

General Summary



Austin, Texas 78731
512-587-7331

Customer
Jack Barron

Address
1129 Angelina
Austin TX

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

I. STRUCTURAL SYSTEMS

A. Foundations

Deficient

(1) **Foundation settlement signs:** The foundation appears to have experienced some movement and/or settlement. The settlement that was observed at the time of the inspection is considered typical for pier and beam houses in this area and of this period. In my opinion, the foundation of the house does appear to be functioning as intended. However, some deficiencies are noted. **Recommend having the foundation evaluated by a qualified foundation repair company.** Evidence of movement or settlement includes but is not limited to the following:

- Cracks in interior walls and/or ceilings
- Cracks in foundation skirting
- Cracks in floor tiles
- Floors that slope
- Doors that are not square
- Walls that are racking or not plumb

(2) The crawlspace appears to have an opening and/or openings at some perimeter areas around the crawlspace. Recommend sealing off any openings with wire mesh or sheet metal to keep animals from inhabiting the crawlspace.

(3) Only the right half of the crawl space under the home was inspected as the inspector encountered an active rodent and / or small mammal infestation at the time of the inspection. Recommend remediation of the possible infestation. Subsequent evaluation of any system that may be present at the left side of the crawl space could not be inspected.

I. STRUCTURAL SYSTEMS

- (4) Water appears to be entering the crawlspace and pooling at the footings/piers in some locations. This may contribute to uneven expansion of the soil under the piers which can cause foundation movement. Grading and/or drainage may need to be improved to prevent water from entering the crawlspace.
- (5) The construction debris needs removing from the crawlspace under home. Hatch door deteriorated and propped. Recommend replacement.
- (6) Exterior brick planter is cracked and bowed. Bowing was also observed in crawl space in this area. Unknown cause.
- (7) Some support posts are under-cut in areas in the crawlspace. Repairs are needed.
- (8) The foundation vent(s) are below ground level at front, rear and sides of home which can allow water to enter crawlspace. A couple of inches clearance between ground and vent opening recommended.
- (9) There are a variety of pier materials in use. Some piers appear to be shimmed with wood. Some (wooden/cedar-post piers) are considered to be old technology. Recommend replacement.
- (10) The clay soils found in Central Texas are known to be highly expansive. Excessive rain followed by dry periods tends to make clay soils expand and contract, which can exert force on the foundation. Proper grading and drainage combined with roof gutters, downspouts and 3-5 foot diverters could help to prevent adverse foundation movement.
- (11) No moisture barrier or under floor insulation was observed from the crawl space. Both of these could assist in improving heating and cooling conditions.

B. Grading & Drainage

Deficient

- (1) The soil level should be lowered to provide at least 3-5 inches of visible slab.
- (2) The gutters are full of debris in areas and needs to be cleaned. The debris in gutters may conceal rust, deterioration or leaks that are not visible until cleaned.
- (3) The gutters appear intact but due to the lack of recent rain, unable to determine if gutters leak at seams or spills water. Some gutters spill onto concrete driveway. Recommend splash guards or blocks to prevent deterioration.

C. Roof Covering Materials

Deficient

- (1) Evidence of multiple roof layers present. Evidence of deteriorated roofing materials. The possibility of further leakage can not be determined. **Recommend an evaluation by a roofing contractor.**
- (2) Fasteners on roof are unsealed and many are loose. Recommend sealing and tightening.
- (3) Many seams at the roof wall are loose or deteriorated. Recommend sealing.
- (4) There is a build up of thick leave and debris on the roof. Should be removed to assist with proper drainage.
- (5) Several vents are completely obscured and should be cleaned of debris.
- (6) It appears that repairs have been made to the roof covering materials. Unable to determine what caused the need for the repairs. Unable to determine if repairs were made correctly or waterproof.
- (7) There are several areas where the guard strip on the roof ledge are missing completely. Recommend replacement or repair.
- (8) This is a view of the porch above the front door. Deteriorated roofing materials present. Loose railing. Recommend replacement or repair.
- (9) Some of the visibly exposed roof fasteners on the roof surface do not appear to be sealed. Unsealed fasteners increase the potential for water penetration over time. Recommend sealing exposed fasteners.
- (10) It appears that repairs have been made to the roof covering materials. Unable to determine what caused the need for the repairs. Unable to determine if repairs were made correctly or waterproof.

