

**HISTORIC LANDMARK COMMISSION
NOVEMBER 18, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0087
Rainey Street
91 Rainey Street**

PROPOSAL

Construct an eight-story, mixed use building in place of six contributing houses.

PROJECT SPECIFICATIONS

On December 17, 2012 the Historic Landmark Commission voted to allow for the relocation of the houses at 89, 89 1/2, 91, 93 and 95 Rainey Street, and on February 25, 2013 they voted to approve the relocation of the house at 97 Rainey Street. A condition of the relocation permits included staff approval of the new locations for the houses. Staff has been working with the applicant and appropriate new locations have been found. Four of the houses are planned to be relocated by the Guadalupe Neighborhood Development Corporation to an affordable housing development off Tillery Street, one will be relocated to E. Cesar Chavez for a commercial use, and a sixth will be relocated within the Rainey Subdistrict for use by the Mexican American Cultural Center.

The applicant proposes to replace those houses with an eight-story, mixed use building that will occupy multiple existing parcels spanning from Rainey Street to East Avenue. The new building will have a contemporary design constructed of various materials, and will be built out to the sidewalk.

STANDARDS FOR REVIEW

The existing properties are contributing to the Rainey Street National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The scale, massing, form and materials of the proposed new building are not compatible with the low-scale, residential character of the Rainey Street National Register Historic District so does not meet the general guidelines.

STAFF RECOMMENDATION

Release the permit per the proposed design with the request that the applicant consider a design that is more compatible with the character of the District.

PHOTOS



Street views of Rainey Street



Rendering of new building from Driskill Street and Rainey Street



Rendering of new building from East Avenue looking south.



Rendering of new building from East Avenue looking north.



SUBJECT TRACT



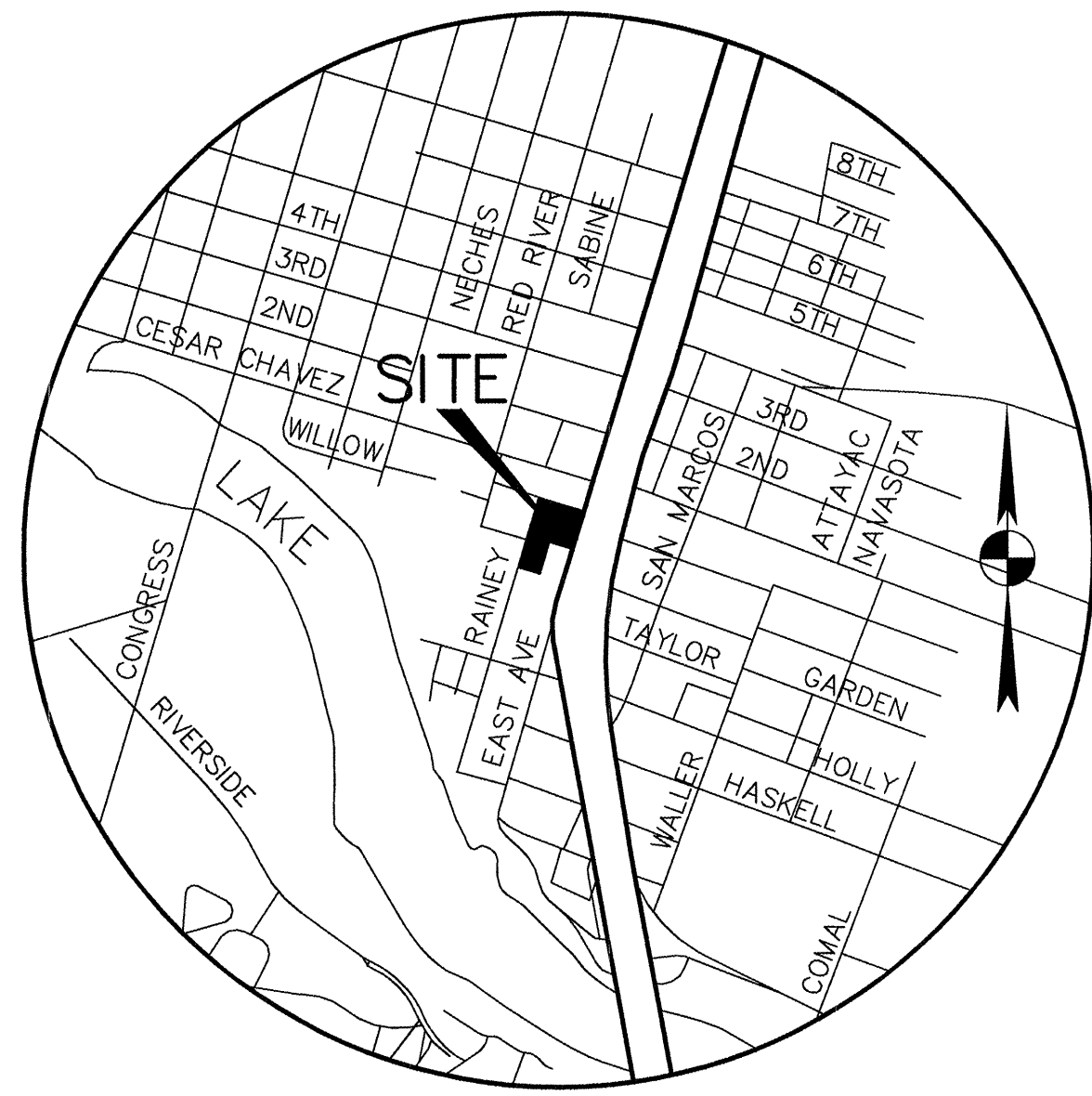
ZONING BOUNDARY

CASE#: NRD-2013-0087
LOCATION: 91 Rainey Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



VICINITY MAP

N.T.S.
CITY OF AUSTIN GRID NO. - J21
MAPSCO PAGE NO. - 615B

OWNER/DEVELOPER: AUSTIN RAINEY ST. D/E/P, LLC
3411 RICHMOND AVENUE, SUITE 200
HOUSTON, TEXAS 77046
CONTACT: CURTIS BURNETT
(832) 209-1257

ARCHITECT: ZCA RESIDENTIAL, LLC
700 LOUISIANA STREET, SUITE 350
HOUSTON, TEXAS 77002
(713) 374-0000

ENGINEER: BURY+PARTNERS, INC.
221 WEST SIXTH STREET, SUITE 600
AUSTIN, TEXAS 78701
(512) 328-0011

LANDSCAPE ARCHITECT: KUDELA & WEINHEIMER
1000 CENTRAL PKWY N #268,
SAN ANTONIO, TEXAS 78232
(210) 349-3500

WATERSHED STATUS:

THIS TRACT IS LOCATED WITHIN THE WALLER CREEK AND LADY BIRD LAKE (URBAN) WATERSHEDS AND DOES NOT LIE OVER THE EDWARDS AQUIFER RECHARGE ZONE. THE PROJECT SHALL BE DEVELOPED, CONSTRUCTED, AND MAINTAINED IN CONFORMANCE WITH TERMS AND CONDITIONS OF CHAPTER 25 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

FLOODPLAIN INFORMATION:

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 6000 48453C0465H, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

LEGAL DESCRIPTION:

A ONE LOT SUBDIVISION CONSISTING OF 2.213 ACRES OF LAND OUT OF THE THOMAS CHAMBERS SURVEY, ABSTRACT NO. 7, SITUATED IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS KNOWN AS LOT 1, BLOCK A OF RAINEY AND DRISKILL SUBDIVISION

PARKLAND FEES

PARKLAND FEES HAVE BEEN PAID FOR _____ UNITS AT A RATE OF \$650/UNIT.

LICENSE AGREEMENT

LICENSE AGREEMENT HAS BEEN REVIEWED AND APPROVED. LICENSE AGREEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMIT BY THE CITY OF AUSTIN. LICENSE AGREEMENT RECORDATION # _____

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF A 8-STORY MIXED USE BUILDING.

BENCHMARK INFORMATION:

TBM 50: PK NAIL SET IN BACK OF CURB AT THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF DRISKILL STREET AND THE WESTERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 35 FRONTAGE ROAD, ±5' SOUTH OF POWER POLE. ELEVATION=468.24'

TBM 60: PK NAIL SET IN BACK OF CURB IN THE NORTHERLY RIGHT-OF-WAY LINE OF DRISKILL STREET, NORTH OF 20' ALLEY, ±5' SOUTH OF POWER POLE. ELEVATION=468.66'

TBM 61: PK NAIL SET IN BACK OF CURB AT INLET IN THE WESTERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 35 FRONTAGE ROAD, ±10' EAST OF WATER METER, AT SOUTHEASTERLY CORNER OF LOT 2. ELEVATION=467.69'

TBM 100: PK NAIL SET IN BACK OF CURB AT INLET IN THE NORTHERLY CURB LINE OF DRISKILL STREET AT THE INTERSECTION WITH RAINEY STREET, ±7' SOUTH OF ELECTRIC MANHOLE. ELEVATION=468.17'

TBM 101: PK NAIL SET IN THE PAVEMENT OF RAINEY STREET, ±40 FEET SOUTH OF THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF DAVIS STREET AND ±6' EAST OF THE WESTERLY BACK OF CURB LINE OF RAINEY STREET. ELEVATION=466.85'



221 West Sixth Street, Suite 600
Austin, Texas 78701
Tel. (512)328-0011 Fax (512)328-0325
TBPE Registration Number F-1048
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WATER AND WASTEWATER
SERVICE EXTENSION
REQUEST FOR
CONSIDERATION

Name: Rainey & Driskill	Service Requested: Wastewater
SR-3560	Issues Service Request Number 482781
Location: 97 RAINEY ST ALSTH TX 78701- RAINEY & DRISKILL	
Acres: 2.21	Land Use: MULTI FAMILY
All Utility Service or S.E.R. Number: City of Austin Water SER-3259	
Quantity: J21	DDZ: YES
Drainage Basin: TOWN LAKE	Pressure Zone: CENTRAL NORTH
Flow: (Estimated Peak Wet Weather Flow, Gallons per Minute) 127 GPM	% Within City Limits: 100
Cost Participation: \$0.00	% Within Limited Purpose: 0

Description of Improvements:
Applicant shall connect to the existing 6-inch gravity wastewater main located in the alley between RAINEY ST and N IH 35 SVRD SB at the location shown on the attached map. Applicant shall also abandon the existing 6-inch gravity wastewater main upstream of the proposed connection point.

NOTE: Wastewater flow based on engineering calculations provided by Jonathan McKee, P.E., received on 3/21/2013.

Approval of this Service Extension Request is subject to completion and acceptance of the improvements described above and the conditions set forth below:
1) Construction of all Service Extensions is subject to all environmental and planning ordinances.
2) Service Extensions are subject to the guidelines established in the Land Development Code, Section 25-6, Water and Wastewater Utility Service.
3) The level of service approved by this document does not imply commitment for land use.
4) Public utility fees must meet City of Austin design and construction criteria and must be approved by Austin Water Utility Engineering Review.
5) Proposed public wastewater improvements will be dedicated to the City of Austin for ownership, operation, and maintenance.
6) Proposed public wastewater improvements must be placed in the public right-of-way or approved utility easements. Utility easements must be approved by Austin Water Utility Engineering Review prior to construction and approved.
7) The Service Extension Request will automatically expire 180 days after date of approval unless a development application has been accepted by the Planning and Development Review Department. The Service Extension Request expires on the date the development expires, or if approved, on the date the development application approval expires.

	Request by City/Development Services	Date: 5/1/13
	Approved by Austin Water Utility	Date: 5/1/13



AUSTIN WATER UTILITY
Utility Development Services Division
625 East 10th Street, Suite 715
Austin, Texas 78701



Jonathan McKee, P.E.
Bury + Partners
221 W. 6th Street, Ste. 600
Austin, Texas 78701

Re: Letter of Suitable and Sufficient Existing Service
Rainey & Driskill Service Extension Request for Water (SER-3259)
Location: 97 RAINEY STREET, AUSTIN, TX 78701

Dear Mr. McKee:

The Austin Water Utility has reviewed your submission for the above referenced Service Extension Request (SER) project and is issuing this letter of Suitable and Sufficient Existing Service in keeping with all current rules and regulations.

