

**HISTORIC LANDMARK COMMISSION
MAY 20, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0033
Old West Austin
1616 Northwood Road**

PROPOSAL

Construct a rear, two-story addition and attached garage on a two-story, contributing house.

PROJECT SPECIFICATIONS

The existing c. 1938 house is an approximately 3,000 sq. ft., two story with a side gabled roof. The house is clad in yellow brick and has a full width porch set under the principle roof with two-story, square, brick columns and a full width second floor balcony. The front door is centered on the façade and there are, two multi-paned windows placed symmetrically to either side. On the second story, there is a central window and two sets of French doors placed symmetrically to either side. There is a one-story, enclosed, side porch with a railing along the roof edge. The pilaster trim surrounding the front door, shutters on the windows, full-height and width front porch, and one-story side extension are references to the Neoclassical style, albeit in a very simplified form.

The applicant proposes to demolish the existing detached, board and batten clad, garage and a non-original rear, one-story addition and construct a new two-story, 3,735 sq. ft. addition, with an attached garage. The addition will be clad in brick to match the existing house, and will have a rear facing, cross gabled roof. All but one of the existing windows in the original house will remain, and new, multi-paned windows will be installed in the addition. New roofing will match the existing.

The new attached garage will be one-and-a-half story, with wall dormers and will be clad in board and batten siding, similar to the existing garage. The two bays will have carriage-style doors.

STANDARDS FOR REVIEW

The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.

- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

Although this is a large addition, the form, massing, fenestration and materials proposed are compatible with the character of the existing house and this area of the National Register District. Additionally, retention of the windows and other features of the original house meets the guidelines.

Staff recommends that additional windows be provided on the first floor of the elevation facing Jefferson Street, and the wall of the addition be inset slightly to break up the massing of that elevation.

STAFF RECOMMENDATION

Release the permit with the request that the applicant consider minor revisions to the west elevation.

PHOTOS



1616 Northwood Drive







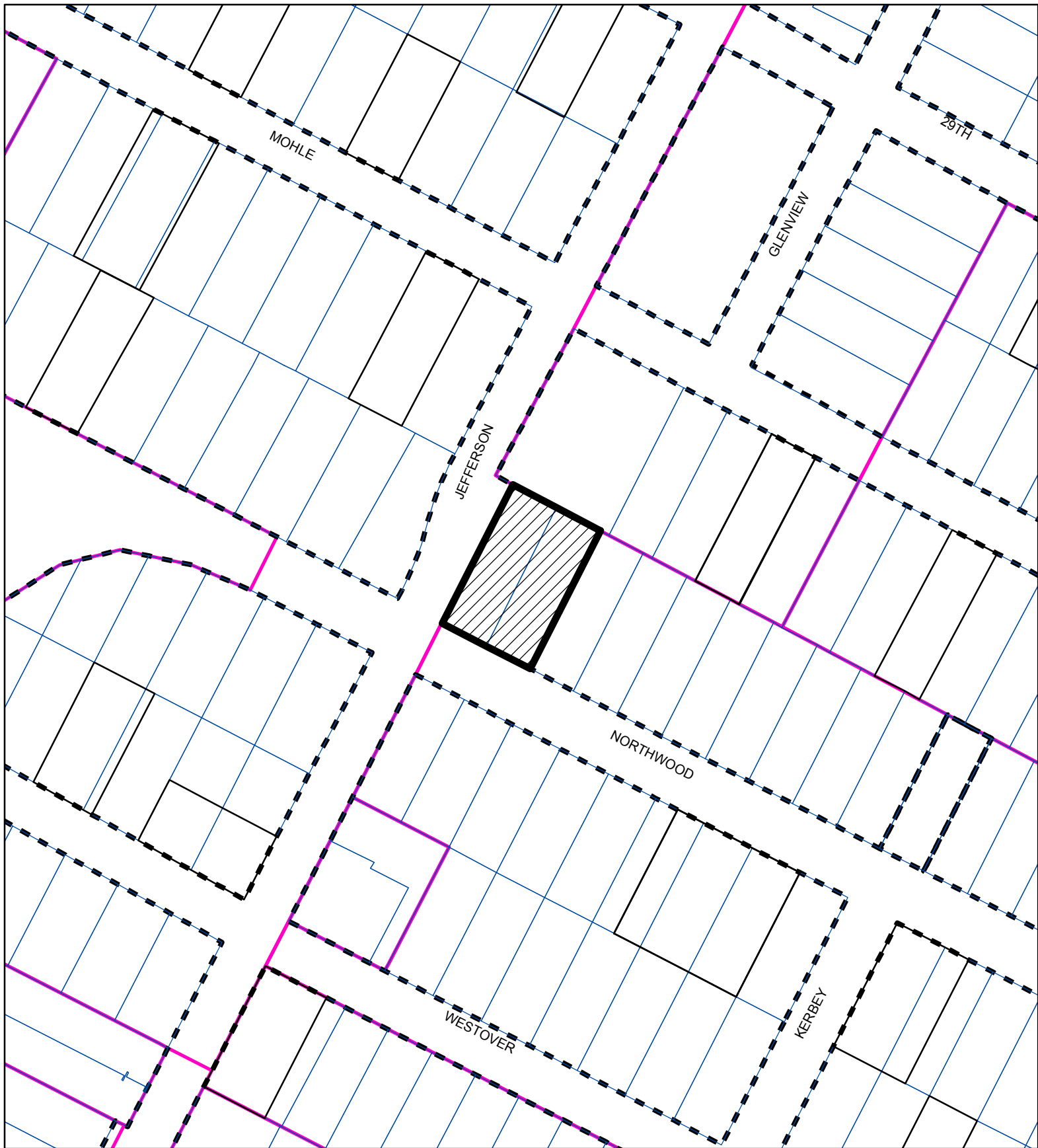
House across Jefferson Street from 1616 Northwood Road



House directly across Northwood Road



Other houses on Northwood Road



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2013-0033
LOCATION: 1616 Northwood Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