D. Roof Structure & Attic

Deficient

- (1) Rotting and exposed wood at fascia/eaves over porch. Recommend replacement.
- (2) The attic access at the back of the large room does not fit opening properly. This can cause some heat loss in winter and loss of cool air in summer if not corrected.

E. Walls (Interior & Exterior)

Deficient

I. STRUCTURAL SYSTEMS

- (1) There is foliage in contact with the structure at some locations around the exterior. This is considered a conducive condition for carpenter ants which are a wood destroying insect. Recommend trimming back all foliage at least 12 inches. Foliage prevented visibility of various exterior walls and the foundation in some areas. Inspection of areas obscured by heavy foliage is very limited.
- (2) Recommend sealing gaps around edges of window frames and trim and inside corners of roof to eaves transitions. Many instances of wood rot. Wood that is merely bare needs painting and sealing to prevent wood rot.
- (3) There is a hole in the stucco at the lower edge of the wall with evidence of previous repairs.
- (4) Example of exterior stucco cracking.
- (5) Hole at eave at left rear.
- (6) Section of stucco loose at rear of building showing interior wood framing.
- (7) Vertical crack at kitchen door.
- (8) Possible previous water leak in water heater closet. Evidence of rotted wood and water staining.
- (9) Back wall. Evidence of previous repairs. Unable to determine need for repair or if repair was successful.
- (10) Example of one of the many cracks in the wall. Possible evidence of structural shifting.

F. Ceilings & Floors

Deficient

- (1) Water stains at ceiling. Evidence of previous water leaks. Unable to determine if they are active due to lack of rain.
- (2) Unknown holes in several corners

G. Doors (Interior & Exterior)

Deficient

- Rust at left side door.

H. Windows

Deficient

- (1) The wood trim is peeling paint at most windows. Further deterioration may occur if not repaired. Recommend a qualified contractor inspect and repair as needed.
- (2) Wood rot at top of windowsill and bottom throughout.
- (3) Possible termite or other wood destroying insect damage. Recommend evaluation and treatment to prevent further damage.

I. Stairways (Interior & Exterior)

Deficient

- (1) There is no handrail system at the exterior steps. Handrails are recommended when there are 2 or more steps.
- (2) Spaces greater than a four inch sphere at the railings/balusters.

K. Porches, Balconies, Decks and Carports

Deficient

- (1) Exposed wood at porch.
- (2) Porch ceiling is deteriorated.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Deficient

Some wiring appears updated and some appears to be the work of handymen. A qualified licensed electrical contractor should perform repairs that involve wiring. **Recommend evaluation by a professional electrician.**

B. Branch Circuits - Connected Devices, and Fixtures

Not Inspected, Deficient

II. ELECTRICAL SYSTEMS

(1) Some wiring appears updated and some appears to be the work of handymen. Not all outlets were tested. A qualified licensed electrical contractor should perform repairs that involve wiring. Recommend evaluation by a professional electrician.

- Exposed junction boxes
- Extension cord use (extension cords not approved for permanent use)
- Outlets on stage unable to be tested due to extreme deterioration and handyman work.

(2) Placement of electrical outlets may not be up to current building requirements. Modern construction installs electrical outlets at least every 12 foot along interior walls and at least one outlet per wall. The number of electrical outlets present is less. Identifying each location and confirming proper placement or location is outside the scope of this inspection.

(3) According to current building practices, smoke detectors are missing at some locations. Smoke detectors should be located in all sleeping rooms, adjoining hallways and one per level or story. In addition, alarm devices should be interconnected so that the actuation of one alarm will activate all of the alarms in the house.

(4) Texas Real Estate Commission (TREC), the body that governs the home inspection industry in Texas, requires home inspectors to identify as deficient specific circuits that don't have AFCI (Arc Fault Circuit Interrupter) protection. Circuits that are required to be noted as deficient if AFCI is not present include: "family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways, or similar rooms or areas". It should be noted that some municipalities may not require AFCI in all these locations.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Deficient

(1) The flexible gas line that passes through the furnace cabinet is not protected. This line is subject to damage by vibration caused by the bower fan. Recommend protecting this gas line protected with a rigid pipe extension.

(2) Some of the smaller rooms appeared to have heat registers but were supplied no heat at my examination. Some spaces appeared to have no supply duct and register. Heating and cooling for these rooms will be greatly affected.