Based on the following submitted SER project specifications:
Consolidation (units): 327
Residential (sq. ft.): 5,000
Flow (Estimated Peak Hour Flow, Gallons per Minute): 412 GPM
Specialized Fire Flow Requirement of 2,250 gpm submitted in the engineering calculations received from Jonathan McKee, P.E. of Bury + Partners on 4/3/2013.

Based on the aforementioned SER project specifications and the results of the SER review, it has been determined that utility service to this tract of land at the existing 6-inch water main located in RAINEY ST is suitable and sufficient to provide service to the project.

Due to the existing suitable and sufficient 6-inch water main at this tract of land, approval of a Service Extension Request is not required for the specified project.

Water service for this project can be provided based upon plan approval within the Pipeline Engineering utility plan review process. It is suggested that this letter be submitted with your site development plans.

This letter regarding the aforementioned Service Extension Request will automatically expire 180 days after its date of issue unless a development application has been accepted by the Planning and Development Review Department. The letter expires on the date the development expires, or if approved, on the date the development application approval expires.

If we can provide additional information, please call me at (512) 972-0250.

DATE: 5/1/13

NOTES:

- RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
- APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.
- A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
- 5% OF THE TOTAL UNITS TO BE RESERVED FOR HOUSEHOLDS WITH INCOMES THAT DO NOT EXCEED 80% OF THE MEDIAN FAMILY INCOME. 16 MULTI-FAMILY UNITS WILL BE SET ASIDE.

I, JONATHAN E. MCKEE, P.E., CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

FILE: g:\111120\10001\11112010001CVR01.dwg

SITE DEVELOPMENT
PERMIT PLANS

FOR

RAINEY STREET
91 RAINEY STREET

PERMIT NO. : SP-2013-0131C

SUBDIVISION : LOTS 1, BLOCK "A"
RAINEY AND DRISKILL SUBDIVISION

ADDRESS : 91 RAINEY STREET

SUBMITTAL DATE : APRIL 05, 2013

SUBMITTED BY :

JONATHAN E. MCKEE, P.E.
BURY+PARTNERS, INC.
221 W. SIXTH STREET, SUITE 600
AUSTIN, TEXAS 78701
(512) 328-0011

DATE



FIRE FLOW REQUIREMENTS

(PER 2012 IFC TABLE B105.1)	
BLDG. TYPE	IB
BLDG. FIRE AREA	174,570 S.F.
BLDG. HEIGHT	75 FT
CREDITS	50% REDUCTION
REQUIRED FLOW	2,250 GPM
WATER PRESSURE ZONE	CENTRAL NORTH
STATIC PRESSURE	---
DOMESTIC DEMAND	176
FIXTURE UNITS	---



SHEET
1
OF 29

SHEET INDEX

SHEET NO.	DESCRIPTION
Sheet Number	Sheet Title
1	COVER
2	PLAT
3	EXISTING CONDITIONS
4	DEMOLITION PLAN
5	EROSION & SEDIMENTATION CONTROL PLAN
6	EROSION & SEDIMENTATION NOTES AND DETAILS
7	EXISTING DRAINAGE AREA MAP
8	PROPOSED DRAINAGE AREA MAP
9	SITE PLAN
10	SITE PLAN NOTES
11	SITE PLAN DETAILS
12	GRADING AND DRAINAGE PLAN
13	WATER QUALITY POND
14	WATER AND WASTEWATER PLAN
15	WATER AND WASTEWATER NOTES AND DETAILS
16	WATER AND WASTEWATER NOTES AND DETAILS
17	STREETS & NOTES
18	TRAFFIC CONTROL PLAN - PHASE I & II
19	TRAFFIC CONTROL PLAN - PHASE III SIDEWALKS AND DRIVEWAYS
20	TRAFFIC CONTROL DETAILS
21	TRAFFIC CONTROL DETAILS
22	ARCHITECTURAL FLOOR PLAN & GARAGE LAYOUT LEVEL 1 & 2
23	ARCHITECTURAL FLOOR PLAN & GARAGE LAYOUT LEVEL 3-6 & LEVEL 7
24	ARCHITECTURAL FLOOR PLAN & GARAGE LAYOUT LEVEL 8 & ROOF LEVEL
25	ARCHITECTURAL ELEVATIONS
26	ARCHITECTURAL ELEVATIONS
27	LANDSCAPE PLAN 1
28	LANDSCAPE PLAN 2
29	LANDSCAPE DETAILS

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL # SHEETS IN PLAN SET	NET CHANGE IMP. COVER (sq. ft.)	TOTAL SITE IMP. COVER (sq. ft.) [%]	CITY OF AUSTIN APPROVAL/DATE	DATE IMAGED

REVIEWED BY AND APPROVED FOR ACCEPTANCE:

PLANNING AND DEVELOPMENT REVIEW DEPARTMENT DATE

CITY OF AUSTIN FIRE DEPARTMENT DATE

AUSTIN WATER UTILITY DATE

INDUSTRIAL WASTE DEPARTMENT DATE

DEVELOPMENT PERMIT NUMBER

FOR CITY USE ONLY:

SITE PLAN RELEASE		Sheet ____ of ____
FILE NUMBER: _____	EXPIRATION DATE: _____	
CASE MANAGER: _____	APPLICATION DATE: _____	
APPROVED ADMINISTRATIVELY ON: _____		
APPROVED BY PLANNING COMMISSION ON: _____		
APPROVED BY CITY COUNCIL ON: _____		
Under Section _____ of Chapter _____ of The Austin City Code.		
Director, Planning and Development Review Department		
DATE OF RELEASE: _____ of _____ Zoning: _____		
Rev. 1 _____	Correction 1 _____	
Rev. 2 _____	Correction 2 _____	
Rev. 3 _____	Correction 3 _____	
RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.		

[illegible]

1. **GENERAL NOTES:**
 - a. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONSTRUCTION TO THE CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.
 - b. WATER AND WASTEWATER SYSTEMS SERVING THIS SUBDIVISION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF AUSTIN WATER AND WASTEWATER SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY OF AUSTIN WATER AND WASTEWATER DEPARTMENT FOR REVIEW.
 - c. ALL STREETS, DRAINAGE, SEWERMAIS, WATER AND WASTEWATER LINES, AND EROSION CONTROL SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF AUSTIN STANDARDS.
 - d. PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE TO THE AMOUNT ESTABLISHED BY THE REGIONAL DETENTION PLANS APPROVED BY THE CITY OF AUSTIN. ANY CHANGES TO THE REGIONAL DETENTION PLANS APPROVED BY THE CITY OF AUSTIN, OR ANY CHANGES TO THE REGIONAL DETENTION PLANS SHALL BE OBTAINED BY THE USE OF DRAINAGE PONDING OR OTHER APPROVED METHODS.
 - e. NO BUILDING, FENCES, LANDSCAPING OR OTHER SUCH STRUCTURES ARE FORTNED IN DRAINAGE DESIGNING EXCEPT AS APPROVED BY THE CITY OF AUSTIN.
 - f. PUBLIC SEWERMAIS, BUT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG THE CITY OF AUSTIN WATER AND WASTEWATER SYSTEMS. ALL SEWERMAIS SHALL BE DESIGNED TO THE CITY OF AUSTIN STANDARDS, AND INTERESTS IN THESE SEWERMAIS SHALL BE TO THE CITY OF AUSTIN. ANY CHANGES TO THE CITY OF AUSTIN STANDARDS, OR ANY CHANGES TO THE CITY OF AUSTIN STANDARDS, SHALL BE OBTAINED BY THE CITY OF AUSTIN. ANY CHANGES TO THE CITY OF AUSTIN STANDARDS, OR ANY CHANGES TO THE CITY OF AUSTIN STANDARDS, SHALL BE OBTAINED BY THE CITY OF AUSTIN. ANY CHANGES TO THE CITY OF AUSTIN STANDARDS, OR ANY CHANGES TO THE CITY OF AUSTIN STANDARDS, SHALL BE OBTAINED BY THE CITY OF AUSTIN.
 - g. BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH CITY OF AUSTIN ZONING ORDINANCE REQUIREMENTS.
 - h. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND LANDSCAPING WITHIN THE SUBDIVISION. ANY PRUNING AND/OR REMOVAL OF TREES, SHRUBBERY AND LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN. ANY PRUNING AND/OR REMOVAL OF TREES, SHRUBBERY AND LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN. ANY PRUNING AND/OR REMOVAL OF TREES, SHRUBBERY AND LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN.
 - i. AUSTIN ENERGY WILL PERSONAL ALL TREES WORK IN COMPLIANCE WITH CHAPTER 29-3, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
 - j. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY, ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF AUSTIN.
 - k. UPON APPROVING THIS PLAN, THE CITY OF AUSTIN ASSUMES NO OBLIGATION TO CONSTRUCT THE INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF LOTS IN THIS SUBDIVISION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNERS OF THE LOTS BEING OCCUPIED. FAILURE TO OBTAIN A SITE DEVELOPMENT PERMIT FROM THE CITY OF AUSTIN SHALL BE CONSIDERED A VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE. ANY VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE SHALL BE CONSIDERED A VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE. ANY VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE SHALL BE CONSIDERED A VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
 - l. BUILDING PERMITS, EXCEPT DETACHED SINGLE FAMILY, AND ANY CERTIFICATES OF OCCUPANCY, SHALL BE OBTAINED FROM THE CITY OF AUSTIN. ANY VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE SHALL BE CONSIDERED A VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE. ANY VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE SHALL BE CONSIDERED A VIOLATION OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
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2. ALL RESTRICTIONS AND NOTES FROM THE PREVIOUS EXISTING SUBDIVISION, DISKAL'S 12, AND RAINIER'S SUBDIVISION OF PLOT 3 COLLOTS NO. 72 AND 73, DIVISION 71, AUSTIN, TEXAS, SHALL APPLY TO THIS SUBDIVISION.

SURVEYOR'S CERTIFICATION:
I, MARK J. JEZISEK, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH TITLE 25 OF THE AUSTIN CODE OF 2002, AS AMENDED, AND WAS PREPARED FROM AN ACTUAL ON THE GROUND SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION.

MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, SHOWN ON MAP NO. 48453C0465H, DATED SEPTEMBER 26, 2008 FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

ENGINEER'S CERTIFICATION:

I, JONATHAN E. MCKEE AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAN IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF TITLE 25 OF THE AUSTIN CODE OF 2002, AS AMENDED, AND IS TRUE AND CORRECT TO THE BEST OF MY

JORATHAN E. MCKEE, P.E.
 TEXAS REGISTRATION NO. 101180
 BURY & PARTNERS, INC.
 211 WEST SIXTH STREET, SUITE 800
 ARLINGTON, TEXAS 76010

DATE 2/16/13

SHEET
2
OF 2

Path: \\111120\001\111120001PL2.dwg Jul 9, 13 3:37 PM by: mlejsek

LINE TABLE

No.	BEARING	DISTANCE
L1	N70°47'39"W	20.03'
L2	S16°12'09"W	95.04'
L3	S73°47'51"E	29.95'
4	S15°30'18"W	70.94'

BEARING BASIS NOTE:
THE BASIS OF BEARING OF THE SURVEY SHOWN HEREON IS TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83(96), UTILIZING WESTERN DATA SYSTEMS CONTINUALLY OPERATING REFERENCE STATION (CORS) NETWORK.