REMODEL FOR THE
DUEWALL RESIDENCE

1616 NORTHWOOD RD.
AUSTIN, TX 78703

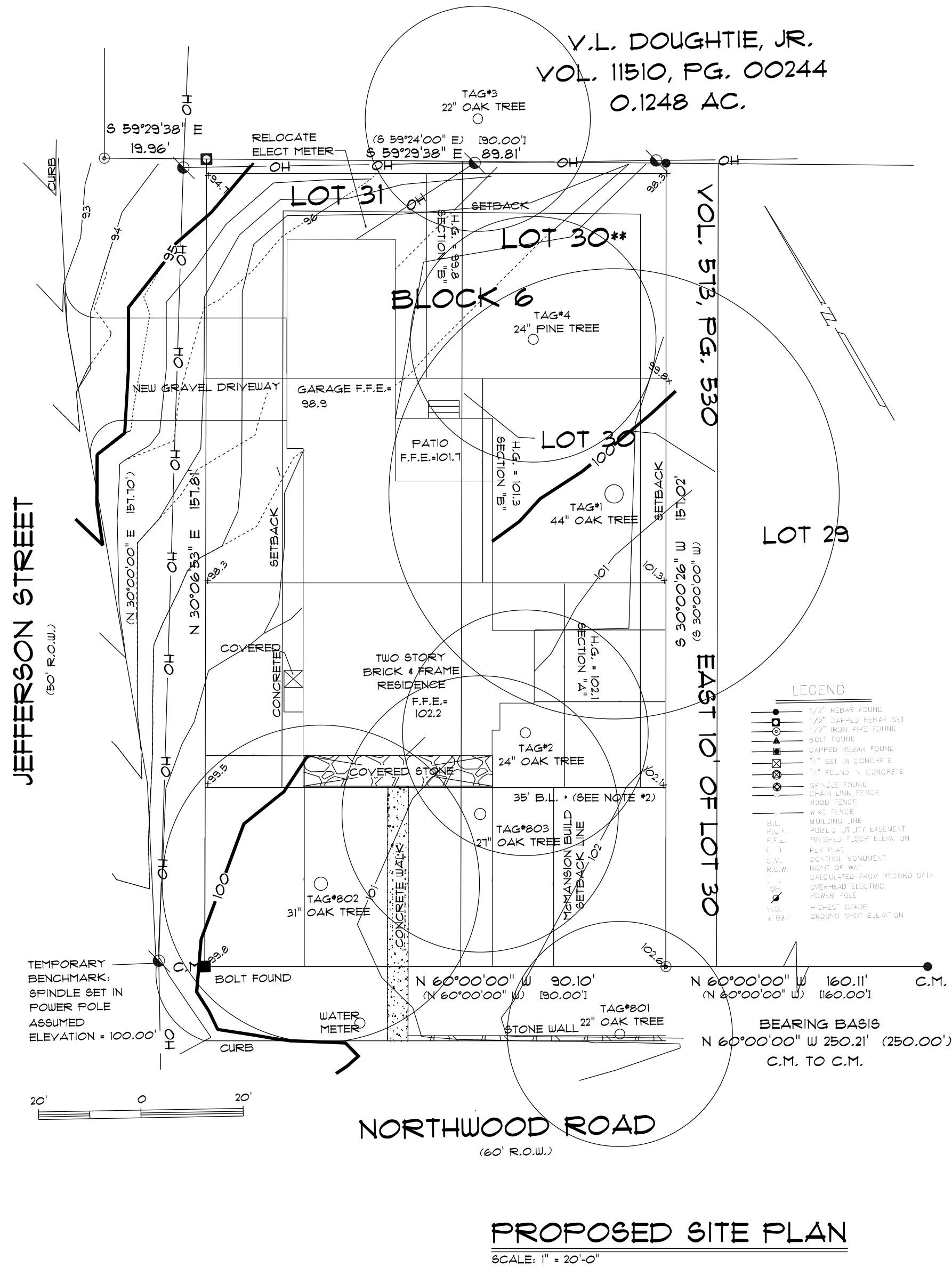
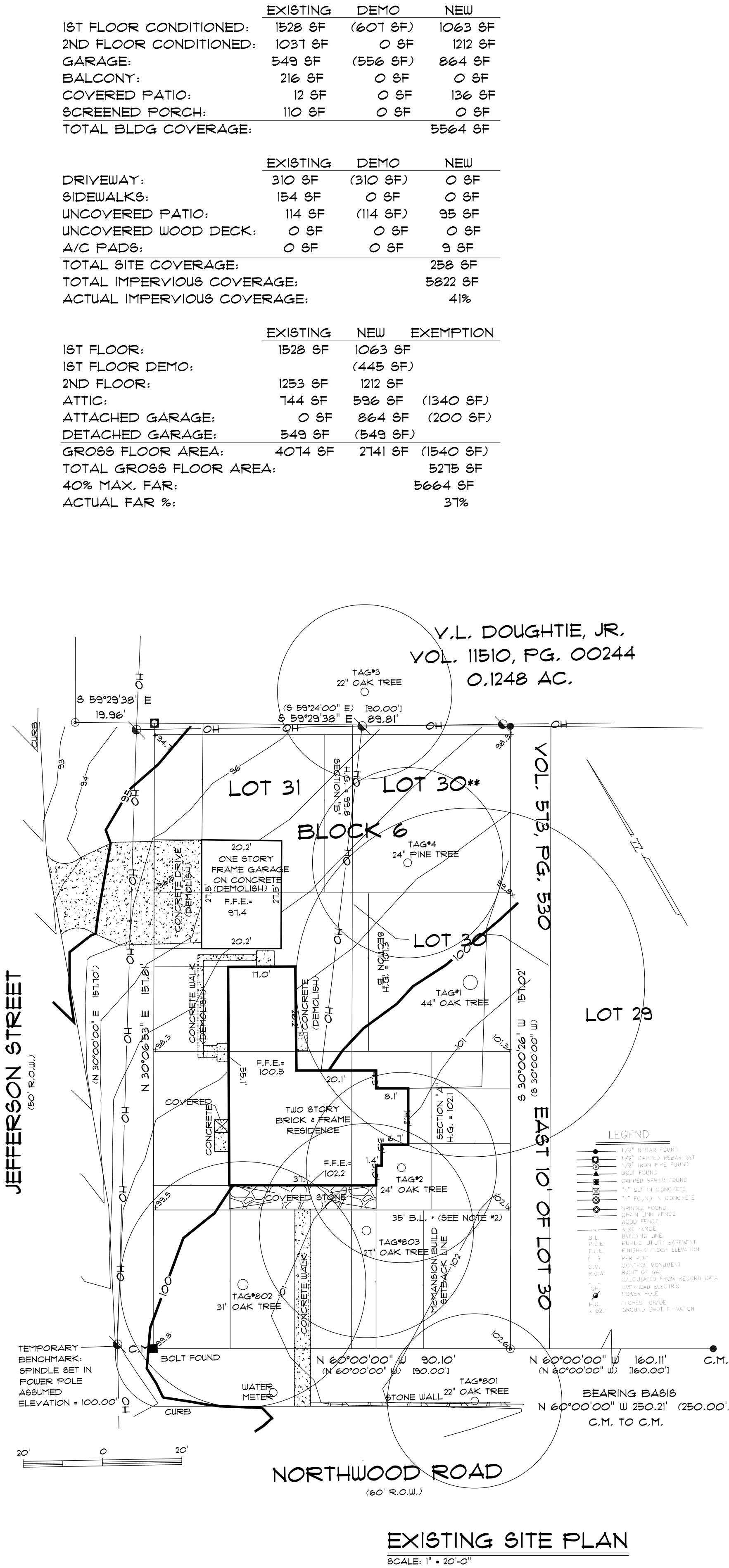
SHEET LEGEND:

