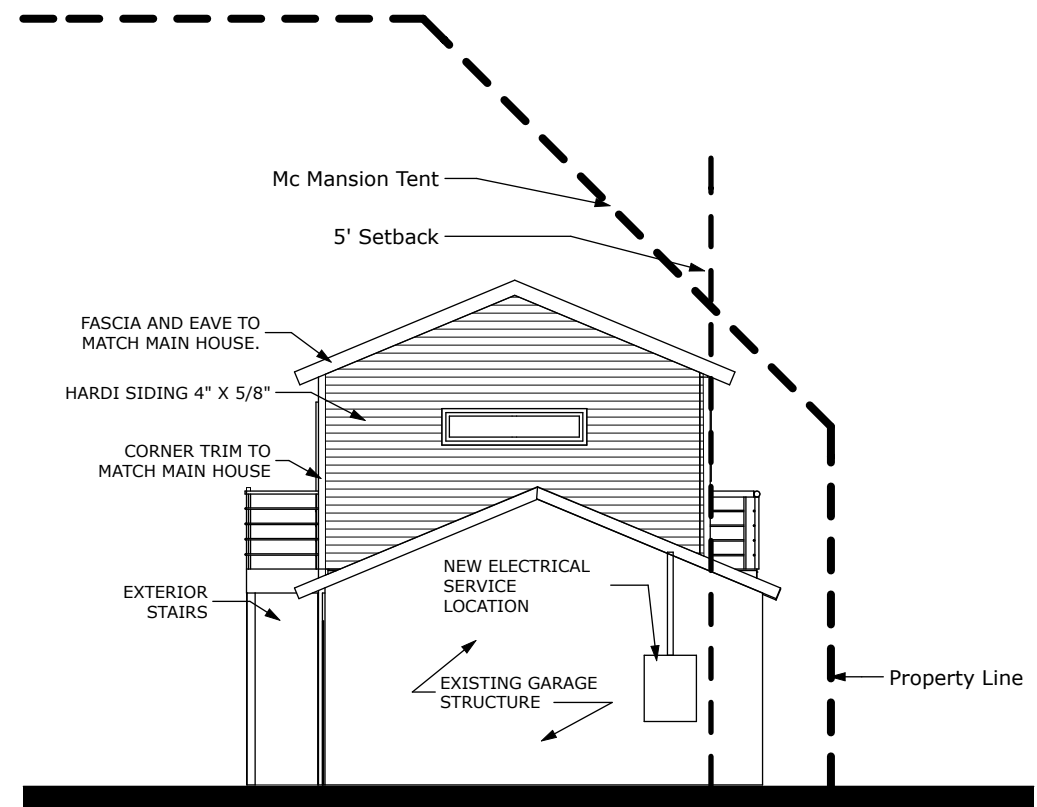
4 West Elevation
SCALE: 1/8" = 1'-0"



2 South Elevation
SCALE: 1/8" = 1'-0"



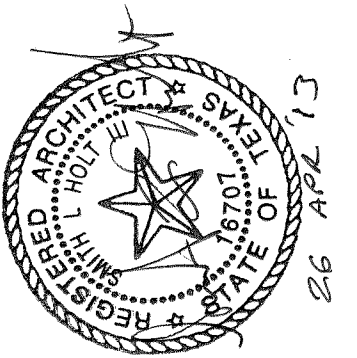
3 West Elevation
SCALE: 1/8" = 1'-0"



1 North Elevation
SCALE: 1/8" = 1'-0"

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**Garage
Guest Room**

Exterior
Elevations

Construction
Documents

Job:
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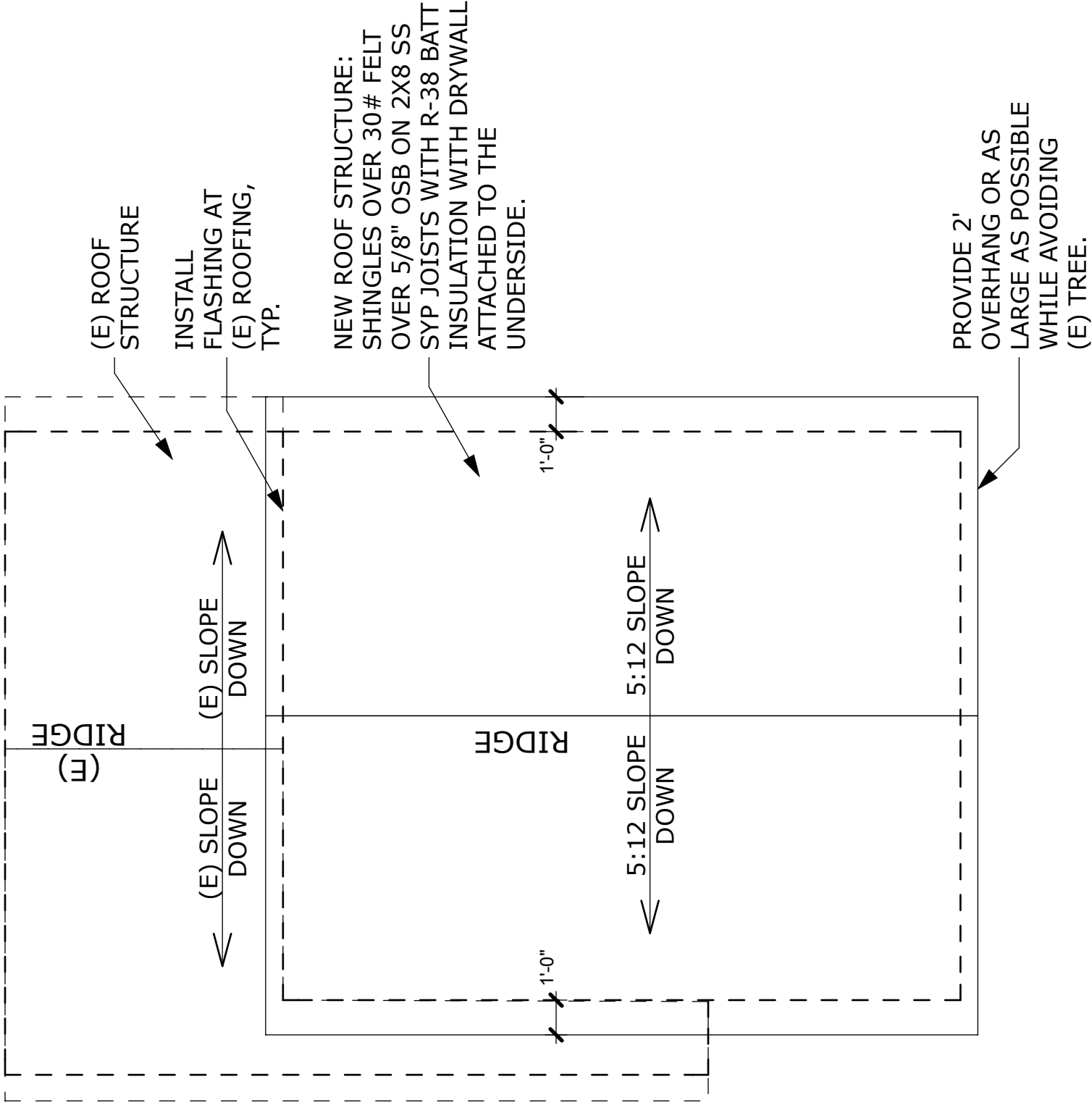
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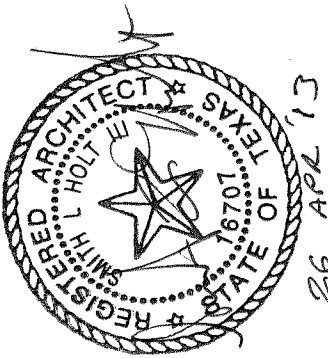
ROOF NOTES

- 1. REVIEW OTHER SHEETS FOR ADDITIONAL INFORMATION
- 2. MATCH EXISTING HOME SHINGLES.



1 Roof Plan

SCALE: 1/4" = 1'-0"



Garage
Guest Room

Roof Plan & Roof
Details

Construction
Documents

Job:
12016

Date of Issue:
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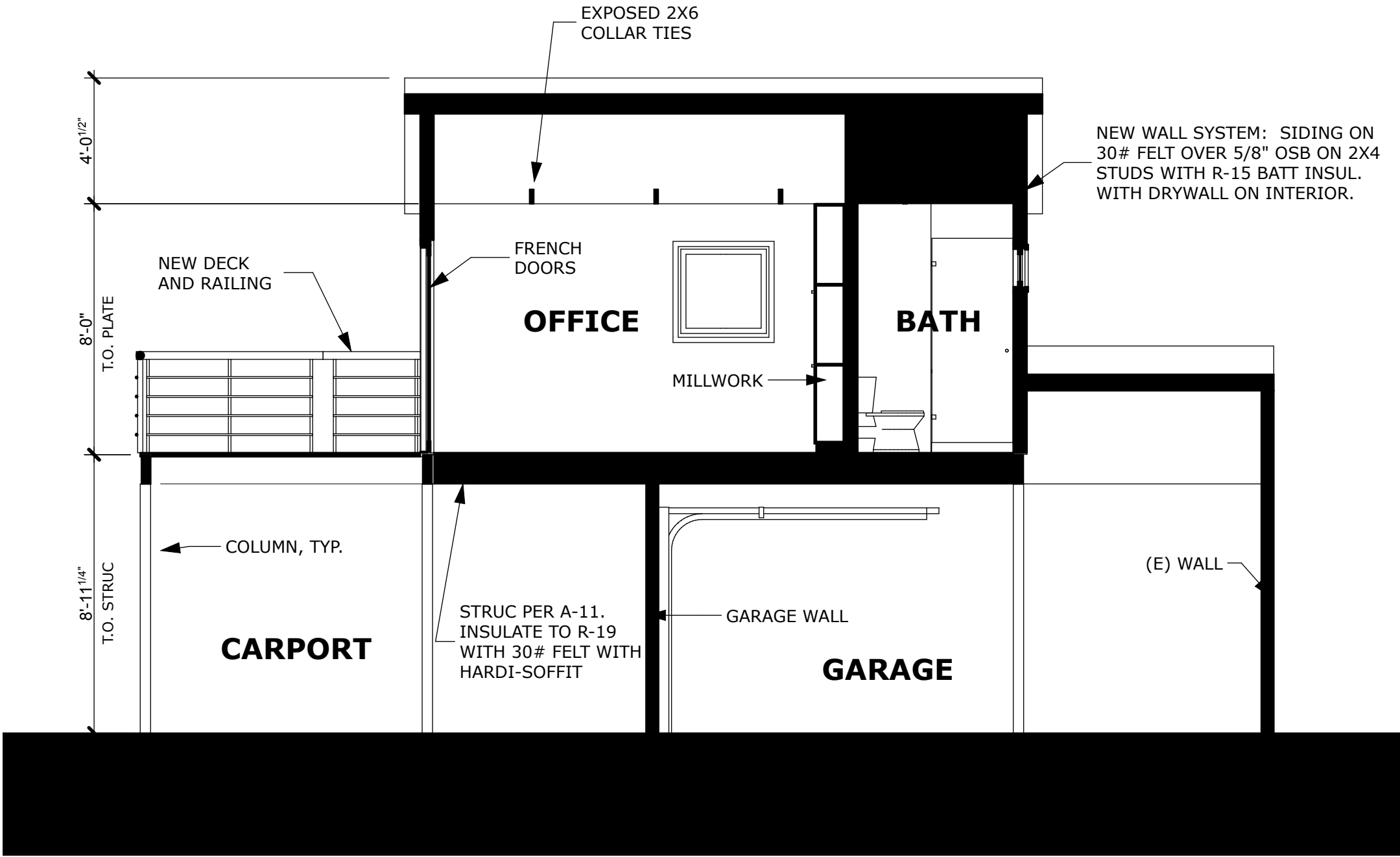
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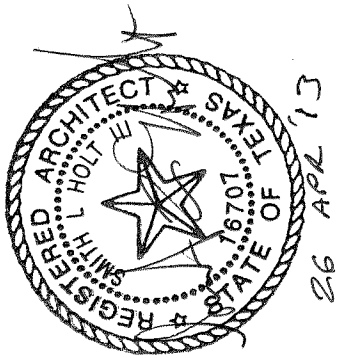
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1 Building Section A
SCALE: 1/4" = 1'-0"

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**Garage
Guest Room**

Section and
Details

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Documents

Job:

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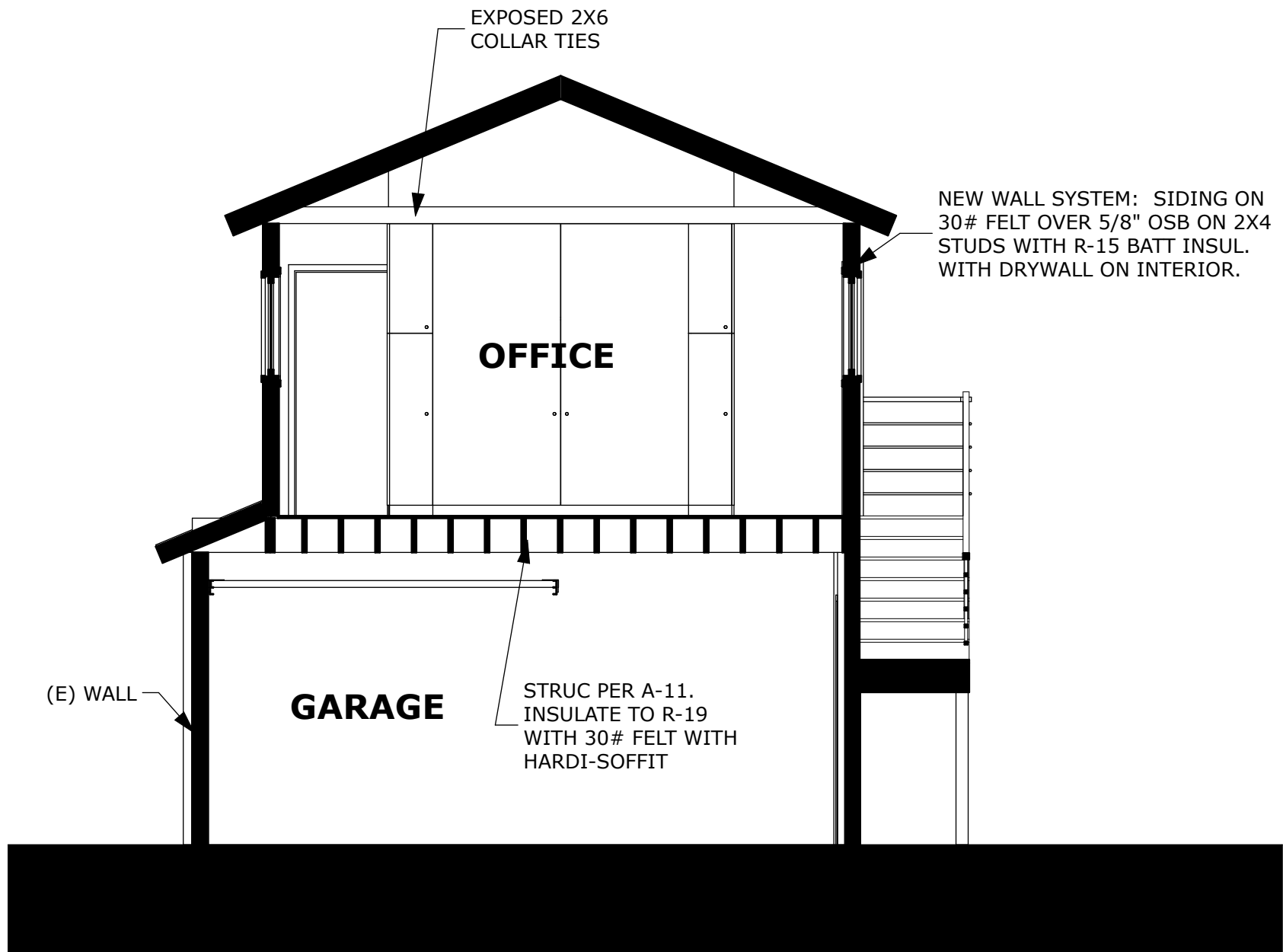
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1 Building Section B
SCALE: 1/4" = 1'-0"

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**Garage
Guest Room**

Section & Wall
Details

Construction
Documents

Job:
12016

Date of Issue:
26 Apr 2013

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