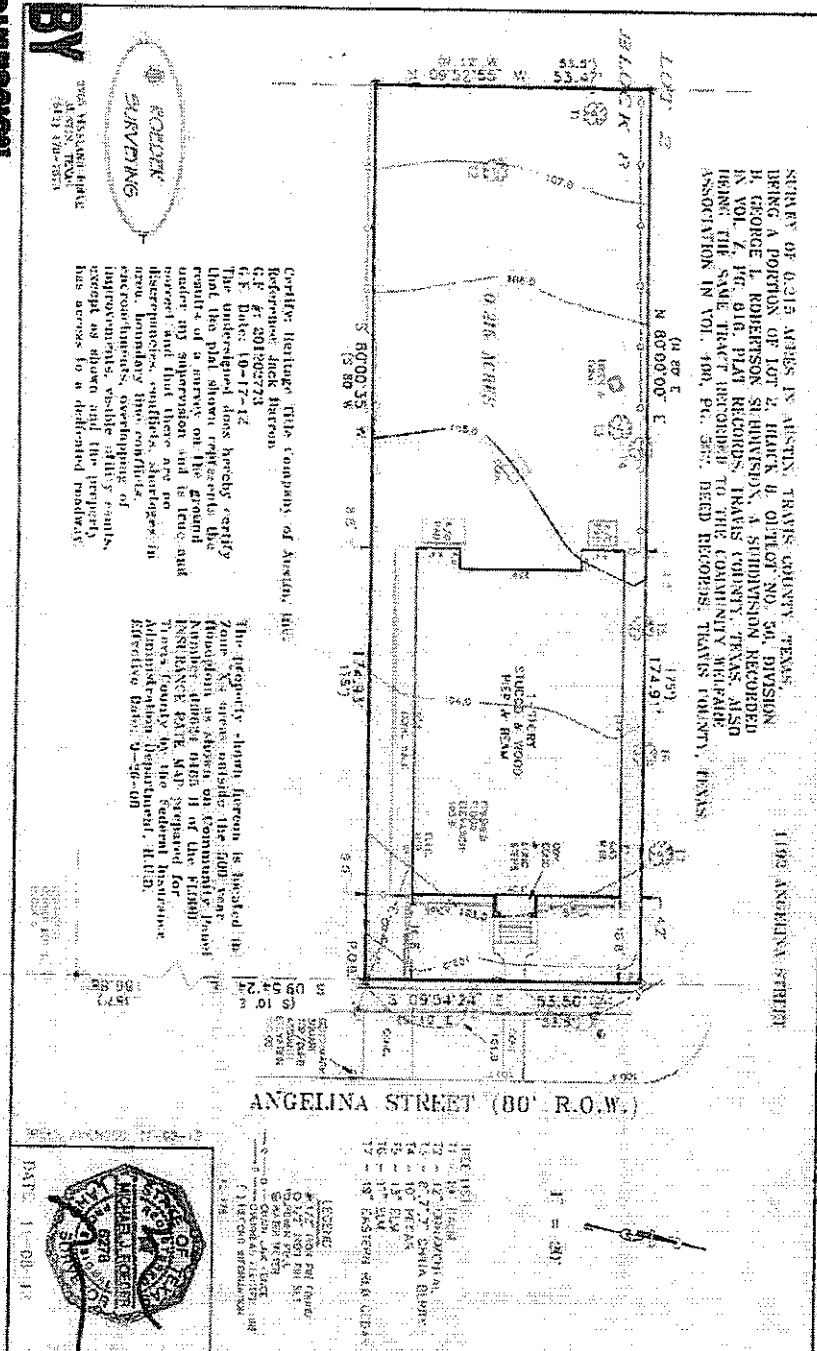


SECTION OF 0.215 ACRES IN AUSTIN, TRAVIS COUNTY, TEXAS,
 BEING A PORTION OF LOT 2, BLOCK B, OFFICE NO. 36, DIVISION
 H. GEORGE L. ROBERTSON SUBDIVISION, A SUBDIVISION RECORDED
 IN VOL. 7, PG. 316, PLAT RECORDS, TRAVIS COUNTY, TEXAS, ALSO
 BEING THE SAME TRACT REFERRED TO THE COMMUNITY RECREATION
 ASSOCIATION IN VOL. 100, PG. 351, DEED RECORDS, TRAVIS COUNTY, TEXAS.

1192 ANGELINA STREET

ANGELINA STREET (80' R.O.W.)