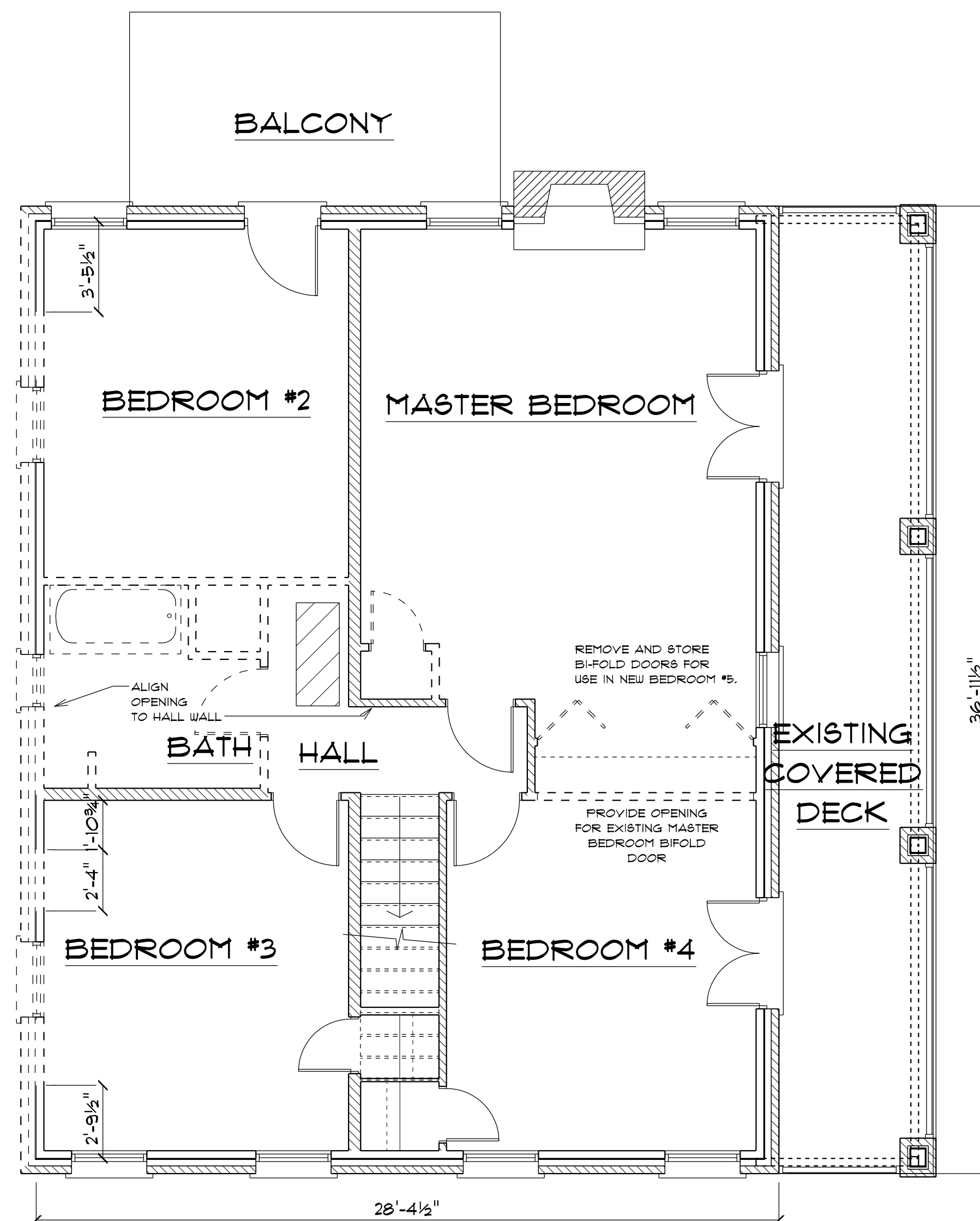
- G-1 COVER / SITE PLANS
D-1 DEMOLITION PLANS
A-1 FIRST FLOOR PLAN
A-2 SECOND FLOOR PLAN
A-3 ROOF PLAN
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A-6 EXTERIOR ELEVATIONS
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A-8 BUILDING ENVELOPE
S-1 GENERAL NOTES
S-2 FOUNDATION PLAN

PROJECT DESCRIPTION:
FOUNDATION REPAIRS AND REMODEL TO EXISTING
TWO STORY WOOD FRAME AND BRICK HOUSE.
DEMOLITION OF 1970s ADDITION AND GARAGE ON
NORTH SIDE OF HOUSE. TWO STORY ADDITION ON
NORTH SIDE WITH ONE STORY GARAGE.

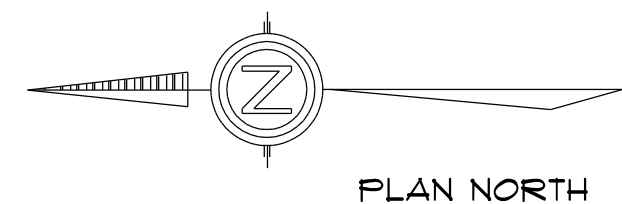
LEGAL DESCRIPTION:
LOT 30 AND 31, BLOCK 6, OF EDMONT,
A SUBDIVISION IN TRAVIS COUNTY, TEXAS,
ACCORDING TO THE MAP OR PLAT OF
RECORD IN VOL. 3, PAGE 131, OF THE PLAT
RECORDS OF TRAVIS COUNTY, TEXAS,
SAVE AND EXCEPT THE EAST 10' OF LOT 30
AS CONVEYED IN THE DEED RECORDED IN
VOL. 513, PAGE 530 OF THE DEED RECORDS
OF TRAVIS COUNTY, TEXAS.