B. Cooling Equipment

Deficient

(1) The ambient air test was performed by using thermometers on the air handlers of air conditioners to determine if the difference in temperatures of the supply and return air are between 14 degrees and 22 degrees which indicates that the unit is cooling as intended. The supply air temperature on your systems read 54-60 degrees, and the return air temperatures were 69-72 degrees. This indicates that the unit was cooling properly at the time of inspection.

However, several of the condenser units outside (AC unit) are very old and may last a few years more, but maybe not. Units may fail shortly after a home inspection during the seasonal change from mild to hot weather. No determination is made on how long AC will last before a replacement is necessary. Unable to determine age from deteriorated stickers on units. The units appeared to be of different tonnage and age.

(2) The foam sleeve on suction line is missing foam sleeve in area(s) at outside unit. Missing foam on suction line can cause energy loss and condensation.

(3) Disposable filter(s) is clogged and is dirty. The filter needs to be replaced. If washable, filter should be washed and replaced.

(4) Flex line at left rear air handler.

C. Duct System, Chases, and Vents

Deficient

There is a cord extending from this exterior vent. Usage unknown. Recommend investigation and possible removal.

IV. PLUMBING SYSTEM

A. Water Supply System and Fixtures

Deficient

- (1) The main plumbing drainage trunk line appears to be cast iron. Some water leakage is apparent. Cast iron piping has an average useful underground life of 50 to 60 years. Recommend budgeting for replacement.
- (2) Some or all exterior hose bibs are missing backflow or anti-siphon devices. This device prevents water from entering the potable (drinking) water supply from the hose if pressure is lost at the meter or well head. Wall plate (escutcheon) is missing.
- (3) Active water leak at kitchen faucet when fixture is turned on.

B. Drains, Waste, and Vents

Deficient

- (1) This kitchen p trap is non-standard and may be handyman work. Recommend professional installment.
- (2) Piping at utility sink is old and deteriorated. Recommend replacement.

C. Water Heating Equipment

Deficient

- (1) Collar dislocated at upper water heater vent. maybe be from previous vent repair. Unable to determine.
- (2) Hole at water pipe entry to wall at water heater closet. Recommend sealing.

V. APPLIANCES

D. Ranges, Cooktops and Ovens

Inspected, Deficient

Range does not appear to have proper anti-tip protection. Anti-tip protection helps to ensure that the range won't tip over when the door is open and weight is placed on the open door.

G. Mechanical Exhaust Vents and Bathroom Heaters

Inspected, Deficient

The ventilation fan in the women's bathroom was not operational.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.



INVOICE

Second Look Property Inspections
Austin, Texas 78731
512-587-7331
Inspected By: Jen Winkler

Inspection Date: 10/19/2012
Report ID:

Customer Info:	Inspection Property:
Jack Barron	1129 Angelina Austin TX
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
2,500 to 3,999	400.00	1	400.00
PIER & BEAM	90.00	1	90.00
			Tax \$0.00
			Total Price \$490.00

Payment Method: Credit Card

Payment Status: Paid

Note:

Pre-Inspection Agreement

Inspection address: 1129 Angelina
Austin TX

Client(s) Name: Jack Barron

Client Email: Jack.Barron@acehotel.com

Client Phone:

Total Fees: 490.00

Date: October 20, 2012

Client (Named above) requests a limited visual structural/mechanical real estate inspection of the subject property to be conducted by Jen Winkler of Second Look Property Inspections, herein after known as the Inspector. Client warrants that they will carefully read the entire inspection report and will promptly call the inspector with any questions at Austin, Texas 78731 512-587-7331. If client is married, client represents that this obligation is a family obligation incurred in the interest of the family, and client represents spouse or partner in this matter. Client and inspector understand that they are bound by all the terms of this agreement.

1. FEES: Client agrees to pay fee stated above for the performance of the inspection. A twenty five dollar (\$25) charge is applied for all returned checks. Payment must be received and this contract agreed to prior to the release of any reports.