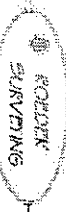
APPROVED BY

HISTORIC LANDMARK COMMISSION

DATE: 1-28-13

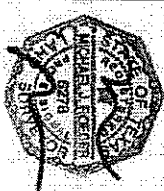
BY: Steve Sedberry

for HLC Chair

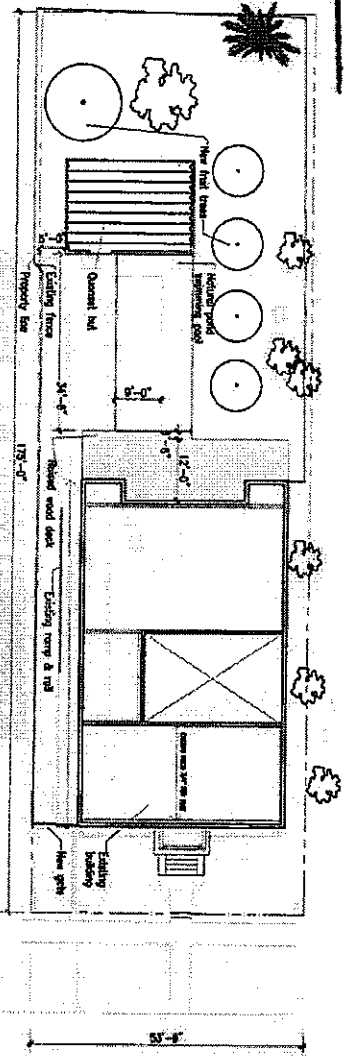


Certify: Heritage Title Company of Austin, Inc.
 Reference: Jack Heron
 C.F. #1 201002773
 T.F. Date: 10-17-12
 The undersigned does hereby certify that the plan shown represents the true and correct copy of the plat as recorded in the public records of Travis County, Texas, and that there are no discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, visible utility results, improvements shown and the property has access to a dedicated roadway.

The property shown herein is located in Zone X as shown on the 2007 year floodplain as shown on Community Flood Insurance Rate Map 11 of the Flood Insurance Rate Map prepared for Travis County by the Federal Insurance Administration, Federal Emergency Management Agency, FEMA, dated 11-20-07.



DATE: 1-28-13



2 SURVEY

1 SITE PLAN

JEN TURNER
 1192 ANGELINA STREET
 AUSTIN, TEXAS 78702
 512.456.1234

Angelina Residence
 1192 Angelina St.
 Austin, TX 78702

REVISIONS	DATE	BY	DESCRIPTION

SITE PLAN/SURVEY

SCALE AS NOTED
 DATE 1/10/2012

A100

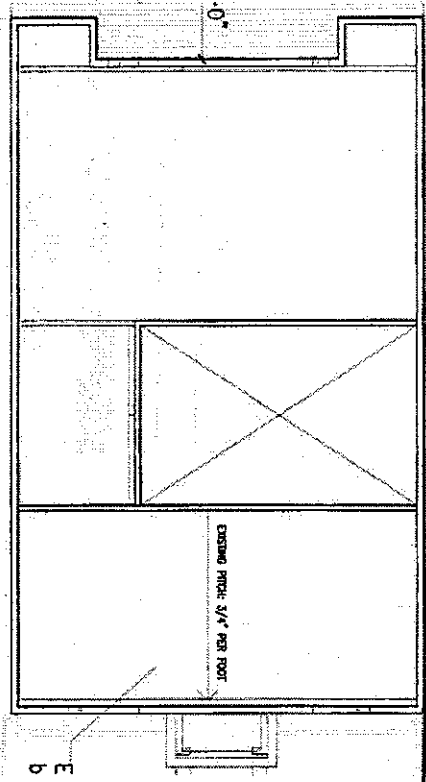
APPROVED BY

HISTORIC LANDMARK COMMISSION

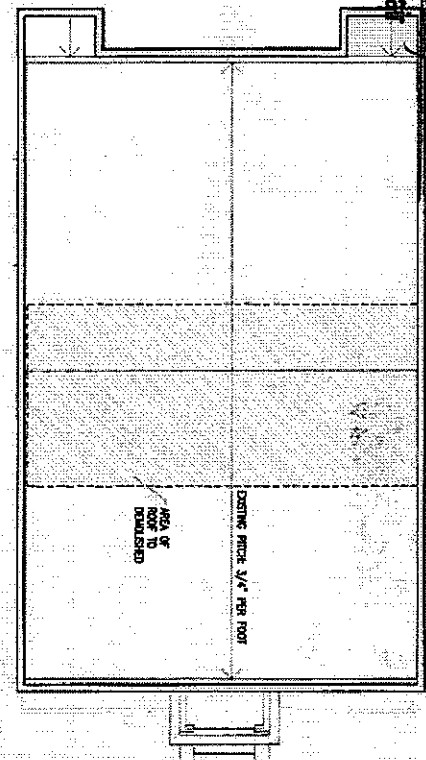
DATE: 1-28-13

BY: Steve S. Sweeney

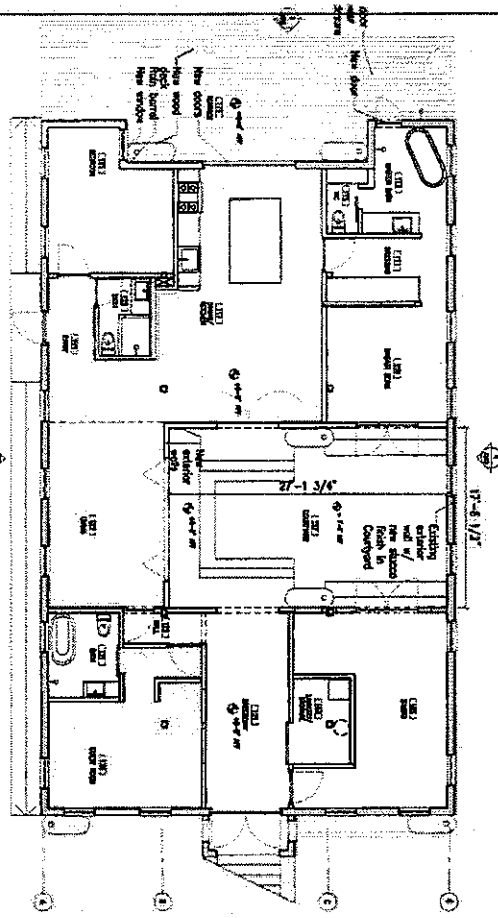
for HLC Chair



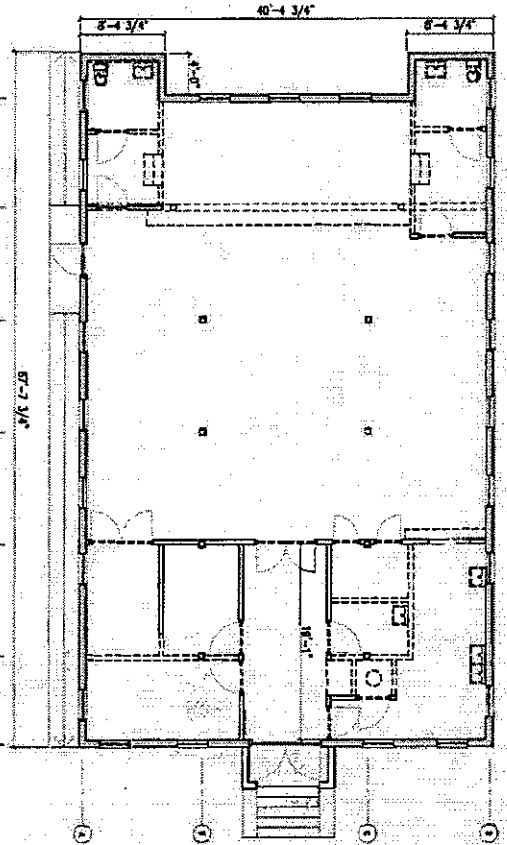
4 PROPOSED ROOF PLAN



3 EXISTING / DEMO ROOF PLAN



2 PROPOSED PLAN



1 EXISTING / DEMO PLAN

JEN TURNER	
DATE: 1/28/2013	BY: JEN TURNER

Angelina Residence
1192 Angelina St.
Austin, TX 78702

REVISIONS	

PLANS
SCALE: 1/8" = 1'-0"
DATE: 1/28/2013

A101

APPROVED BY

HISTORIC LANDMARK COMMISSION

DATE: 1-28-13

BY: Steve Kibben
for HLC Chair

8 DETAILED SECTION: FENCE
1/8"=1'-0"

7 ELEVATION: SIDE GATE
1/2"=1'-0"

6 DETAILED SECTION
1/4"=1'-0"

5 SECTION
1/8"=1'-0"

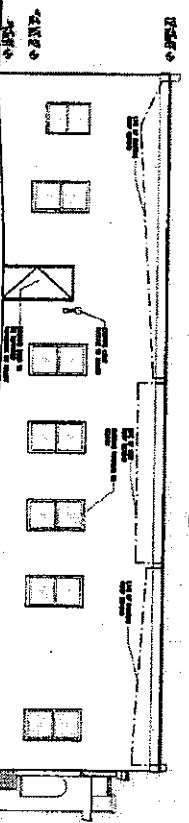
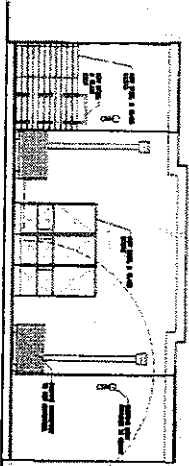
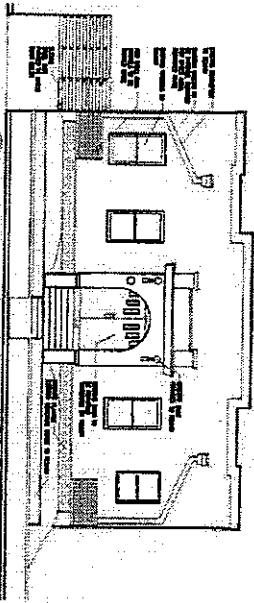
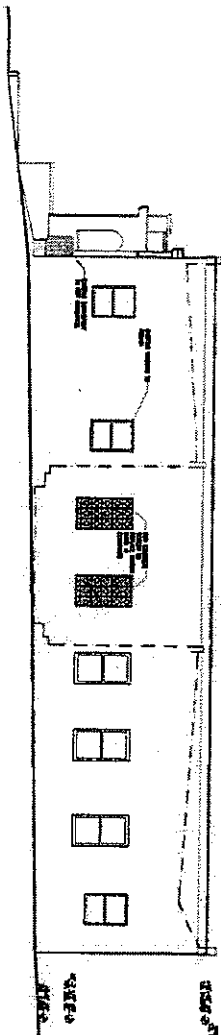
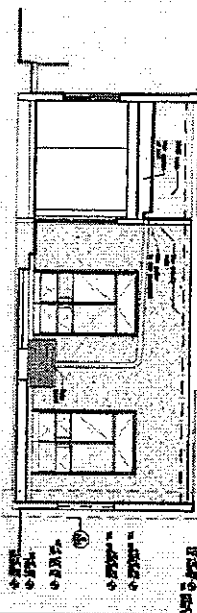
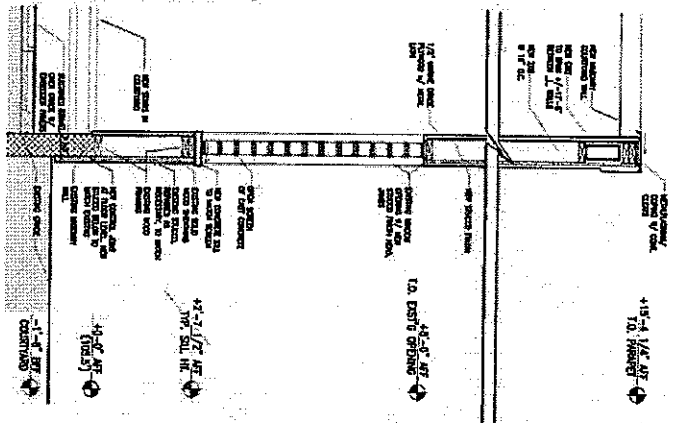
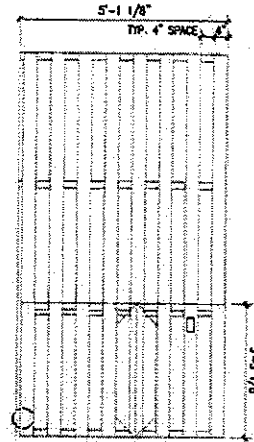
4 NORTH/ SIDE ELEVATION
1/8"=1'-0"

3 EAST/ FRONT ELEVATION
1/8"=1'-0"

2 WEST/ BACK ELEVATION
1/8"=1'-0"

1 SOUTH/ SIDE ELEVATION
1/8"=1'-0"

- STUCCO PREPARATIONS:**
1. Mix only as much stucco as can be used in one and one-half to two hours. Any remaining mortar should be discarded; it should not be retempered.
 2. Stucco mortar should not be over-mixed. (Hand mix for 10-15 minutes after adding water, or machine mix for 3-5 minutes after all ingredients are in mixer.)
 3. Stucco should be applied in 1/2" to 3/4" coats. Each coat must be thoroughly wetted before the next coat is applied. Do not allow stucco to dry out before the next coat is applied.
 4. Stucco should be applied in 1/2" to 3/4" coats. Each coat must be thoroughly wetted before the next coat is applied. Do not allow stucco to dry out before the next coat is applied.
 5. Stucco should be applied in 1/2" to 3/4" coats. Each coat must be thoroughly wetted before the next coat is applied. Do not allow stucco to dry out before the next coat is applied.



REVISIONS

ELEVATIONS / SECTIONS

Angelina Residence
1192 Angelina St.
Austin, TX 78702

JEN TURNER

A200

SCALE AS NOTED
DATE: 10/09/11

1941-1942

1943-1944

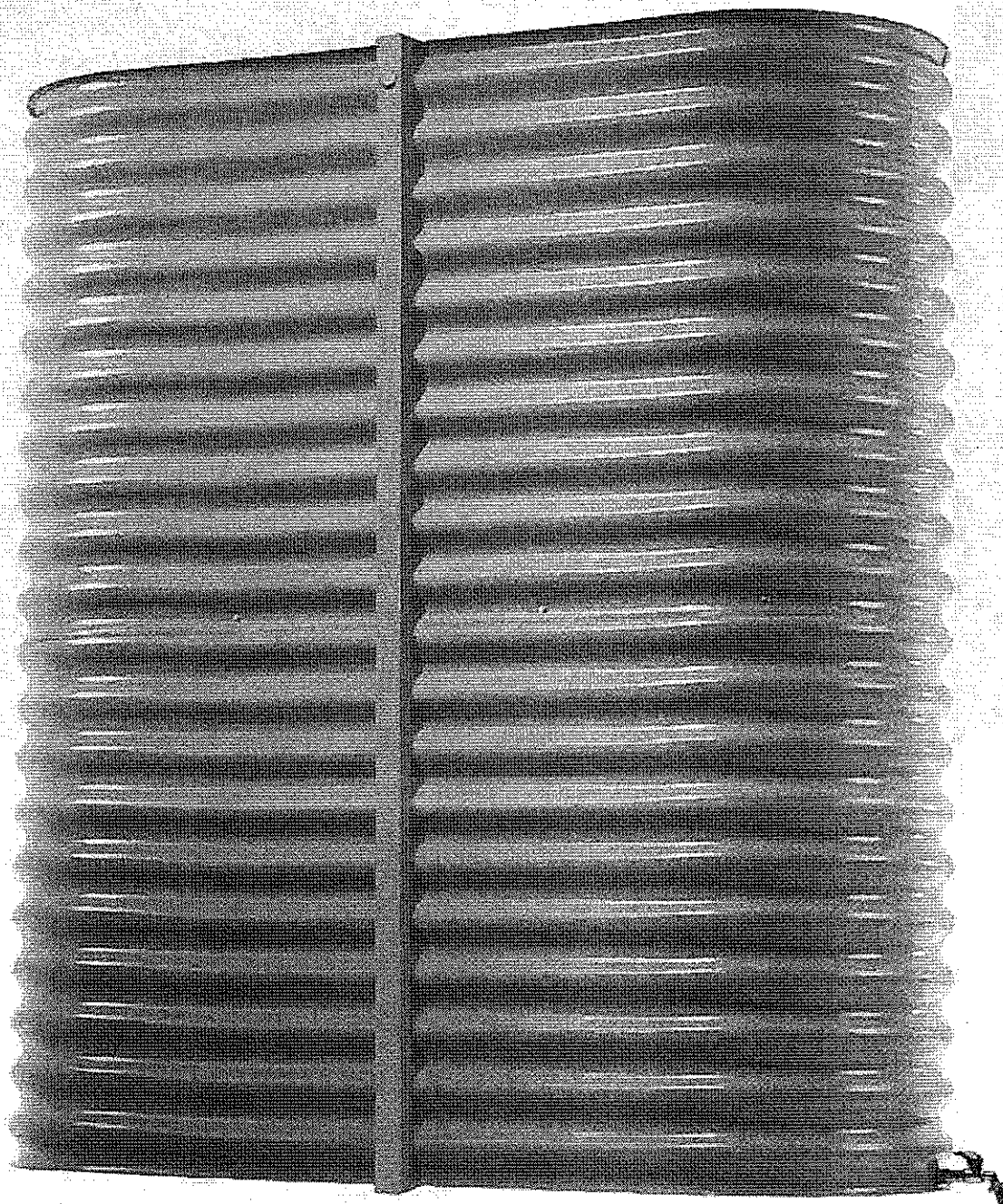
1945-1946



Steel Flat-bar Driveway Fence: Front Elevation (East)



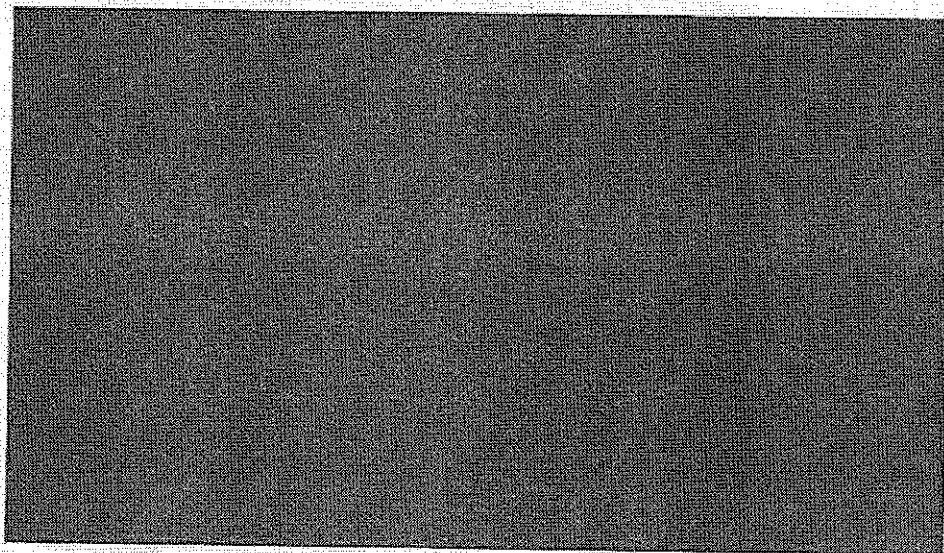
APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 1-28-13
BY: Steve Labovitzky
for HLC Chair



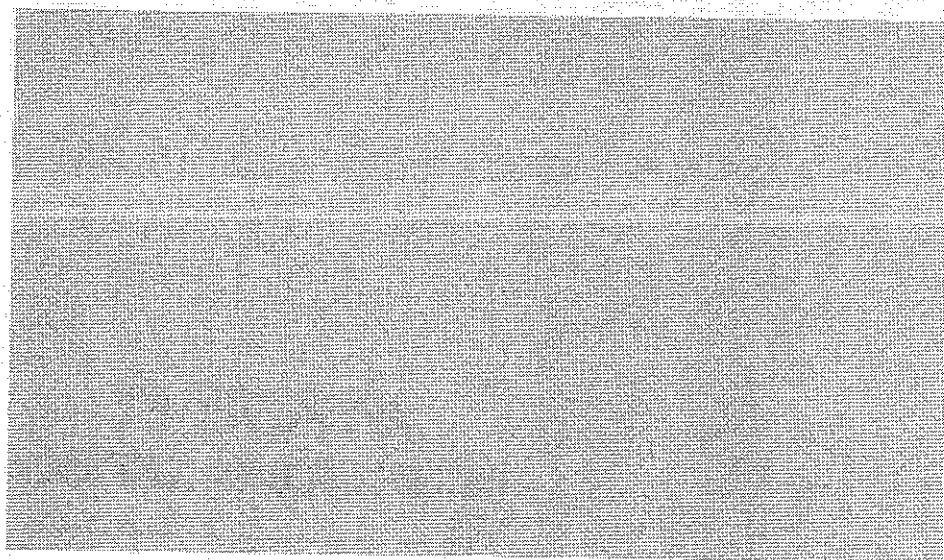
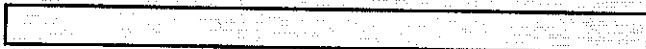
Rain Catchment Tank: Front & Rear Elevation (East & West)



APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 1-28-13
BY: Steve Sadousky
for HLC Chair



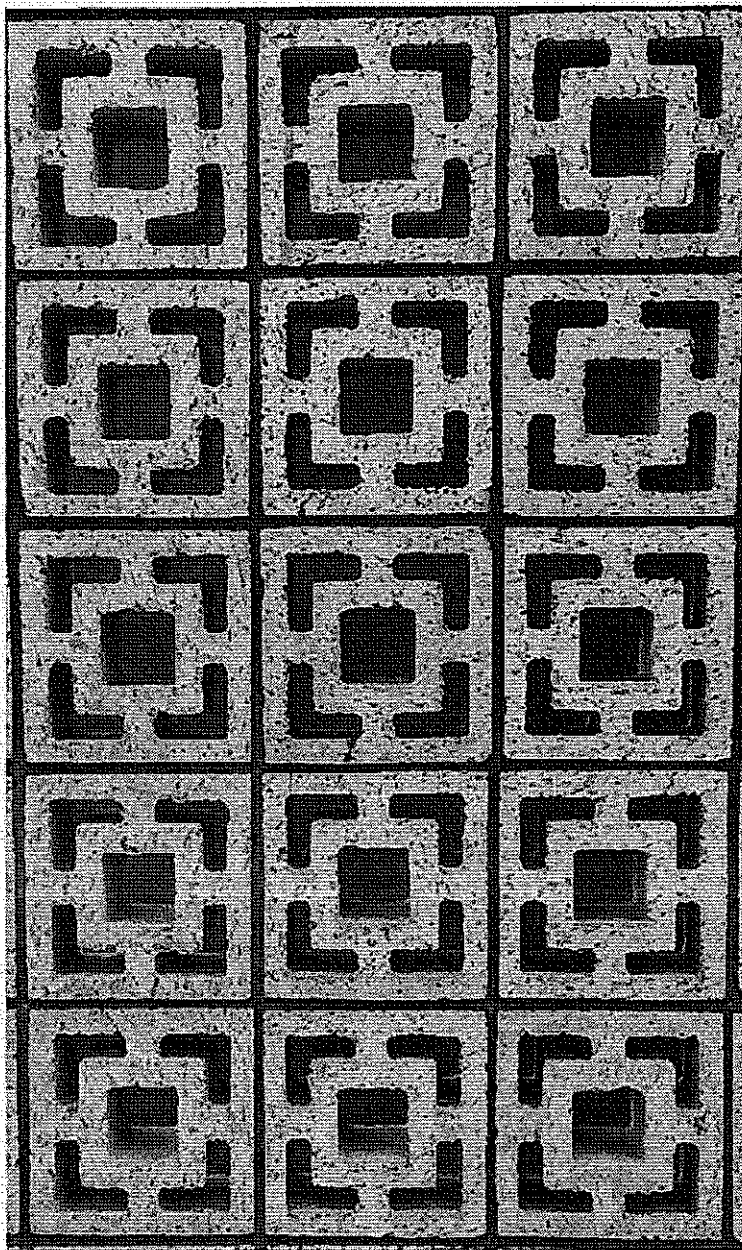
Door & Driveway Fence Color Option 1: Front Elevation (East)



Door & Driveway Fence Color Option 2: Front Elevation (East)



APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 1-28-13
BY: Steve Sadowsky
for HLC Chair



Courtyard Concrete Screen: Side Elevation (North)



APPROVED BY
HISTORIC LANDMARK COMMISSION

DATE: 1-28-13

BY: Ellie Labovitz
 for HLC Chair



Outdoor Shower Fence: Rear Elevation (West)



APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 1-28-13
BY: Steve Sadowski
for HLC Chair



Steel Windows & Doors: Rear Elevation (West)



APPROVED BY
HISTORIC LANDMARK COMMISSION

DATE: 1-28-13

BY: Steve Salowsky
 for HLC Chair

RECEIVED
 HISTORIC LANDMARK COMMISSION
 1-28-13

AUG 7 1987

ORDINANCE NO. 870604-AA

LAND DEV. SERV

AN ORDINANCE ESTABLISHING INITIAL PERMANENT ZONING AND CHANGING THE ZONING MAP ACCOMPANYING CHAPTER 13-2A OF THE AUSTIN CITY CODE OF 1981 AS FOLLOWS: CERTAIN PROPERTY INCLUDED IN ZONING CASE C14H-87-004, AS IDENTIFIED ON THE MAP ATTACHED AND INCORPORATED INTO THIS ORDINANCE AS EXHIBIT "A", FROM "SF-3" FAMILY RESIDENCE TO "SF-3-H" FAMILY RESIDENCE-HISTORIC, LOCALLY KNOWN AS 1192 ANGELINA; SAID PROPERTY BEING LOCATED IN AUSTIN, TRAVIS COUNTY, TEXAS; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. CHAPTER 13-2A of the Austin City Code of 1981 is hereby amended to change the base zoning district on that property which is within the incorporated city limits of the City of Austin, Travis County, Texas, included in zoning case C14h-87-004, identified on the map attached hereto and hereby incorporated into this ordinance as Exhibit "A", from "SF-3" Family Residence to "SF-3-H" Family Residence-Historic, locally known as 1192 Angelina.

PART 2. It is hereby ordered that the Zoning Map accompanying Chapter 13-2A of the Austin City Code of 1981 and made a part thereof shall be changed so as to record the change ordered in this ordinance.

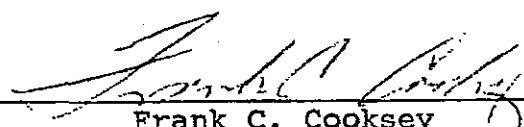
PART 3. The requirement imposed by Section 2-2-3 of the Austin City Code of 1981 that this ordinance be read on three (3) separate days shall be waived by the affirmative vote of five (5) members of the City Council to pass this ordinance through more than one reading on a single vote.

PART 4. This ordinance shall be effective ten (10) days following the date of its final passage.

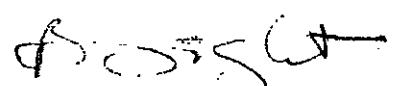
PASSED AND APPROVED

June 4, 1987


§
§
§
§


Frank C. Cooksey
Mayor

APPROVED


Barney L. Knight
City Attorney

ATTEST:


James E. Aldridge
City Clerk

SJS:saf
87h-004

h 87-004

12



From:
Jack Barron & Jen Turner
1192 Angelina St.
Austin, TX 78702
503-490-7535

To:
Alyson McGee
Deputy Historic Preservation Officer
Historic Preservation Program
Planning & Development Review
City of Austin, Texas
512-974-7801

June 14, 2013

RE: 1192 Angelina St., Former Howson Community Center

Alyson,

During renovations of 1192 Angelina St., we discovered that the very poor condition of the stucco had allowed extensive water and termite damage to occur to the wood frame and sheathing underneath. The stucco was over 1 ½" thick, the most recent layer being a cementitious material rather than traditional stucco. Previous patches were falling off in chunks. There was severe cracking along the parapets, and window sills were recessed, causing severe rot beneath and around the windows. Several stucco contractors passed on the project and none would patch it.

The wood frame was much worse than originally thought. The bottom plates throughout were rotted almost completely. Corner posts were also mostly rotten as were all window areas and areas around the roof drains. Framing members that were originally thought solid when we made exploratory openings were revealed to be rotten at the base. Earlier attempts, perhaps in the 80's, to patch around windows and around termite damage only seemed to make the problems worse, sister-ing new framing to already rotten wood without repairing the leaks. Termite damage was rampant throughout.

It became apparent that we would have to reframe from the bottom plate to the top plate, and replace sheathing and stucco. We are not changing the footprint or the appearance in any way. The original floor joists, roof decking and parapets remain. The original perimeter footing was mostly rubble, so we capped them in order to true up the walls. We were able to save roughly a quarter of the original sheathing, mostly in fragments, which we hope to re-use, exposed, in the

entry/breezeway. We were also able to save the stucco at the covered entry, which we will use to match the new stucco. Our actions were taken only to restore the integrity of the original structure and it is our intention to restore the stucco and façade to its original condition. We would encourage representatives from the Preservation office to visit the site to confirm that we are matching the stucco properly.

Attached is a letter from the stucco contractor regarding the state of the original stucco and its impact on the framing, a letter from an engineer regarding the state of the framing, the original inspection, which documents those concerns and photos of the termite and water damage that was remediated.

Please let us know if there is anything else you need from us. We appreciate your assistance.

Sincerely,

Jack Barron & Jen Turner



CONSULTING ENGINEERS, PLLC

T.B.P.E. Registration # F-9361

July 02, 2013

City of Austin
Department of Building Inspection
One Texas Center - 3rd Floor
505 Barton Springs Road
Austin, TX 78704

RE: Structural Assessment of Existing Wood Framed Walls
1192 Angelina Street
Austin, TX 78702

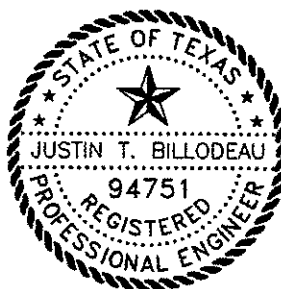
This letter is in response to the condition of the existing 2x6 stud walls at the project mentioned above. Mr. Justin Billodeau, P.E. of Arch Consulting Engineers, PLLC has performed numerous site observations to verify the existing framing conditions prior to and during the demolition and construction process. After demolition of the exterior stucco and interior gypsum board walls the condition of the existing 2x6 stud walls was determined to be structurally insufficient. A majority of the existing studs had sustained either termite damage, water damage, and or other structural deficiencies such as split or cut members. It is our opinion that the existing 2x6 framed walls did not meet a minimum safety standard and posed a risk to the future occupant. It is our recommendation that the existing damaged members be replaced with wood framing members of the same size and spacing not to exceed 16 inches on center.

If you have any questions, or if additional information is required, please do not hesitate to contact us. We appreciate the opportunity to be of service.

Respectfully,

Arch Consulting Engineers, PLLC

Justin Billodeau
Justin Billodeau, P.E.
Principal



07/02/13

Fagerberg Construction
7219 John Blocker Dr.
Austin, Tx 78749
Tel. 785 4153
E-Mail: fagerstucco@gmail.com

Austin, 6/13/13

To Whom It May Concern:

The stucco on the building I examined on 1192 Angelina showed many signs of water intrusion in the stucco finish including: large cracks, areas of heavy rust staining, delamination of the textured finish coat and buckling caused by structural collapse of the substrate. My suspicion was that the building was suffering from frame rot caused by this water intrusion. These suspicions were confirmed when the stucco was removed.

I found that because of the extensive water damage to the siding and multiple repairs made during the history of the building the current sheathing would not properly support a stucco veneer. The fact that there were large gaps in the sheathing throughout the walls made it impossible to properly install the waterproof paper. Installing a layer of plywood sheathing would give the frame the structural rigidity necessary to support the 5-6 lbs /sq ft the stucco will weigh, while providing an even substrate for waterproofing.

It is my opinion that leaving the patchwork of plywood, 1X boards, and gaps would be a serious mistake when it comes to the structural integrity and weather-worthiness of the building.

Sincerely Yours,

Robert Fagerberg Owner, Fagerberg Construction.



Figure 1



Figure 2



Figure 3



Figure 4







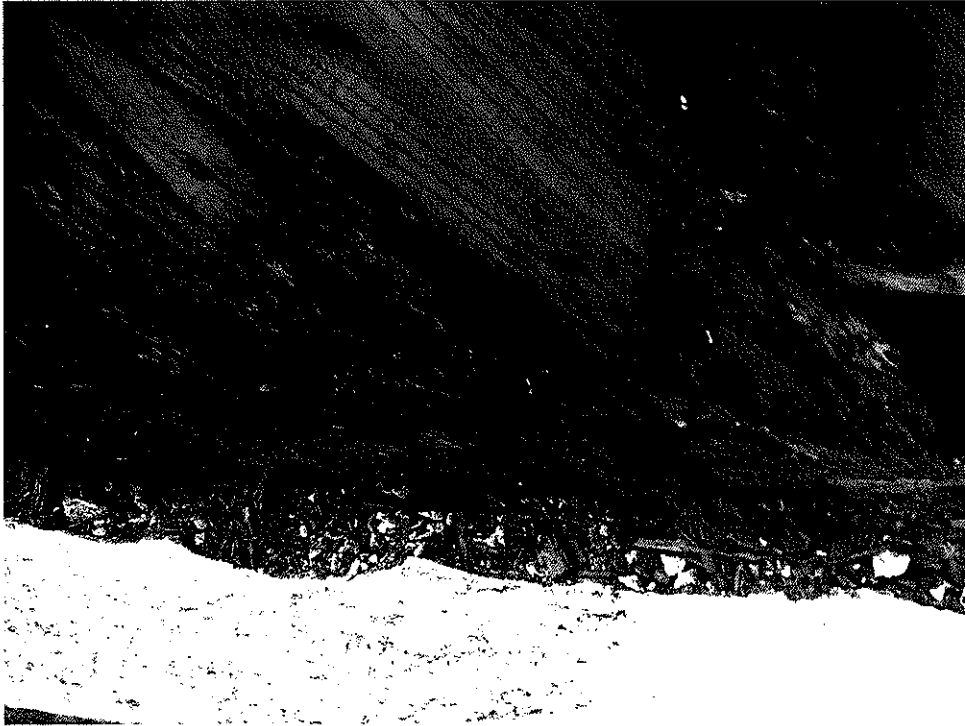


Figure 1: Termite damage at base plate



Figure 2



Figure 3

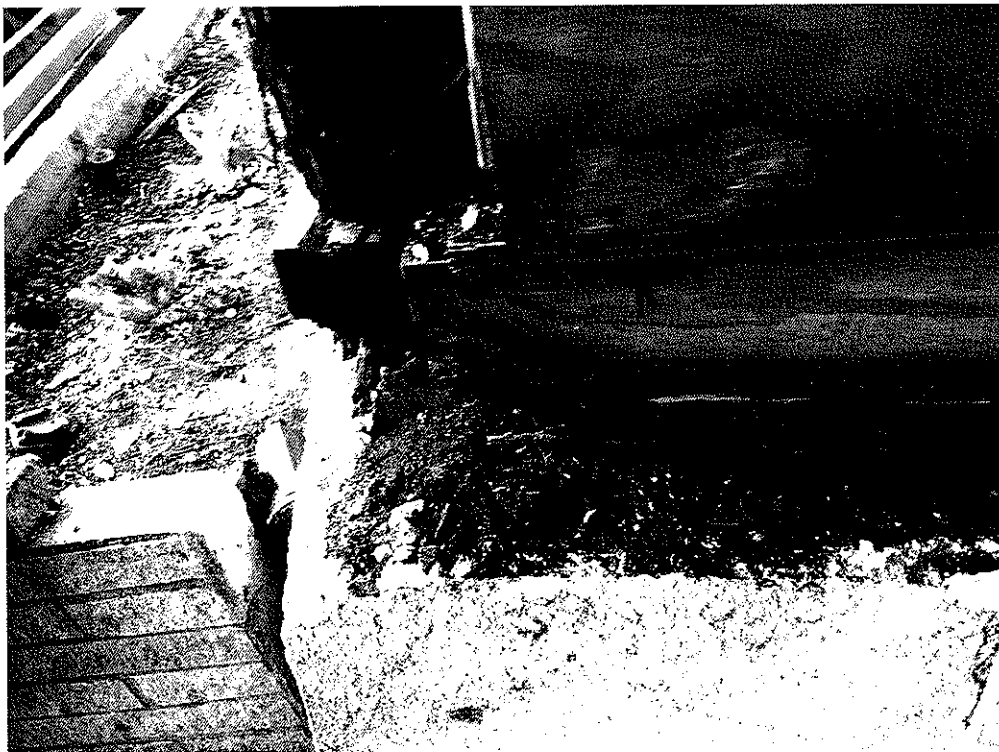


Figure 4



Figure 5



Figure 6



Figure 7



Figure 8



Figure 9



Figure 10



Figure 11



Figure 12