ZONING DATA:
ZONING: SF-3
LOT AREA: 14,955 SF
40% MAX. BLDG COVERAGE: 5,678 SF
45% MAX. IMPERVIOUS: 6,388 SF
40% MAX. FAR: 5,678 SF



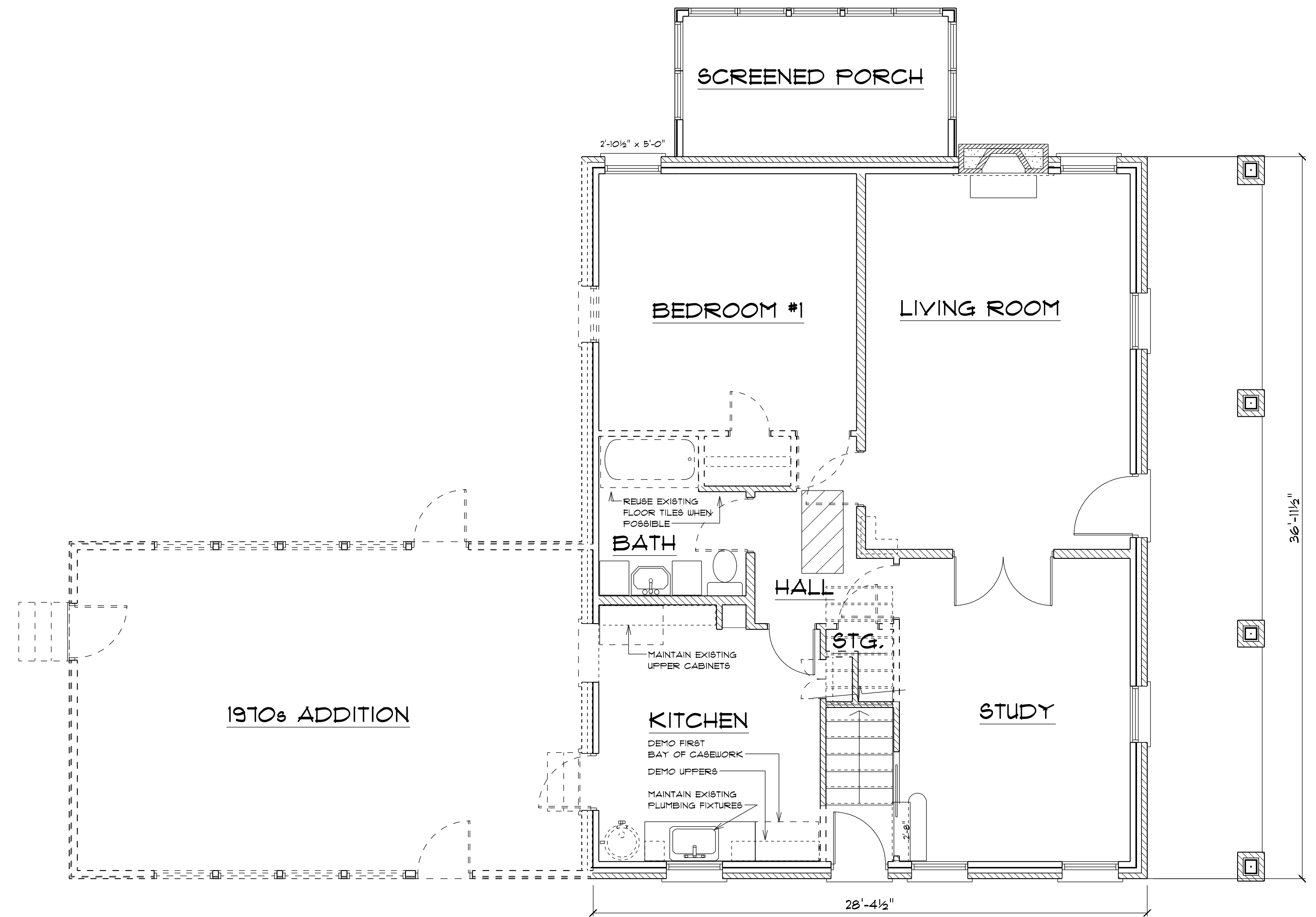


SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

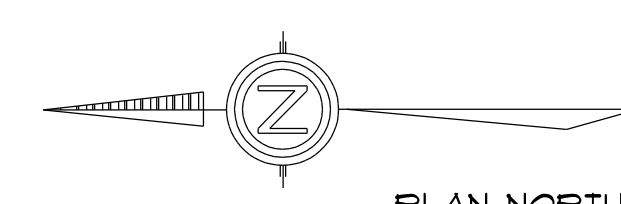


WALL LEGEND

- DEMOLISH
- DEMOLISH OBJECT
- REMOVE EXTERIOR MASONRY OR FINISH
- EXISTING WALL TO REMAIN
- EXISTING OBJECT TO REMAIN
- REMOVE GRATING AND PATCH FLOOR TO MATCH EXISTING