RAINEY AND DISKILL
A ONE LOT SUBDIVISION
CONSISTING OF 2.213 ACRES
DATE: MARCH 2013
PREPARED BY:

b Bury+Partners
221 West Sixth Street, Suite 800
Austin, Texas 78701
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Drawn by: JPA Approved by: MJJ Project No.: R0111120-10001 File: H:\111120\001\111120001PL2.dwg

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SITE PLAN APPROVAL Sheet 2 of 29

FILE NUMBER: _____ APPLICATION DATE: _____

APPROVED BY COMMISSION ON: _____ UNDER SECTION _____ OF
CHAPTER _____ OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE (25-5-81.LDC) _____ CASE NUMBER _____

PROJECT EXPIRATION DATE (ORD.#07005-A) _____ DWFPZ _____ DDZ _____

Director, Planning and Development Review Department

RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

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CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING
PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS
REQUIRED) MUST BE APPROVED PRIOR TO THE PROJECT
EXPIRATION DATE.***



**Know what's below.
Call before you dig**

DRAWN BY: DGT

DESIGNED BY: JEM

REVIEWED BY: JEM

PROJECT NO.: 111120-10001

SHEET

2

C

29

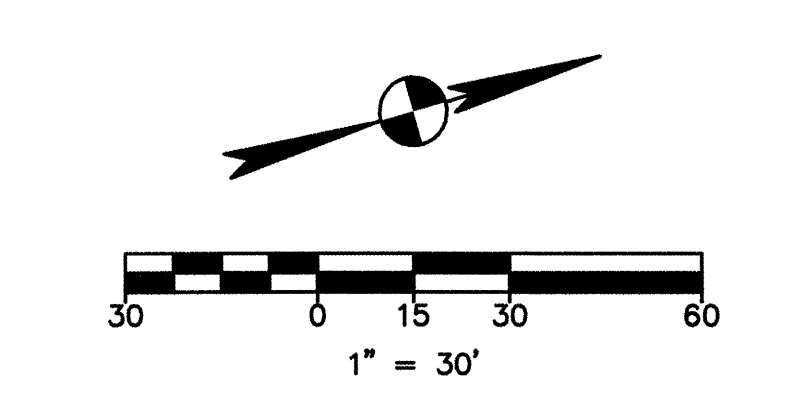
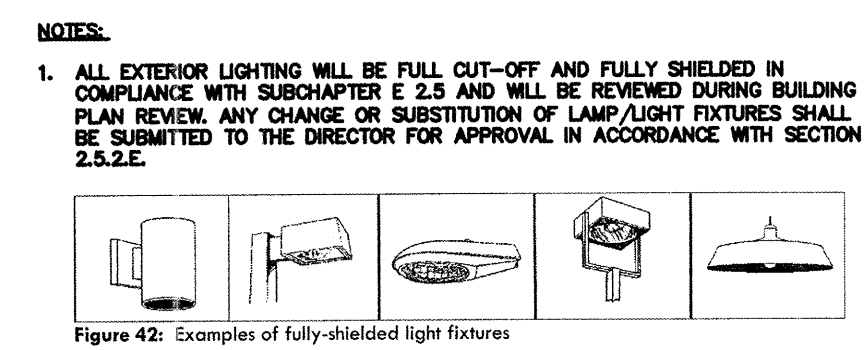
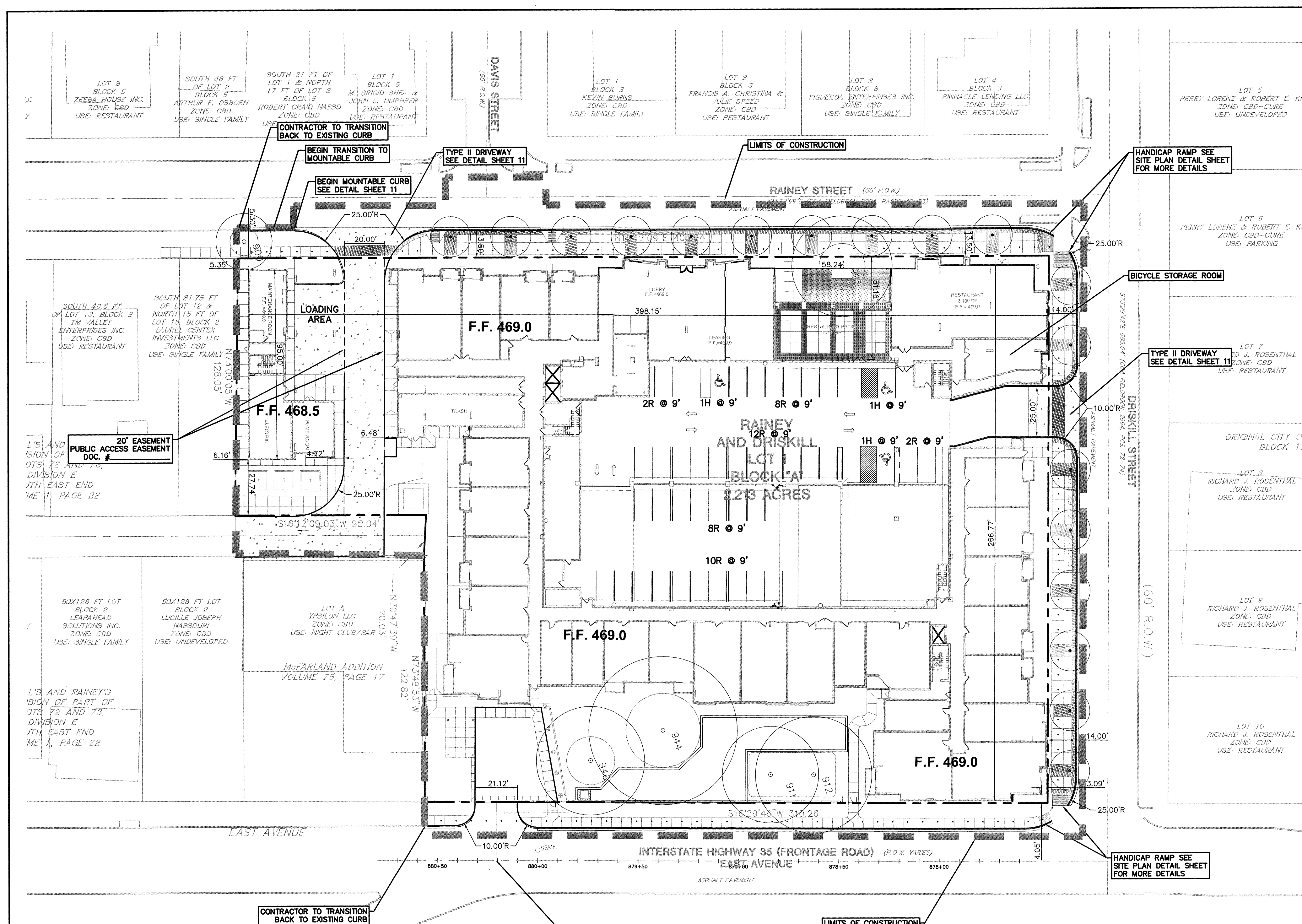
PLAT

RAINEY STREET
11 RAINEY STREET

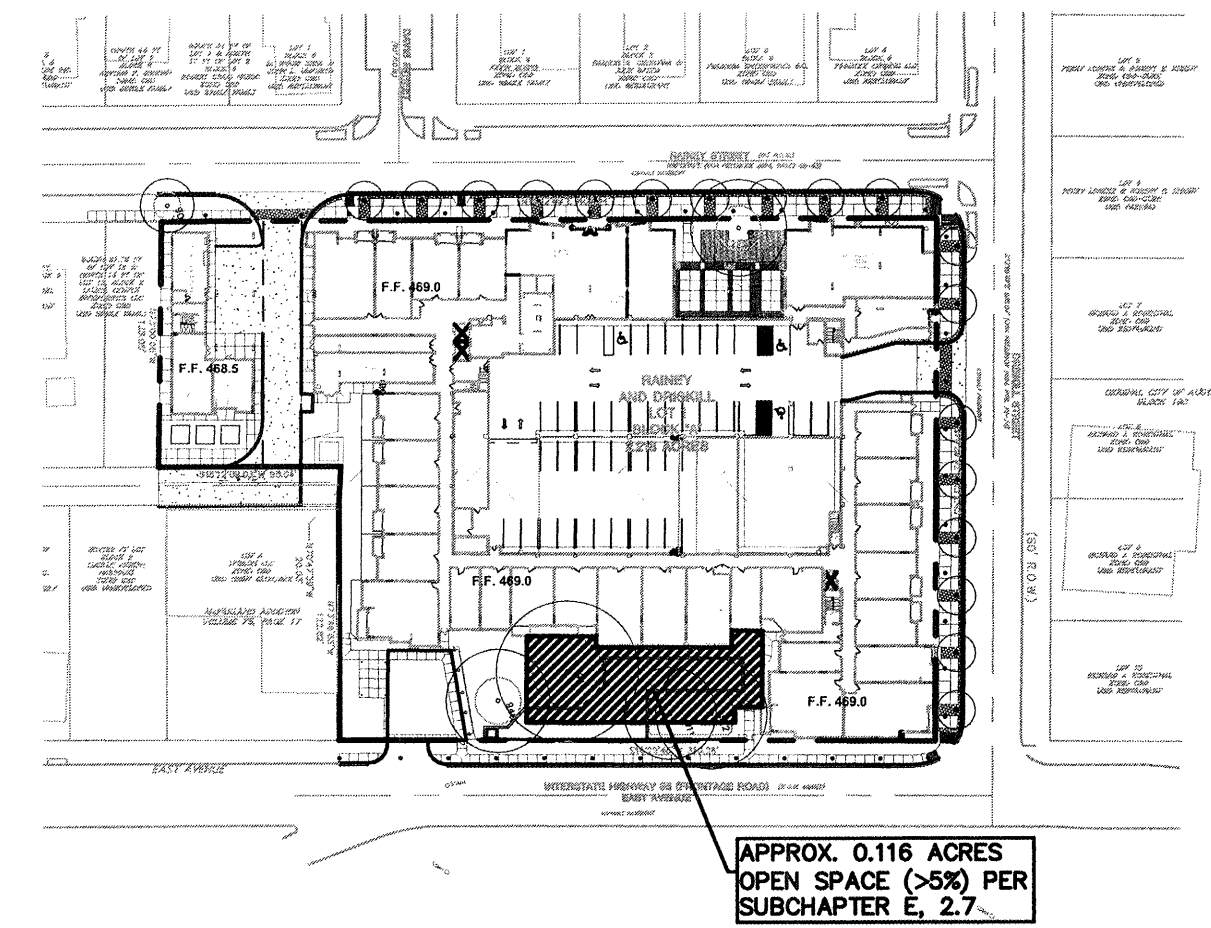
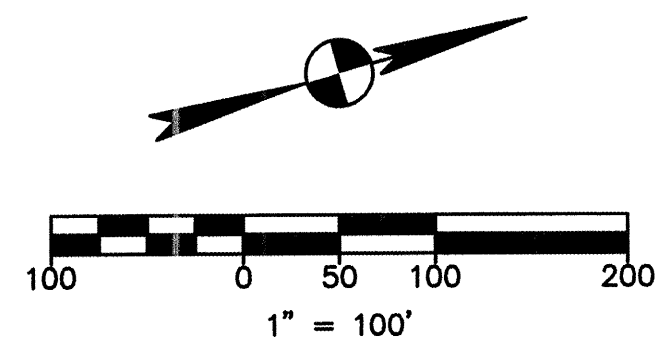
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LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY (R.O.W.) LINE
		RECORD INFORMATION
		LIGHT POLE
		POWER POLE
		DOWN GUY
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT
		WATER MANHOLE
		TELEPHONE RISER
		CABLE TV RISER
		ELECTRIC BOX
		ELECTRIC METER
		GAS METER
		GAS VALVE
		TRAFFIC CONTROL BOX
		TRAFFIC SIGNAL POST
		GRATE INLET
		CURB INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
		WIRE FENCE
		WOOD FENCE
		CHAIN LINK FENCE
		OVERHEAD ELECTRIC
		ELECTRIC MANHOLE (SIZE VARIES)
		WASTEWATER MANHOLE (SIZE VARIES)
		STORMSEWER MANHOLE (SIZE VARIES)
		TELEPHONE MANHOLE (SIZE VARIES)
		DUMPSTER
		TRASH COMPACTOR
		CURB & GUTTER
		EDGE OF PAVEMENT
		FIRE LANE DESIGNATION
		HANDICAP ACCESS ROUTE
		CONCRETE SIDEWALKS
		CONCRETE PAVEMENT
		WALL SIGN
		WHEELSTOP
		BOLLARD
		PARKING COUNT (REGULAR SPACES)
		PARKING COUNT (COMPACT SPACES)
		PARKING COUNT (HANDICAP SPACES)
		HANDICAP SPACE
		HANDICAP ROUTE
		CAPITAL VIEW CORRIDOR POINT
		SAWCUT
		CRUSHED GRANITE
		LIMITS OF CONSTRUCTION



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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SITE PLAN APPROVAL Sheet 2 of 23 APPLICATION DATE: _____

FILE NUMBER: _____ APPROVED BY COMMISSION ON: _____ UNDER SECTION _____ OF CHAPTER _____ OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE (25-5-81.LDC) CASE MANAGER _____

PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ _____

Director, Planning and Development Review Department

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Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.



