

**HISTORIC LANDMARK COMMISSION  
JUNE 24, 2013  
NATIONAL REGISTER HISTORIC DISTRICT  
NRD-2013-0046  
Old West Austin  
3214 Beverly Road**

**PROPOSAL**

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Construct a new house on a vacant lot.

**PROJECT SPECIFICATIONS**

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The applicant proposes to construct a new approximately 2,800 sq. ft., two-story house on a vacant lot. The design will be a contemporary interpretation of a Colonial Revival style with Georgian features. The house will have a side gabled roof with rear wing. There will also be a hipped roof over the portion of the first floor that extends beyond the footprint of the second story, and a cross gabled wing with dormers over the second floor space. The Georgian style influence is reflected in the shallow eaves, symmetrical 2:2 windows, two-story, corner pilasters, central chimney, and the unpedimented front door surround. The house will be clad in horizontal siding.

A detached, one car garage, accessed from a driveway off W. 33<sup>rd</sup> Street is also proposed. It will have a front facing gable roof with a cross gable, and a carriage-house style door. The proposed 6 feet high fence will have solid fencing up to 4 feet with 2 feet of lattice above.

**STANDARDS FOR REVIEW**

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The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
- Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building

materials shall not be undertaken.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

On July 25, 2011 the Historic Landmark Commission approved release of a demolition permit for the house that was on this lot. A documentation package was submitted and new construction was reviewed. The demolition permit was released in August 2011, however new construction of the contemporary style house that was reviewed in July 2011 did not take place.

Although nearly all houses in this area of the District are one-story, Minimal Tradition-style homes, the scale, massing and form of the proposed house and garage are generally compatible with the neighborhood. Additionally, the simple Colonial Revival style is compatible with the style of other homes in this part of the District.

#### **STAFF RECOMMENDATION**

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Release the permit per the proposed design.

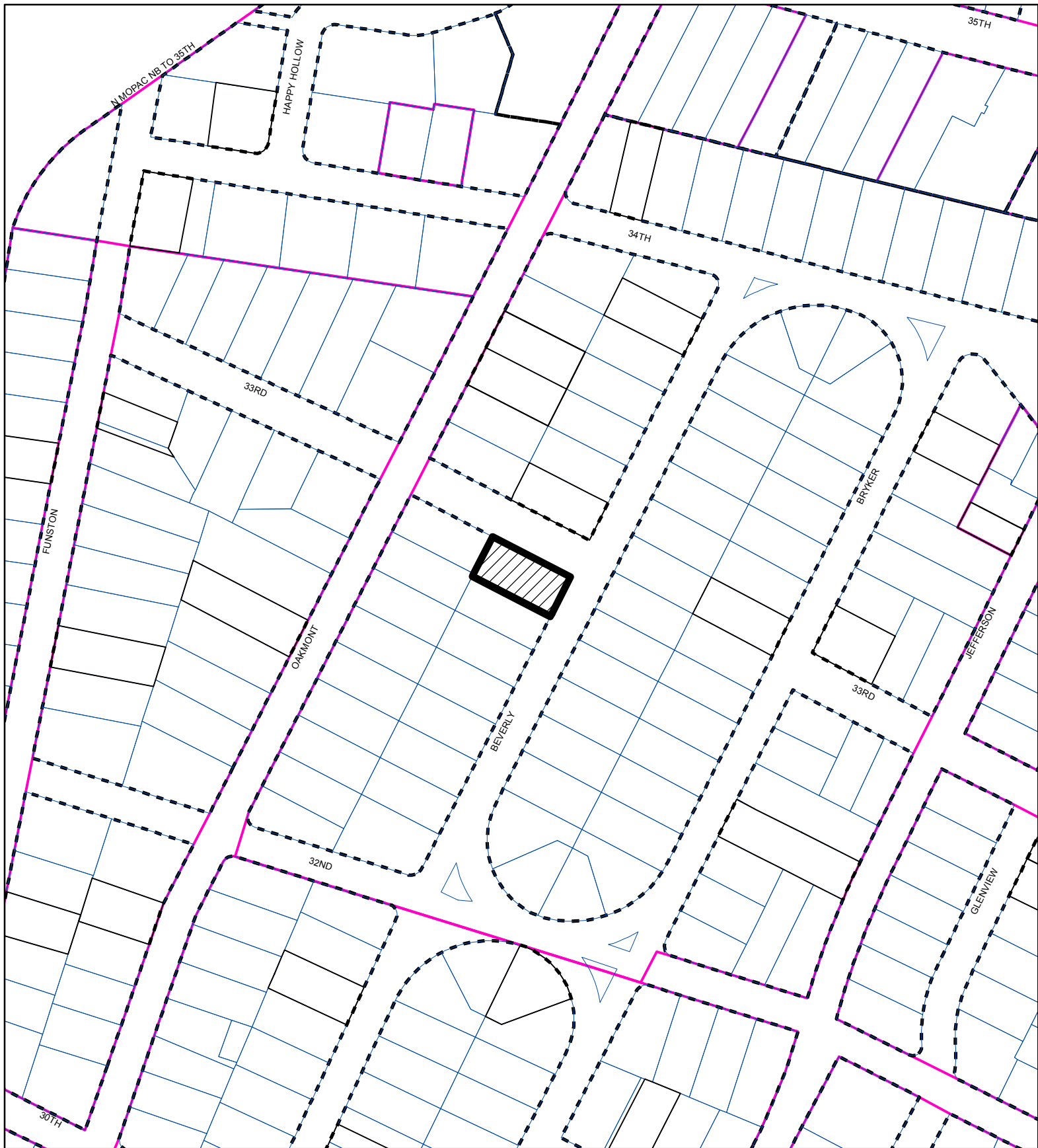
PHOTOS

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Street views from corner of Beverly Road and W. 33rd Street





SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2013-0046  
LOCATION: 3214 Beverly Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.













**SIDING:** 'HARDIE' Artisan lap siding, 7" exposure, mitered corners



**EXTERIOR TRIM:** 'AZEK' trim



**WINDOWS:** 'Marvin' Ultimate Series, wood/aluminum clad



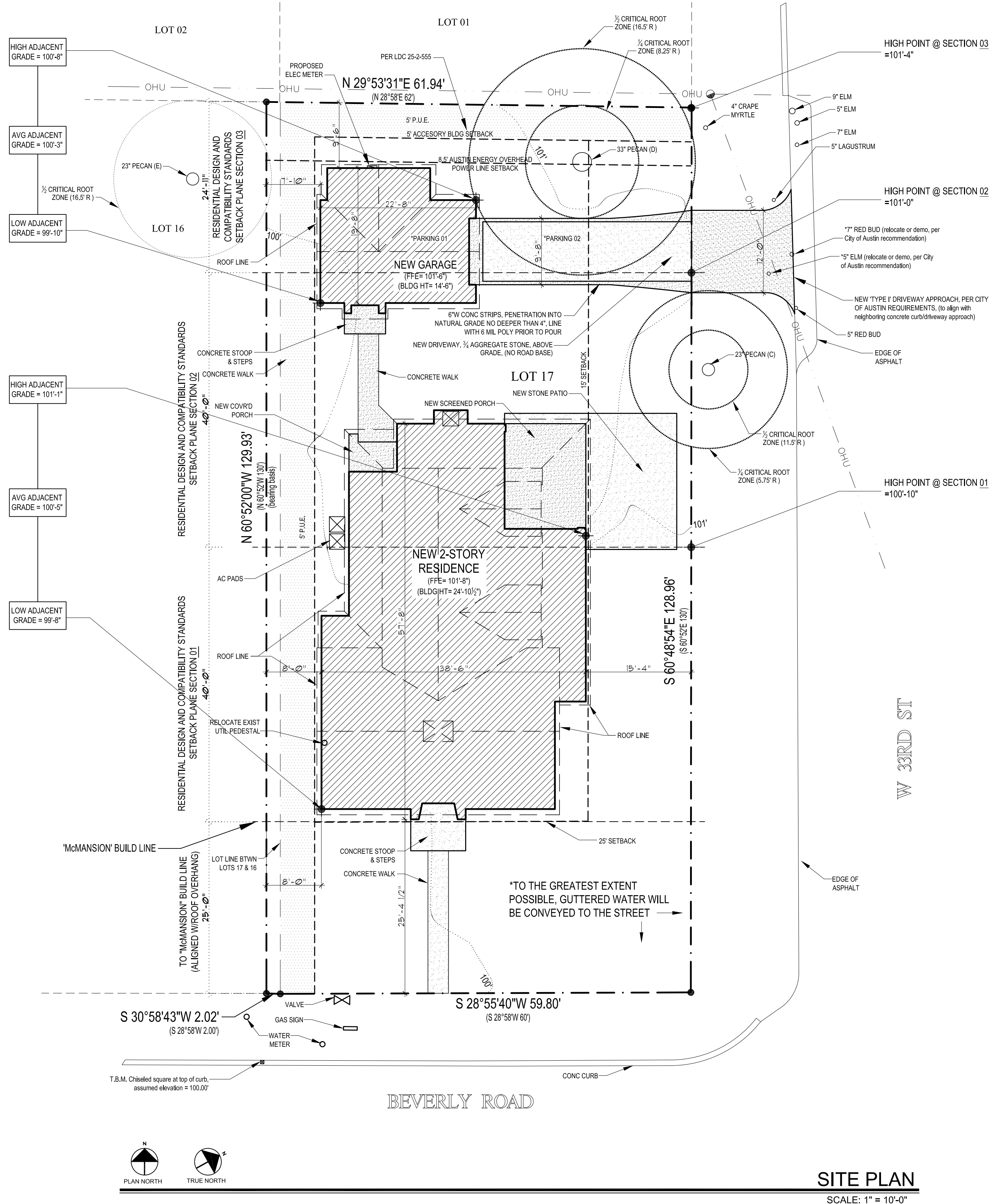


SITE PLAN NOTES:  
1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2008 INTERNATIONAL RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS SETBACK PLANE SECTION 01, 02, AND 03.  
2.0 PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS, PATIOS, AND STUCCOED WALLS.  
3.0 VERIFY ELEVATION OF SLAB IS SUCH THAT FINISH GRADING WILL PROVIDE POSITIVE DRAINAGE TO THE STREET OR TO THE SEWER INLET.  
4.0 THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE OR 10'-0" BEYOND THE LOT LINE.

GROSS FLOOR AREA (UPDATED 5.31.2013)				
	Existing	New	Exemption	Total
1st Floor	--	1754	--	1754
2nd Floor	--	1180	--	1180
3rd Floor	--	--	--	--
Basement	--	--	--	--
Attic	--	--	--	--
Garage (attached)	--	--	--	--
Garage (detached)	--	405	405	00
Carport (attached)	--	--	--	--
Carport (detached)	--	--	--	--
Accessory building(s) (detached)	--	--	--	--
TOTAL GROSS FLOOR AREA				2934

(Total Gross Floor Area/lot size x 100) = 36.8:100 Floor-To-Area Ratio (FAR)

Is this project claiming a 'parking area' exemption as described under Article 3? ☒ Y ☐ N  
Is this project claiming a 'ground floor porch' exemption as described under Article 3? ☒ Y ☐ N  
Is this project claiming a 'basement' exemption as described under Article 3? ☒ Y ☐ N  
Is this project claiming a 'habitable attic' exemption as described under Article 3? ☒ Y ☐ N  
Is a sidewall articulation required for this project? ☒ Y ☐ N  
Does any portion of the structure extend beyond a setback plane? ☒ Y ☐ N



• 3214 Beverly Road •  
Perspective

OWNER:  
CHRIS & MAIRIN EPP  
214.448.3285

CONTRACTOR:  
LARRY ANDERSON | LARRY ANDERSON CONSTRUCTION, INC.  
1513 PRESTON AVE  
AUSTIN, TX 78703  
512.657.3858 Lander@austin.rr.com

ARCHITECT:  
CLINT GARWOOD | GARWOOD ARCHITECTURE, PLLC  
1503 NEWFIELD LANE AUSTIN, TX 78703  
512.730.3747 info@garwoodarchitecture.com

### INDEX OF DRAWINGS

ARCHITECTURAL		
A0.1 COVER SHEET & SITE PLAN	A2.1 ELEVATIONS	
A1.1 LOWER LEVEL FLOOR PLAN	A2.2 ELEVATIONS	
A1.2 UPPER LEVEL FLOOR PLAN	A2.3 BUILDING SECTIONS	
A1.3 ROOF PLAN	A2.4 BUILDING SECTIONS	
A1.4 LOWER LEVEL REFLECTED CEILING PLAN	A3.1 INTERIOR ELEVATIONS	
A1.5 UPPER LEVEL REFLECTED CEILING PLAN	A3.2 INTERIOR ELEVATIONS	
	A3.3 INTERIOR ELEVATIONS	

### ELECTRICAL

E1.1 LOWER LEVEL ELECTRICAL PLAN	
E1.2 UPPER LEVEL ELECTRICAL PLAN	

### STRUCTURAL

S-1 FOUNDATION PLAN	
S-2 FOUNDATION DETAILS	
S-3 FRAMING PLAN	
S-4 FRAMING DETAILS	

### SITE INFORMATION (UPDATED 5.31.2013)

LEGAL DESCRIPTION:  
Lot 17 & N2ft of Lot 16, Block 1, Brykerwoods E,  
Travis County, Texas

PHYSICAL ADDRESS:  
3214 Beverly Rd, Austin, TX 78703

Existing Lot Area (sq ft)	8012
Zoning	SF-3-NP
Allowable Bldg Coverage @ 40% (sq ft)	3205
Allowable Impervious Coverage @ 45% (sq ft)	3605

BUILDING AND SITE AREA			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
a. 1st floor conditioned area	--	1755	1755
b. 2nd floor conditioned area	--	1180	1180
c. 3rd floor conditioned area	--	--	--
d. Basement	--	--	--
e. Covered Parking (garage or carport)	--	405	405
f. Covered Patio, Deck or Porch	--	197	197
g. Balcony	--	--	--
h. Other	--	--	--
<b>Total Building Coverage (exclude b.c &amp; d from total)</b>	--	<b>2357</b>	<b>2357</b>
i. Driveway (at private property)	--	229	229
j. Sidewalks (at private property)	--	120	120
k. Uncovered Patio	--	339	339
l. Uncovered Wood Deck (counts at 50%)	--	--	--
m. AC pads	--	18	18
n. Other (Pool Coping, Retaining Walls)	--	--	--
<b>Total Site Coverage (exclude b.c &amp; d from total)</b>	--	<b>3063</b>	<b>3063</b>
o. Pool	--	--	--
p. Spa	--	--	--

Building Coverage Information			
Existing Building Coverage (sq ft): --	% of lot size: --		
Proposed Building Coverage (sq ft): 2357	% of lot size: 29.4%		

Impervious Cover Information			
Existing Impervious Coverage (sq ft): --	% of lot size: --		
Proposed Impervious Coverage (sq ft): 3063	% of lot size: 38.2%		





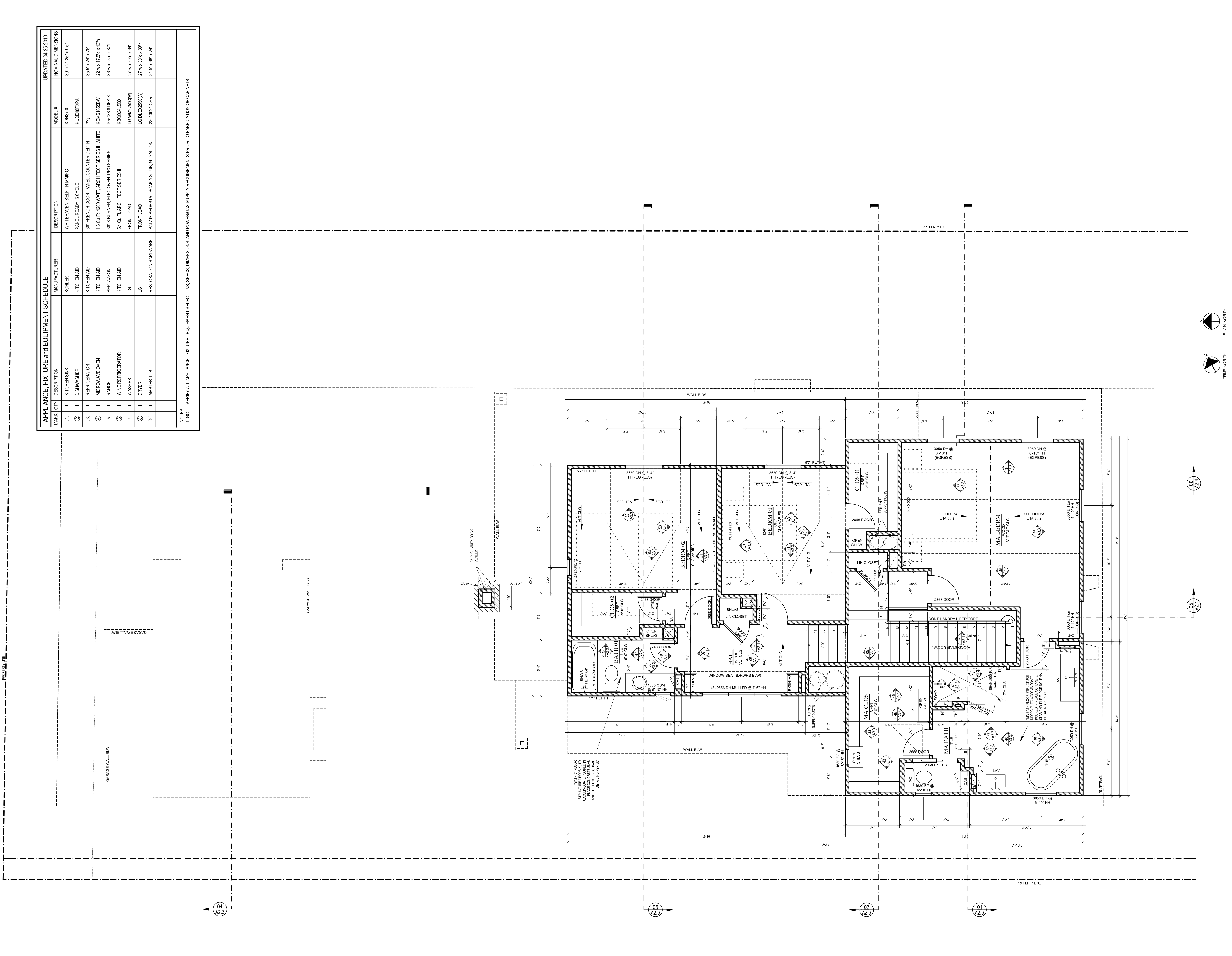


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7.0 ALL WINDOWS DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.  
8.0 GENERAL CONTRACTOR TO VERIFY ALL TEMPERED GLASS LOCATIONS AS REQUIRED BY CODE.  
9.0 EGRESS AS REQUIRED BY CODE.  
10.0 EGRESS AS REQUIRED BY CODE.  
11.0 BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.  
12.0 BUILDER TO VERIFY ALL ELECTRICAL AND PLUMBING NEEDS REQUIRED BY ALL APPLIANCES & RELATED COMPONENTS.

13.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO ROOF OR ROOF RIDGE WHEREVER POSSIBLE.  
14.0 PROVIDE WEATHERSEAL AT ALL EXTERIOR AND ATTIC DOORS.  
15.0 CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATALPA FROM EXTERIOR TO INTERIOR AT ALL EXTERIOR AND ATTIC DOORS.  
16.0 PROVIDE 1/2" EGRESS IN HEIGHT TO BE FRAMED WITH 2x6 STUDS AT 16" O.C. OR DOUBLE 2x4 STUDS AT 12" O.C.  
17.0 PROVIDE BLOORING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.

18.0 PROVIDE WEATHERSEAL AT ALL EXTERIOR AND ATTIC DOORS.  
19.0 CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATALPA FROM EXTERIOR TO INTERIOR AT ALL EXTERIOR AND ATTIC DOORS.  
20.0 PROVIDE 1/2" EGRESS IN HEIGHT TO BE FRAMED WITH 2x6 STUDS AT 16" O.C. OR DOUBLE 2x4 STUDS AT 12" O.C.  
21.0 PROVIDE BLOORING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.



APPLIANCE, FIXTURE and EQUIPMENT SCHEDULE				UPDATED 04.25.2013	
MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL #	NOMINAL DIMENSIONS
1	1	KITCHEN SINK	KOHLER	K-4687-0	30" x 21.25" x 3.5"
2	1	DISHWASHER	KITCHEN AID	KUDE-8F89PA	
3	1	REFRIGERATOR	KITCHEN AID	771	35.5" x 24" x 70"
4	1	MICROWAVE OVEN	KITCHEN AID	KOMSI658BH	22" x 17.5" x 19"
5	1	RANGE	BERTAZZONI	PRO36 E DFS X	36" x 24" x 37"
6	1	WINE REFRIGERATOR	KITCHEN AID	KBC204L SBX	27" x 24" x 37"
7	1	WASHER	LG	LG M2255CM	27" x 24" x 37"
8	1	DRYER	LG	LG AEG5500W	27" x 24" x 37"
9	1	MASTER TUB	RESTORATION HARDWARE	PALAS PEDESTAL SOAKING TUB, 50 GALLON	31.5" x 68" x 24"
NOTES:					
1. GC TO VERIFY ALL APPLIANCE - FIXTURE - EQUIPMENT SELECTIONS, SPECS, DIMENSIONS, AND POWERS AS SUPPLY REQUIREMENTS PRIOR TO FABRICATION OF CABINETS.					

REV

DESCRIPTION

DATE

ISSUED FOR PERMITTING

05.31.2013

SHEET TITLE

UPPER LEVEL FLOOR PLAN

SHEET

A1.2

REGISTERED ARCHITECT

STATE OF TEXAS

00499

05.31.2013

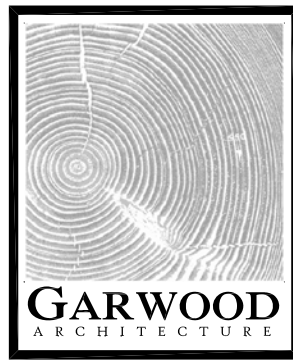
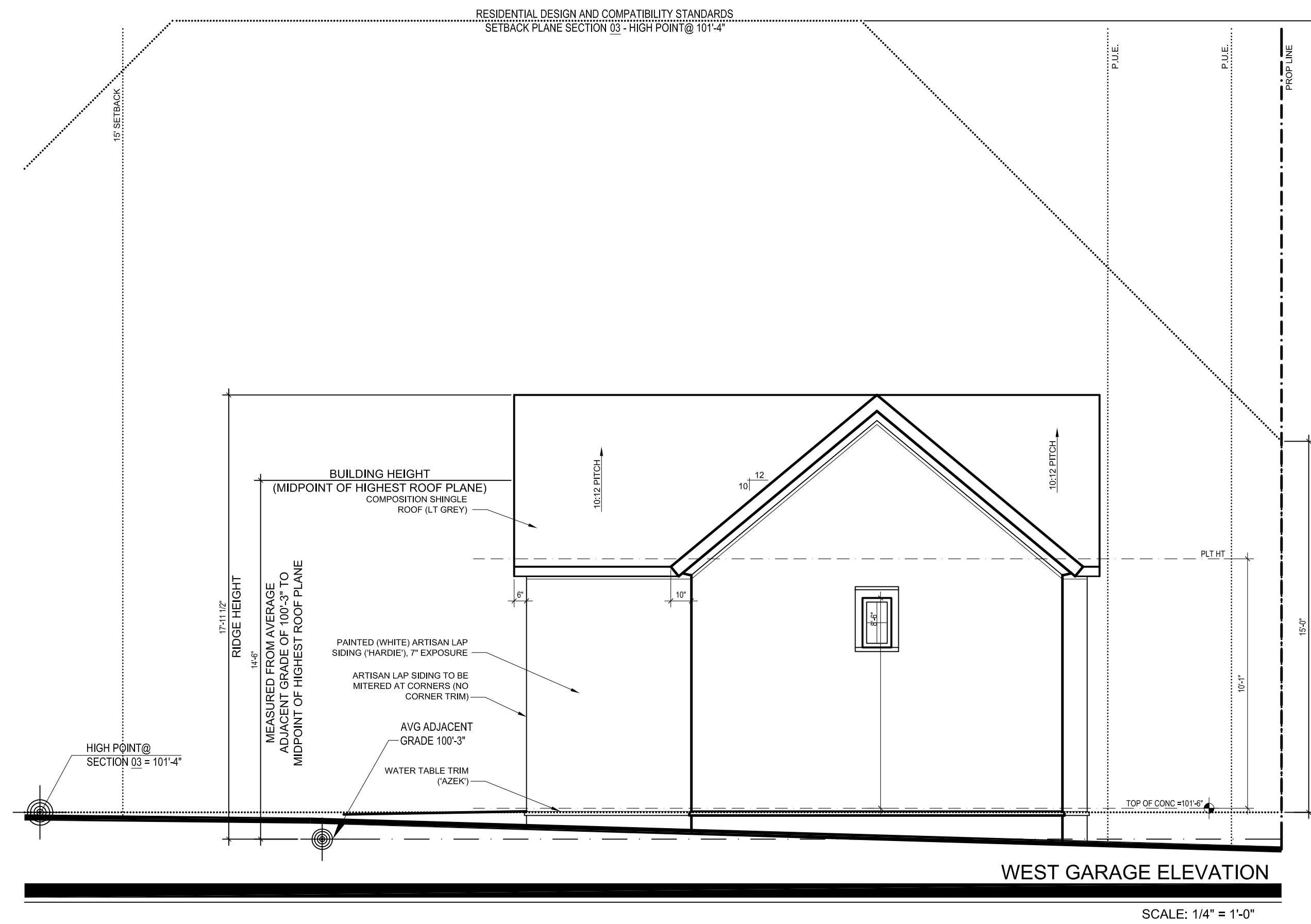
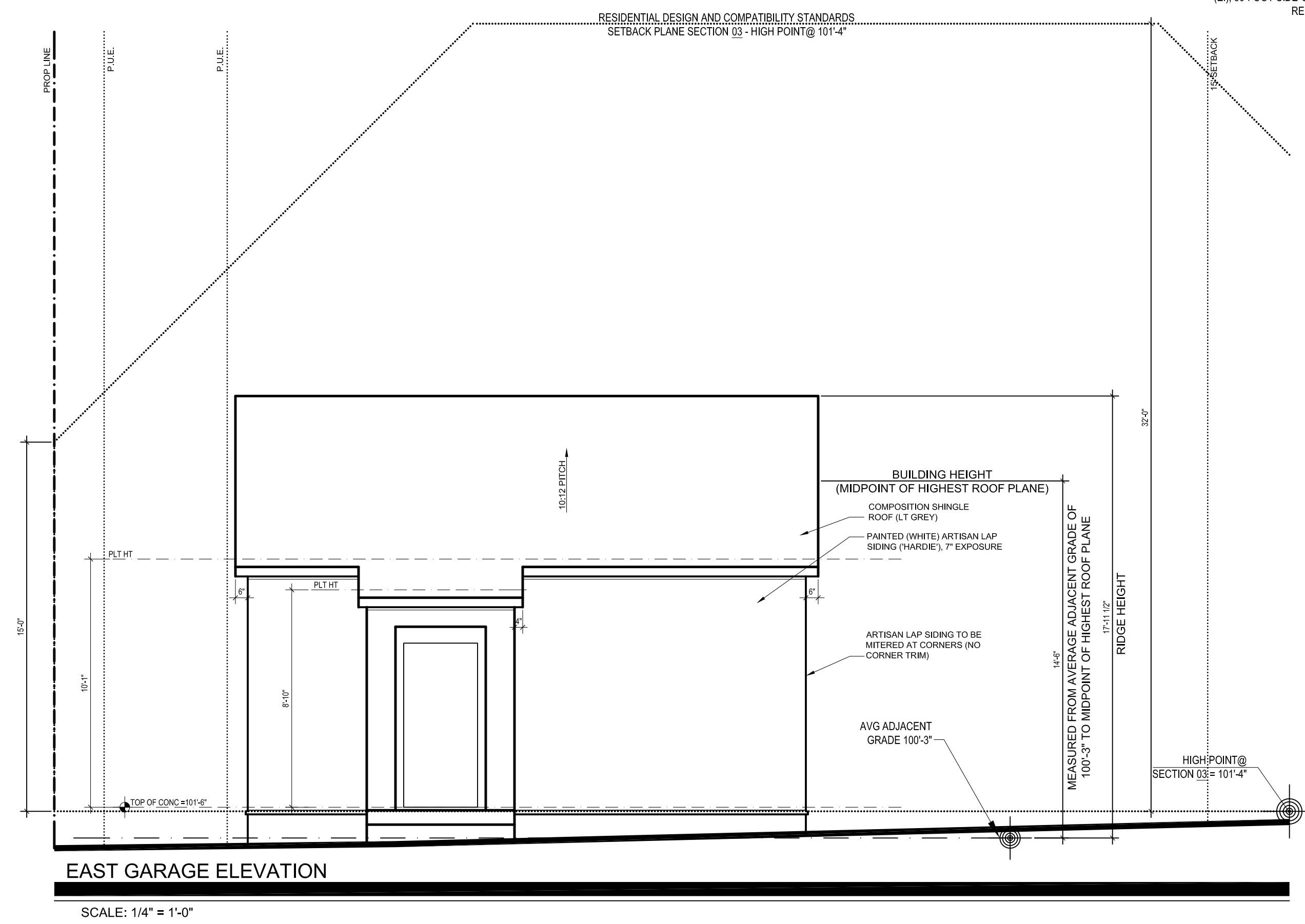
GARWOOD ARCHITECTURE

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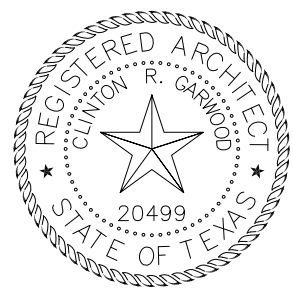
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- 1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2008 INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER APPLICABLE CODES.
- 2.0 VERIFY CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DECKES, WALKS, PATIOS, AND STUCCOED WALLS.
- 3.0 PROVIDE PROTECTION OF SLAB IS SUCH THAT FINISH GRADING WILL PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.
- 4.0 GRADE LINES ARE DRAWN AS APPROXIMATE REPRESENTATION OF FINAL GRADING. FIELD VERIFY EXACT FINAL GRADING.
- 5.0 GRADE LINES ARE EXISTING UNLESS NOTED OTHERWISE

GENERAL  
NOTES



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05.31.2013

REV	DESCRIPTION	DATE
	ISSUED FOR PERMITTING	05/31/2013

DATE: 05/31/2013  
TIME: 10:00 AM

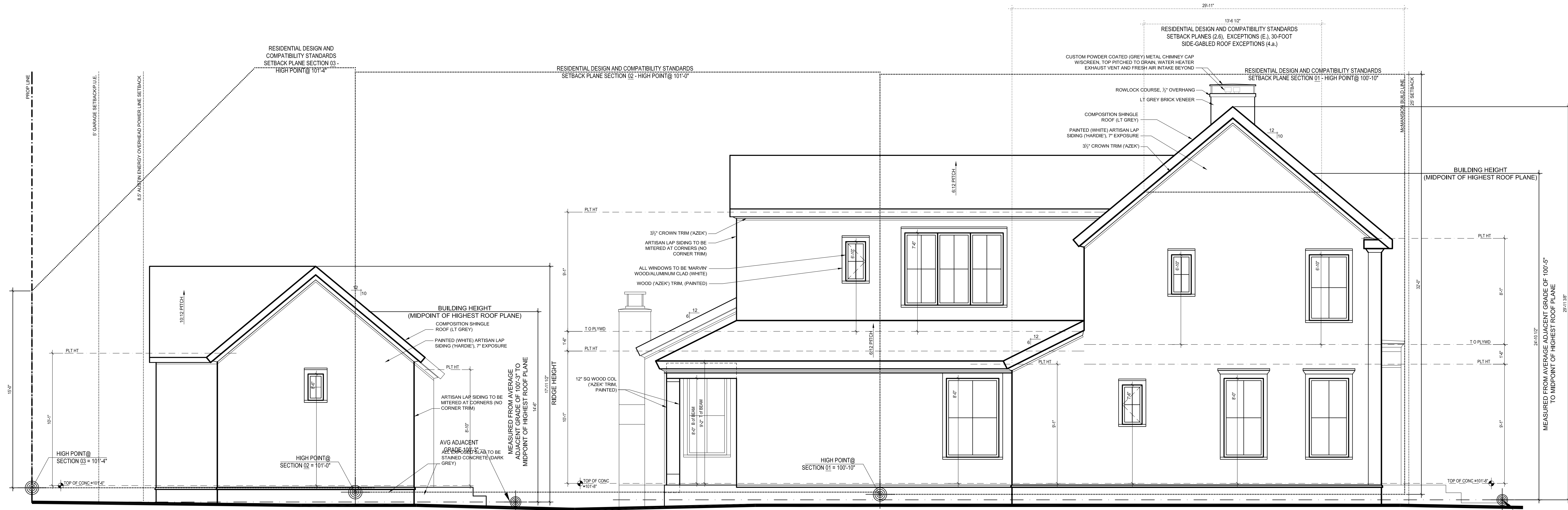
SHEET TITLE  
ELEVATIONS

SHEET

## A2.1

- 1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2006 INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER APPLICABLE CODES AND ORDINANCES.  
2.0 PROVIDE CONTROL OF SWELL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS, PATIOS, AND STUCCOED WALLS.  
3.0 VERIFY ELEVATION OF SLAB IS SUCH THAT FINISH GRADING WILL PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.  
4.0 GRADE LINES ARE DRAWN AS APPROXIMATE REPRESENTATION OF FINAL GRADING. FIELD VERIFY EXACT FINAL GRADING.  
5.0 GRADE LINES ARE EXISTING UNLESS NOTED OTHERWISE

GENERAL NOTES

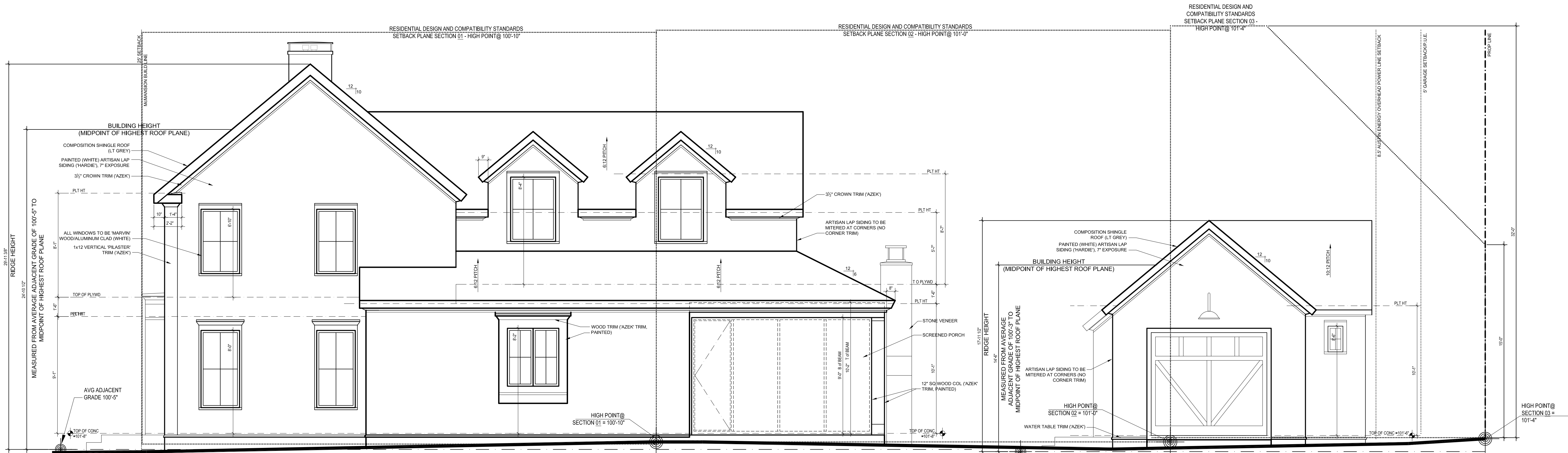


SOUTH GARAGE ELEVATION

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

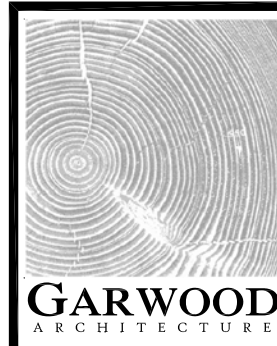


NORTH ELEVATION

SCALE: 1/4" = 1'-0"

NORTH GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



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05.31.2013

Epp Residence  
3214 Beverly Road  
Austin, Texas 78703

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	05.31.2013

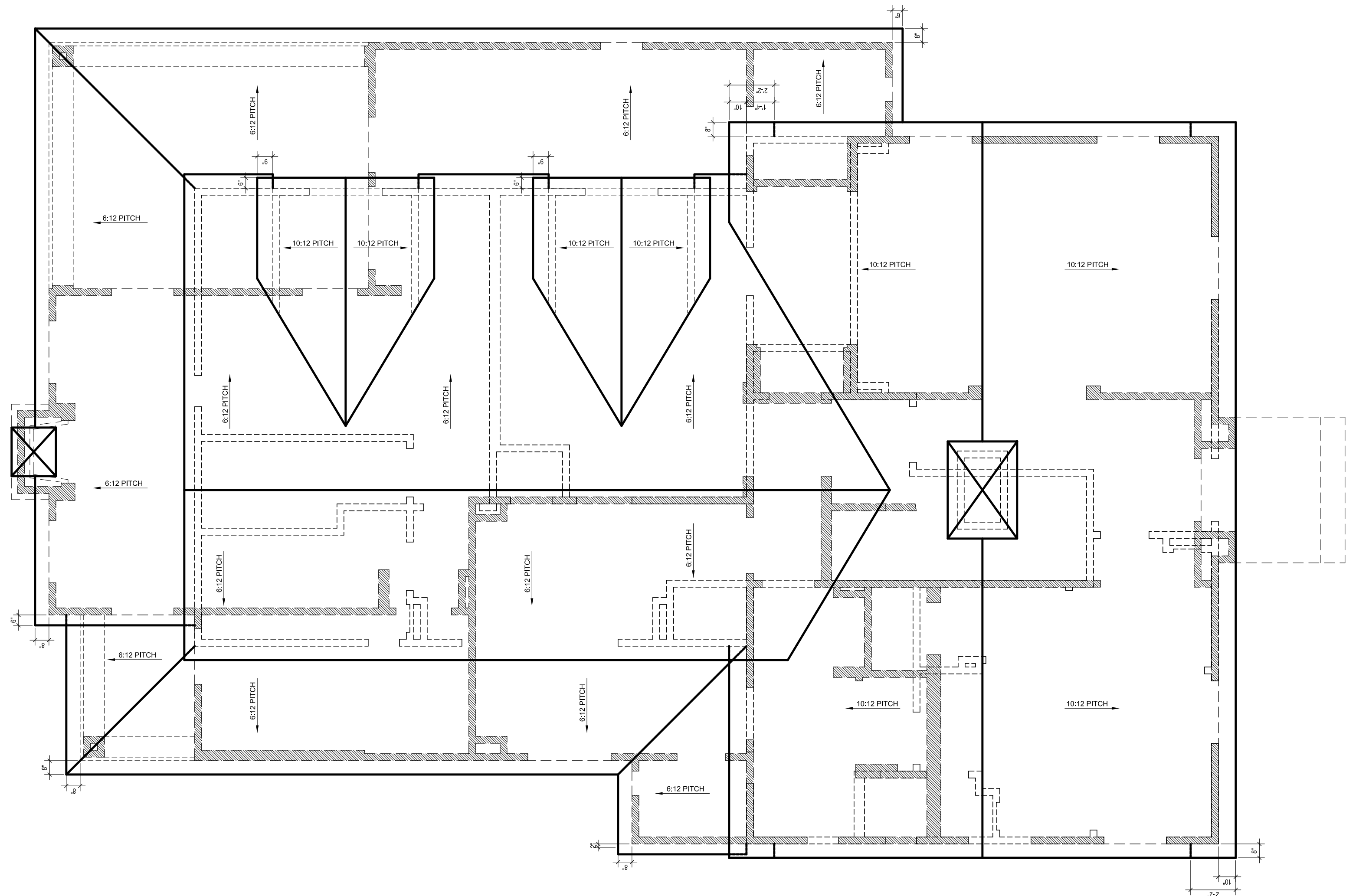
SHEET TITLE  
ELEVATIONS

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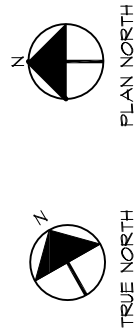
A2.2



1.0 ROOF PITCHES AS NOTED PER PLANS, ELEVATIONS & BUILDING SECTIONS  
2.0 GENERAL CONTRACTOR TO VERIFY RAFTER SIZE AND SPACING WITH ENGINEER'S FRAMING PLAN BEFORE CONSTRUCTION  
3.0 ALL PLUMBING & APPLIANCE VENTS TO VENT TO REAR OF ROOF WHEREVER POSSIBLE;  
4.0  HATCHING INDICATES LOWER LEVEL WALLS, UNLESS NOTED OTHERWISE;  
5.0  GENERAL CONTRACTOR TO CHECK PLANS FOR CONFORMITY TO LOCAL BUILDING CODES. CONTACT THE ARCHITECT SHOULD ANY DISCREPANCIES BE FOUND OR CHANGES NEEDED.



**\*\*NOTE- HATCHED WALLS INDICATE LOWER LEVEL WALLS**



ROOF PLAN

SCALE: 1/4" = 1'-0"