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

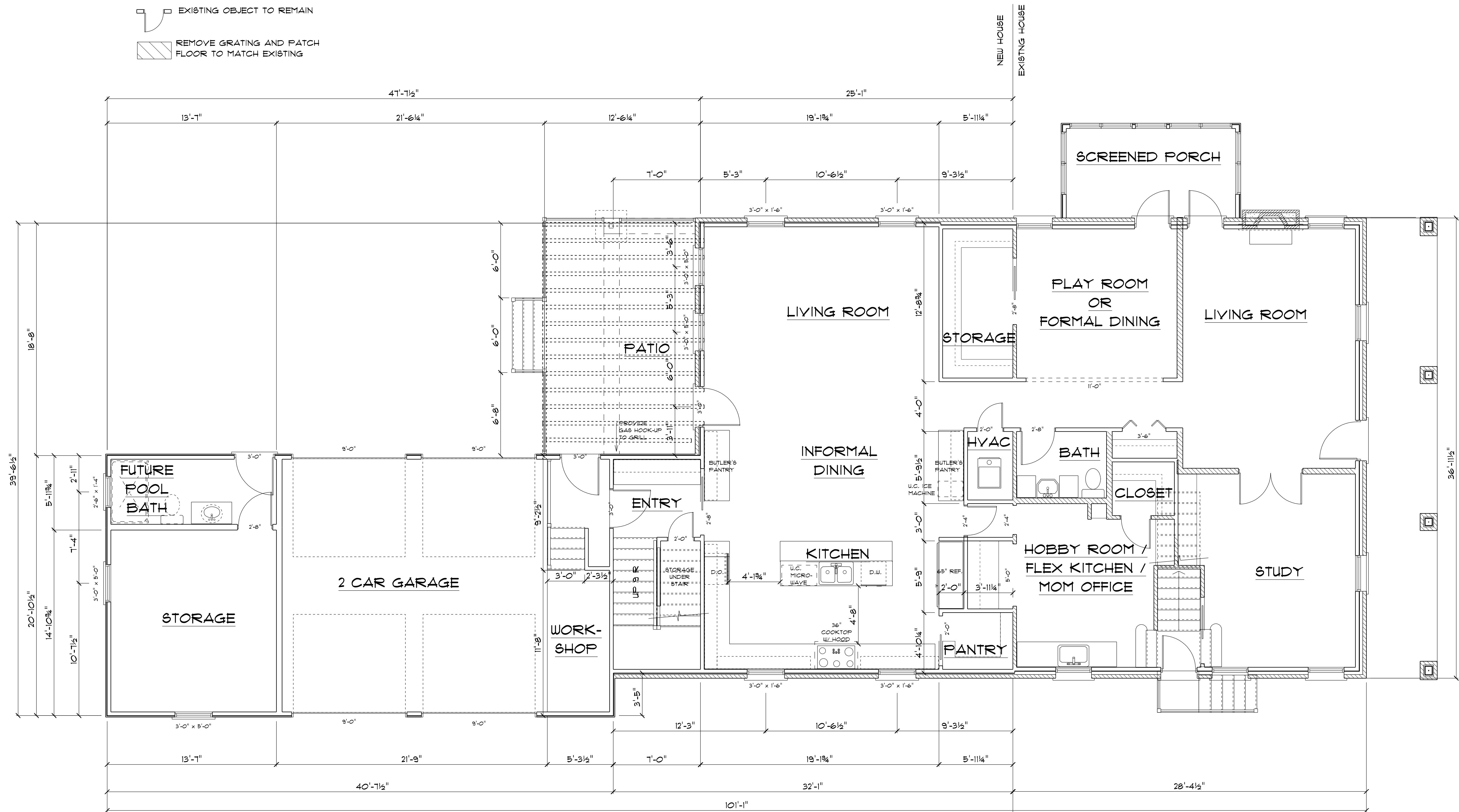


DEMOLITION PLAN NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
2. EXISTING HOUSE DIMENSIONED TO FACE OF FINISH.
3. CONTRACTOR TO REMOVE AND STORE BRICK ALONG NORTH WALL FOR REUSE ALONG WEST WALL ADDITION.
4. REMOVE AWNINGS ALONG WEST WINDOWS.
5. CONTRACTOR TO ENSURE EXISTING WINDOWS AND DOORS AT SOUTH WALL ARE PROPERLY PROTECTED.
6. PATCH FLOORING TO MATCH EXISTING AS REQUIRED.
7. REMOVE EXISTING WALL COVERINGS & PREPARE WALLS FOR DRYWALL.

WALL LEGEND

- DEMOLISH
- DEMOLISH OBJECT
- REMOVE EXTERIOR MASONRY OR FINISH
- EXISTING WALL TO REMAIN
- EXISTING OBJECT TO REMAIN
- REMOVE GRATING AND PATCH FLOOR TO MATCH EXISTING



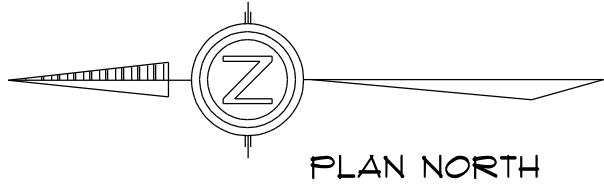
PLAN NOTE:

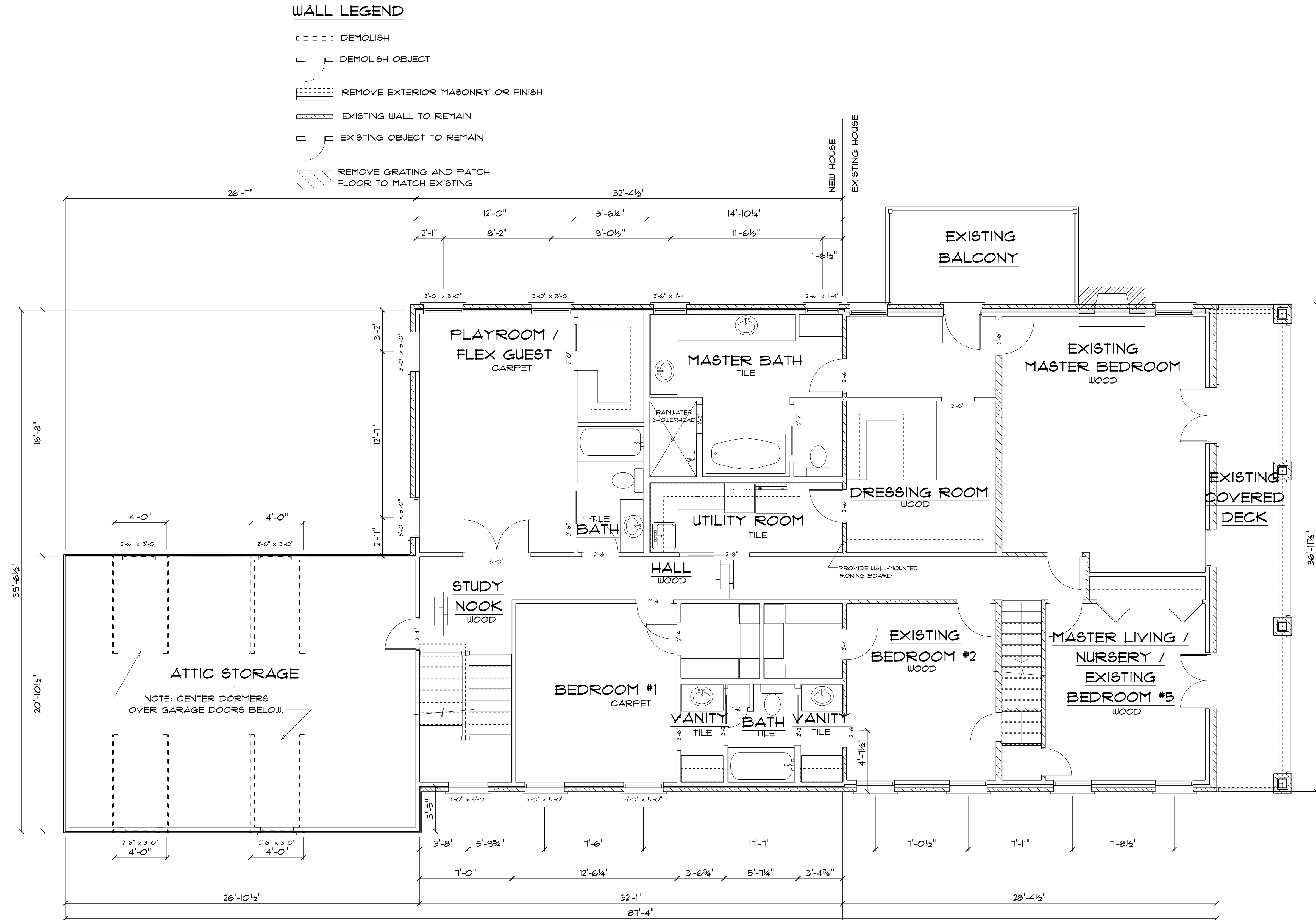
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.