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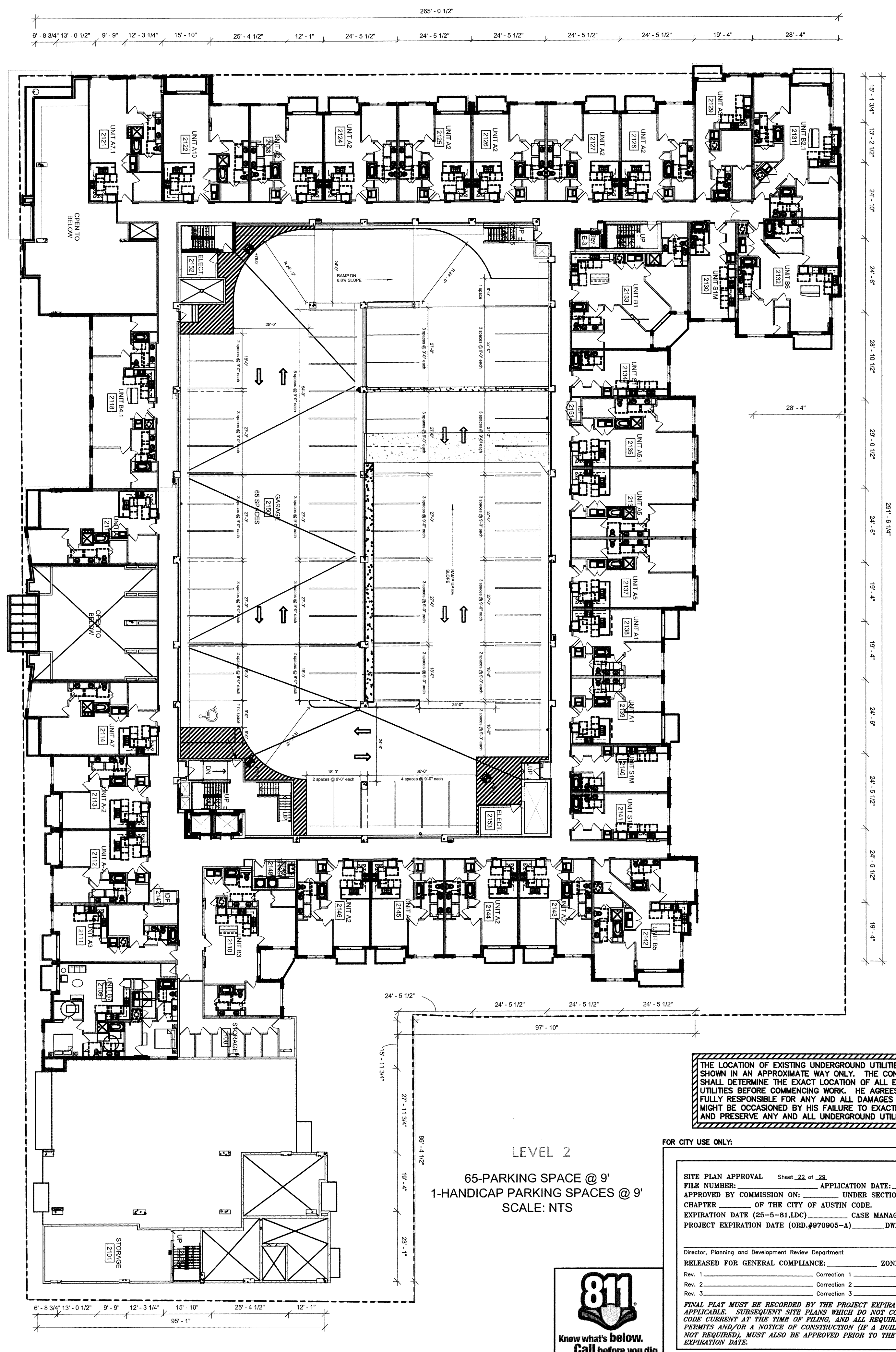
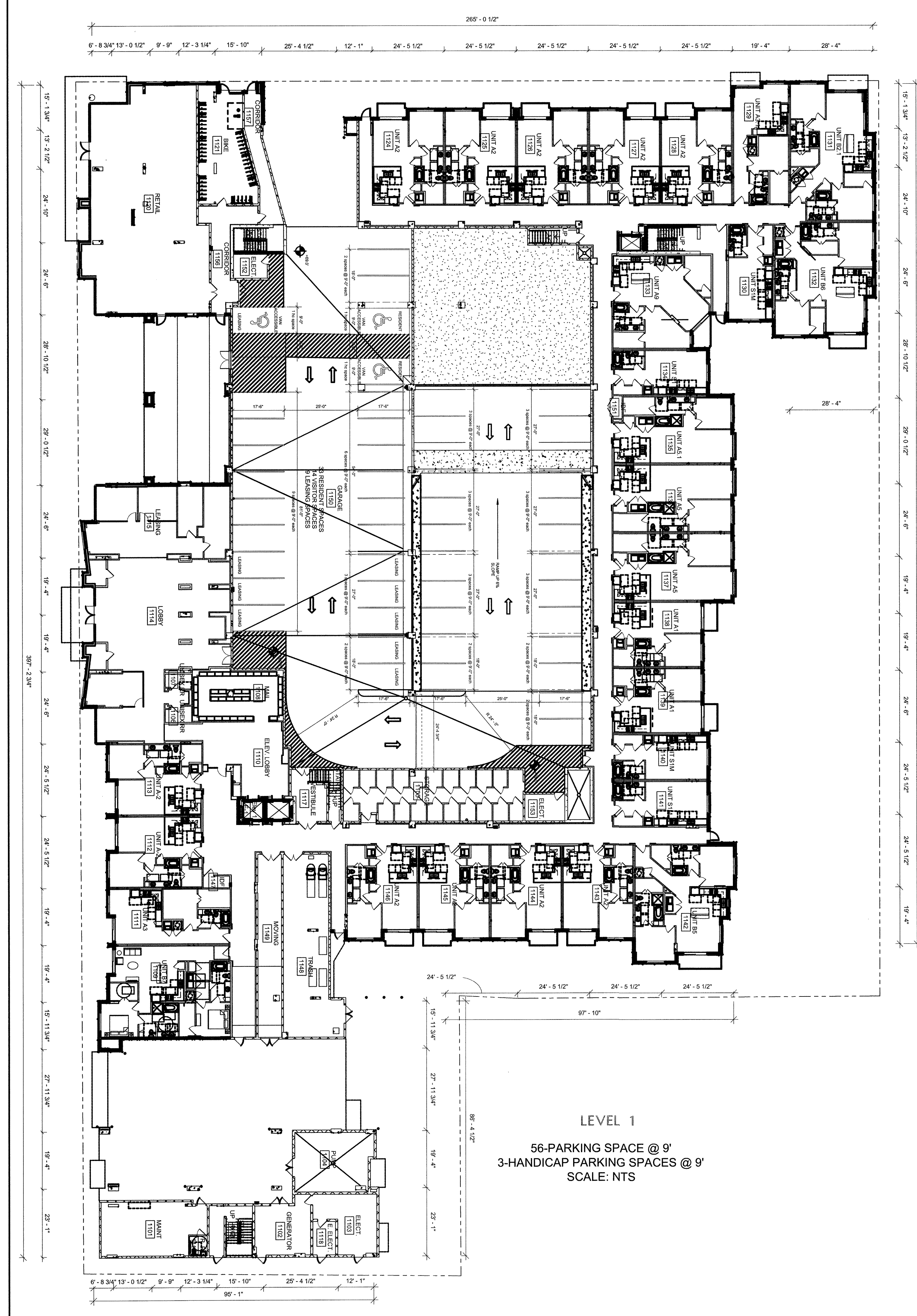
SITE PLAN

RAINEY STREET
91 RAINEY STREET

AUSTIN RAINEY ST. D/E/P, LLC

DRAWN BY: DGT
DESIGNED BY: JEM
REVIEWED BY: JEM
PROJECT NO.: 111120-10001

SHEET
9
OF
29



APPROVAL	
REVISION	
DATE	NO.
ARCHITECTURAL FLOOR PLAN & GARAGE LAYOUT LEVEL 1 & 2	
RAINEY STREET 91 RAINEY STREET AUSTIN RAINEY ST. D/E/P, LLC	
DRAWN BY: DST	DESIGNED BY: JEM
REVIEWED BY: JEM	PROJECT NO.: 111120-10001
SHEET 22 OF 29	