2. SCOPE OF INSPECTION: This inspection, which is a PROFESSIONAL SERVICE CONSISTING OF OPINIONS ONLY, is a noninvasive LIMITED VISUAL EXAMINATION of the inspected systems. The purpose of this inspection is to inform the client of visually observable major deficiencies in the condition of the inspected systems at the time of the inspection. The inspection and report is not intended to be technically exhaustive, nor is it intended to identify every detail about the property as it is virtually impossible to fully profile any building with any reporting system. This report does not imply that every defect latent or otherwise has been detected and or reported on. The inspection shall be performed in accordance with the Standards of Practice of the Texas Real Estate Commission (TREC), which are available for review at: <http://www.trec.state.tx.us>. The inspection is intended to reduce risk, but will not eliminate all risk. Therefore you are advised that a more thorough and invasive inspection can be purchased from others that exceed the scope of this inspection.

3. WHAT'S NOT INSPECTED: The Inspector will not be responsible for inspecting the following: pools and spas, detached buildings, playscapes, water filters and softening equipment, septic systems, ejector pumps, refrigerators, clothes washers and dryers, alarm systems, home audio systems, gas lines, gas tanks. In addition, the inspection and report do not, and are not intended to address, asbestos, radon gas, lead paint, urea formaldehyde, toxic or flammable chemicals or substances, toxins, mold, mildew, fungus, or other pathogens of any kind, water or airborne diseases, rodents and insects, retaining walls, buried plumbing or electrical systems. The inspection and report does not address building code and regulation compliance. The client is urged to contact a competent specialist if inspection of the above is desired. In addition, the Inspector does not inspect any items, components, systems or areas that are not fully viewable, accessible and safe to inspect. It is understood between

the Inspector and the Client that many components and areas of the house are simply not accessible. All concealed conditions are beyond the scope of this inspection. The inspection does not involve dismantling or moving of any equipment, furniture, stores items while conducting an inspection. The Inspector does not report on conditions concealed in or under foundations, wall cavities, inaccessible areas of attics and crawl spaces and areas of framing and roofs that are not safe to physically and visually access.

4. **LIMITED WARRANTY:** The inspection and report IS NOT TO BE CONSIDERED A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, REGARDING THE CONDITIONS OF THE PROPERTY, ITEMS AND SYSTEMS INSPECTED and it should not be relied on as such. The Inspector shall not be held responsible or liable for any repairs or replacements with regard to the property, systems, components, or contents therein. Client waives any claim for consequential, exemplary or incidental damages. Client acknowledges that the Inspector warrants only that the inspection will be performed in accordance with the scope herein, the inspection report & the standard of practice of the Texas Real Estate Commission. This is a limited and nontransferable warranty and is the only warranty given by the Inspector. The Inspector makes and Client receives no other warranty, expressed or implied. All other warranties, including warranties of merchantability and fitness for a particular purpose, are expressly waived by the Client.

5. **LIMITATIONS ON LIABILITY:** The liability of the Inspector is strictly limited to the specific areas which were inspected and which were completely accessible at the time of the inspection. If images are provided to the Client, these images may not be used as evidence against the Inspector in any controversy whatsoever. The Client agrees that the Inspector will have no liability for failing to detect a defect, malfunction, inoperative condition, or necessity for repair where the defect, malfunction, inoperative condition or necessary repair was concealed, obstructed or covered up, whether intentional or otherwise. The Inspector's total liability in the event of any breach of this Contract or of its obligations imposed by law or for any losses, damages, claims or demands arising out of the work and services performed under this contract, SHALL BE LIMITED TO THE AMOUNT OF THE FEE CHARGED FOR THE INSPECTION. Except as provided herein, the Inspector shall not be liable for or obligated in any manner to pay any losses, damages, claims or demands arising out of the work or services performed by it under this contract. Client assumes the risk of losses greater than the refund of the fee paid herein. The Inspector shall assume no liability or responsibility for the cost of repairing or replacing any unreported defects or deficiencies, either existing or arising in the future, loss of use, consequential damage or bodily injury. Client specifically agrees to hold Inspector harmless from any claims or liability regarding any areas that have been purposely concealed, covered, touched up or otherwise hidden, unreported or withheld from the Sellers Disclosure. Client agrees the sole recourse is against the Seller thru civil action.

6. **FOUNDATION EXCLUSIONS:** All foundations listed as in need of repair must be evaluated by a registered structural engineer. It's the Client's responsibility to contact a structural engineer for review prior to closing. Failure by the Client to have the foundation evaluated is done so at the sole risk of the Client and the Client hereby agrees to waive any and all claims against the Inspector regarding foundation or structural movement, damage or failure.

7. **WOOD DESTROYING INSECT LIMITATIONS:** If a WDI (Wood Destroying Insect) report has been provided by the Inspector, the Inspector specifically states she DOES NOT PROVIDE ANY GUARANTEE nor EXPRESS OR IMPLIED WARRANTY whatsoever. The Inspector does not guarantee that the building is free of Wood Destroying insects or damage at the time of inspection and WILL NOT pay for treatment of undiscovered WDI activity, repair of WDI damage or damage of any kind. See

Scope of Inspection section of the Texas Official Wood Destroying Insect Report, from the Texas Department of Agriculture.

8. **CONFIDENTIALITY OF REPORT:** The report is confidential and is for the sole and exclusive private use of the Client. It is not to be copied or disseminated to any other party without the expressed written consent of the Inspector. Use of or reliance upon the report by other parties, of for other transactions, is strictly prohibited. No third party shall have any rights arising from this contract or the report and may not rely on the report. In consideration of the furnishing of the report, the client agrees to indemnify, defend, and hold harmless the inspector for all costs, legal fees, awards, settlements, and judgments in any legal proceedings brought by any third party who claims that he/she relied on representations made in such report and was damaged thereby.

9. **DISCLOSURE:** Client requests and authorizes the Inspector to disclose information and provide a copy of the report to real estate agent(s) sellers, attorneys, and other parties intimate with the transaction. Inspector authorizes client to provide a copy of the report to the seller, lender, and the real estate agents in this transaction. client agrees to indemnify, defend, and hold harmless the inspector for all costs, legal fees, awards, settlements, and judgments in any legal proceedings brought by any third party who claims that he/she relied on representations made in such report and was damaged thereby.

10. **DISPUTE RESOLUTION:** The Client understands and agrees that any claim for failure to accurately report the major visible defects, as limited herein, shall be made in writing to Second Look Property Inspections of Austin, Texas 78731

512-587-7331 and reported to the Inspector within 10 business days of discovery. The Inspector agrees to respond promptly to any legitimate complaint and to reinspect the portion of the property related to the claimed condition. Client further agrees that the Client and its agents, employees or independent contractors will make no alterations, repairs or replacements to the claimed condition prior to a re-inspection by the Inspector. Client understands and agrees that any failure to timely notify the Inspector and allow adequate time to investigate and re-inspect as stated above shall constitute a complete bar and waiver of any and all claims Client may have against the Inspector related to the alleged act, omission or claimed condition. Client agrees that if any controversy of claim arising out of or relating to this contract, or breach thereof, shall be settled first by direct discussions secondly by mediation whereas both parties shall share equally the costs of the mediator and lastly by final, binding, non-appealing arbitration whereas both parties shall share equally the costs of the Arbitration. The parties shall mutually agree upon an Arbitrator who is familiar with the real estate inspection industry and the TREC Standards of Practice. If a lawsuit is filed by the Client against the Inspector and the Inspector successfully defends against the claim, of the Client, the Client agrees to pay the Inspector reasonable attorney fees, court costs and expenses incurred in defending against such claims. If a lawsuit is filed by the Inspector to collect monies due under this contract, Client agrees to pay the Inspector reasonable attorney's fees, court costs and expenses incurred in such lawsuit.

11. **STATUTE OF LIMITATIONS:** The parties agree that no claim, demand, or action, whether sounding in contract or in tort, may be brought to recover damages against the Inspector, or its officers, agents, or employees MORE THAN ONE YEAR AFTER THE DATE OF INSPECTION. Time is expressly of the essence herein. Client understands that this time period may be shorter than otherwise provided by law.

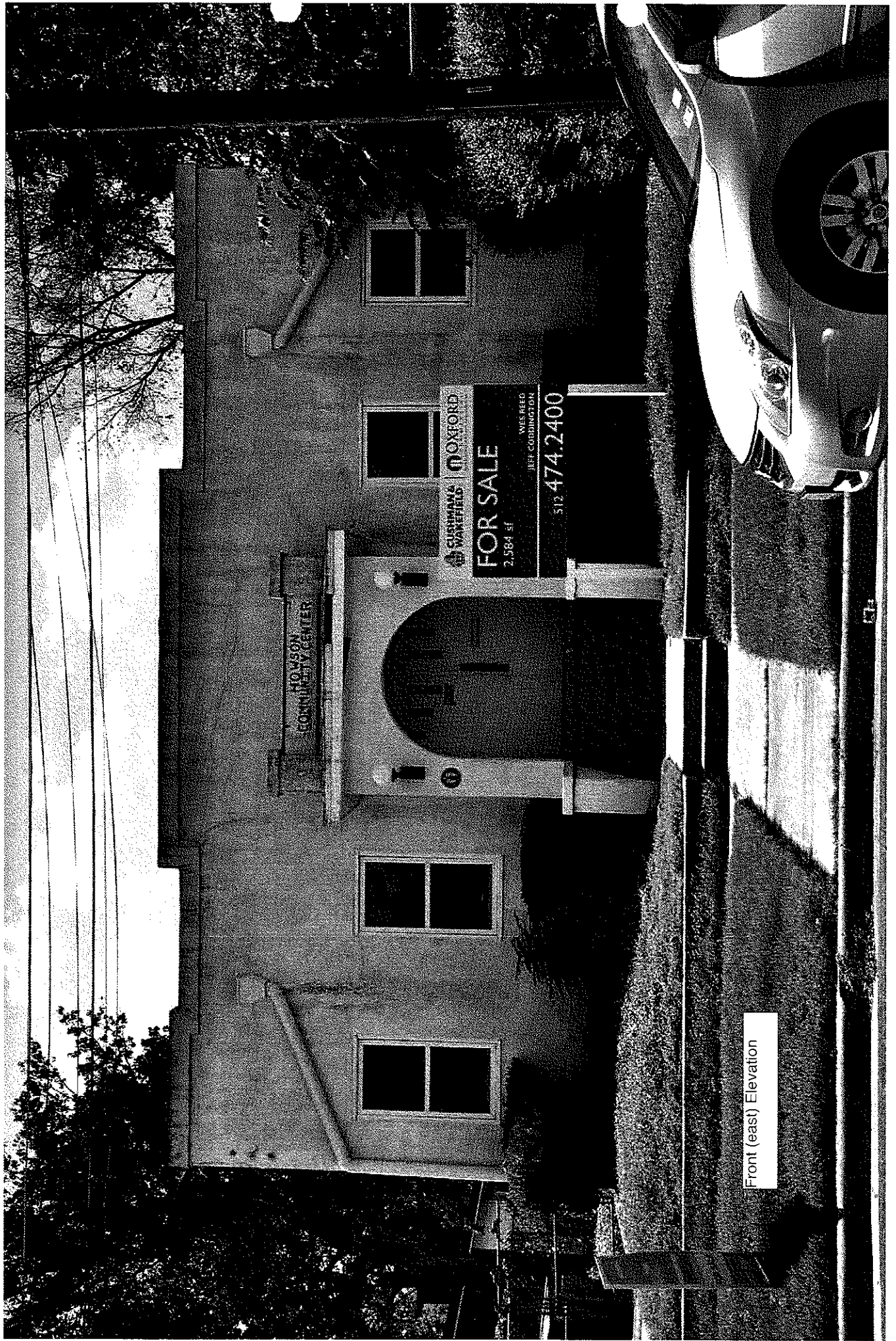
12. **REQUIRED NOTICE TO CLIENT:** State law mandates that you are notified about the Texas Real Estate Inspection Recovery Fund in cases of inspector negligence. For further information contact TREC: 1101 Camino La Costa, Austin, TX, (512) 459-6544.

BY SIGNING BELOW I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS/ CONDITIONS OF THIS CONTRACT, AND THE LIMITATIONS/EXCLUSIONS OF THE INSPECTION THAT I WILL RECEIVE. I AGREE TO BE BOUND BY THESE TERMS/CONDITIONS. I ALSO AGREE THAT THE LIMITS OF LIABILITY FOR SECOND LOOK PROPERTY INSPECTIONS PLLC ARE EXPRESSLY LIMITED TO THE COST OF THE INSPECTION FEES PAID BY CLIENT TO INSPECTOR.

IF THIS IS ISSUED AS AN ONLINE AGREEMENT: THE PARTIES TO, OR SENDERS OF, THIS AGREEMENT INTEND AND AGREE TO CONDUCT THE TRANSACTION EVIDENCED BY THIS RECORD OR AGREEMENT BY ELECTRONIC MEANS PURSUANT TO THE UNIFORM ELECTRONIC TRANSACTIONS ACT.

Client: Jack Barron
Date: October 20, 2012

Inspector: Jen Winkler, Second Look Property Inspections
Date: October 20, 2012



Front (east) Elevation



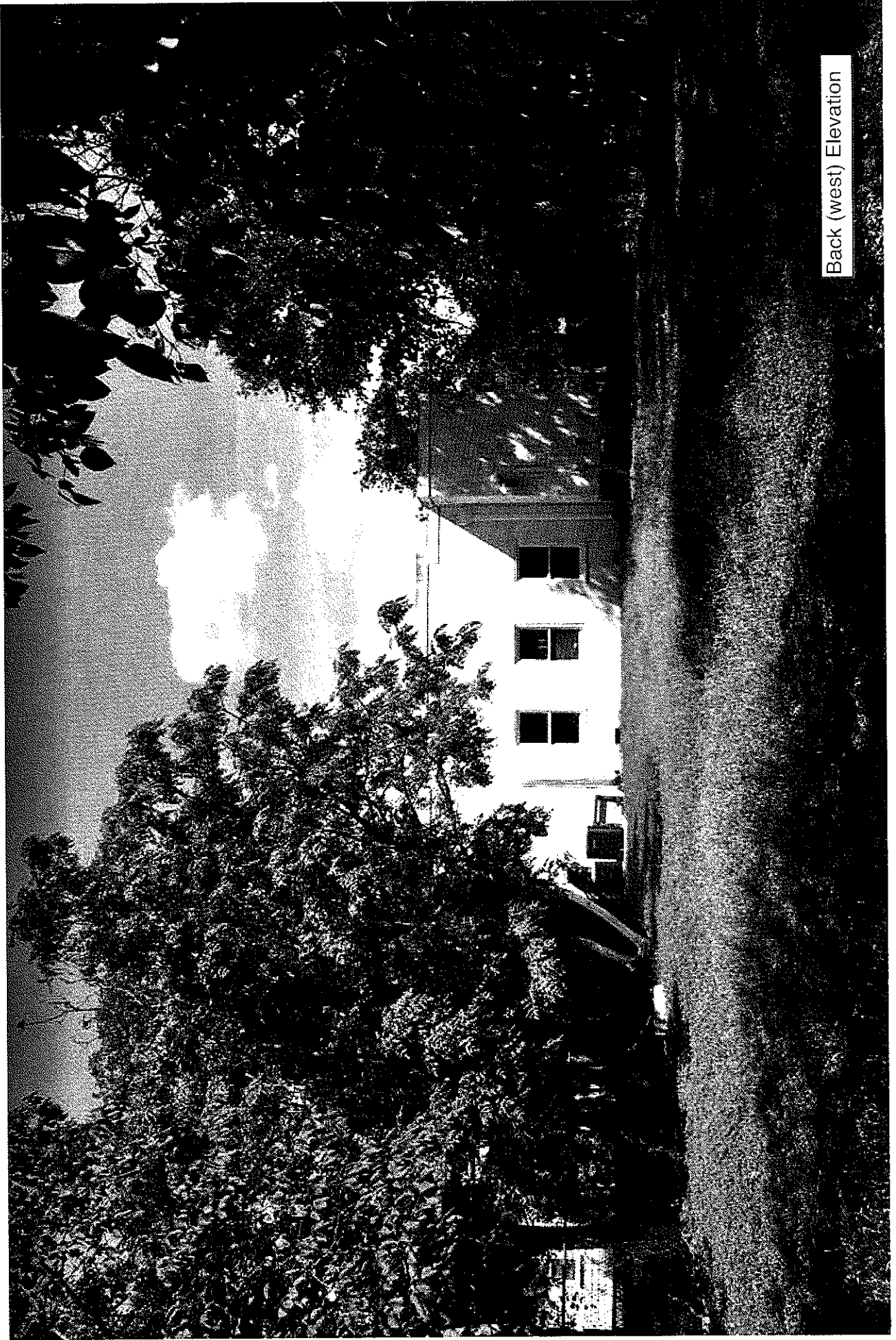
Front (east) & Side (south) Elevations



Front (east) and Side (north) Elevations



Side (south) Elevation w/ existing
ramp, looking towards Angelina St.



Back (west) Elevation