2. EXISTING HOUSE DIMENSIONED TO FACE OF FINISH. NEW HOUSE DIMENSIONED TO FACE OF STUD.

1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"





DAVID SHRUM, ARCHITECT
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davidshrums@gmail.com

DUEWALL RESIDENCE
1616 NORTHWOOD RD.
AUSTIN, TX 78703

SECOND FLOOR PLAN

PAGE #:
A-2

APPROVED:
CHECKED BY:

SCALE: 1/4" = 1'-0"
DRAWN BY: Lindsey Jones
DATE: April 04, 2013

ELEVATION NOTES:

1. ELEVATIONS FROM TEMPORARY BENCHMARK SET BY SURVEYORS (DEWEY H. BURRIS & ASSOCIATES, JOB #RO807812_TA) AT ASSUMED ELEVATION OF 100'-0".
2. ALL NEW ROOFING MATERIALS SHALL MATCH EXISTING MATERIALS.
3. ALL NEW BRICK SHALL MATCH EXISTING BRICK.
4. EXISTING WOOD TRIM AND RAILINGS SHALL BE REPAINTED THE SAME COLOR AS NEW WOOD TRIM.
5. PROVIDE STAIN-GRADE GARAGE DOORS.
6. REFRAME SCREENED PORCH @ EAST AS REQ'D. PROVIDE EXTERIOR-GRADE TILE FLOOR @ BALCONY LEVEL. TILE SELECTION BY OWNER. PROVIDE 36" HIGH RAIL W/ VERTICAL SLATS @ 4" O.C. MAX.
7. EXISTING WINDOWS ALONG EAST, SOUTH, AND WEST WALLS OF EXISTING HOUSE TO REMAIN, EXCEPT WHERE NOTED.
8. NEW WINDOW HEADER HEIGHT TO MATCH EXISTING WINDOW HEADER HEIGHT.
9. (1) INDICATES NEW DOOR.
10. (2) INDICATES EXISTING DOOR TO REMAIN.
11. (A) INDICATES NEW WINDOW.
12. (B) INDICATES EXISTING WINDOW TO REMAIN.
13. (C) INDICATES EXISTING WINDOW TO BE REPLACED. NEW WINDOW SHALL REPLICATE EXISTING WINDOWS IN SIZE, MATERIAL, AND COLOR.

T.O.P. 2ND FLR
120.9'

T.O.P. DORMER
118.2'

T.O.P. STORAGE
115.3'

NOTE: JOIST SIZE
PER ENGINEER

F.F. 2ND FLR
111.1'

T.O.P. 1ST FLR
111.2'

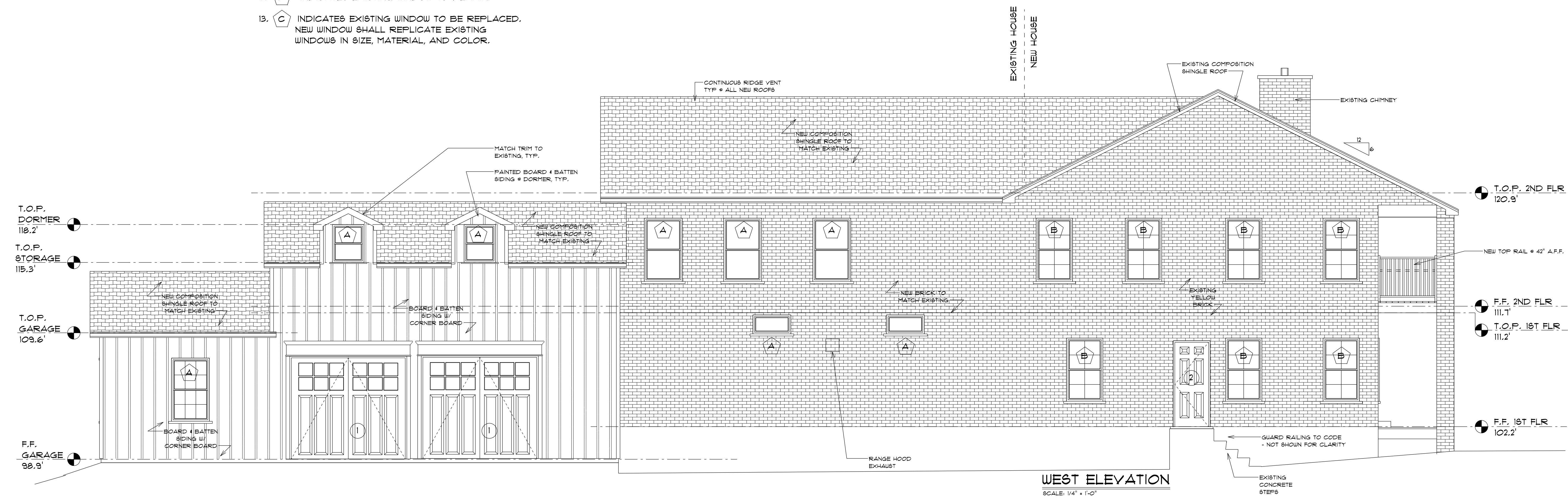
T.O.P. GARAGE
109.6'

F.F. 1ST FLR
102.2'

F.F. GARAGE
98.9'