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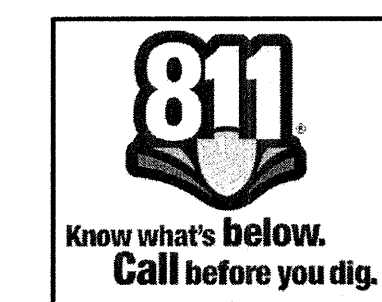
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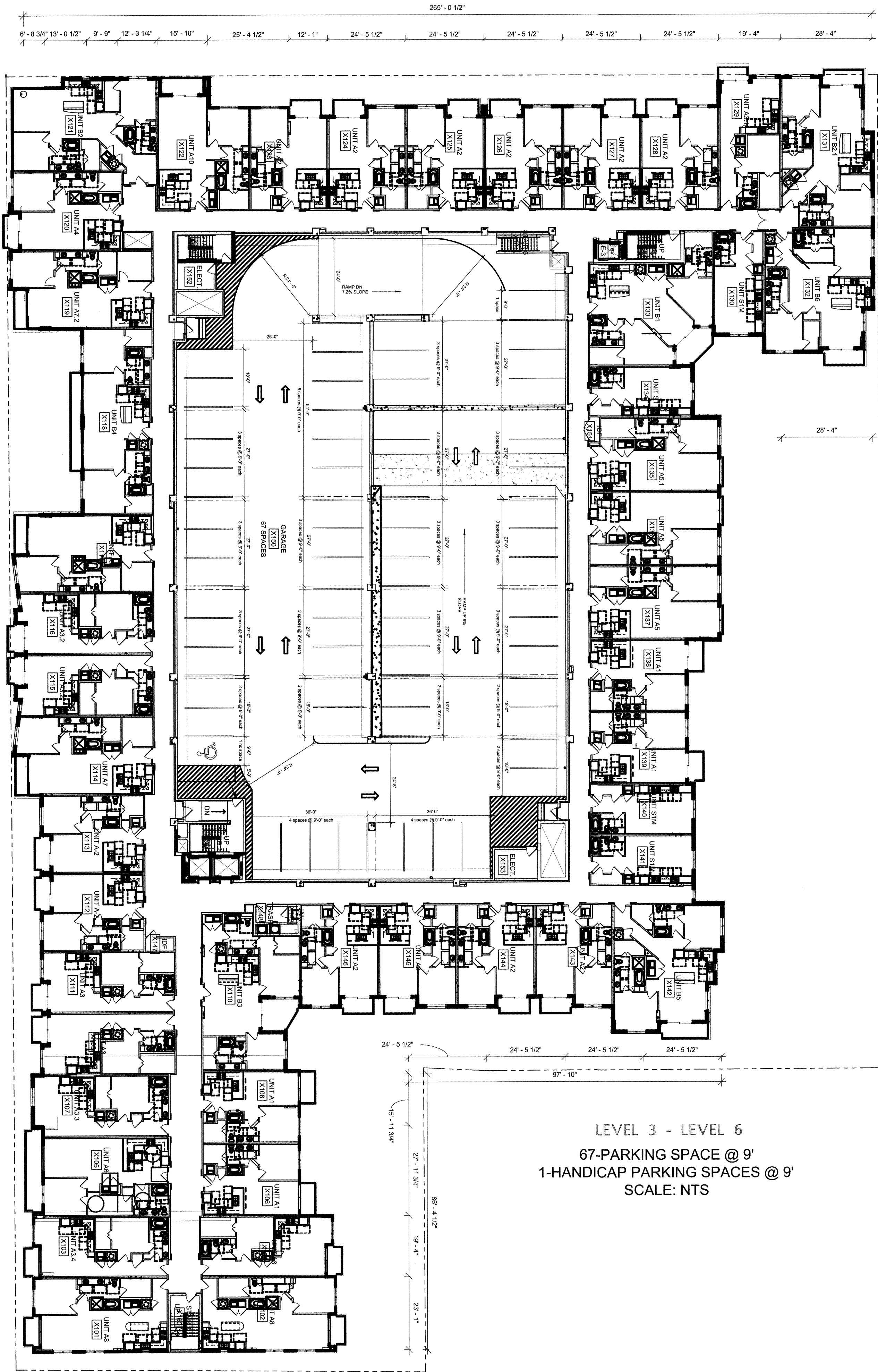
SITE PLAN APPROVAL Sheet 22 of 22
FILE NUMBER: _____ APPLICATION DATE: _____
APPROVED BY COMMISSION ON: _____ UNDER SECTION _____ OF
CHAPTER _____ OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81.LDC) CASE MANAGER _____
PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ _____ DDZ _____

Director, Planning and Development Review Department
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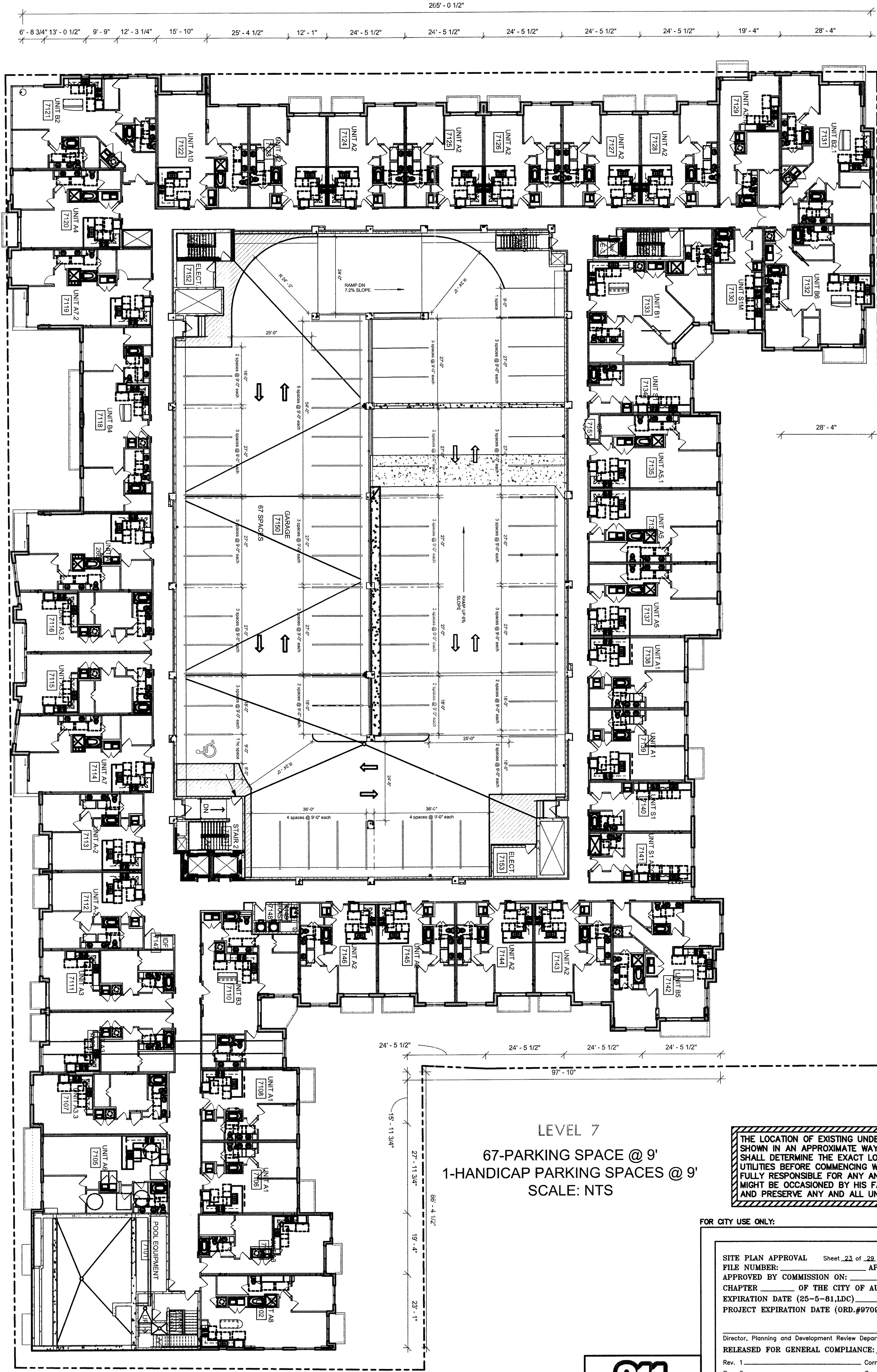
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

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LEVEL 3 - LEVEL 6
67-PARKING SPACE @ 9'
1-HANDICAP PARKING SPACES @ 9'
SCALE: NTS



LEVEL 7
67-PARKING SPACE @ 9'
1-HANDICAP PARKING SPACES @ 9'
SCALE: NTS

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SITE PLAN APPROVAL Sheet 23 of 23
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ARCHITECTURAL FLOOR
PLAN & GARAGE LAYOUT
LEVEL 3-6 & LEVEL 7

RAINEY STREET
91 RAINEY STREET
AUSTIN RAINEY ST. D/E/P, LLC

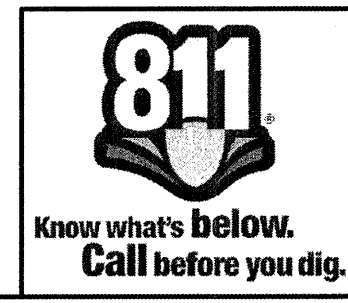
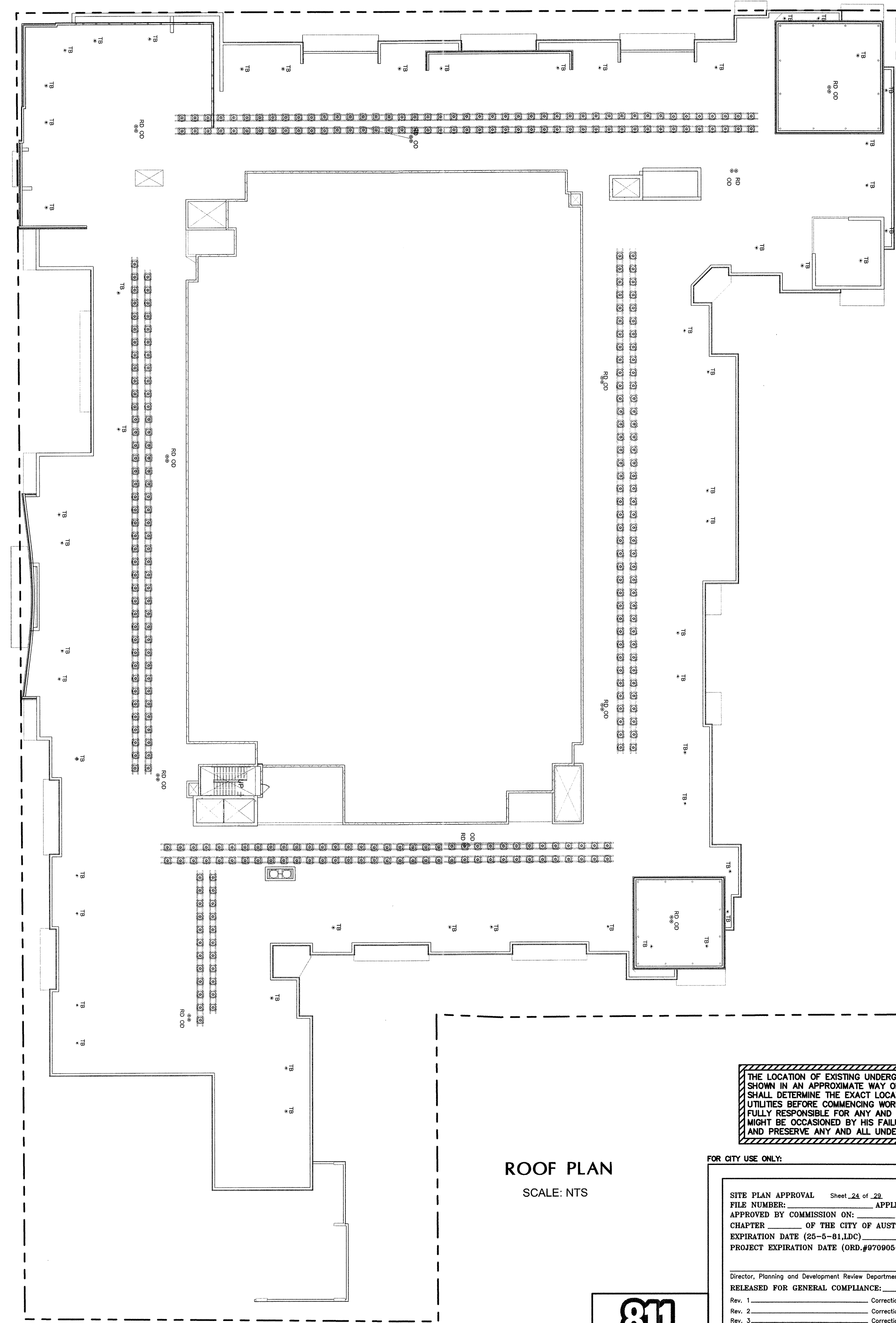
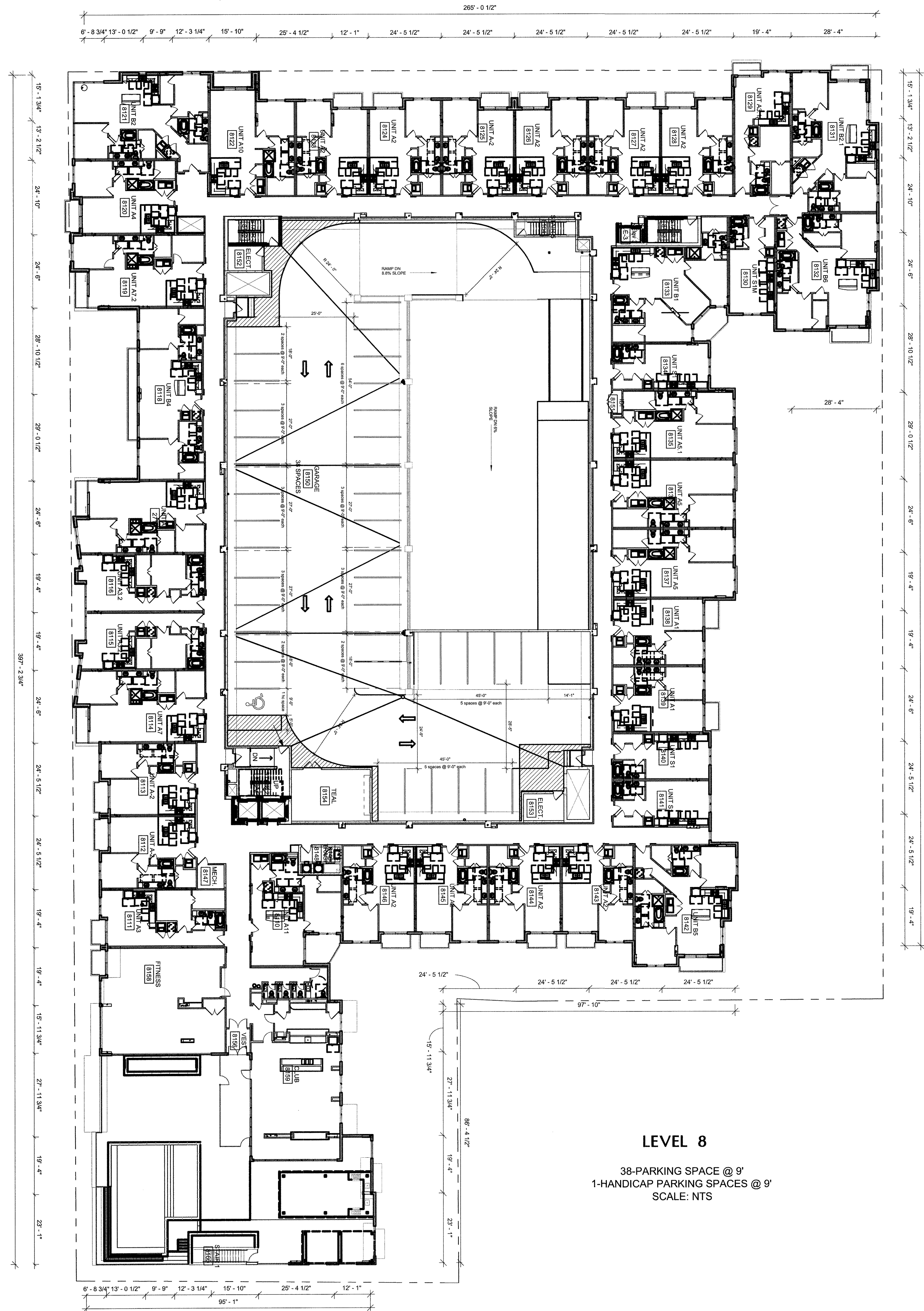
PROJECT NO.: 111120-10001

SHEET
23
OF
29

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REASON
DATE NO.
APPROVAL

SP-2013-0131C



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SITE PLAN APPROVAL Sheet 24 of 28

FILE NUMBER: _____ APPLICATION DATE: _____

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EXPIRATION DATE (25-5-81.LDC) _____ CASE MANAGER _____

PROJECT EXPIRATION DATE (ORD.#070905-A) _____ DWPZ _____ DDZ _____

Director, Planning and Development Review Department

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ARCHITECTURAL FLOOR
PLAN & GARAGE LAYOUT
LEVEL 8 & ROOF LEVEL

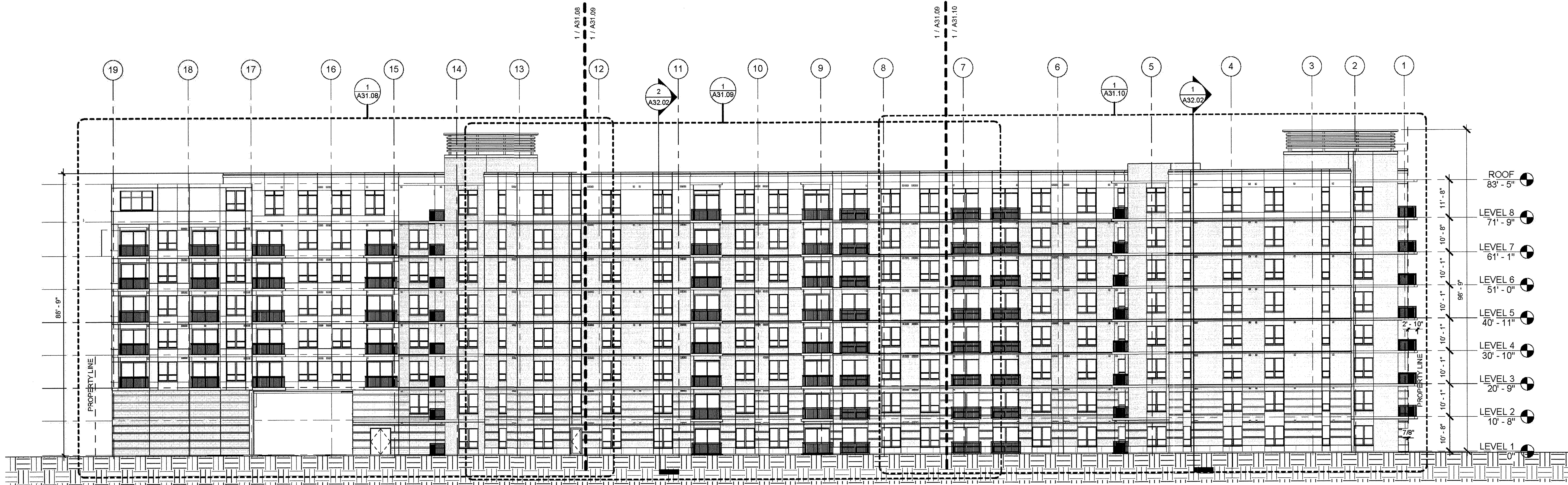
RAINEY STREET
91 RAINEY STREET
AUSTIN RAINEY ST. D/E/P, LLC

DRAWN BY: DGT
DESIGNED BY: JEM
REVIEWED BY: JEM
PROJECT NO.: 111120-10001

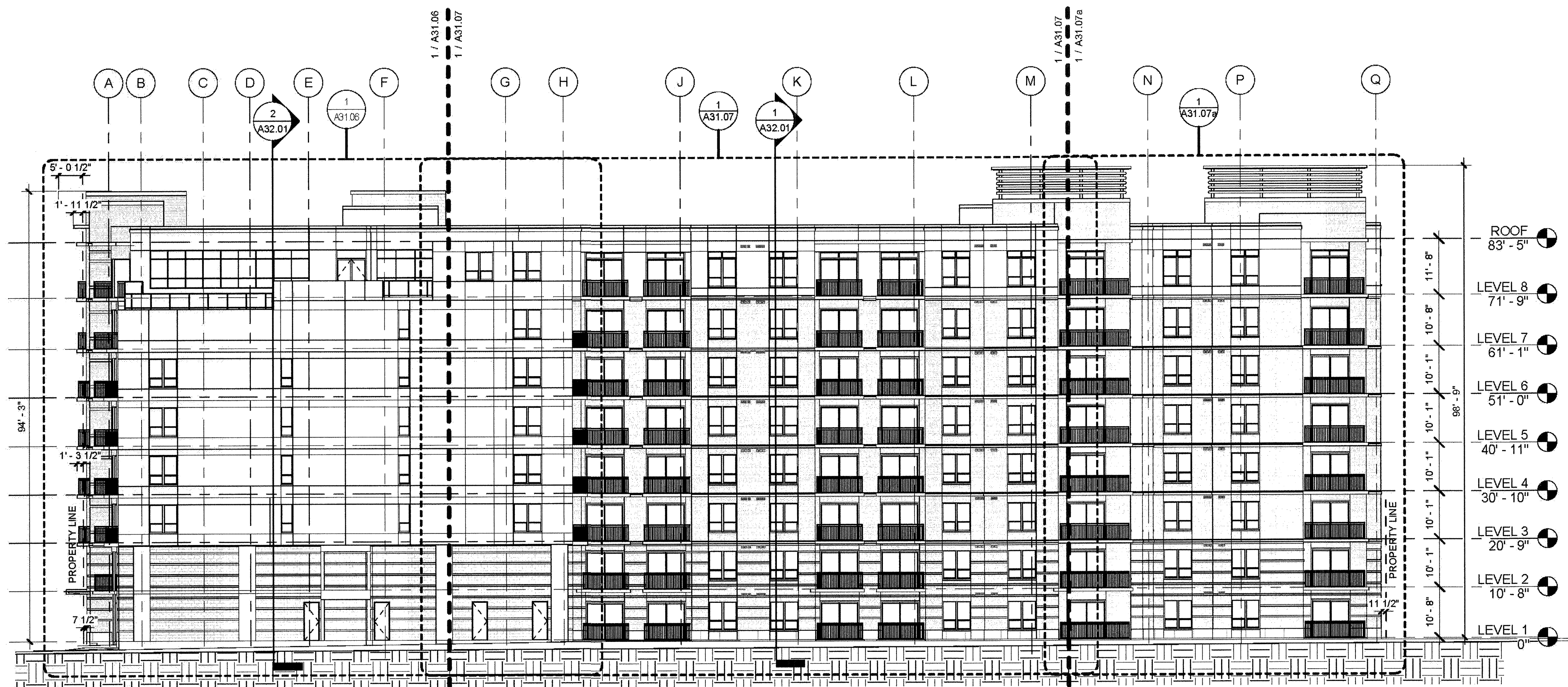
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24
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29

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DATE NO. REVISION APPROVAL



I-35 FEEDER ELEVATION



ALLEY ELEVATION

- NOTES:
1. COMPLIANCE WITH BUILDING DESIGN STANDARDS, ARTICLE 3 OF SUBCHAPTER 5, IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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SITE PLAN APPROVAL Sheet 25 of 25
FILE NUMBER: _____ APPLICATION DATE: _____
APPROVED BY COMMISSION ON: _____ UNDER SECTION _____ OF
CHAPTER _____ OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-81.LDC) CASE MANAGER _____
PROJECT EXPIRATION DATE (ORD.#070905-A) DWPZ DDZ _____

Director, Planning and Development Review Department
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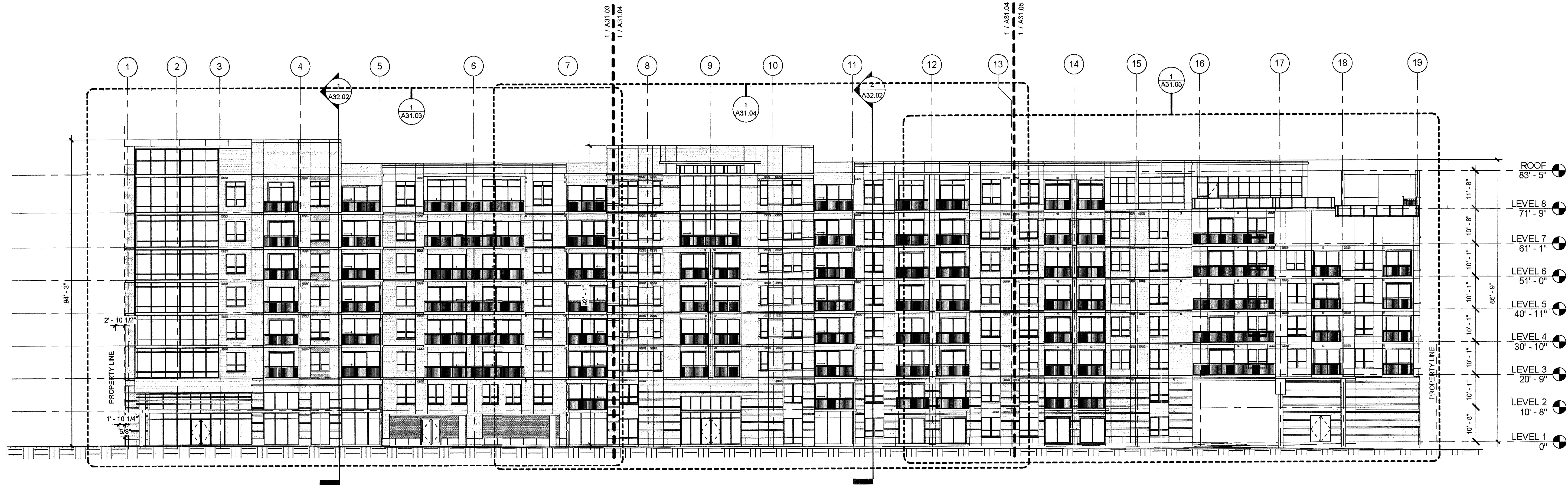


**ARCHITECTURAL
ELEVATIONS**

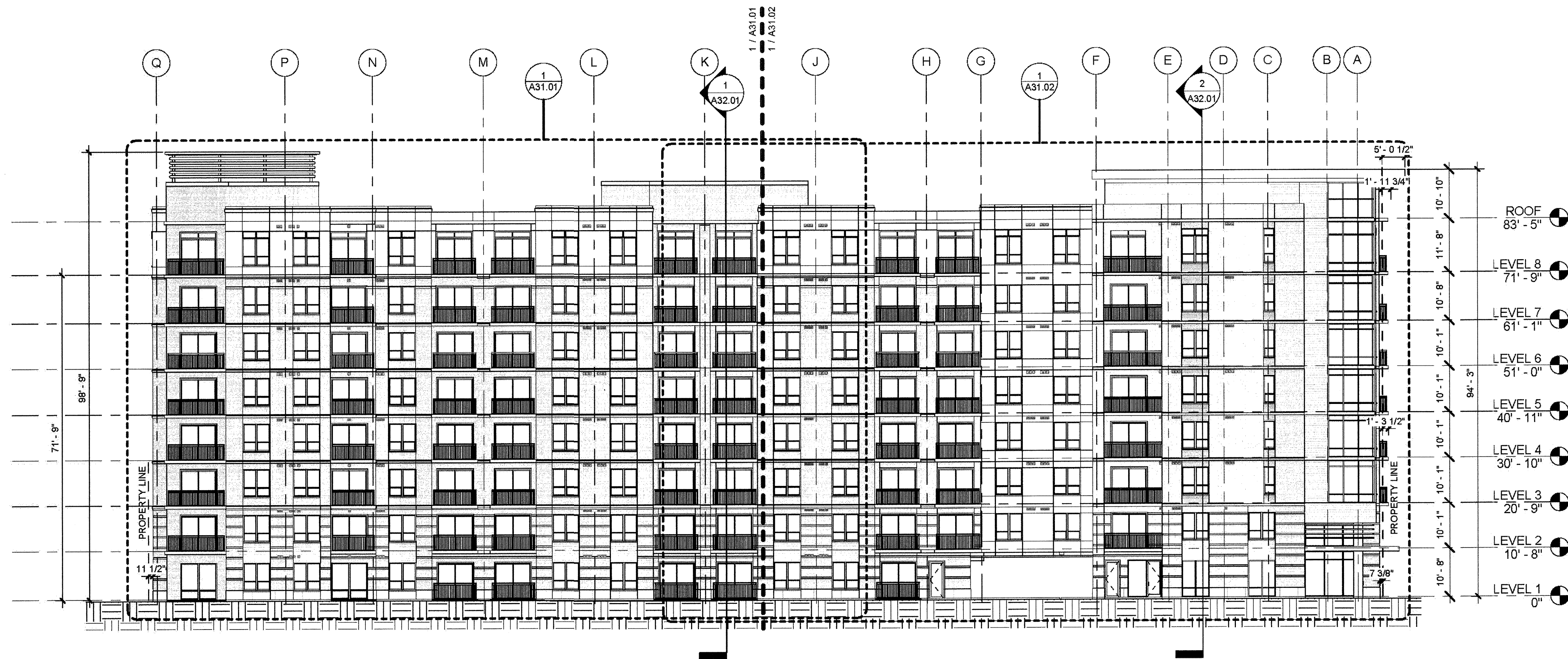
**RAINEY STREET
91 RAINEY STREET
AUSTIN RAINEY ST. D/E/P, LLC**

DRAWN BY: DCT
DESIGNED BY: JEM
REVIEWED BY: JEM
PROJECT NO.: 111120-10001

SHEET
25
OF 29



RAINEY STREET ELEVATION



DRISKILL STREET ELEVATION

NOTES:
1. COMPLIANCE WITH BUILDING DESIGN STANDARDS, ARTICLE 3 OF SUBCHAPTER E, IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW.

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SITE PLAN APPROVAL Sheet 26 of 29
FILE NUMBER: _____ APPLICATION DATE: _____
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EXPIRATION DATE (25-5-81.LDC) CASE MANAGER _____
PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ _____ DDZ _____

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REVISION	DATE	NO.	APPROVAL

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ARCHITECTURAL
ELEVATIONS

RAINEY STREET
91 RAINEY STREET
AUSTIN RAINEY ST. D/E/P, LLC

DRAWN BY: DST
DESIGNED BY: JEM
REVIEWED BY: JEM
PROJECT NO.: 111120-10001

SHEET
26
OF 29

TREE INVENTORY												
TREE INVENTORY												
Tag #	Species	Size (inches)	Save (Y/N)	Existing Onsite Trees			Heritage			Notes	Mit.	Mit.
				Removed	Preserved	Required	Removed	Preserved	Required			
900	Elm	12	N			14				100% Mit Required - ROW Tree		
901	Hackberry	12	N			12				33% Mit Required		
902	Hackberry	23	N	23		4				12.5% Mit Required		
903	Pecan	15	N			15				50% Mit Required		
904	Hackberry	16	N			16				28% Mit Required		
905	Elm	22	N	22		0				No Mit Required		
906	Pecan	23	N	23		23				100% Mit Required		
907	Hackberry	15	N			15				50% Mit Required		
908	Pecan	16	N			16				No Mit Required		
909	Hackberry	15	N			15				50% Mit Required		
910	Pecan	24	N					24		0		
911	Shin Oak	24	T					29		Transplant on Site		
912	Pecan	29	T					25		Transplant on Site		
913	Cedar	25	T							50% Mit Required		
914	Hackberry	14	N			14				No Mit Required, Invasive		
915	Chinese Tallow	16	N			16				50% Mit Required		
916	Pecan	17	N			17				50% Mit Required		
917	Pecan	13	N			13				50% Mit Required		
918	Hackberry	18	N			18				50% Mit Required		
919	Hackberry	18	N			18				No Mit Required, Invasive		
920	Tree of Heaven	16	N			16				50% Mit Required		
921	Elm	18	N			18				50% Mit Required		
922	Pecan	28	N					28		14		
923	Pecan	33	N					33		No Mit Required - Diseased		
924	Live Oak	10	N			10				25% Mit Required		
925	Hackberry	11	N			11				25% Mit Required		
926	Elm	10	N			10				50% Mit Required		
927	Box Elder	8	N	23		11.5				50% Mit Required		
928	Hackberry	12	N			8				25% Mit Required		
929	Hackberry	8	N			8				25% Mit Required		
930	Tree of Heaven	10	N			10				No Mit Required, Invasive		
931	Pecan	19	N	19		0				No Mit Required		
932	Tree of Heaven	13	N			13				No Mit Required, Invasive		
933	Hackberry	13	N			13				25% Mit Required		
934	Pecan	13	N			13				25% Mit Required		
935	Pecan	22	N	22		16.5				75% Mit Required		
936	Elm	26	N					26		100% Mit Required		
937	Pecan	15	N			15				No Mit Required		
938	Pecan	40	N					40		No Mit Required		
939	Pecan	16	N			16				50% Mit Required		
940	Live Oak	15	N			15				50% Mit Required		
941	Pecan	17	N			17				50% Mit Required		
942	Catalpa	22	N			22				No Mit Required		
943	Elm	18	N			18				50% Mit Required		
944	Pecan	37	Y					37		Remains in Place		
945	Pecan	28	N					28		50% Mit Required		
946	Shin Oak	27	T					27		Transplant on Site		
Sub. Tot. Inches				132	0	55	426	0	139.25	179	142	54
Total Inches by Category						132		426		321		
Percent Mitigation Performed						42%		33%		30%		
Mitigation Required						55		139		54		
Total Required						248						
Total Appendix F Tree Inches Surveyed								879				
Total Appendix F Tree Inches Removed								555				
Total Invasive Tree Inches Removed								55				
Total Mitigation Inches Planted on Site								132				

* CLIENT SELECTED OPTION OF PAYING INTO TREE FUND FOR REMAINING CALIPER INCHES.

AUSTIN LANDSCAPE CALCULATIONS

STREET YARD			
Total Site Area:		= 96,363 S.F.	
Total Street Yard Area:		= 2,459 S.F.	
Rainey Street		= 1,242 S.F.	
Driskill Street		= 1,215 S.F.	
IH-35/East Avenue			
Required Street Yard Landscape (20%)			
Rainey Street (2,459 x .20)		= 492 S.F.	2,459 S.F. (100%)
Driskill Street (2,442 x .20)		= 249 S.F.	1,242 S.F. (100%)
IH-35/East Avenue (12,429 x .20)		= 2,425 S.F.	12,125 S.F. (100%)
	Required	Provided	
TREES (street yard)			
Existing Tree Credit			
2' dia. - 6' dia.		N/A	
6' dia. or greater (Counts double)		= 5 Trees	
Rainey Street:			
918 - 25' Cedar Tree (2 x 15')		= 3' Cal	
IH-35/East Avenue			
911 - 24' Shin Oak Tree (2 x 15')		= 3' Cal	
912 - 29' Pecan Tree (2 x 15')		= 3' Cal	
944 - 37' Pecan Tree (2 x 15')		= 3' Cal	
946 - 27' Shin Oak Tree (2 x 15')		= 3' Cal	
Total:		= 15' Cal	
	Required	Provided	
Proposed Trees (street yard)			
Required caliper: 1 tree per every 1,000 S.F. (min Cal 15')			
Rainey Street (2 x 15')		= 4.5' Cal	54' Cal
Driskill Street (2 x 15')		= 3' Cal	48' Cal
IH-35/East Avenue (13 x 15')		N/A (13x15')	12' Cal (Existing and transplant trees)
Total:		= 12.5' Cal	114' Cal
REPLACEMENT TREES			
Required caliper: Inches replaced: 248' Cal (includes 14' required for R.O.W. trees)			
Number & size replacement tree total:			
9 Cedar Elms @ 6' Cal.		= 54' Cal	
8 Bald Cypress @ 6' Cal.		= 48' Cal	
10 Texas Redbud @ 3' Cal.		= 30' Cal	
Total:		= 132' Cal	
102' Cal. (100%) Appendix F Significant Shade Trees (includes 14' required for R.O.W. trees)			
ISLANDS, MEDIANS, OR PENINSULAS			
Street yard area		N/A - All Parking within Garage	
Non street yard		N/A - All Parking within Garage	
BUFFERING POINTS			
		N/A	
LANDSCAPE MAINTENANCE NOTE			
The OWNER will continuously maintain the required landscaping in accordance with LDC 25-2-984.			









GENERAL NOTES

- Planting soil mixture shall be composed the following:
Landscape Mix
35% Topsoil
25% Shredded Bark Mulch
25% Sand
15% Pine Bark
Palm Mix
Specification to meet Palm Soil
Mixture by Horticultural Consultants.
Contact @ 713.665.7256
- Bidding contractors be advised that all new tree material is to be container-grown corresponding to stated root ball sizes as recognized by industry standards. This shall exclude all B&B, machine moved, or transplanted trees from the bidding process unless otherwise indicated on the plan. The installation contractor shall be prepared to provide photographs of intended plant material along with signed clarification that plant material meets these requirements and that no variations or substitutions have been made.
- The Landscape Contractor doing the installation of this work shall submit to Kudela & Weinheimer information regarding sourcing of plant material. All plant material must be container grown and approved at the source of growth by Kudela & Weinheimer. Tree material meeting the specifications will be tagged with a serialized looking tag at the nursery by Kudela & Weinheimer. Plants arriving at the job site without these tags will be categorically rejected at contractor's expense.
- If the planting plan does not agree with the plant list the quantities indicated graphically on the planting plan shall govern.
- All disturbed areas are to receive four inches of topsoil, mulch, sod or hydromulch (depending on the area), and watered until a healthy stand of grass is established.
- Between proposed trees and water lines (where noted on plan), place root barrier per detail on Civil Sheet 24 to prevent spreading.

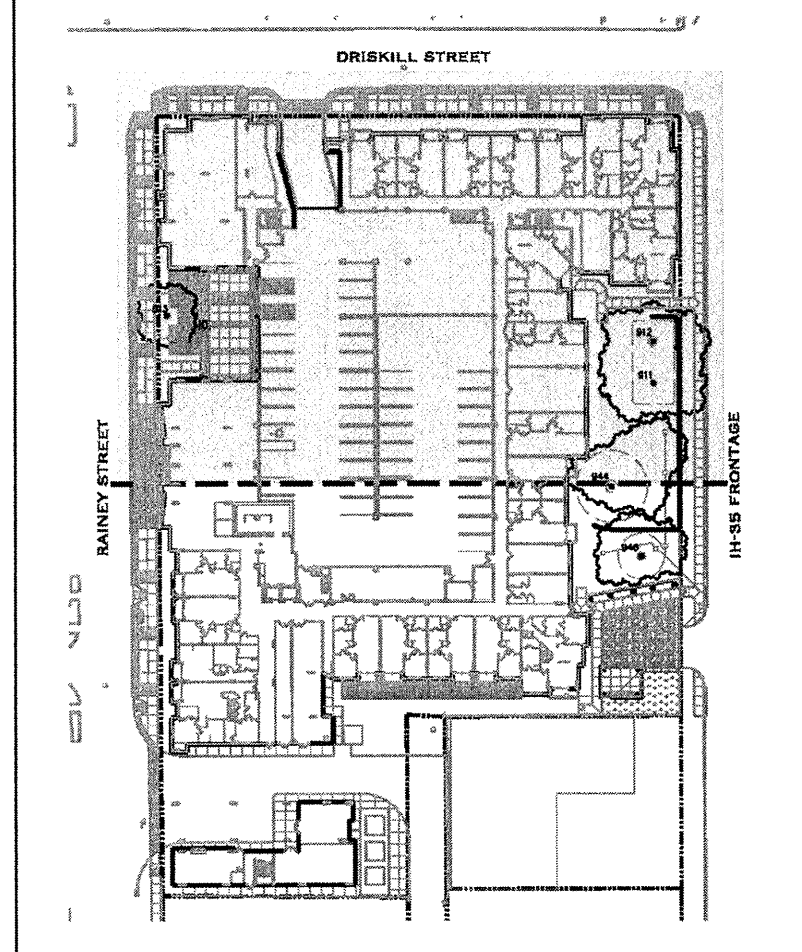
MITIGATION PROVIDED

QUANTITY	SPECIES	CALIPER	TOTAL
8	BALD CYPRESS	6'	48'
9	CEDAR ELMS	6'	54'
10	TEXAS REDBUD	3'	30'
		MITIGATION REQUIRED	248'
		MITIGATION PROVIDED	132'
		* INCLUDES 14' FOR R.O.W. TREES	

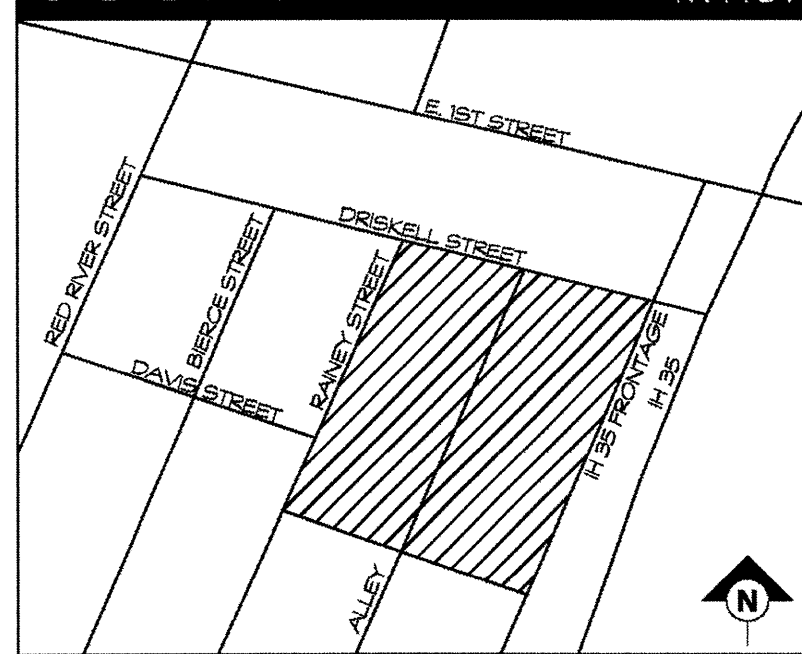
LEGEND

	LARGE TREE
	EXISTING TREE TO BE PRESERVED, SEE CIVIL PLAN
	ORNAMENTAL TREES
	SHRUBS/ GROUND COVER
	SOLID SOD
	DECOMPOSED GRANITE, SEE MATERIALS PLAN FOR TYPE
	DG
	STREET YARD
	3/4\"/>

KEY MAP



LOCATION MAP



PLANT KEY

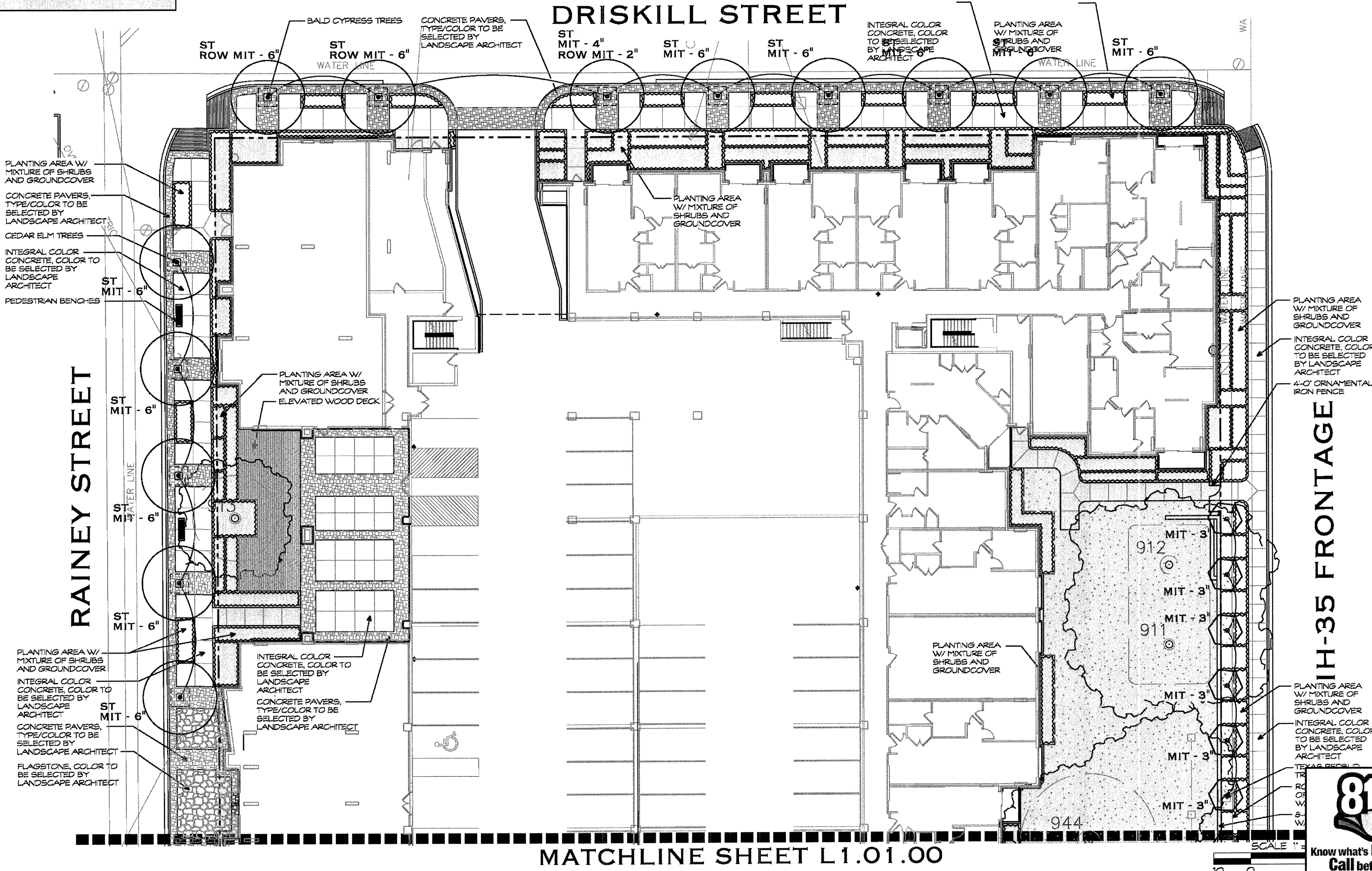
BC	BALD CYPRESS
CE	CEDAR ELM
RB	TEXAS REDBUD
IH	ITALIAN CYPRESS
WM	WAX MYRTLE
AA	ARTICHOKE AGAVE
AB	GLOSSY ABELIA
CS	CHERRY SAGE
DWM	DWARF WAX MYRTLE
GCM	GULF COAST MUHLY GRASS
IH	INDIAN HAWTHORN
LC	LOROPETALUM
TCM	TUSCARORA CRAPE MYRTLE
LB	LITTLE JOHN BOTTLEBRUSH
PL	PLUMBAGO
RM	ROSEMARY
TC	TURKS CAP
TLY	TWISTED LEAF YUCCA
FF	FOXTAIL FERN
DLVL	50/50 MIX STELLA DE ORO DAYLILY
LA	LOUISIANA IRIS
LN	TRAILING LANTANA
RR	ROCK ROSE
TB	TANGERINE BULBINE



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

FOR CITY USE ONLY:

SITE PLAN APPROVAL	Sheet 22 of 23.
FILE NUMBER:	APPLICATION DATE:
APPROVED BY COMMISSION ON:	UNDER SECTION OF
CHAPTER OF THE CITY OF AUSTIN CODE.	CASE MANAGER
EXPIRATION DATE (25-5-81.LDC)	PROJECT EXPIRATION DATE (ORD.#979005-A) DWP2 DDZ
Director, Planning and Development Review Department	ZONING:
RELEASED FOR GENERAL COMPLIANCE:	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENTLY AT THE TIME OF FILING, AND ALL REVISED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.	



[illegible]

KEY MAP

RAINNEY STREET

10TH STREET FRONTAGE

bBury+Partners
221 West Sixth Street, Suite 600
Austin, Texas 78701
Tel. (512)328-0011 Fax (512)328-0325
TBPB Registration Number F-1048
Bury+Partners, Inc. ©Copyright 2013

RAINEY STREET
91 RAINEY STREET

AUSTIN RAINEY ST. D/E/P, LLC

DRAWN BY: DGT
DESIGNED BY: JEM
REVIEWED BY: JEM
PROJECT NO. 111120-10001