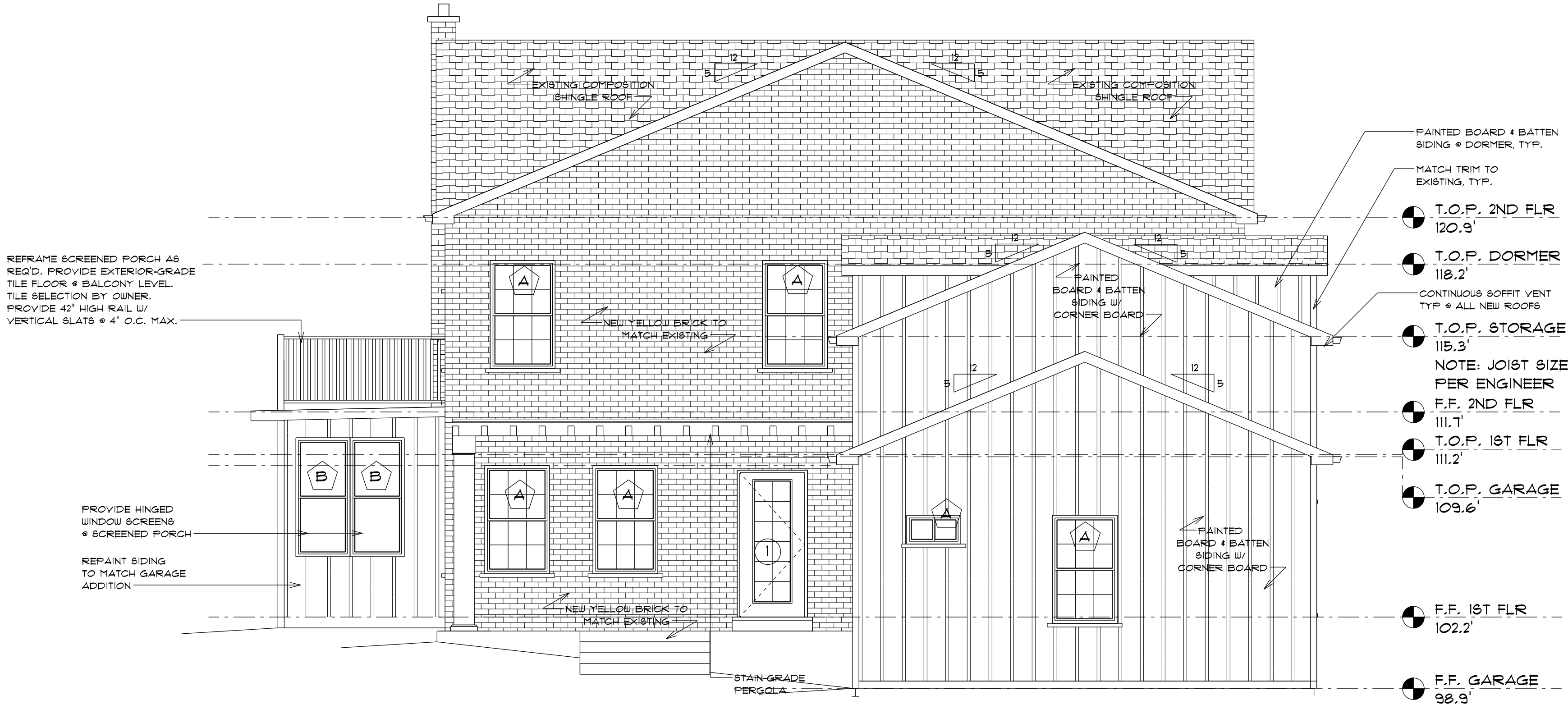
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

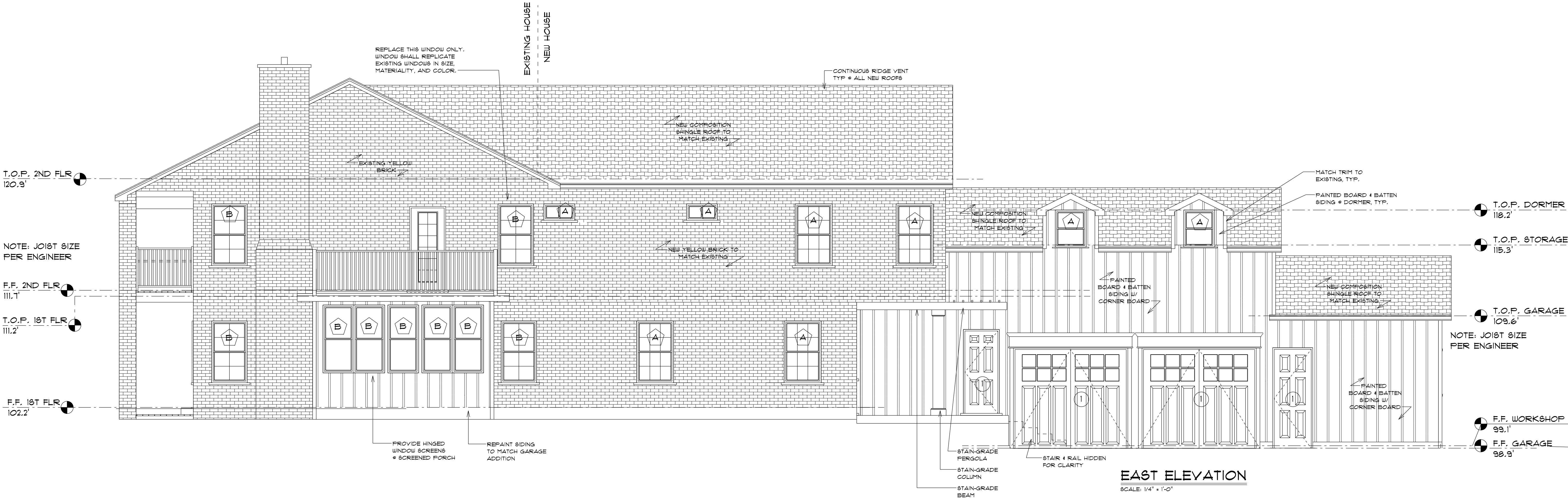
ELEVATION NOTES:

1. ELEVATIONS FROM TEMPORARY BENCHMARK SET BY SURVEYORS (DEWEY H. BURRIS & ASSOCIATES, JOB #ROB07012_TA) AT ASSUMED ELEVATION OF 100'-0".
2. ALL NEW ROOFING MATERIALS SHALL MATCH EXISTING MATERIALS.
3. ALL NEW BRICK SHALL MATCH EXISTING BRICK.
4. EXISTING WOOD TRIM AND RAILINGS SHALL BE REPAINTED THE SAME COLOR AS NEW WOOD TRIM.
5. PROVIDE STAIN-GRADE GARAGE DOORS.
6. REFRAME SCREENED PORCH @ EAST AS REQ'D. PROVIDE EXTERIOR-GRADE TILE FLOOR @ BALCONY LEVEL. TILE SELECTION BY OWNER. PROVIDE 42" HIGH RAIL W/ VERTICAL SLATS @ 4" O.C. MAX.
7. EXISTING WINDOWS ALONG EAST, SOUTH, AND WEST WALLS OF EXISTING HOUSE TO REMAIN, EXCEPT WHERE NOTED.
8. NEW WINDOW HEADER HEIGHT TO MATCH EXISTING WINDOW HEADER HEIGHT.
9. ① INDICATES NEW DOOR..
10. ② INDICATES EXISTING DOOR TO REMAIN.
11. ⬡ A INDICATES NEW WINDOW.
12. ⬡ B INDICATES EXISTING WINDOW TO REMAIN.
13. ⬡ C INDICATES EXISTING WINDOW TO BE REPLACED. NEW WINDOW SHALL REPLICATE EXISTING WINDOWS IN SIZE, MATERIAL, AND COLOR.



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

APPROVED:

SCALE: 1/4" = 1'-0"

DAVID SHRUM, ARCHITECT

DUEWALL RESIDENCE

EXTERIOR ELEVATIONS

PAGE #:

A-7

CHECKED BY:

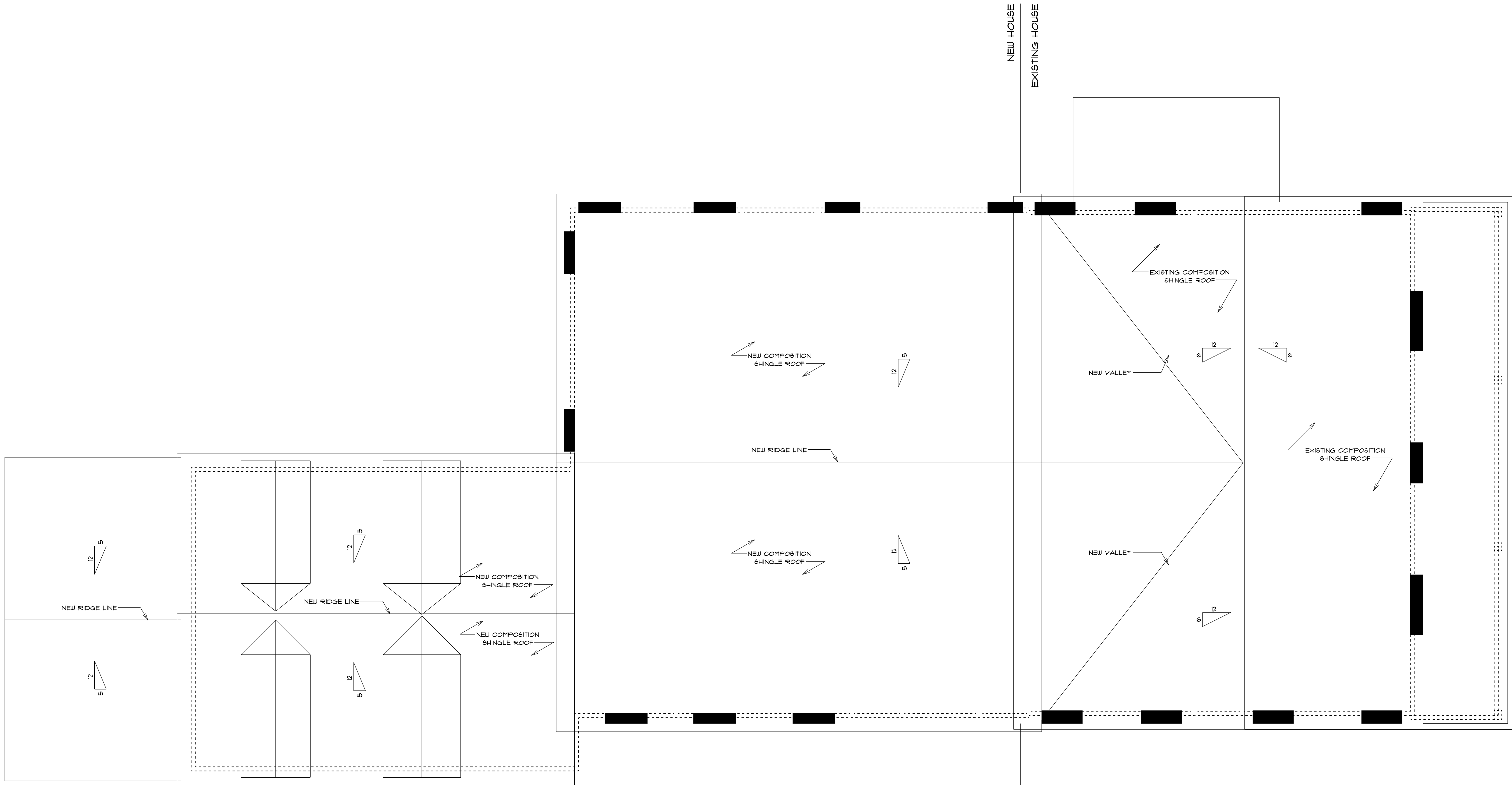
DRAWN BY: Lindsey Jones

1015 W. 34TH ST.
Austin, TX 78705

1616 NORTHWOOD RD.
AUSTIN, TX 78703

1015 W. 34TH ST.
Austin, TX 78705

DATE: April 04, 2013



PLAN NOTES:

1. MATCH OVERHANG TO EXISTING OVERHANG.
2. MATCH COMPOSITION ROOF TO EXISTING.

ROOF PLAN
SCALE: 1/4" = 1'-0"

PAGE #: A-3	ROOF PLAN	DUEWALL RESIDENCE 1616 NORTHWOOD RD. AUSTIN, TX 78703	DAVID SHRUM, ARCHITECT 1015 W. 34TH ST. Austin, TX 78705 PHONE: (512) 496-6808 davidshrum1@gmail.com	SCALE: 1/4" = 1'-0"	APPROVED:
				DRAWN BY: Lindsey Jones	
				DATE: April 04, 2013	CHECKED BY: