

One Stop Shop  
505 Barton Springs Rd  
(512) 974-2632 - phone  
(512) 974-9112 - phone  
(512) 974-9109 - fax  
(512) 974-9779 - fax



All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

Austin Energy  
Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only  
For use in One Stop Shop Only

Responsible Person for Service Request

Rob DeCiano

Email

rob@eastsideand.com

Fax

Phone

512-947-7734

☒ Residential ☐ Commercial ☒ New Construction ☐ Remodeling

Project Address

1710 E. 18th 78702

OR

Legal Description

LOT 3 BLK 37 DIV B SALINA ADDN Lot 3

Block

Who is your electrical provider?

☒ AE

☐ Other

☒ Overhead Service

☐ Underground Service

☒ Single-phase (1Ø)

☐ Three-phase (3Ø)

Location of meter

Number of existing meters on gutter

(show all existing meters on riser diagram)

Expired permit #

Comments

New house and 2-story detached building with garage

BSPA Completed by (Signature & Print Name)

Date

Phone

Approved ☒ Yes ☐ No

AE Representative

Date

Phone

AE APPROVED

JUL 26 2013

205-305  
DRB

AE APPROVED

JUL 24 2013

205-32  
RLS

Application expires 180 days after the date of approval  
(Any change to the above information requires a new BSPA)

\*COA Records show meter will be in driveway  
Move meter to driveway

Austin

**WATER**

## Austin Water Utility

### Water & Wastewater Service Plan Verification (W&WW SPV)

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

(Please Print or Type)

Customer Name:	JEFF GRIOR	Phone:	214-710-5222	Alternate Phone:	
Service Address:	1710 E. 18TH 78702 (UNIT A) & 1800 SALINA 78702 (UNIT B)				
Lot:	3	Block:	37	Subdivision/Land Status:	SALINA ADDN
Tax Parcel ID No.:					
Existing Use:	vacant	single-family res.	duplex	garage apartment	other
(Circle one)					
Proposed Use:	vacant	single-family res.	duplex	garage apartment	other
(Circle one)					
Number of existing bathrooms:			Number of proposed bathrooms:	3/2	
Use of a pressurized auxiliary water system (i.e. rainwater harvesting, well water, lake/river water, etc.) Yes <input type="checkbox"/> No <input type="checkbox"/>					

City of Austin Office Use

Water Main size:	Service stub size:	3/4"	Service stub upgrade required?	YES	New stub size:	1 1/2"	
Existing Meter number:	99282	Existing Meter size:	5/8"	Upgrade required?	YES	New size:	2-5/8"
63' R/WL in Salina						Customer prefers	
WW Service: Septic System/On-Site Sewage Facility (OSSF) or WW Collection System				WW Main size:		2-5/8"	
15' E/WL @ 2'							

If a pressurized auxiliary water system is or will be installed, please contact the Utility's Special Services Division (SSD) at 972-1060, 3907 South Industrial Blvd., Suite 100 for consultation and approval.

Auxiliary Water (if applicable) Approved by SSD (Signature & Print name) Date Phone

Approved: ☐ Yes (see attached approved documents) ☐ No

If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Creek Center, 625 E. 10<sup>th</sup> Street, Suite 715 for consultation and approval.

W&WWSPV Completed by (Signature & Print name) Date Phone

OSSF (if applicable) Approved by UDS (Signature & Print name) Date Phone

AWU Representative Approved: ☐ Yes (see attached approved documents) ☐ No

NOTE: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

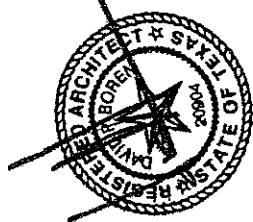
Verification expires 180 days after date of Submittal

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

**REVIEWED**

JUL 26 2013

AUSTIN WATER UTILITY  
CONSUMER SERVICE DIVISION - TAPS



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL

LOT 1

DECEMBER

JUL 26 2013

AUSTIN WATER UTILITY  
CONSUMER SERVICE DIVISION - TAPS

AE APPROVED  
JUL 25 2013  
207305  
DRB

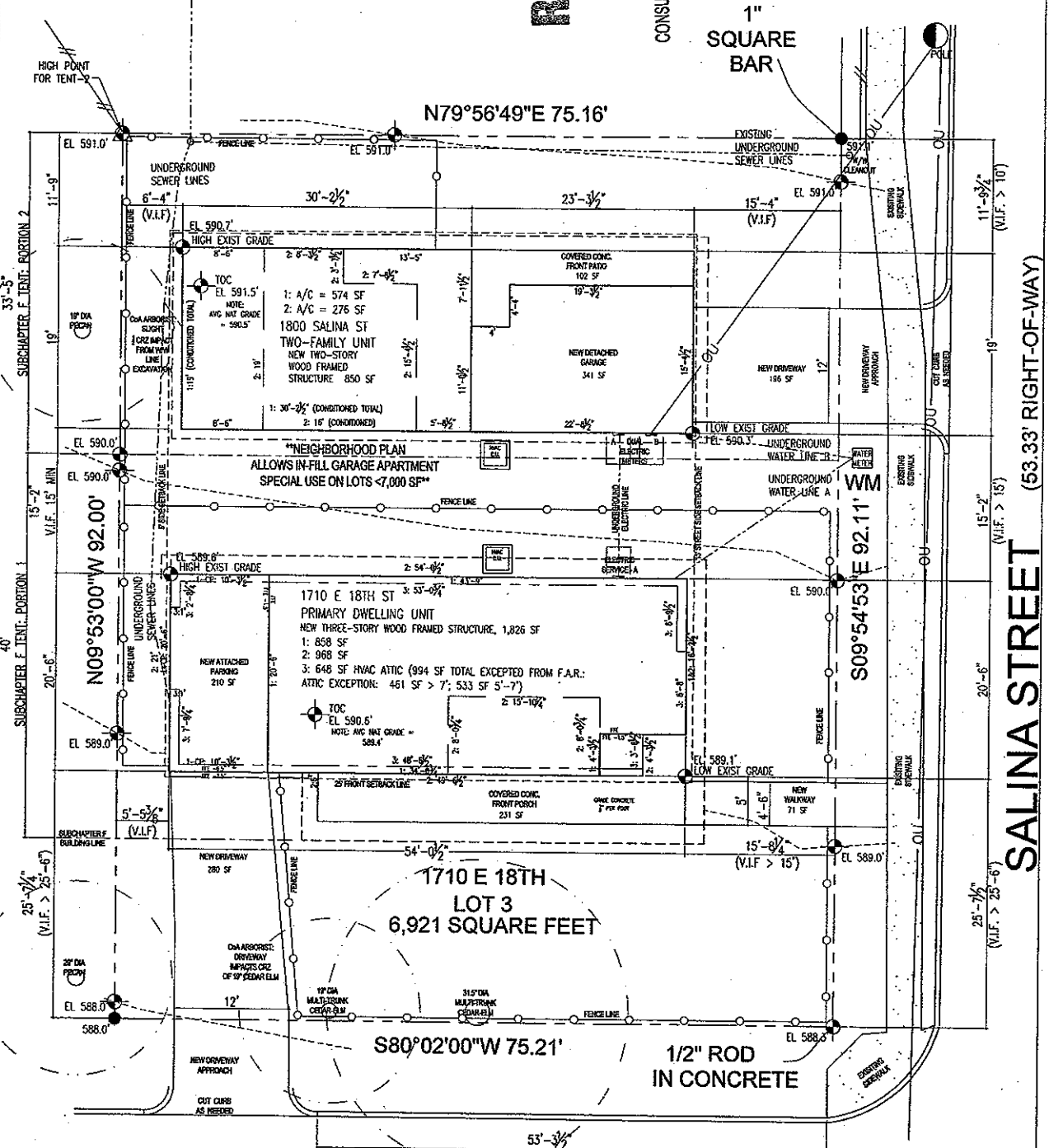
SITE PLAN

FULL-SCALE (22:34)  $\frac{3}{16}'' = 1'$   
HALF-SCALE (11:17)  $\frac{3}{32}'' = 1'$

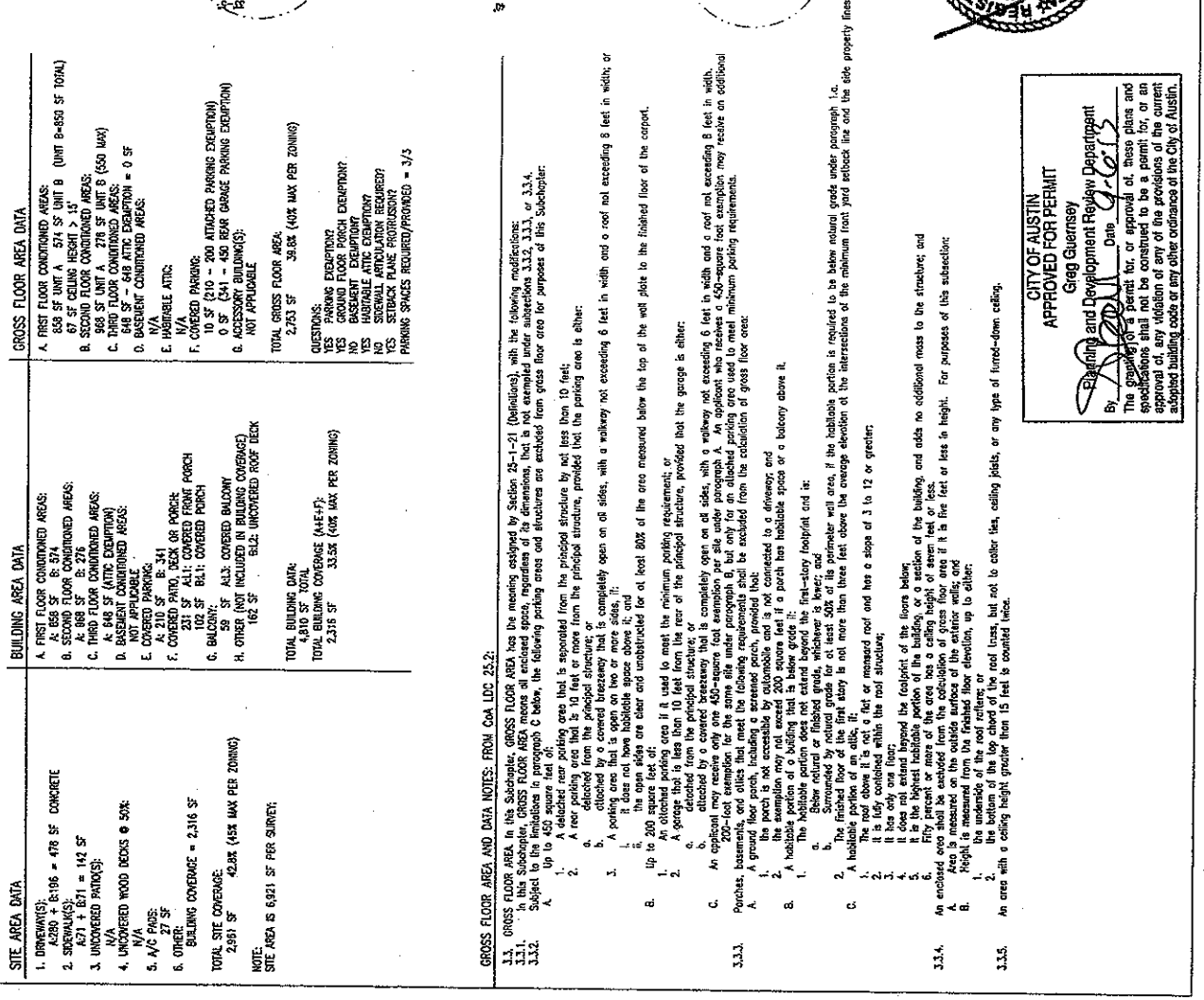
20'

10'

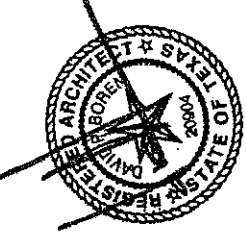
SCALE



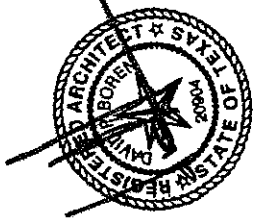
1710 E 18TH STREET  
(50' RIGHT-OF-WAY)  
BOOK 1, PAGE 3  
T.C.P.R.



NOTE: CoA PERMIT  
SCALE VERSION  
NEXT PAGE



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL

EAST SIDE MOD  
6 E 6 U N

1710 E 18TH ST  
NEW CONSTRUCTION  
TWO-FAMILY PROJECT  
JEFF GRIER  
1710 E 18TH ST  
AUSTIN TEXAS 78722  
PHONE: 512-442-7754  
EMAIL: ROBERT@EASTSIDEARCH.COM

DATE: 18 AUG 2013  
SHEET: 1  
SCALE: 1" = 10'  
SITE PLAN  
LARGE SCALE  
A-0.2

REVIEWED FOR ZONING ONLY *8/29/13*

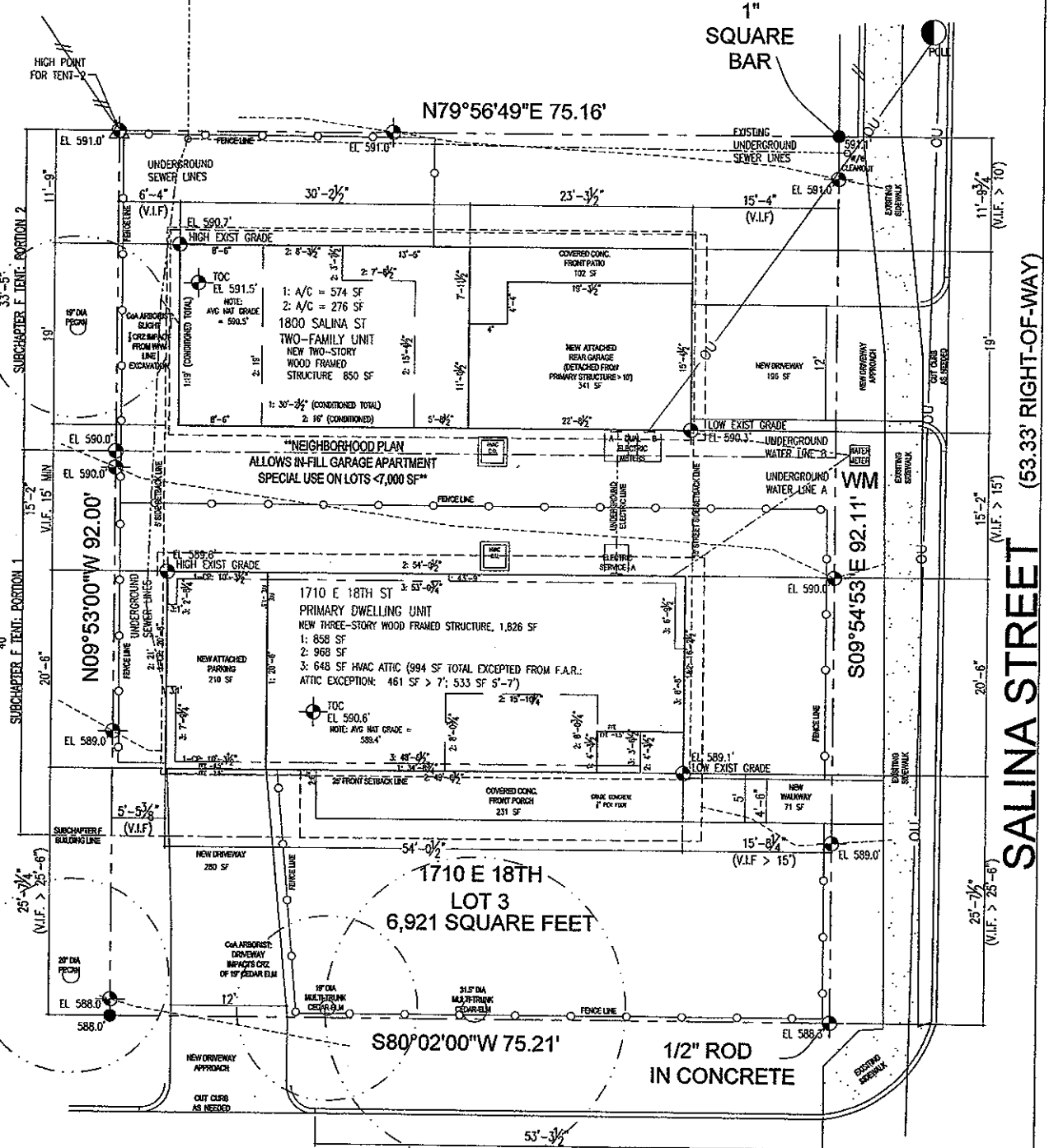
SITE PLAN | SP  
FULL-SCALE (2234): 3/16" = 1'  
HALF-SCALE (1117): 3/32" = 1'



LOT 1

1"  
SQUARE  
BAR

N79°56'49"E 75.16'



1710 E 18TH STREET  
(50' RIGHT-OF-WAY)  
BOOK 1, PAGE 3  
T.C.P.R.

## GROSS FLOOR AREA DATA

DATE	18 AUG 2013
PROJECT	1710 E. 18TH ST
SCALE	AS NOTED
DESIGN	DESIGN
APPROVAL	APPROVAL
REVISION	REVISION

2x6 STUD WALLS HATCHED FOR QUART;  
ALL OTHERS 2x4 UNLESS NOTED OTHERWISE  
ALL DIMENSIONS FROM EDGE OF CONCRETE OR FINISHING  
OR FROM CENTRELINE OF SCHEDULED OPENINGS TYP  
COORDINATE ALL BOUGH OPENINGS OF WINDOWS & DOORS  
WITH APPROPRIATE REQUIREMENTS  
WINDOWS ARE SHOWN ON PLAN BUT NOT SET ON CLIPS  
FOR EXTERIOR ELEVATIONS FOR ASOL INTD  
FOR EXTERIOR VIEWS & WINDOW HEAD HEIGHTS ARE 6'-7" 8'-4" TYP  
UNLESS NOTED OTHERWISE ON EXTERIOR ELEVATIONS  
WINDOW DOORS ARE 8'-0" 9'-0" TYP

[illegible]

BY THIS AGREEMENT, THE USER OF THE PRODUCT SHALL BE DEEMED TO HAVE ACCEPTED THE TERMS AND CONDITIONS OF THIS AGREEMENT. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PRODUCT AND THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PRODUCT.

1. DRIVEWAYS(S):  
A:280 + B:196 = 476 SF CONCRETE
2. SIDEWALK(S):  
A:71 + B:71 = 142 SF
3. UNCOVERED PATIO(S):  
N/A
4. UNCOVERED WOOD DECKS @ 50%:

5. A/C PADS: 27 SF  
6. OTHER: BUILDING COVERAGE = 2,316 SF  
TOTAL SITE COVERAGE: 2,961 SF 42.8% (45% MAX PER ZONING)

SITE AREA IS 6,921 SF PER SURVEY;

A. FIRST FLOOR CONDITIONED AREAS:  
A: 858 SF B: 574

B. SECOND FLOOR CONDITIONED AREAS:  
A: 468 SF B: 276

C. THIRD FLOOR CONDITIONED AREAS:  
A: 648 SF (ATTC EXEMPTION)

D. BASEMENT CONDITIONED AREAS:  
NOT APPLICABLE

E. COVERED PARKING:  
A: 210 SF B: 341

F. COVERED PATIO, DECK OR PORCH:  
231 SF AL1; COVERED FRONT PORCH  
102 SF BL1; COVERED PORCH

G. BALCONY:  
59 SF AL3; COVERED BALCONY

H. OTHER (NOT INCLUDED IN BUILDING COVERAGE)  
162 SF BL2; UNCOVERED ROOF DECK

4,810 SF TOTAL	
TOTAL BUILDING COVERAGE (A+E+F):	
2,316 SF	33.5% (40% MAX PER ZONING)

A. FIRST FLOOR CONDITIONED AREAS:  
868 SF UNIT A 574 SF UNIT B (UNIT B=850 SF TOTAL)  
67 SF CEILING HEIGHT > 15'

B. SECOND FLOOR CONDITIONED AREAS:  
968 SF UNIT A 276 SF UNIT B (550 MAX)

C. THIRD FLOOR CONDITIONED AREAS:  
648 SF - 648 ATTIC EXEMPTION = 0 SF

D. BASEMENT CONDITIONED AREAS:  
N/A

E. HABITABLE ATTIC:  
N/A

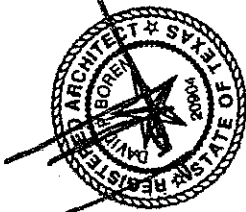
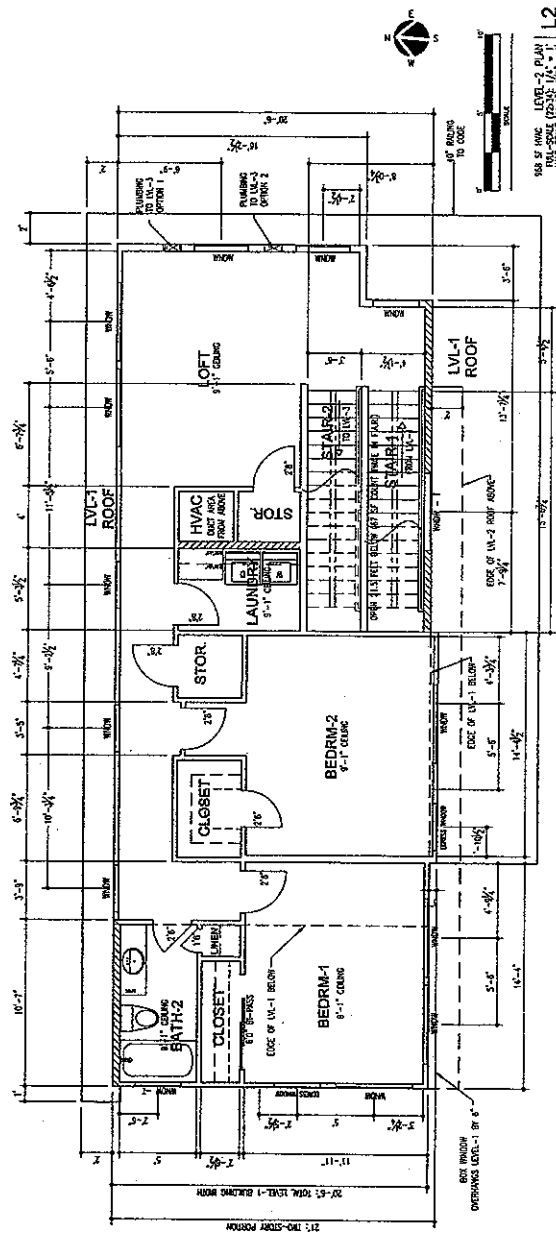
F. COVERED PARKING:  
10 SF (210 - 200 ATTACHED PARKING EXEMPTION)  
0 SF (341 - 450 REAR GARAGE PARKING EXEMPTION)

G. ACCESSORY BUILDING(S):

2.753 SF 39.8% (40% MAX PER ZONING)

YES PARKING EXEMPTION?  
YES GROUND FLOOR PORCH EXEMPTION?  
NO BASEMENT EXEMPTION?  
YES HABITABLE ATTIC EXEMPTION?  
NO SIDEWALL ARTICULATION REQUIRED?  
YES SETBACK PLANE PROTRUSION?  
PARKING SPACES REQUIRED/PROVIDED = 3

1. *Journal of the American Medical Association*, 1997; 277: 1001-1005.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL

**EAST SIDE MOD**

**1710 E 18TH ST**  
NEW CONSTRUCTION  
TWO-FAMILY PROJECT

OWNER INFO  
JEFF GRIER  
1710 E 18TH ST  
AUSTIN TEXAS 78702

UNIT.  
FLOOR  
PLANS:

DATE	PROJECT	SCALE	AS NOTED	ENGINEER	APPROVER
				RJD	RJD

A-2

REVIEWED FOR ZONING ONLY *LB* 9/6/13

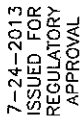




3.1. GROSS FLOOR AREA in this Subchapter. GROSS FLOOR AREA has the meaning assigned by Section 25-1-2(1) (Definitions), with the following modifications: In this Subchapter, GROSS FLOOR AREA means an enclosed space, regardless of its dimension, that is not exempted under subsections 3.3.2, 3.3.3, or 3.3.4. Subject to the limitations in paragraph C below, the following parking areas and structures are excluded from gross floor area for purposes of this Subchapter:

3.3.2. (a) In a 450,000 square foot or

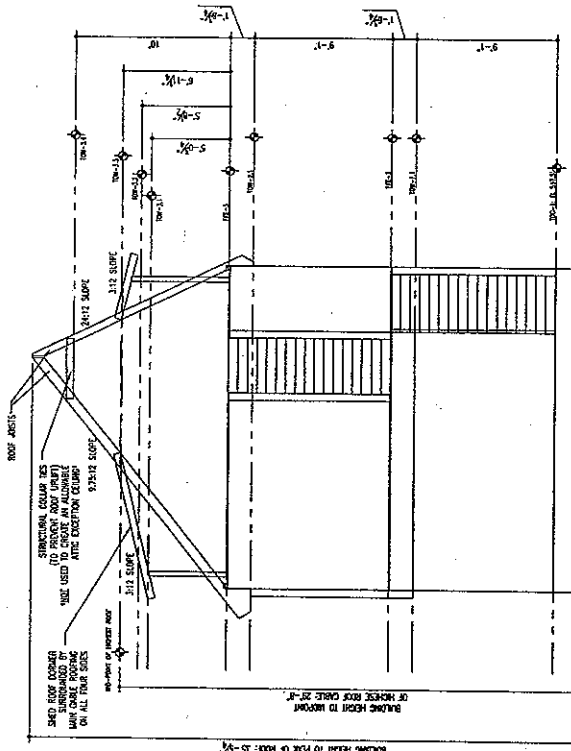
1. A new parking area that is 10 feet or more from the principal structure, provided that the parking area is either:  
a. detached from the principal structure; or  
b. attached by a covered driveway that is completely open on all sides, with a walkway not exceeding 8 feet in width, or  
c. a parking area that is open on two or more sides. If:  
1. the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the airport.  
2. the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the airport.  
Up to 200 square feet of:  
E. 1. An enclosed parking area if it is used to meet the minimum parking requirement; or  
2. A garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either:  
a. enclosed by a covered driveway that is completely open on all sides, with a walkway not exceeding 8 feet in width, and  
b. enclosed by a covered driveway that is completely open on all sides, with a walkway not exceeding 8 feet in width.  
C. An applicant may receive only one 450-square-foot exemption per site under paragraph A. An applicant who receives a 450-square-foot exemption may require an additional 200-foot exemption for the same site under paragraph B, but only for an enclosed parking area used to meet minimum parking requirements.  
Forfeiture.  
A. A grantee who receives a 450-square-foot exemption under paragraph A and who does not comply with the following requirements shall forfeit the exemption:  
1. the grant is not acceptable by subcommittee; and  
2. the project is not accepted by subcommittee and is not connected to a driveway and  
B. A habitable portion of a building may not exceed 200 square feet if a porch has habitable space or a balcony above it.  
1. The habitable portion does not extend beyond the first-story footprint and is:  
a. a porch;  
b. surrounded by natural grass for at least 50% of its perimeter wall; and  
c. The finished floor of the first story is not less than three feet above the average elevation of the intersection of the minimum front yard setback line and the side property line.  
C. A habitable portion of an attic, if:  
1. it is fully finished;  
2. it is fully conditioned within the roof structure;  
3. it has only one floor;  
4. it does not extend beyond the footprint of the floors below;  
5. it is the highest habitable portion of the building; or a section of the building, and sets no additional mass to the structure; and  
6. the area is not included from the calculation of gross floor area if it is less than 100 square feet in height.  
An enclosed area will be excluded from the calculation of gross floor area if it is less than 10 feet in height.  
A. Area is measured on the outside surface of the exterior walls; and  
B. Height is measured from the finished floor elevation, up to either:  
1. the bottom of the top chord of the roof truss, but not to color line, ceiling joists, or any type of curved-roof ceiling.  
2. An area with a ceiling height greater than 15 feet is counted twice.



ATTIC EXCESSION

DATE	18 AUG 2013	AS NOTED	
FROM	ROGER	ASSN	OKC/KD
TO	1710 E. 18TH ST	RJD	RJD
SCALE		UNANS	APPROV
		RJD	RJD
			CHIEF

**A-4**

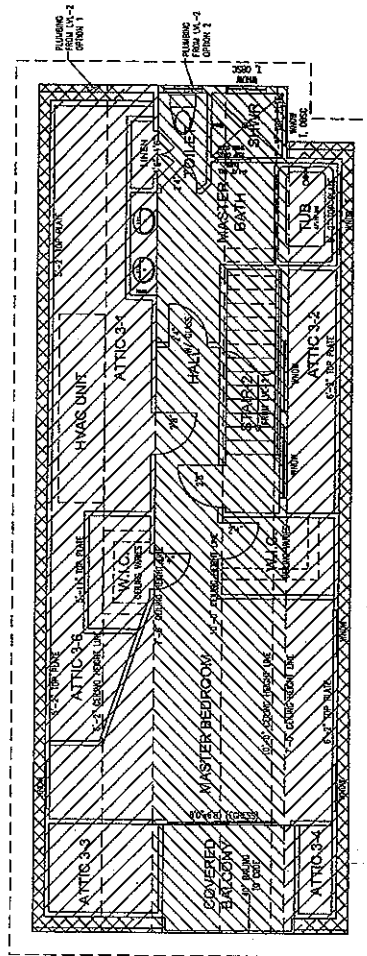
REVIEWED FOR ZONING ONLY 13 9/11/13

"A": ATTIC CEILING LESS THAN 5', 93 SQ FT

<sup>M</sup>B<sup>N</sup>: ATTIC CEILING 5'>7', 533 SQ FT

"B"@ 533 SF > "C"@ 461 SF - - ATTIC EXCEPTION ALLOWED

"C": ATTIC CEILING >= 7', 461 SQ FT



ELEVATION NOTES: FROM C&A LOC 25.2:

25.2.513 OPENNESS OF REQUIRED YARDS.

- (A) Except as otherwise provided in this section, a required yard must be open and unobstructed from finished grade to the sky. This restriction does not apply to a yard that is not required by this article.
- (B) A window sill, belt course, cornice, flue, chimney, eave, box window, or cantilevered bay window may project two feet into a required yard. The two foot limitation does not apply to a feature required for a possible energy design.
- (C) Uncovered steps or a porch or stoop that is not more than three feet above ground level may project three feet into a required yard.
- (D) A parking area may be located in a required yard, unless prohibited by Article 10(Compatibility Standards).

25.2 SUBCHAPTER F:

2.6 Setback Planes:

- 1. A structure may not extend beyond a setback plane, except for:
  - a. A structure authorized by the Residential Design and Compatibility Commission in accordance with Section 2.8 below;
  - b. A roof overhang or eave, up to two feet beyond the setback plane;
  - c. A chimney, vent, antenna, or energy conservation or production equipment or feature not designed for occupancy; and
  - d. Either:
    - (i) 30-Foot Side-Gabled Roof Exception. A side-gabled roof structure on each side of the building, with a total horizontal length of not more than 30 feet measured from the building line along the intersection with the side setback plane (See Figure 13.); or
    - (ii) Cobles or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane (See Figures 14 and 17.); and
    - (iii) Dormers, with a total horizontal length of not more than 15 feet on each side of the building, measured along the intersection with the setback plane. (See Figures 15 and 16.)

2.7 SIDE WALL ARTICULATION.

- 2.7.1: Except as provided in subsection 2.7.2, if a side wall of a building is more than 15 feet high and is an overage distance of less than nine feet from an interior lot line, the sidewall may not extend in an unbroken plane for more than 36 feet along a side lot line without a sidewall articulation that meets the requirements of this section.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL

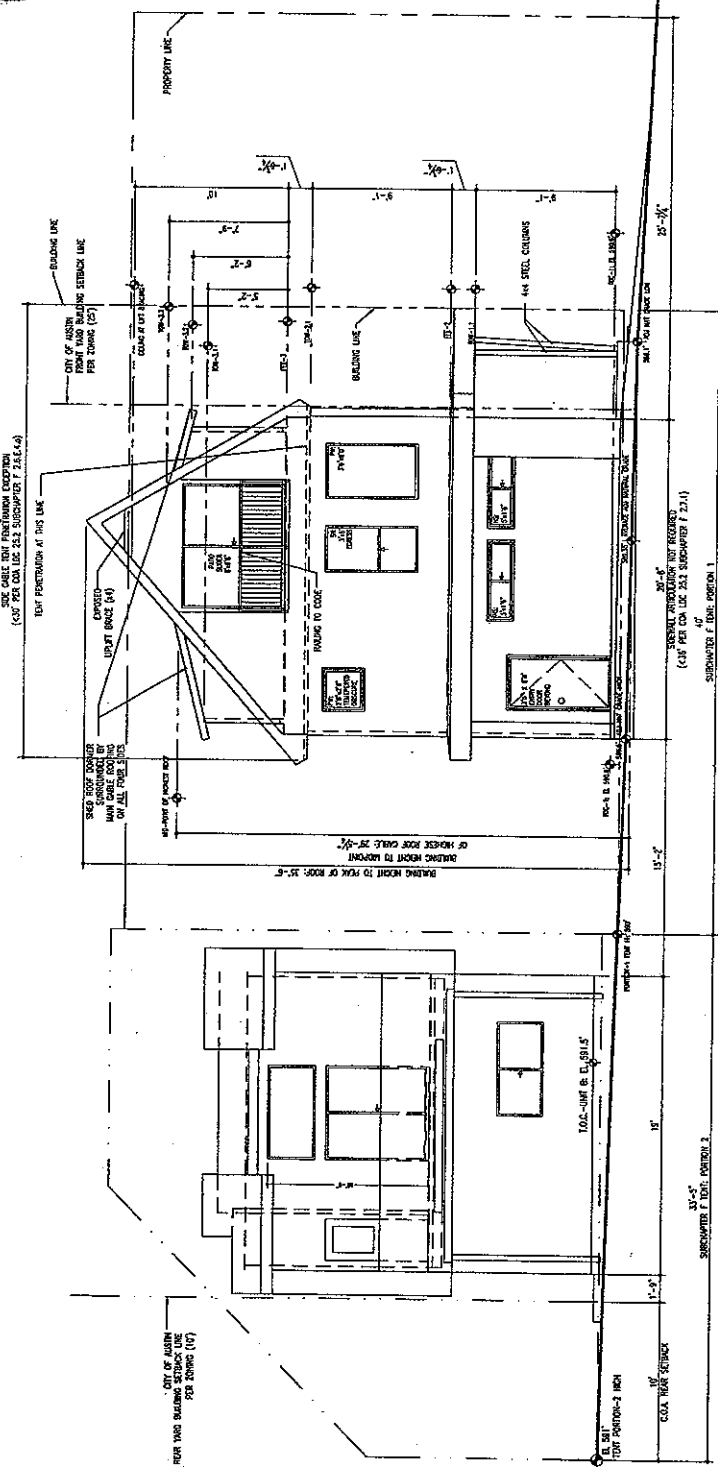
EAST SIDE MOD  
2 E 10 N

1710 E 18TH ST  
NEW CONSTRUCTION  
TWO-FAMILY PROJECT  
JEFF GRIER  
1710 E 18TH ST  
AUSTIN TEXAS 78702  
PHONE: 512-242-7752  
EMAIL: ROBERT@EASTSIDE.COM

UN.  
EXTERIOR  
ELEVATIONS:  
WEST  
DATE: 18 AUG 2013  
PROJECT: 1710 E 18TH ST  
SHEET: AS NOTED  
CITY: AUSTIN  
COUNTY: TRAVIS  
APPROVED: JLD  
SHEET: A-5

EXTENSION: 1710 E 18TH ST  
SUBMITTER: JLD

REVIEWED FOR ZONING ONLY 2/8/13





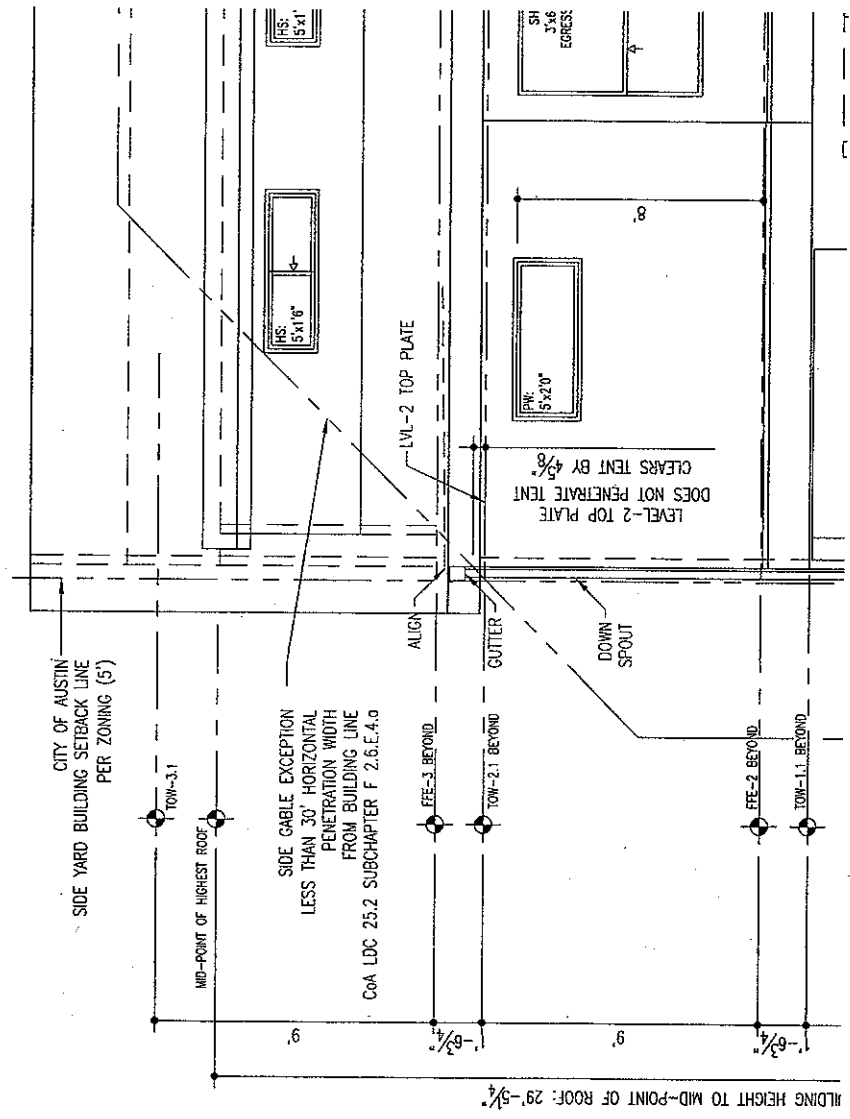


- (a) Except as otherwise provided in this section, a required yard must be open and unobstructed from finished grade to the sky. This restriction does not apply to a yard or part of a yard that is not required by this article.
- (b) A window air, belt course, cornice, fin, chimney, eave, box window, or conditioned air window may project two feet into a required yard. The two foot limitation does not apply to a feature required for a passive energy design.
- (c) Uncovered steps or a porch or stoop that is not more than three feet above ground level may project three feet into a required yard.
- (d) A parking area may be located in a required yard, unless prohibited by Article 10 (Compatibility Standards).

252.2 SUBCHAPTER F:

- 2.5 Setback Planes:
  - a. A structure may not extend beyond a setback plane, except for:
    - (i) A structure authorized by the Residential Design and Compatibility Commission in accordance with Section 2.8 below;
    - (ii) A roof overhang or eave up to two feet beyond the setback plane;
    - (iii) A chimney, vent, or energy conservation or production equipment or feature not designed for occupancy; and
    - (iv) Either:
      - (A) 30-Foot Side-Gabled Roof Exception. A side-gabled roof structure on each side of the building, with a total horizontal length of not more than 30 feet, measured from the building line along the intersection with the side setback plane (See Figure 13); or
      - (B) Gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane (See Figures 14 and 17); and
      - (C) Dormers, with a total horizontal length of not more than 15 feet on each side of the building, measured along the intersection with the setback plane. (See Figures 15 and 16.)

2.7. SIDE WALL ARTICULATION.  
2.7.1: Except as provided in subsection 2.7.2, if a side wall of a building is more than 15 feet high and is an average distance of less than nine feet from an interior lot line, the side wall may not extend in an unbroken plane for more than 35 feet along a side lot line without a sidewall articulation that meets the requirements of this section.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL

EAST SIDE MDD  
1710 E 18TH ST  
AUSTIN TEXAS 78702

1710 E 18TH ST  
AUSTIN TEXAS 78702  
PHONE: 512-542-7754  
EMAIL: MOBE@STUDIO2000.COM

JOFF GRIFF  
1710 E 18TH ST  
AUSTIN TEXAS 78702

UN  
EXITS:  
ELEVATIONS:  
SOUTH DETAIL

18 AUG 2013  
1710 E 18TH ST  
AS NOTED

24X36: 1" PER FOOT  
11X17: 1/4" PER FOOT

A-7.1

REVIEWED FOR ZONING ONLY 9/6/13

# ELEVATION NOTES: FROM CoA LDC 25.2:

## 25.2.513 OPENNESS OF REQUIRED YARDS:

- Except as otherwise provided in this section, a required yard must be open and unobstructed from finished grade to the sky. This restriction does not apply to a yard or part of a yard that is not required by this article.
- A window sill, belt course, cornice, flue, chimney, cone, box window, or cantilevered bay window may project two feet into a required yard. The two foot limitation does not apply to a feature required for a passive energy design.
- Uncovered steps or a porch or stoop that is not more than three feet above ground level may project three feet into a required yard.
- A parking area may be located in a required yard, unless prohibited by Article 10(Compatibility Standards).

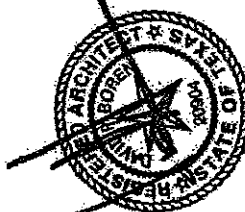
## 25.2 SUBCHAPTER F:

### 2.6 Setback Planes:

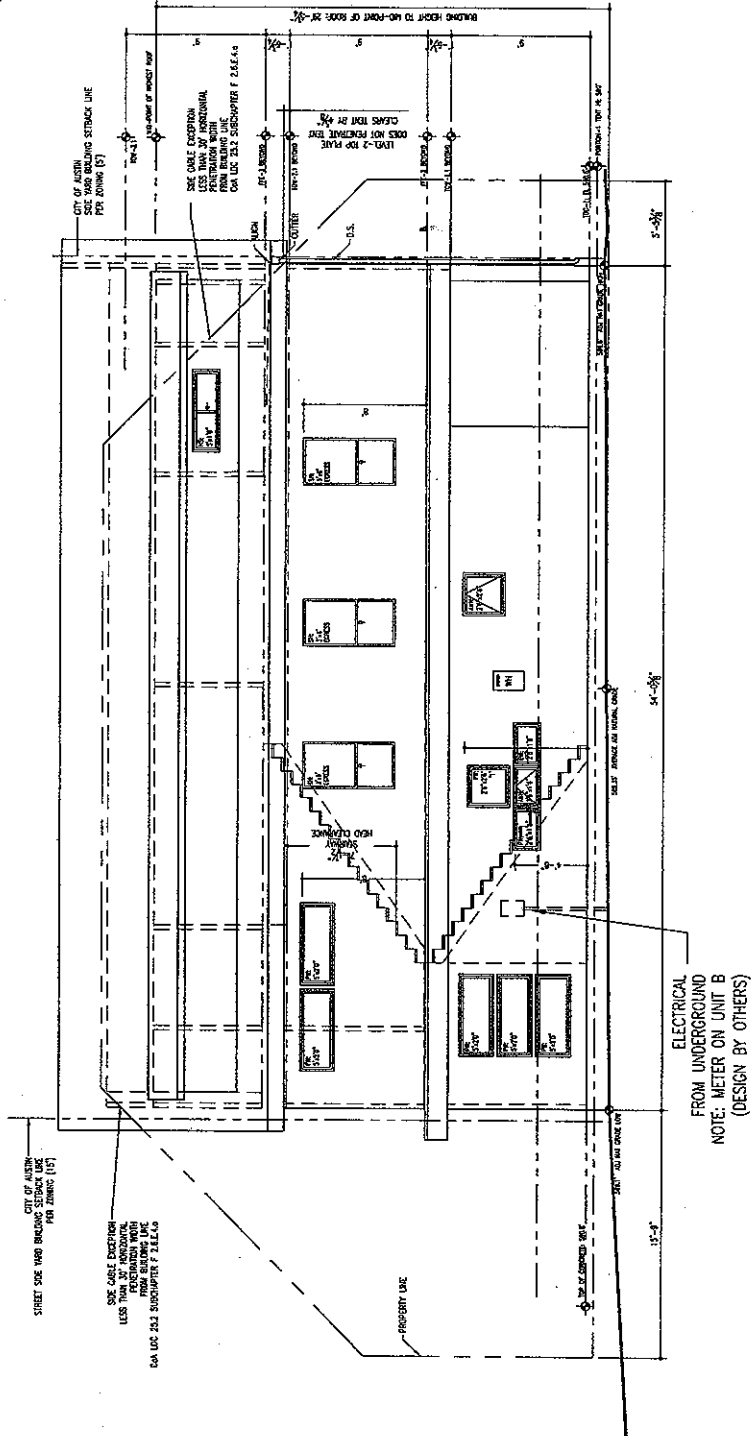
- A structure may not extend beyond a setback plane, except for:
  - A structure authorized by the Residential Design and Compatibility Commission in accordance with Section 2.8 below;
  - A roof overhang or eave, up to two feet beyond the setback plane;
  - A chimney, vent, antenna, or energy conservation or production equipment or feature not designed for occupancy; and
  - Either:
    - 30-Foot Side-Gabled Roof Exception. A side-gabled roof structure on each side of the building, with a total horizontal length of not more than 30 feet, measured from the building line along the intersection with the side setback plane (See Figure 13.); or
    - Gables Plus Dormers Exception.
      - Gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane (See Figures 14 and 17.); and
      - Dormers, with a total horizontal length of not more than 15 feet on each side of the building, measured along the intersection with the setback plane. (See Figures 15 and 16.)

## 2.7 SIDE WALL ARTICULATION:

- Except as provided in subsection 2.7.2, if a side wall of a building is more than 15 feet high and is an average distance of less than nine feet from an interior lot line, the sidewall may not extend in an unbroken plane for more than 35 feet along a side lot line without a sidewall articulation that meets the requirements of this section.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL



THIS SET IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF EAST SIDE MOD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF EAST SIDE MOD.

EAST SIDE MOD  
DESIGN  
1710 E 18TH ST  
AUSTIN, TEXAS 78702

1710 E 18TH ST  
AUSTIN, TEXAS 78702  
PHONE: 512-342-7754  
EMAIL: ROBERT@EASTSIDEMOD.COM

CONTRACT NO.  
JEFF GRIER  
1710 E 18TH ST  
AUSTIN, TEXAS 78702

UN.  
EXT.  
ELEVATIONS:  
NORTH

DATE: 18 AUG 2013  
PROJECT: 1710 E 18TH ST  
SCALE: AS NOTED  
KEY: CHANGES  
DRAWN: JLD  
CHECKED: JLD  
APPROVED: JLD

A-8

REVIEWED FOR ZONING ONLY 2.9/13

25.2.513 OPENNESS OF REQUIRED YARDS.

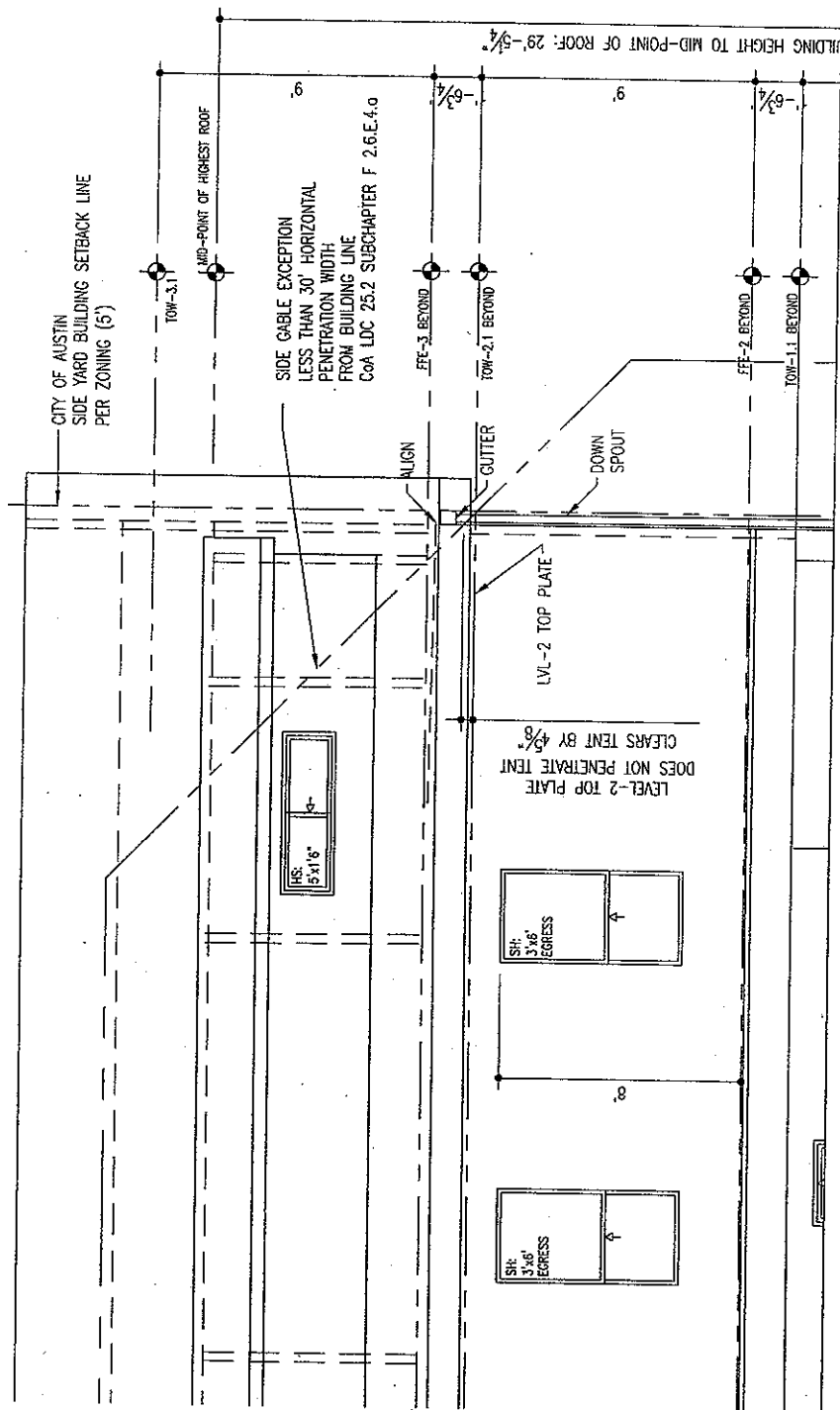
- (A) Except as otherwise provided in this section, a required yard must be open and unobstructed from finished grade to the sky. This restriction does not apply to a yard or part of a yard that is not required by this article.
- (B) A window sill, belt course, cornice, flat, chimney, eave, box window, or cantilevered bay window may project two feet into a required yard. The two foot limitation does not apply to a feature required for a passive energy design.
- (C) Uncovered steps or a porch or stoop that is not more than three feet above ground level may project three feet into a required yard.
- (D) A parking area may be located in a required yard, unless prohibited by Article 10(Compatibility Standards).

25.2 SUBCHAPTER F:  
2.6 Setback Planes:  
E.

- A structure may not extend beyond a setback plane, except for:
  1. A structure authorized by the Residential Design and Compatibility Commission in accordance with Section 2.8 below;
  2. A roof overhang or eave, up to two feet beyond the setback plane;
  3. A chimney, vent, antenna, or energy conservation or production equipment or feature not designed for occupancy; and
  4. Either:
    - a. 30-Foot Side-Gabled Roof Exception. A side-gabled roof structure on each side of the building, with a total horizontal length of not more than 30 feet, measured from the building line along the intersection with the side setback plane (See Figure 13.); or
    - b. Gables Plus Dormers Exception.
      - (i) Gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane (See Figures 14 and 17); and
      - (ii) Dormers, with a total horizontal length of not more than 15 feet on each side of the building, measured along the intersection with the setback plane. (See Figures 15 and 16.)

2.7. SIDE WALL ARTICULATION.

- 2.7.1: Except as provided in subsection 2.7.2, if a side wall of a building is more than 15 feet high and is on average distance of less than nine feet from an interior lot line, the sidewall may not extend in an unbroken plane for more than 36 feet along a side lot line without a sidewall articulation that meets the requirements of this section.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL



EAST SIDE MOD  
DESIGN  
1710 E 18TH ST  
AUSTIN, TEXAS 78702

JEFF CRIER  
1710 E 18TH ST  
AUSTIN, TEXAS 78702  
PHONE 512-942-7754  
EMAIL: JCRIER@EASTSIDEMOD.COM

DATE	18 AUG 2013
PROJECT	1710 E. 18TH ST
SCALE	AS NOTED
REVISION	1. R.D.
DATE	18 AUG 2013
BY	JEFF CRIER
CHECKED	JEFF CRIER
DATE	18 AUG 2013
BY	JEFF CRIER
CHECKED	JEFF CRIER
DATE	18 AUG 2013
BY	JEFF CRIER
CHECKED	JEFF CRIER

A-8.1

SCALE:  
24X36: 1/4" PER FOOT  
11X17: 1/8" PER FOOT

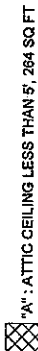
REVIEWED FOR ZONING ONLY 2.9/16/13

## EXTERIOR DOORS AND STAIRS

NOT-RECOMMENDED SYSTEM SHALL FEATURE AN SSS-MODED BEAM ENCASEMENT WITH "THINWALL" CAP SHEET AS MANUFACTURED BY SFLAST, WITH FINISH OF DECK SYSTEM BY OTHERS BUT COORDINATED WITH A LICENSED PLAST RESPONDENT.

[illegible]

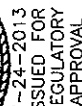
242 TOWNSHIP HUNTERS FOR CLINT.  
ALL OTHERS WILL BE SEEN BY THE  
ALL PERSONS FROM FROM THE  
OR FROM CONSIDER OF CONSIDER THE  
CONSIDER ALL REASON OF REASON & DOORS  
WITH ANOTHER REQUIREMENTS  
WINDOWS ARE SHOWN ON PLAN ON  
AT EACH RECHT FORM  
RE: EXTERIOR ELEVATIONS FOR THE  
ALL DOORS & WINDOWS HEAD HEIGHTS ARE 4'-11" AFF  
UNLESS NOTED OTHERWISE ON EXTERIOR ELEVATIONS OR PLANS



ATTIC CEILING 5'x7', 91.2 SQ FT

10" : ATTIC CEILING = 7' 90.6 SQ FT

FB" @ 91.2 SF > "C" @ 90.6 SF - - ATTIC EXCEPTION ALLOWED



REVIEWED FOR ZONING ONLY 2/9/13

**EAST SIDE MOD**

1770 E 181st St  
New Construction  
Two-Family Project  
East Side Mod Design  
Phone: 512-942-7754  
Email: ROBB@EASTSIDE00.COM

JEFF GRIER  
1710 E 18TH ST  
AUSTIN TEXAS 78702

1800 SAL  
(UNIT  
FLOOR PL  
LVL-1 & LVL-2

18 AUG 2013	A5 NOTED	DISCLOSURE RUD	APPROVED RUD
-------------	----------	-------------------	-----------------



# 25-2-51.3. OPENNESS OF REQUIRED YARDS.

- (A) Except as otherwise provided in this section, a required yard must be open and unobstructed from finished grade to the sky. This restriction does not apply to a yard or portion of a yard that is not required by this article.
- (B) A structure, including any attached structure, that is not a detached structure, shall not be constructed so that the structure or any portion of the structure, including any attached structure, does not project more than three feet above ground level into a required yard.
- (C) Uncovered alleys or a porch or stoop that is not more than three feet above ground level may project three feet into a required yard.
- (D) A parking area may be located in a required yard, unless prohibited by Article 10 (Compatibility Standards).

\*\*\* For Shed Roof exception (SEE 25.2 Subchapter F (Addendum): 26.6.4.3.3).

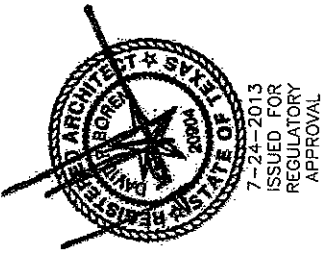
## 25.2. Subchapter F.

### 25.2. Subchapter F.

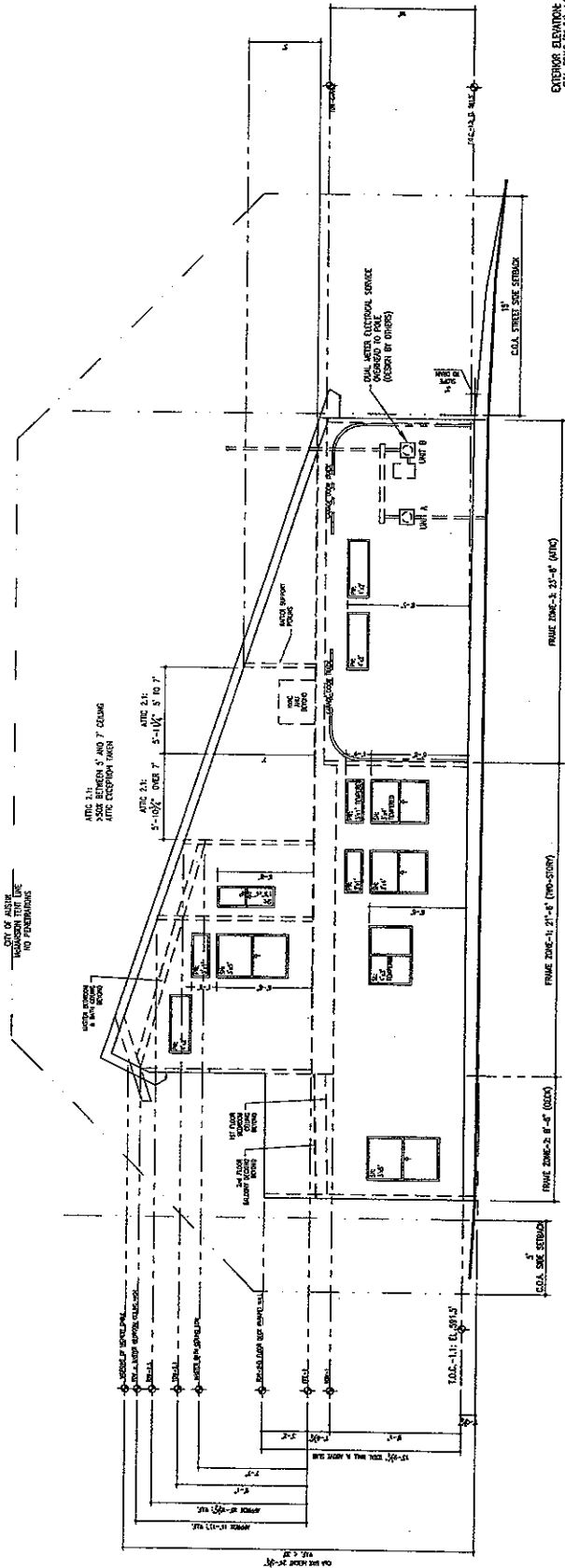
- 2.6. Subchapter F.
  - (A) Exceptions. A structure may not extend beyond a setback plane, except for:
    1. A structure that is not a detached structure, as determined by the Residential Design and Compatibility Commission in accordance with Section 25.9.
    2. A roof overhang or eave up to two feet beyond the setback plane.
    3. A chimney, vent, antenna, or energy conservation or production equipment or feature not designed for occupancy; and
    4. Other:
      - (i) To-Foot Side-Gabled Roof Exception. A side-gabled roof structure on each side of the building, with a total horizontal length of not more than 15 feet, measured from the building line along the intersection with the side setback plane (See Figure 13.3); or
      - (ii) Gables Plus Dormers Exception.
        - (a) Gables or a gabled roof, with a total horizontal length of not more than 15 feet, measured from the building line along the intersection with the setback plane (See Figures 14 and 15); and
        - (b) Dormers, with a total horizontal length of not more than 15 feet on each side of the building, measured along the intersection with the setback plane. (See Figures 15 and 16.)

### 2.7. SIDE WALL PROJECTION.

2.7.1. Except as provided in subsection 2.7.2, if a side wall of a building is more than 15 feet high and is an overage distance of less than six feet from an interior lot line, the side wall may not extend in an unbroken plane for more than 36 feet along the lot line without a lateral circulation that meets the requirements of this section.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL



EXTENSIVE BLINDNESS SOUTH  
NAT. SCALE (1/8" = 1'-0")  
S

B-2

REVIEWED FOR ZONING ANNUAL 7/16/13

**EAST SIDE MOD**  
DESIGN

1710 E 18TH ST  
NEW CONSTRUCTION  
TWO-FAMILY PROJECT

PHONE: 512-542-7754  
EMAIL: ROBERT@EASTSIDEMOD.COM

JEFF ORR  
1710 E 18TH ST  
AUSTIN TEXAS 78702

UNIT  
ELEVATIONS:  
SOUTH

1800 S.

DATE: 18 AUG 2013  
PROJECT: 1710 E 18TH ST  
SCALE: AS NOTED  
SHEET: 2/2

# ELEVATION NOTES: FROM CoA LDC 25.2:

## 25.2.513 OPENNESS OF REQUIRED YARDS.

- Except as otherwise provided in this section, a required yard must be open and unobstructed from finished grade to the sky. This restriction does not apply to a yard or part of a yard that is not required by this article.
- A window sill, belt course, cornice, fin, chimney, eave, box window, or cantilevered bay window may project two feet into a required yard. The two-foot limitation does not apply to a feature required for a passive energy design.
- Uncovered steps or a porch or stoop that is not more than three feet above ground level may project three feet into a required yard.
- A parking area may be located in a required yard, unless prohibited by Article 10(Compatibility Standards).

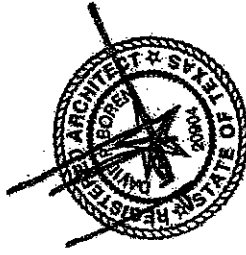
## 25.2 SUBCHAPTER F.

### 2.6 Sideback Planes:

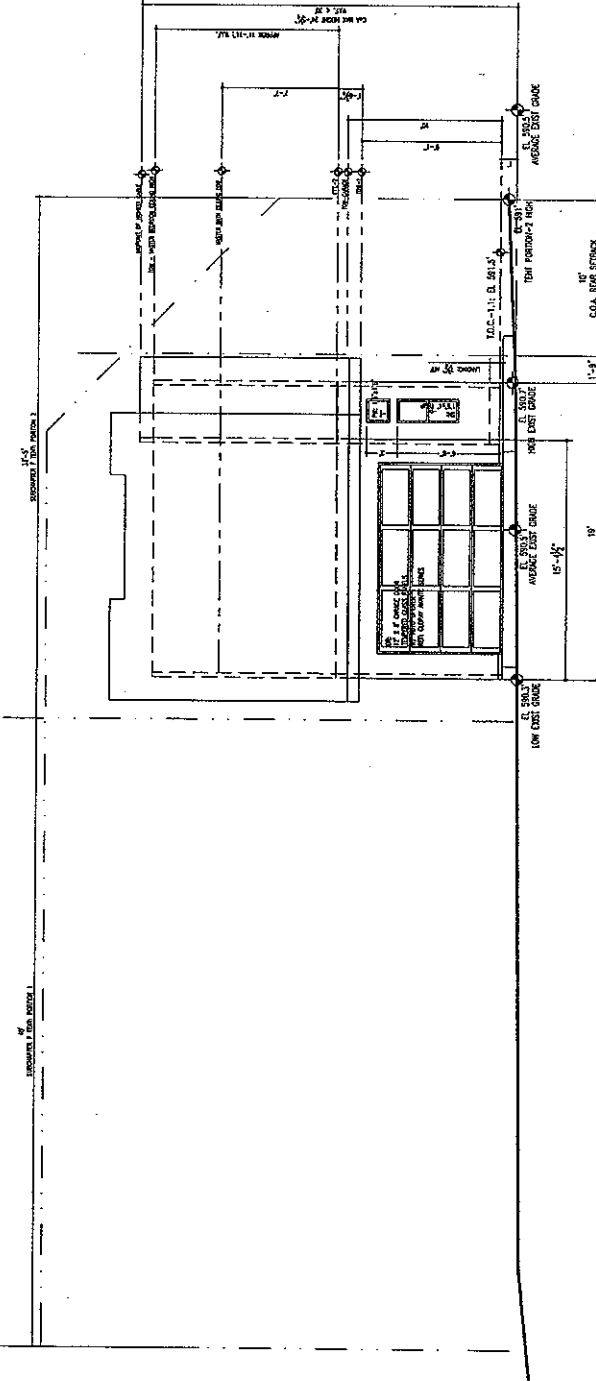
- A structure may not extend beyond a sideback plane, except for:
  - A structure authorized by the Residential Design and Compatibility Commission in accordance with Section 2.8 below;
  - A roof overhang or eave, up to two feet beyond the sideback plane;
  - A chimney, vent, antenna, or energy conservation or production equipment or feature not designed for occupancy; and
  - Either:
    - 30-Foot Side-Gabled Roof Exception. A side-gabled roof structure on each side of the building, with a total horizontal length of not more than 30 feet, measured from the building line along the intersection with the side setback plane (See Figure 13.); or
    - Gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane (See Figures 14 and 17.); and
    - Derriers, with a total horizontal length of not more than 15 feet on each side of the building, measured along the intersection with the setback plane. (See Figures 15 and 16.)

### 2.7. SIDE WALL ARTICULATION.

- Except as provided in subsection 2.7.2, if a side wall of a building is more than 15 feet high and is an overage distance of less than nine feet from an interior lot line, the sidewalk may not extend in an unbroken plane for more than 36 feet along a side lot line without a sidewalk articulation that meets the requirements of this section.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL



<b>1710 E 18TH ST</b> NEW CONSTRUCTION TWO-FAMILY PROJECT PHONE: 512-942-7754 EMAIL: ROBERT@STISIDEMOD.COM		OWNER: JEFF GRIER 1710 E 18TH ST AUSTIN TEXAS 78702	DRAWING TITLE: (UNIT 07) EXTERIOR ELEVATIONS: E	DATE: 18 AUG 2013 PROJECT: 1710 E 18TH ST ROAD: AS NOTED ADDRESS: 1710 E 18TH ST CITY: AUSTIN COUNTY: TRAVIS STATE: TX ZIP: 78702	<b>B-3</b>
------------------------------------------------------------------------------------------------------------------------	--	-----------------------------------------------------------	----------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------	------------

EXTERIOR ELEVATION: EAST  
 1/4" = 1'-0" (1/4" = 1'-0")

REVIEWED FOR ZONING ONLY *2/1/12*

25.2.513 OPENNESS OF REQUIRED YARDS.

- (A) Except as otherwise provided in this section, a required yard must be open and unobstructed from finished grade to the sky. This restriction does not apply to a yard or part of a yard that is not required by this article.
- (B) A window sill, belt course, cornice, flue, chimney, soot, box window, or cantilevered bay window may project two feet into a required yard. The two foot limitation does not apply to a feature required for a passive energy design.
- (C) Uncovered steps or a porch or stoop that is not more than three feet above ground level may project three feet into a required yard.
- (D) A parking area may be located in a required yard, unless prohibited by Article 10(Compatibility Standards).

25.2 SUBCHAPTER F:

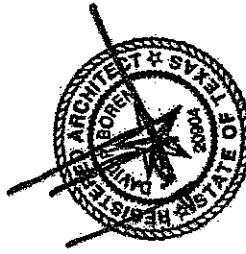
2.6 Sideback Planes:

- A structure may not extend beyond a sideback plane, except for:
1. A structure authorized by the Residential Design and Compatibility Commission in accordance with Section 2.8 below;
  2. A roof overhang or eave, up to two feet beyond the sideback plane;
  3. A chimney, vent, exhaust, or energy conservation or production equipment or feature not designed for occupancy; and
  4. Either:

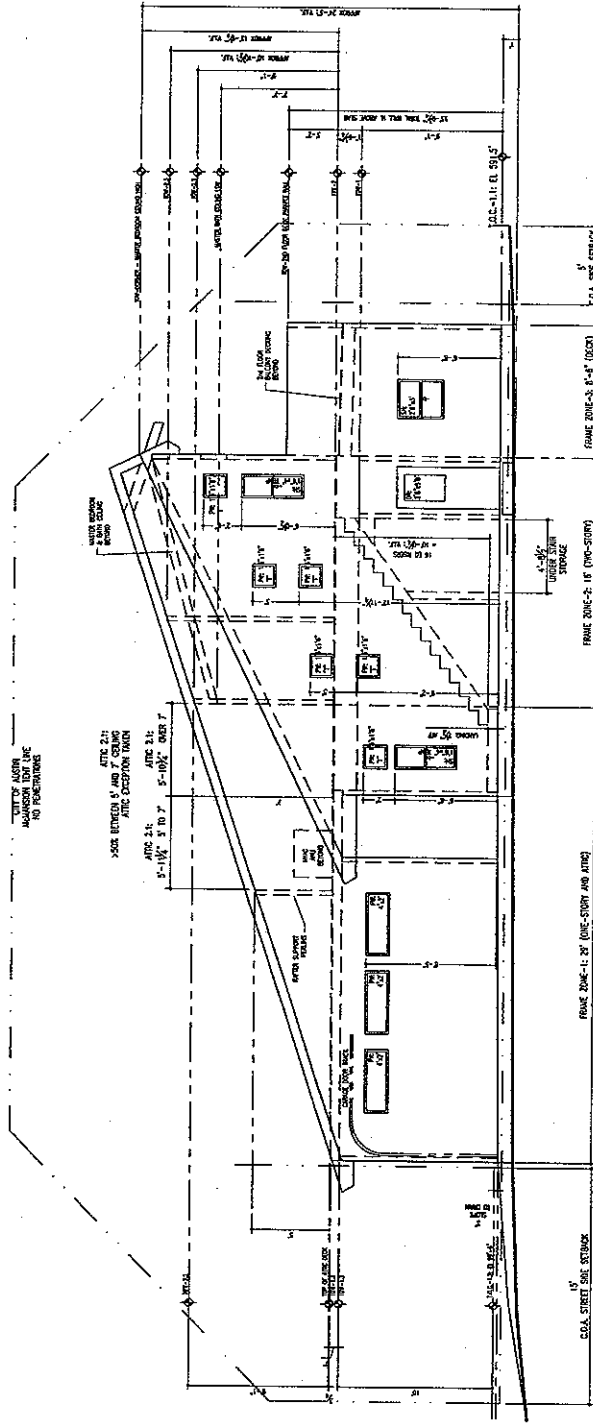
- a. 30-Foot Side-Gabled Roof Exception. A side-gabled roof structure on each side of the building, with a total horizontal length of not more than 30 feet, measured from the building line along the intersection with the side setback plane (See Figure 13); or
- b. Gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the sideback plane (See Figures 14 and 17); and

2.7. SIDE WALL ARTICULATION.

- 2.7.1: Except as provided in subsection 2.7.2, if a side wall of a building is more than 15 feet high and is an average distance of less than nine feet from an interior lot line, the sidewall may not extend in an unbroken plane for more than 36 feet along a side lot line without a sidewall articulation that meets the requirements of this section.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL



EXTERIOR ELEVATION: NORTH  
NOT SCALE (PLAN) 1/2" = 1'

B-4

REVIEWED FOR ZONING ONLY 9/16/13

1710 E 18TH ST  
NEW CONSTRUCTION  
TWO-FAMILY PROJECT  
JEFF CRIER  
1710 E 18TH ST  
AUSTIN TEXAS 78702  
EAST SIDE MOD  
DESIGN  
P: 512-343-7754  
F: 512-343-7754  
EMAIL: ROBERT@EASTSIDEMOD.COM

DATE: 18 AUG 2013  
PROJECT: 1710 E 18TH ST  
SHEET: 17  
SCALE: AS NOTED  
CROSS: 1/2" = 1'  
PLAN: 1/4" = 1'  
SECTION: 1/8" = 1'

# ELEVATION NOTES: FROM COA LDC 25.2:

## 25.2.513 OPENNESS OF REQUIRED YARDS:

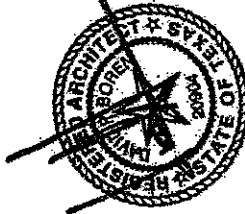
- Except as otherwise provided in this section, a required yard must be open and unobstructed from finished grade to the sky. This restriction does not apply to a yard or part of a yard that is not required by this article.
- A window sill, belt course, cornice, lintel, chimney, eave, box window, or cantilevered balcony may project two feet into a required yard. The two-foot limitation does not apply to a feature required for a passive energy design.
- Uncovered steps or a porch or stoop that is not more than three feet above ground level may project three feet into a required yard.
- A parking area may be located in a required yard, unless prohibited by Article 10 (Compatibility Standards).

## 25.2 SUBCHAPTER F:

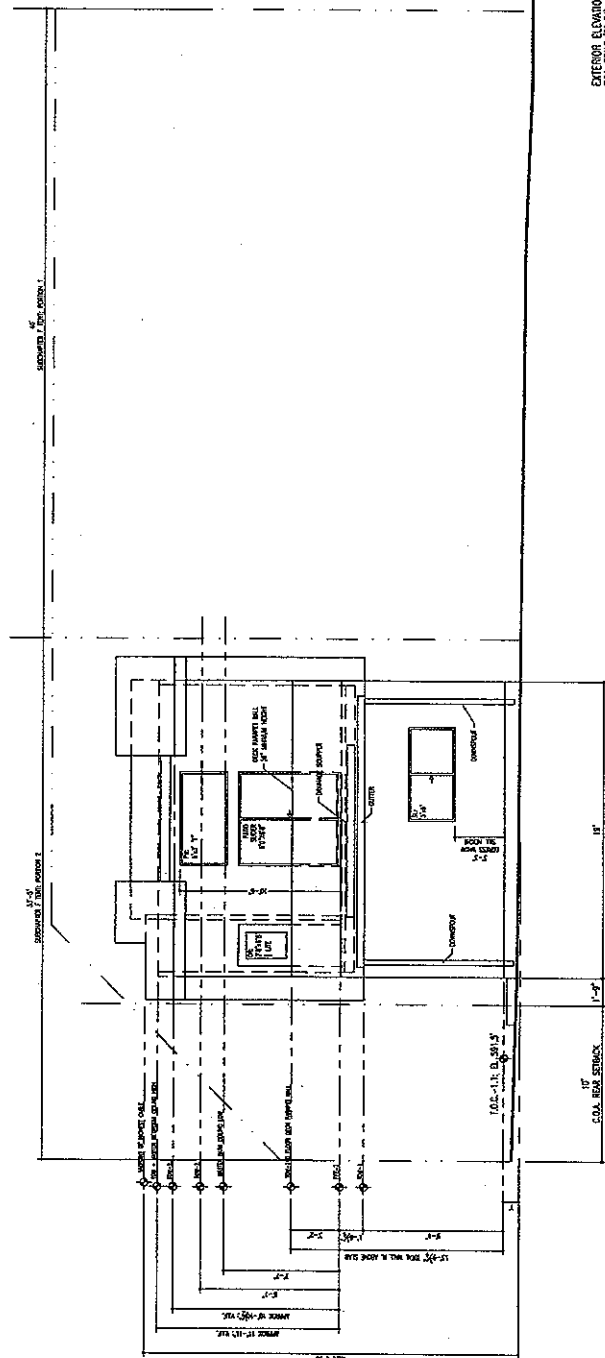
### 2.6 Sideback Planes:

- A structure may not extend beyond a sideback plane, except for:
  - A structure authorized by the Residential Design and Compatibility Commission in accordance with Section 2.8 below;
  - A roof overhang or eave, up to two feet beyond the sideback plane;
  - A chimney, vent, antenna, or energy conservation or production equipment or feature not designed for occupancy; and
  - Either:
    - 30-Foot Side-Gabled Roof Exception. A side-gabled roof structure on each side of the building, with a total horizontal length of not more than 30 feet, measured from the building line along the intersection with the side sideback plane (See Figure 13.); or
    - Gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the sideback plane (See Figures 14 and 17.); and
    - Dormers, with a total horizontal length of not more than 15 feet on each side of the building, measured along the intersection with the sideback plane. (See Figures 15 and 16.)

2.7 SIDE WALL ARTICULATION  
2.7.1: Except as provided in subsection 2.7.2, if a side wall of a building is more than 15 feet high and is an average distance of less than nine feet from an interior lot line, the side wall may not extend in an unbroken plane for more than 36 feet along a side lot line without a side wall articulation that meets the requirements of this section.



7-24-2013  
ISSUED FOR  
REGULATORY  
APPROVAL



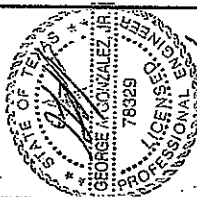
EXTERIOR ELEVATION - WEST  
DATE: 02/18/2013  
SCALE: 1/8\"/>

**B-5**

REVIEWED FOR ZONING ONLY *01/12*

**EAST SIDE MOD DESIGN**  
NEW CONSTRUCTION  
TWO-FAMILY PROJECT  
1710 E 18TH ST  
AUSTIN, TEXAS 78702  
PHONE: 512-942-7754  
EMAIL: R0806AS7S@EASTSIDEMOD.COM

OFFICE INFO:  
JEFF ORER  
1710 E 18TH ST  
AUSTIN, TEXAS 78702  
DATE: 18 JAN 2013  
PROJECT: 1710 E 18TH ST  
SHEET: 1  
AS NOTED  
CHECKED: [blank]  
DATE: [blank]  
APPROVED: [blank]



**G/E**  
Generals Engineering Company  
713 E. 12th Street, P.O. Box 2543  
5603 Texas Road, Suite B, Austin, TX 78745  
(512) 899-2245 Office  
(512) 899-2203 Fax  
e-mail: [info@generals.com](mailto:info@generals.com)

1710 E. 18TH STREET &  
1602 ALMA STREET  
AUSTIN, TEXAS 78704

Page	AU-13-281	Date	
Version	1.0	CE 1	OF 9

**1710 E. 18TH ST.  
PRIMARY DWELLING UNIT**

**CONCRETE FOUNDATION PLAN**  
Scale: 3/16" = 1'-0"

**LEGEND:**

Length of Cable (Study)

S-XX

POST-TENSIONED TENDON

SLAB DROP, See Height

LAG ANCHOR BOLT

CITY OF AUSTIN - TECHNICAL REVIEW

Approval of these plans and specifications shall not be construed to be a permit for or an approval of any violation of any of the provisions of the currently adopted residential building code or any other ordinance of the City of Austin which might have been overlooked in the plan review process.

By XZM Date 9-6-15

**FINISHED FLOOR ELEVATION:**

To be set min. 6" to 8" above highest point of natural ground inside the perimeter of the proposed concrete foundation

**NOTE:**  
Dimensions for interior beams are taken from edge of foundation to center of interior beam.

### DIFFERENTIALS

- Do NOT scale off dimensions on plans.  
For discrepancies contact design engineer.

General Notes



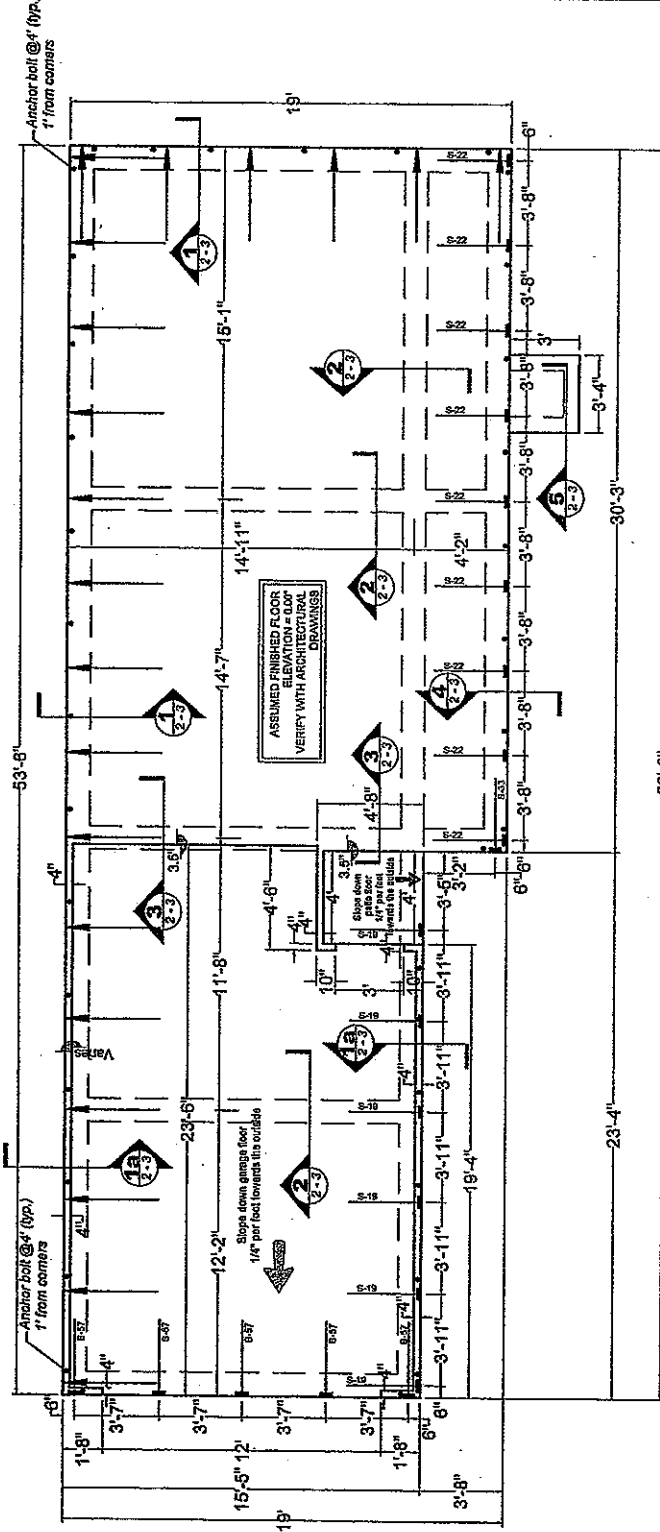
08/24/13

No.	Revisions/Issues	Date

**G/E**  
 George A. Gonzalez, P.E.  
 78329 License No. 78329  
 2002 Texas State Board of Professional Engineers  
 6110 1932037 P.O.  
 engineer@georgeagonzalez.com

**NEW CONCRETE FOUNDATION-STRUCTURAL FRAMING PLAN**  
 1710 E. LUTHER STREET &  
 1800 SALINA STREET  
 AUSTIN, TEXAS 78702

Sheet	CE 2
Of	OF 9
Scale	As Shown



**LEGEND:**

- S-XX Length of Cable (feet)
- POST-TENSIONED TENDON
- BLACK DROP, See Note
- L-ANCHOR BOLT

**FINISHED FLOOR ELEVATION:**  
 To be set min. 6" to 8" above highest point of natural ground inside the perimeter of the proposed concrete foundation.

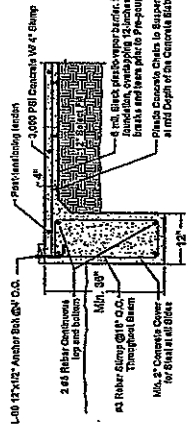
**NOTE:**  
 Dimensions for interior beams are taken from edge of foundation to center of interior beam.

**DIMENSION NOTES:**  
 1. Do NOT scale off dimensions on plans.  
 2. For discrepancies contact design engineer.

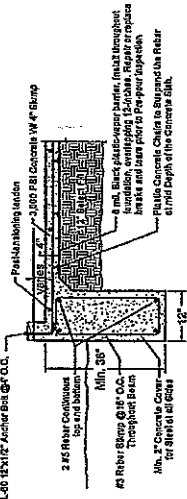
**1800 SALINA ST.  
 SECONDARY DWELLING UNIT**

**CONCRETE FOUNDATION PLAN**  
 Scale: 3/16" = 1'-0"

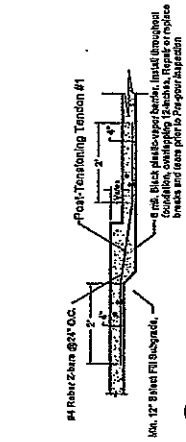
NOT REVIEWED FOR TECHNICAL BUILDING CODE 2-9 2/1/12



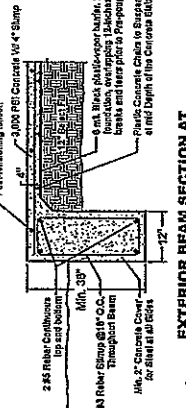
**1** EXTERIOR BEAM SECTION AT SIDING OR STUCCO VENEER WALL  
N.T.S.



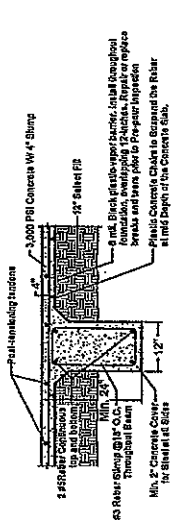
**1a** EXTERIOR BEAM SECTION WITH SIDING OR STUCCO VENEER GARAGE WALL  
N.T.S.



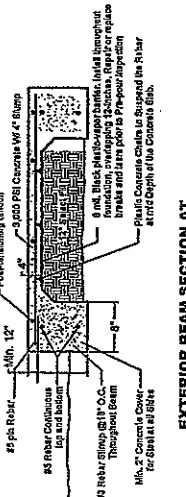
**3** Z-BAR CROSS SECTION  
N.T.S.



**4** EXTERIOR BEAM SECTION AT COVERED PATIO  
N.T.S.



**2** INTERIOR BEAM SECTION  
N.T.S.



**5** EXTERIOR BEAM SECTION AT OUTSIDE LANDING  
N.T.S.

**DIMENSIONING NOTE:**  
Contractor shall verify all foundation plan dimensions against the approved architectural plans.

#### FOUNDATION NOTES:

1. Typical section marks and details shown are "typical" and shall apply to similar situations.
2. All beams are to be a minimum of 12" wide by 24" deep (minimum), 12" wide by 24" deep (minimum), 12" wide by 24" deep (minimum), 12" wide by 24" deep (minimum).
3. All exterior beams must extend a minimum of 12" into undisturbed soil or to rock. If solid rock is encountered beneath the beam, the beam depth may be reduced. The maximum reduction in beam depth may not exceed 50% of the original depth. Specific permission must be obtained from the engineer prior to beam construction.
4. No accelerations are to be used in the event of cold weather.
5. All concrete shall be consolidated by use of a mechanical vibrator.
6. Reinforcing bars shall be placed in accordance with the latest edition of the ACI Code.
7. Reinforcing bars shall be placed in accordance with the latest edition of the ACI Code.
8. Continuous reinforcing bars shall have a minimum lap of 30 diameters or 24" whichever is greater. Provide corner bars for all continuous reinforcing bars at all corners with a minimum lap of 30 diameters or 24" whichever is greater.
9. Welded wire mesh (W.W.M.) shall conform to ASTM A186.
10. Place concrete at such rate that concrete which is being integrated with fresh concrete is still plastic.
11. Deposit concrete as neatly as possible to its final location to avoid segregation due to rindharding and flowing. Do not subject concrete to any procedure which might cause segregation. Do not use mechanical vibrators to relocate concrete.
12. All p.v.c., copper and pipe insulation run horizontally shall be a minimum of 4" from the top of the slab.

#### MAXIMUMS:

1. All concrete shall be normal weight and shall have a minimum compressive strength of 3,000 p.s.i. at 28-days, and a minimum of 2,000 p.s.i. at the time of final placement. Concrete design mix shall be as per ACI 318.
2. All prestressing steel shall be seven-wire strands. Relieve strand conforming to ASTM A-418 with a quantified minimum ultimate tensile strength of 270,000 P.S.I. Strands shall be coated with a permanent rust preventive mastic and a all-epoxy plastic sheathing.
3. All reinforcing bars shall conform to ASTM A-618.

#### Anchor bolt note:

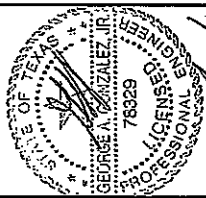
Anchor bolts shall be installed while foundation concrete is plastic.

#### DESIGN:

1. The foundation has been designed in accordance with the following:  
A. Post-Tensioning Institute, "Design of Post-Tensioned Slabs-on-Guide."  
B. American Concrete Institute, "Code of Concrete Design."  
C. International Residential Code, 2006 Edition.
2. This foundation design and data shown are applicable only to this specific project location noted in these drawings. Use of these drawings for other locations is strictly prohibited.
3. Design loads:  
Floor (Live Load): 20 PSF  
Roof (Live Load): 20 PSF  
Wind (Sustained): 15 PSF  
Wind (Uplift): 12 PSF  
Floor (Live Load): 40 PSF

#### CONSTRUCTION:

1. All fill under slab shall be placed in accordance with specifications found in these drawings. Select fill shall be certified by an independent third party geotechnical laboratory.
2. All slabs shall have a minimum 4" cushion layer previous sand or granular fill and a 6-mil Polyethylene vapor barrier.
3. Proper drainage around the foundation shall be maintained such that no water shall collect under or adjacent to the slab.
4. All beams shown on these drawings are minimum and shall not be changed without prior approval of the engineer.
5. All beams shown on these drawings are minimum and shall not be changed without prior approval of the engineer.
6. General concrete procedures outlined in ACI 318-02 shall be strictly followed and particular attention shall be given to concrete placement around post-tensioning anchorages.
7. Contractor shall coordinate structural drawings with Architectural drawings for all openings, drops, offsets, brick-edges, slopes, etc., and shall notify the engineer of any discrepancies.
8. 1/2" diameter strands shall be initially stressed to 33.0 Kips per strand and shall be anchored at 25.0 Kips per strand. The post-tensioning contractor shall verify the stressing pressures with the engineer prior to stressing.
9. The minimum cable length is 10'-0" (cut). Any cables exceeding 80'-0" shall be stressed from both ends.



No.	Revision/Date	Date

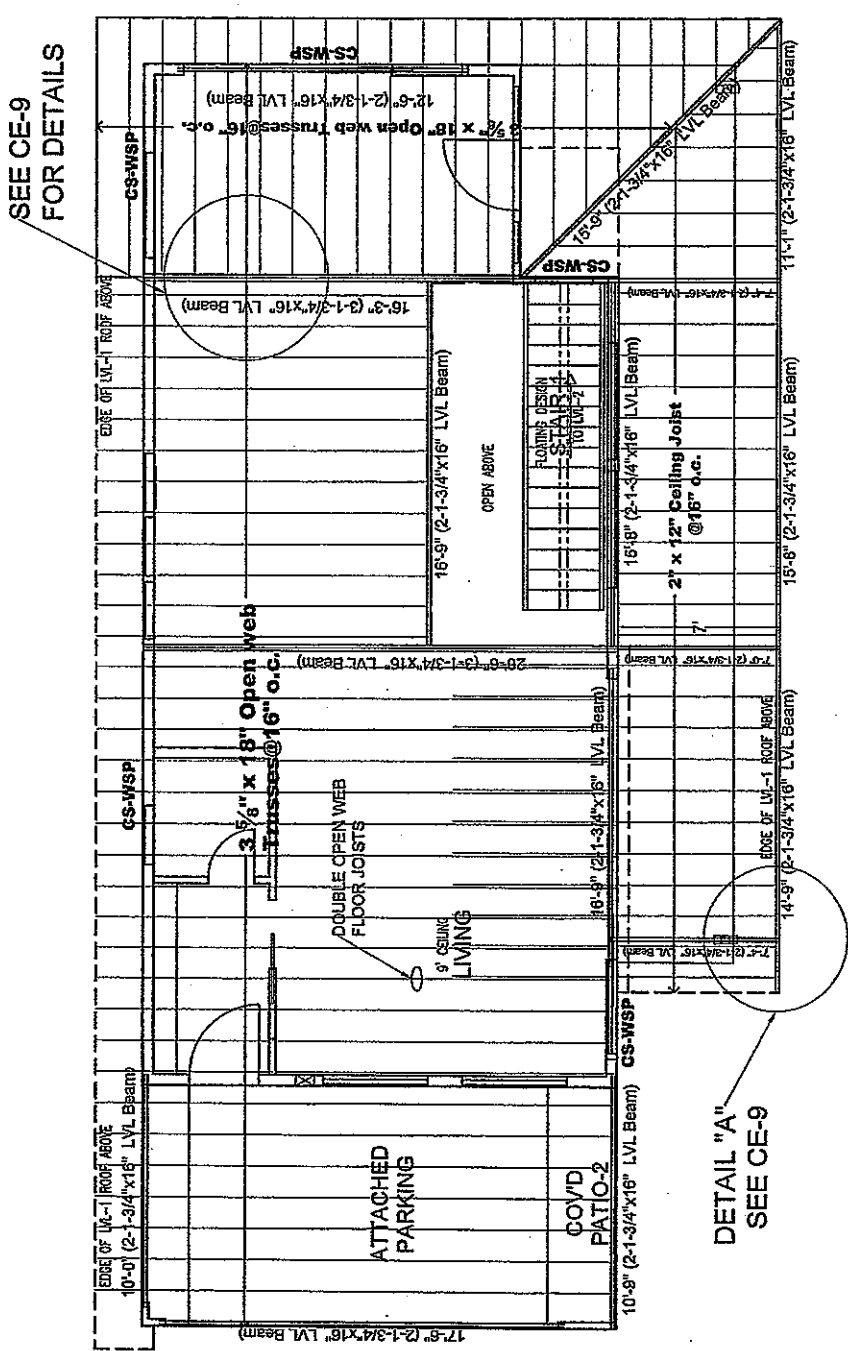
**G/E**  
Gerald E. Engineering Company  
3502 Texas Road, Suite 100, Austin, TX 78718  
(512) 892-2340 Office  
(512) 892-2340 Cell  
gkasper@geraldeng.com

**PROPOSED NEW CONCRETE FOUNDATION STRUCTURAL DRAWING PLANS**  
1718 E. 15TH STREET & 1718 E. 15TH STREET & 1718 E. 15TH STREET  
AUSTIN, TEXAS 78702

AL-13-281	CE 3	OF 9
1.0		
As Shown		

NOT REVIEWED FOR TECHNICAL BUILDING CODE 02/16/13

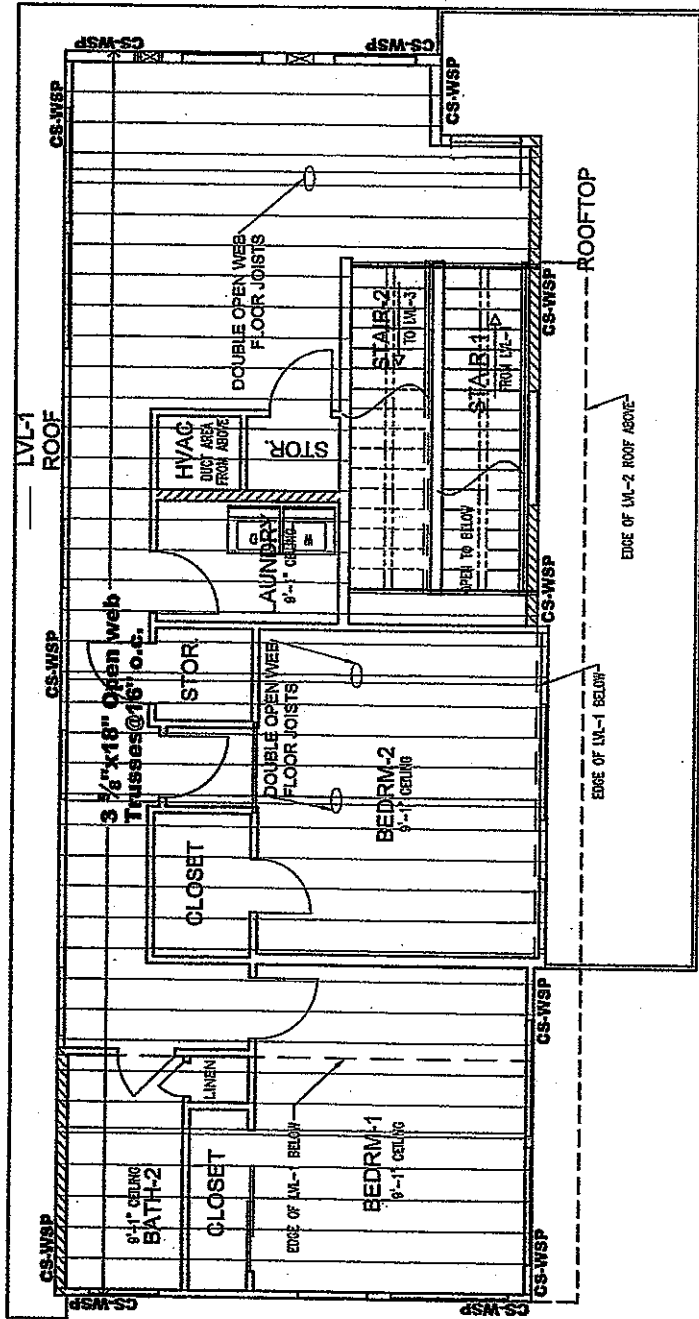
NOT REVIEWED FOR TECHNICAL BUILDING CODE. 2 9/6/13



**1710 E. 18TH ST.  
PRIMARY DWELLING UNIT**

**FIRST FLOOR FRAMING PLAN**  
Scale: 3/16" = 1'-0"

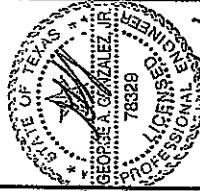




See Page 9- for Wall  
Bracing Detail Nomenclature

1710 E. 18TH ST.  
PRIMARY DWELLING UNIT

SECOND FLOOR FRAMING PLAN  
Scale: 3/16" = 1'-0"



28/2/13

No.	Revision/Notes	Date

**G/E**  
George A. Gattale, Jr.  
Professional Engineer  
2505 Ross Road, Suite 11, Austin, TX 78746  
(512) 452-1111  
(512) 452-1112 Fax  
gattale@georgegattale.com

**FOUNDATION-STRUCTURAL  
FRAMING PLANS**  
1710 E. 18TH STREET &  
1800 SALINA STREET  
AUSTIN, TEXAS 78758

Project No.	1710 E. 18TH
Sheet No.	CB 5
Of Sheets	OF 9

NOT REVIEWED FOR TECHNICAL BUILDING CODE 7/6/13

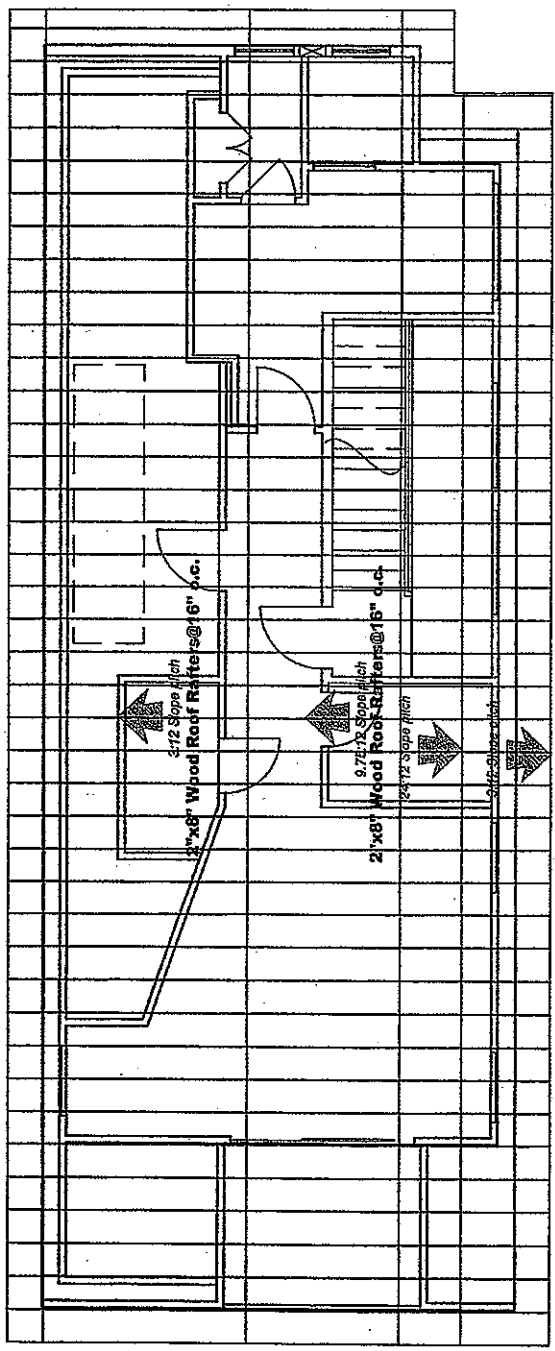


Rev.	Revised/Issued	Date

**G/E**  
 Gonzalez Engineering Company  
 2625 Jester Road, Suite E, Austin, TX 78748  
 (512) 895-2348  
 gonzalez@gonzalezengineering.com

PROPOSED NEW CONCRETE  
 FOUNDATION AND TYPICAL  
 FRAMING PLAN  
 1710 E. 18TH STREET &  
 AUSTIN, TEXAS 78748

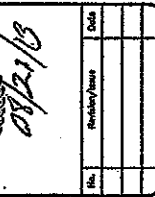
Project	ALU-13-281
Sheet	CE 6 OF 9
Scale	AS SHOWN



1710 E. 18TH ST.  
 PRIMARY DWELLING UNIT

**ROOF FRAMING PLAN**  
 Scale: 3/16" = 1'-0"

NOT REVIEWED FOR TECHNICAL BUILDING CODE 2-9/16/13



**G/E**  
Genside's Engineering Company  
734 N.E. Arguswood Pkwy #203  
2603 Forest Road, Suite E, Austin, TX 78745  
(512) 899-2246 Office  
(512) 899-2203 Fax  
engineer@GensideEngineering.com

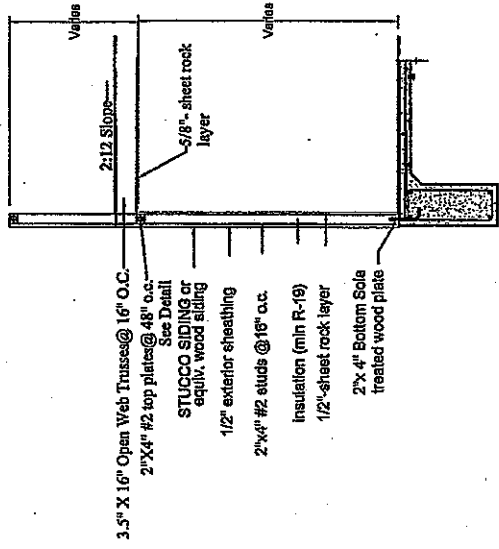
**PROPOSED NEW CONCRETE  
FOUNDATION-STRUCTURAL  
FRAMING PLANS**

**1710 E. 18TH STREET &  
1802 ALINA STREET  
AUSTIN, TEXAS 78702**

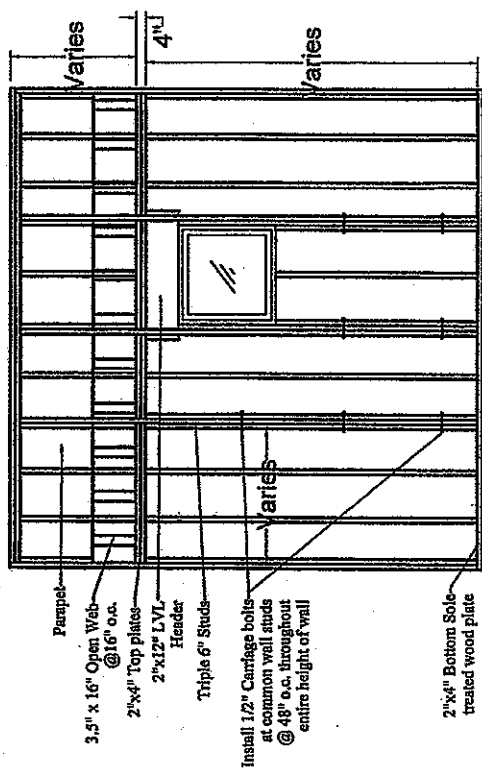
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Version	1.0
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Page	As Shown

CE 7  
OF 9

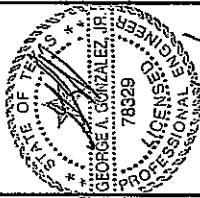
NOT REVIEWED FOR TECHNICAL BUILDING CODES 9/6/17



**PARAPET WALL FRAMING CROSS SECTION**  
Scale: N.T.S.



**PARAPET WALL FRAMING PLAN**  
Scale: N.T.S.



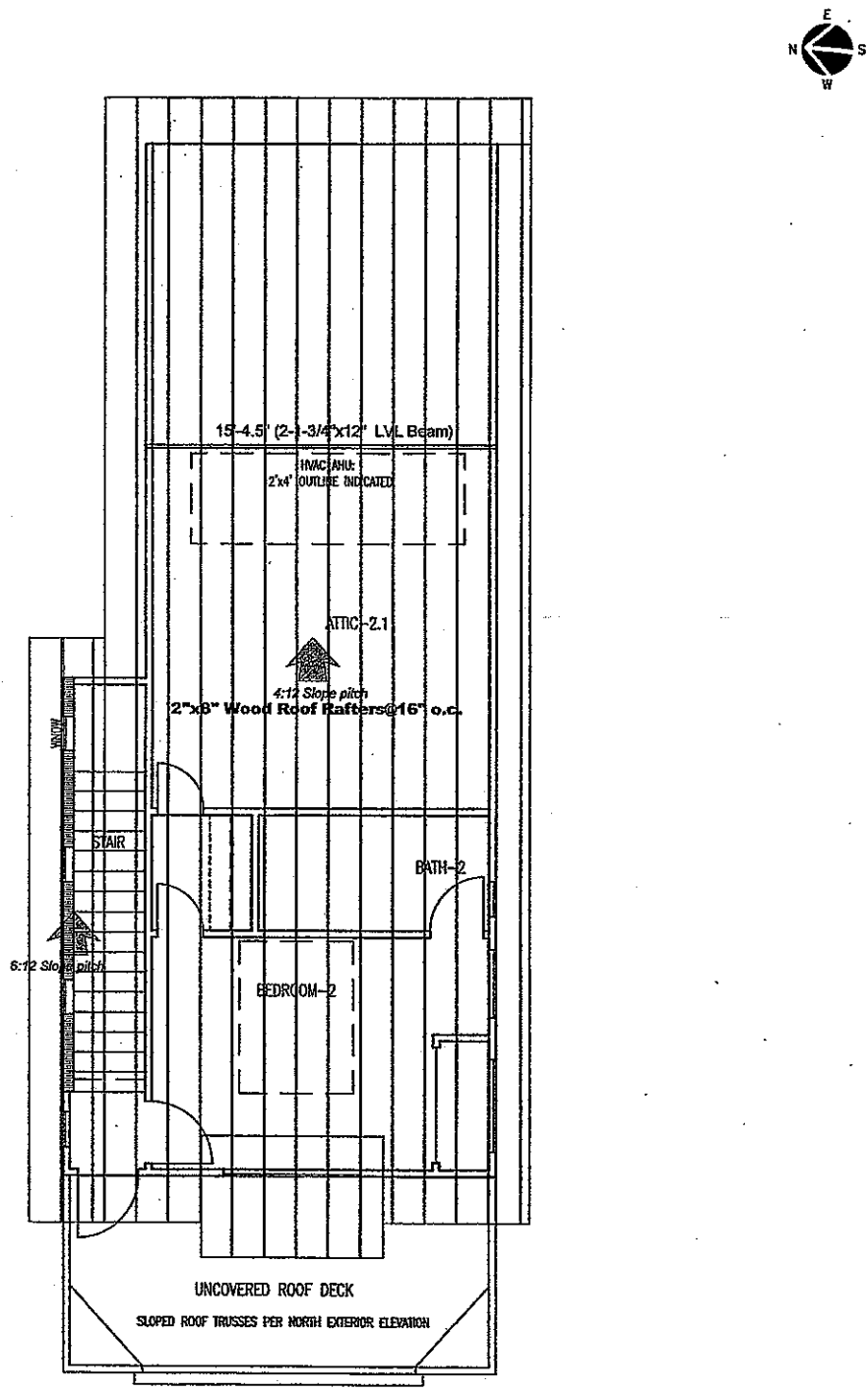
Rev.	Revised/Notes	Date

**G/E**  
 Gonzalez Engineering Company  
 2803 Jones Road, Suite E, Austin, TX 78745  
 (512) 892-2245 Office  
 (512) 892-2245 Fax  
 eng@gecoinc.com

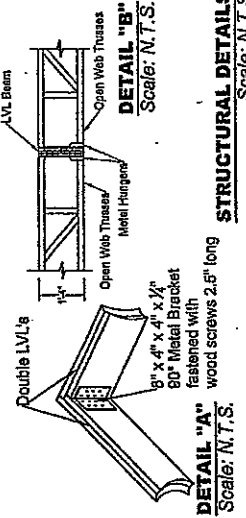
**PROPOSED NEW CONCRETE FOUNDATION STRUCTURAL FRAMING PLANS**  
 1710 S. 18TH STREET, A  
 AUSTIN, TEXAS 78743

Sheet: **CE 8**  
 OF **9**  
 Date: 1.0  
 As Shown

NOT REVIEWED FOR TECHNICAL BUILDING CODE 2.9/6/13

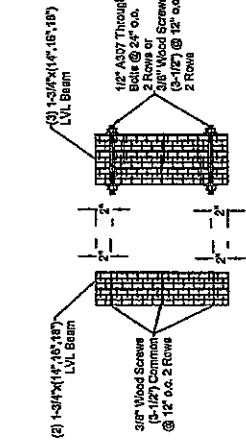
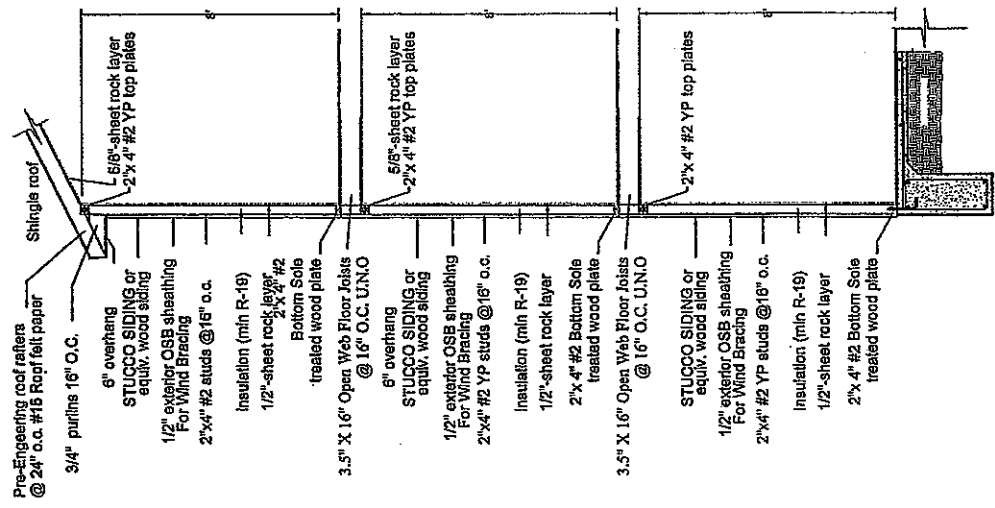
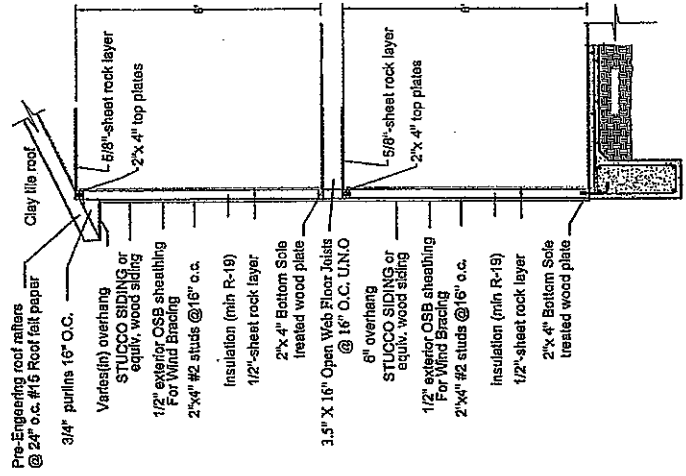


**1800 SALINA ST. SECONDARY DWELLING UNIT**  
**ROOF FRAMING PLAN**  
 Scale: 3/16" = 1'-0"



**WALL BRACING NOTES**

CODES
Building Code
International Residential Code 2003 Edition, Section R602.10
WALL BRACING LEGEND
OS-WBP
Continuous wood structural panel sheathing, minimum 1/2" thick, applied to the exterior of the wall with all corners nailed at 2" on center as supported edges and 12" on center at intermediate supports. Horizontal bracing of wood panels.



**Structural Elements**

Header Beam
1 1/2" x 4" x 8' OSB Structural Panel
2 Roof rafters (per plane)
3 2" x 4" Wood studs @ 16" O.C. (U.N.O.)
4 2" x 4" Sole plate (U.N.O.)
5 2 - 2" x 4" Top plate (U.N.O.)
6 Headers per plane

**HEADER LIST**

Opening (Span)	Header Beam
Less than 4'-0"	2 - 2"x8"
Between 4'-0" and 8'-0"	2 - 2"x8"
Between 8'-0" and 12'-0"	2 - 2"x10"
More than 12'-0"	Must be engineered

(OPTIONAL) FOR THIS APPLICATION, USE 2" X 12" HEADERS AT ALL DOOR AND WINDOW OPENINGS

**ADDITIONAL FRAMING NOTES**

1. Framing contractor to install temporary wind bracing while main structure frame is being constructed
2. Contractor to use 2" x 8" strongbacks for roof rafter pullins, etc
3. Contractor to install 2" x 8" wall blocking @ upper flusion cabinet areas

**FRAMING NOTES**

1. All framing shall be done in accordance with nationally-recognized framing standards, as referenced in the adopted International Residential Code
2. Special pre-lin framing inspection shall be conducted by Samuels Engineering Co. prior to installation of exterior insulation
3. Framing contractor shall contact Design Engineer for clarifications to discrepancies found on the field.
4. All exterior and interior walls shall have 2"x4" or 2" x 8" wood studs at 16" o.c., unless noted otherwise.
5. All wood beams and other wood structural members shall be supplied by a qualified manufacturer and has to be grade #2 YP.
6. Joint manufacturer shall submit a list of the wood structural elements to the owner to get concurrence from the Design Engineer.

General Notes



No.	Revision/Notes	Date

**G/E**  
George A. Gonzalez  
Professional Engineer  
2655 Jones Road, Suite 200, Austin, TX 78743  
(512) 892-2263 Fax  
ggonzalez@samuels-engineering.com

**PROPOSED NEW CONSTRUCTION FOUNDATION STRUCTURAL FRAMING PLANS**  
1700 B. LITTLE STREET & MARIALVA STREET  
AUSTIN, TEXAS 78702

Sheet	AE-13-281
Drawn	1.0
Scale	As Shown
CE	9
OF	9

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## FOLDER DETAILS

## PUBLIC INFORMATION

Public Search

Issued Permit Report

## REGISTERED USERS

New Registration

Update Registration

Permit Assign and Pay

My Permits/Cases

My Licenses

Request / Cancel /  
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My Escrow Accounts

Reports

Login

## HELP

Web Help

Permit/Case	Reference File Name	Description	Sub Type	Work Type	Project Name	Status	Application Date	Issue Date	Expirat Date
		addition of 2 new bedrooms, 2 bathrooms and covered patio to rear and side of existing sf res; new 2 story garage apartment (LDC 25-2- 774) with 2 bedrooms and 2 bathrooms to rear of property; remodel of existing to update present kitchen and bathroom to replace electrical, plumbing, sheetrock, insulation, doors.	R- 434	Addition Addition & Alterations	811 W 30TH ST	Approved	Feb 25, 2009	Mar 2, 2009	Feb 25, 2009

Related Folders:

## FOLDER INFO

## FEEDBACK

## Information Description

## Value

Contact PDR

Smart Housing?	No
Is Historical Review Required?	No
Building Valuation Remodel	10000
Electrical Valuation Remodel	5000
Will Addition have Electrical Work ?	Yes
Mechanical Valuation Remodel	5000
Will Addition have Mechanical Work ?	Yes
Plumbing Valuation Remodel	5000
Will Addition have Plumbing Work ?	Yes
Total Valuation Remodel	25000
Total Job Valuation	125000
Is this property in MUD ?	No
Current Zoning for Building	SF-3-CO-NP
Name of Neighborhood Plan	WEST UNIVERSITY
Subdistrict	HERITAGE
Status	APPROVED WITH ZONING
Is there a Cut & Fill in excess of 4 ft	No
Building Height (in feet)	16
Parking Spaces Required	3
Number of Bathrooms	4.5
Size of Water Meter	3/4
Front Set Back	25
Rear Set Back	10
Side Set Back	5

Does property access a paved alley?	No
Does property access a paved street?	Yes
Current Use	sf res
Proposed Use	sf res w garage apt
Change of Use	No
Square Footage of Lot	8100
Existing 1st Flr Area Sq. Ft	1256
Existing 2nd Flr Area Sq. Ft	0
Existing 3rd Flr Area Sq. Ft	0
Existing Basement Sq. Ft	0
Existing Attached Garage/Carport Sq. Ft	0
Existing Detached Garage/Carport Sq. Ft	0
Existing Wood Decks Sq. Ft	0
Existing Breezeways Sq. Ft	0
Existing Covered Patios Sq. Ft	0
Existing Covered Porches Sq. Ft	109
Existing Balconies Sq. Ft	0
Existing Swimming Pool(s) Sq. Ft	0
Existing Othr Bld/Covered Areas Sq.Ft	0
Total Existing Building Square Footage	1365
New/Addn 1st Flr Area Sq. Ft	828
New/Addn 2nd Flr Area Sq. Ft	404
New/Addn 3rd Flr Area Sq. Ft	0
New/Addn Basement Sq. Ft	0
New/Addn Attached Garage/Carport Sq. Ft	0
New/Addn Detached Garage/Carport Sq. Ft	412
New/Addn Wood Decks Sq. Ft	0
New/Addn Breezeways Sq. Ft	0
New/Addn Covered Patios Sq. Ft	151
New/Addn Covered Porches Sq. Ft	0
New/Addn Balconies Sq. Ft	0
New/Addn Swimming Pool(s) Sq. Ft	0
New/Addn Spa Sq. Ft	0
New/Addn Other Bldg/Covered Areas Sq.Ft	0
Total New/Addition Bldg Square Footage	1795
Total Building Coverage on lot Sq. Ft.	2756
Total Building Coverage Percent, of Lot	34
Driveway area on Private Property	494
Sidewalk/Walkways on Private Property	92
Uncovered Patios	0
Uncovered Wood Decks	20
AC Pads	32
Concrete Decks	43
Other	0
Total Impervious Coverage Square Footage	3437
Total Impervious Coverage Percent of Lot	42.4
Max. Bldg. Cov. Sq. Ft. Allowed	3240
Max. Impervious Coverage Sq Ft Allowed	3645
Building Inspection	Yes
Electric Inspection	Yes
Mechanical Inspection	Yes
Plumbing Inspection	Yes
Energy Inspection	No
Driveway Inspection	No
Sidewalks Inspection	No
Environmental Inspection	No
Landscaping Inspection	No
Tree Inspection	No

Water Tap Inspection	Yes
Sewer Tap Inspection	Yes
On Site Sewage Facility Inspection	No
Fire Inspection	No
Health Inspection	No
Usage Category	434
Hazardous Pipeline Review Required	No
Electric Service Planning Application Req'd?	Yes
ESPA Application Number	55-21
ESPA Approval Date	Feb 24, 2009
Site has Water availability?	Yes
Site has Waste Water availability?	Yes
Site has a septic system?	No
Subject to RD&C Requirements	RESIDENTIAL DESIGN STANDARDS
Maximum FAR allowed	3240
Floor Area Ratio (FAR)	.307160493827160493827160493827160493827
Existing 1 FI Area	1256
Existing 1 FI Area-Ceiling Ht over 15'	0
Existing 1 FI Area-Ceiling Ht 15' or less	1256
Existing Total 1 FI Gross Area	1256
Existing 2 FI Area	0
Existing 2 FI Area-Ceiling Ht over 15'	0
Existing 2 FI Area-Ceiling Ht 15' or less	0
Existing Total 2 FI Gross Area	0
Existing 3rd FI Area	0
Existing 3 FI Area-Ceiling Ht over 15'	0
Existing 3 FI Area-Ceiling Ht 15' or less	0
Existing Total 3rd FI Gross Area	0
Existing Basement Gross Area	0
Existing Garage attached	0
Existing Garage detached	0
Existing Carport	0
Existing Total Sq Ft	1256
New/Addn 1 FI Area	828
New/Addn 1 FI Area-Ceiling Ht over 15'	0
New/Addn 1 FI Area-Ceiling Ht 15' or less	0
New/Addn Total 1 FI Gross Area	828
New/Addn 2 FI Area	404
New/Addn 2 FI Area-Ceiling Ht over 15'	0
New/Addn 2 FI Area-Ceiling Ht 15' or less	0
New/Addn Total 2 FI Gross Area	404
New/Addn 3 FI Area	0
New/Addn 3 FI Area-Ceiling Ht over 15'	0
New/Addn 3 FI Area-Ceiling Ht 15' or less	0
New/Addn Total 3 FI Gross Area	0
New/Addition Basement Gross Area	0
New/Addition Garage attached	0
New/Addition Garage detached	0
New/Addition Carport	0
New/Addition Total Sq Ft	1232
Total Gross Floor Area	2488
Gross Site Area of Lot	8100
Total Number of Driveways	1
Driveway Width 1	12
Total Number of Sidewalks	1
Certificate of Occupancy to be Issued	Yes
Code Year	2006



Code type

International Residential U

## PROPERTY DETAILS

Number	Pre.	Street	Street Type	Dir	Suite Type	Suite Number	City	State	Zip	Legal Desc
811	W	30TH	STREET				AUSTIN	TX	78705	Lot: 6 Block: Subdivisic HARPERS W A SUBDN 1910

Lot: 6 Block: Subdivision: HARPERS W A SUBDN 1910

## PEOPLE DETAILS

Desc.	Organization Name	Address	City	State	Postal	Phone1
Applicant	Acero Construction	P.O. BOX 41210	Austin	TX	78704	(512)298-0260

## FOLDER FEE

Fee Description	Fee Amount	Balance
Initial Residential Review Fee	\$100.00	\$0.00

## PROCESSES AND NOTES

Process Description	Status	Schedule Date	Start Date	End Date	Assigned Staff	# of Atten
Plan Review Administration	Open				Residential Zoning Reviewers	
Tree Ordinance Review	Open				Michael Embesi (512-974-1876)	
Residential Revision After Issuance	Open	Mar 2, 2009				
Residential Zoning Review	Approved	Feb 25, 2009	Feb 25, 2009	Mar 2, 2009	Darren Cain	

## FOLDER ATTACHMENT

Description	Detail
APPLICATION	<a href="#">View Attachment</a>
APPLICATION	<a href="#">View Attachment</a>
APPLICATION EXHIBIT	<a href="#">View Attachment</a>

[Back](#)
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## CITY OF AUSTIN

## RESIDENTIAL PERMIT APPLICATION "A"

BP Number 09-013608RA  
 Building Permit No. \_\_\_\_\_  
 Plat No. \_\_\_\_\_ Date 2-25-9  
 Reviewer [Signature]

## PRIMARY PROJECT DATA

Service Address 811 W 30TH STREET AUSTIN, TX 78705 Tax Parcel No. \_\_\_\_\_  
 Legal Description West 30' of Lot 6, East 30' of Lot 7 Vol. 2 Page 205  
 Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision H. A. HARPER'S SUBDIVISION 4th LOT 72 Section \_\_\_\_\_ Phase Travis Co. Plat Records  
 If in a Planned Unit Development, provide Name and Case No. \_\_\_\_\_  
 (attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

## Description of Work

☐ New Residence ☒ Remodel (specify) update kitchen, full bath remodel  
☐ Duplex ☐ Addition (specify) add 2 bedrooms, 2 baths and covered patio  
☐ Garage ☐ attached ☒ detached ☐ Other (specify) construct new secondary dwelling unit  
☐ Carport ☐ attached ☐ detached 2 bed, 2 bath, 849 SF, 2 car garage.  
☐ Pool

Zoning (e.g. SF-1, SF-2...) SF-3-CO-NP

- Height of Principal building \_\_\_\_\_ ft. # of floors 1 Height of Other structure(s) 23'6" ft. # of floors 2  
 - Does this site currently have water and wastewater availability? ☒ Yes ☐ No. If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.  
 - Does this site have a septic system? ☐ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

Does this site have a Board of Adjustment ruling? ☐ Yes ☒ No If yes, attach the B.O.A. documentation

Will this development require a cut and fill in excess of 4 feet? ☐ Yes ☒ No

Does this site front a paved street? ☒ Yes ☐ No A paved alley? ☒ Yes ☐ No

Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Yes ☐ No

## VALUATIONS FOR REMODELS ONLY

Building \$ 10,000  
 Electrical \$ 5,000  
 Mechanical \$ 5,000  
 Plumbing \$ 5,000  
 Driveway/  
 Sidewalk \$ \_\_\_\_\_  
 TOTAL \$ 25,000  
 (labor and materials)

## VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY

Lot Size 8100 sq. ft.  
 Job Valuation - Principal Building \$ 20,000  
 (Labor and materials)  
 Job Valuation - Other Structure(s) \$ 80,000  
 (Labor and materials)

## TOTAL JOB VALUATION

(sum of remodels and additions)

\$ 125,000  
 (Labor and materials)

PERMIT FEES  
(For office use only)

	NEW/ADDITIONS	REMODELS
Building	\$ <u>86 + 107</u>	\$ <u>78</u>
Electrical	\$ <u>47 + 57</u>	\$ <u>55</u>
Mechanical	\$ <u>41 + 44</u>	\$ <u>55</u>
Plumbing	\$ <u>41 + 47</u>	\$ <u>55</u>
Driveway & Sidewalk	\$ _____	\$ _____
TOTAL	\$ _____	\$ _____

## OWNER / BUILDER INFORMATION

OWNER	Name <u>Bernie Reingold</u>	Telephone (h) <u>713 851 7519</u> (w) <u>832 333-2515</u>
BUILDER	Company Name <u>ACERO Construction</u>	Telephone <u>328-3698</u>
	Contact/Applicant's Name <u>Brian Wills</u>	Pager _____ FAX <u>535 6361</u>
DRIVEWAY/ SIDEWALK	Contractor <u>ACERO Construction</u>	Telephone <u>328-3698</u>
CERTIFICATE OF OCCUPANCY	Name <u>Bernie Reingold</u>	Telephone _____
	Address _____ City _____ ST _____ ZIP _____	

If you would like to be notified when your application is approved, please select the method:

\_\_\_\_\_ telephone ☒ e-mail: bwills@aceroconstruction.com

You may check the status of this application at [www.ci.austin.tx.us/development/pierivr.htm](http://www.ci.austin.tx.us/development/pierivr.htm)

**CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION "B"**

**CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION**

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE BRNMB DATE 12 FEB 2009

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) 42759

**Rejection Notes/Additional Comments (for office use only):**

TCAD ✓ LSA Obtained

GIS ✓

Amanar

→ Permit History : Sanborn Vol 3 Pg. 301

Trees ✓

Leaf Tent protrusion not allowed  
- Re-Design plans required

Service Address 811 W 30TH ST AUSTIN, TX 78705

Applicant's Signature BRNMB Date 12 FEB 09

## CITY OF AUSTIN

## RESIDENTIAL PERMIT APPLICATION "C"

## BUILDING COVERAGE

The area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing		New / Addition	
a. 1 <sup>st</sup> floor conditioned area	1256	sq.ft.	828	sq.ft.
b. 2 <sup>nd</sup> floor conditioned area		sq.ft.	404	sq.ft.
c. <del>3<sup>rd</sup> floor conditioned area</del>		sq.ft.		sq.ft.
d. <del>Basement</del>		sq.ft.		sq.ft.
e. Garage / Carport		sq.ft.		sq.ft.
attached		sq.ft.		sq.ft.
X detached		sq.ft.	411	sq.ft.
f. Wood decks [must be counted at 100%]		sq.ft.		sq.ft.
g. <del>Breezeways</del>		sq.ft.		sq.ft.
h. Covered patios		sq.ft.	157	sq.ft.
i. Covered porches	109	sq.ft.		sq.ft.
j. <del>Balconies</del>		sq.ft.		sq.ft.
k. <del>Swimming pool(s) [pool surface area(s)]</del>		sq.ft.		sq.ft.
l. Other building or covered area(s)		sq.ft.		sq.ft.
Specify _____				

TOTAL BUILDING AREA (add a. through l.) 1365 sq.ft. 1795 sq.ft.

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and f. if uncovered)

2756 sq.ft.  
34 % of lot

## IMPERVIOUS COVERAGE

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot (see above)	2756	sq.ft.
b. Driveway area on private property	494	sq.ft.
c. Sidewalk / walkways on private property	92	sq.ft.
d. Uncovered patios		sq.ft.
e. Uncovered wood decks [may be counted at 50%]	20	sq.ft.
f. Air conditioner pads	32	sq.ft.
g. Concrete decks	43	sq.ft.
h. Other (specify) _____		sq.ft.

TOTAL IMPERVIOUS COVERAGE (add a. through h.)

3437 sq.ft.  
42.4 % of lot

## CITY OF AUSTIN

## RESIDENTIAL PERMIT APPLICATION "D"

## FLOOR AREA RATIO INFORMATION

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS ORDINANCE BOUNDARY AREA.

Service Address 811 W 30TH ST AUSTIN, TX 78705

Applicant's Signature BRUNN

Date 12 FEB 09

### GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.

	Existing	New / Addition
<b>I. 1<sup>st</sup> Floor Gross Area</b>		
a. 1 <sup>st</sup> floor area (excluding covered or uncovered finished ground-floor porches)	<u>1256</u> sq.ft.	<u>828</u> sq.ft.
b. 1 <sup>st</sup> floor area with ceiling height over 15 feet.	_____ sq.ft.	_____ sq.ft.
c. TOTAL (add a and b above)	_____ sq.ft.	_____ sq.ft.
<b>II. 2<sup>nd</sup> Floor Gross Area</b> See note <sup>1</sup> below		
d. 2 <sup>nd</sup> floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	_____ sq.ft.	<u>404</u> sq.ft.
e. 2 <sup>nd</sup> floor area with ceiling height > 15 feet.	_____ sq.ft.	_____ sq.ft.
f. TOTAL (add d and e above)	_____ sq.ft.	_____ sq.ft.
<del>III. 3<sup>rd</sup> Floor Gross Area</del> See note <sup>1</sup> below		
g. 3 <sup>rd</sup> floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	_____ sq.ft.	_____ sq.ft.
h. 3 <sup>rd</sup> floor area with ceiling height > 15 feet	_____ sq.ft.	_____ sq.ft.
i. TOTAL (add g and h above)	_____ sq.ft.	_____ sq.ft.
<b>IV. Basement Gross Area</b>		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	_____ sq.ft.	_____ sq.ft.
<b>V. Garage</b>		
k. _____ attached (subtract 200 square feet if used to meet the minimum parking requirement)	_____ sq.ft.	_____ sq.ft.
l. <input checked="" type="checkbox"/> detached (subtract 450 square feet if more than 10 feet from principal structure)	_____ sq.ft.	<u>412</u> sq.ft.
<del>VI. Carport (open on two or more sides without habitable space above it subtract 450 square feet)</del>	_____ sq.ft.	_____ sq.ft.
<b>VII. TOTAL</b>	<u>1256</u> sq.ft.	<u>1232</u> sq.ft.

**TOTAL GROSS FLOOR AREA** (add existing and new from VII above)

**GROSS AREA OF LOT**

**FLOOR AREA RATIO** (gross floor area / gross area of lot)

2,488 sq. ft.

8,100 sq. ft.

.307 sq. ft.

<sup>1</sup> If a second or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

- It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- It only has one floor within the roof structure
- It does not extend beyond the foot print of the floors below
- It is the highest habitable portion of the building; and
- Fifty percent or more of the area has a ceiling height of seven feet or less.

All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.



Kramer Service Center

2412 Kramer Lane, Bldg. "C"

Austin, Texas 78758  
(512) 505-7206

**Austin Energy**

**Electric Service Planning Application**  
(Please Print or Type)

St. Elmo Service Center

4411-B Meinardus Drive

Austin, Texas 78744  
(512) 505-7500

**ESPA for Residential & Small Commercial Service Only (under 350 amps 1Ø or 225 amps 3Ø)**

Name: brian wills Phone 512 328 3698

Address 811 West 30th street

Legal Description W 30' of Lot 6, E 30' of Lot 7, W.A. Harper's Subd.

Lot \_\_\_\_\_ Block \_\_\_\_\_ Commercial/Residential? R

Service Main Size(s) — (amps) Service Conductor — (type & size)

Service Length — (ft.) Number of Meters? — Multi-Fuel Y N

Overhead/Underground? LF Voltage — Single-phase (1Ø) ☐ Three-phase (3Ø)

Total Square Footage — Total AC Load — (# of units) (Tons)

Largest AC unit — (Tons) LRA of Largest AC Unit — (amps)

Electric Heating — (kW) Other — (kW)

Comments: Addition on existing house plus secondary dwelling on the rear of lot

ESPA Completed by (Signature & Print name) \_\_\_\_\_

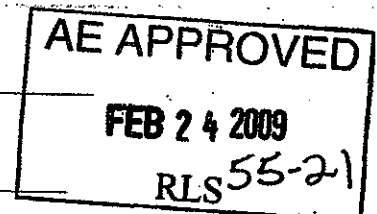
Phone \_\_\_\_\_

Building/Electric Permit No: \_\_\_\_\_

AE Representative \_\_\_\_\_

Date \_\_\_\_\_

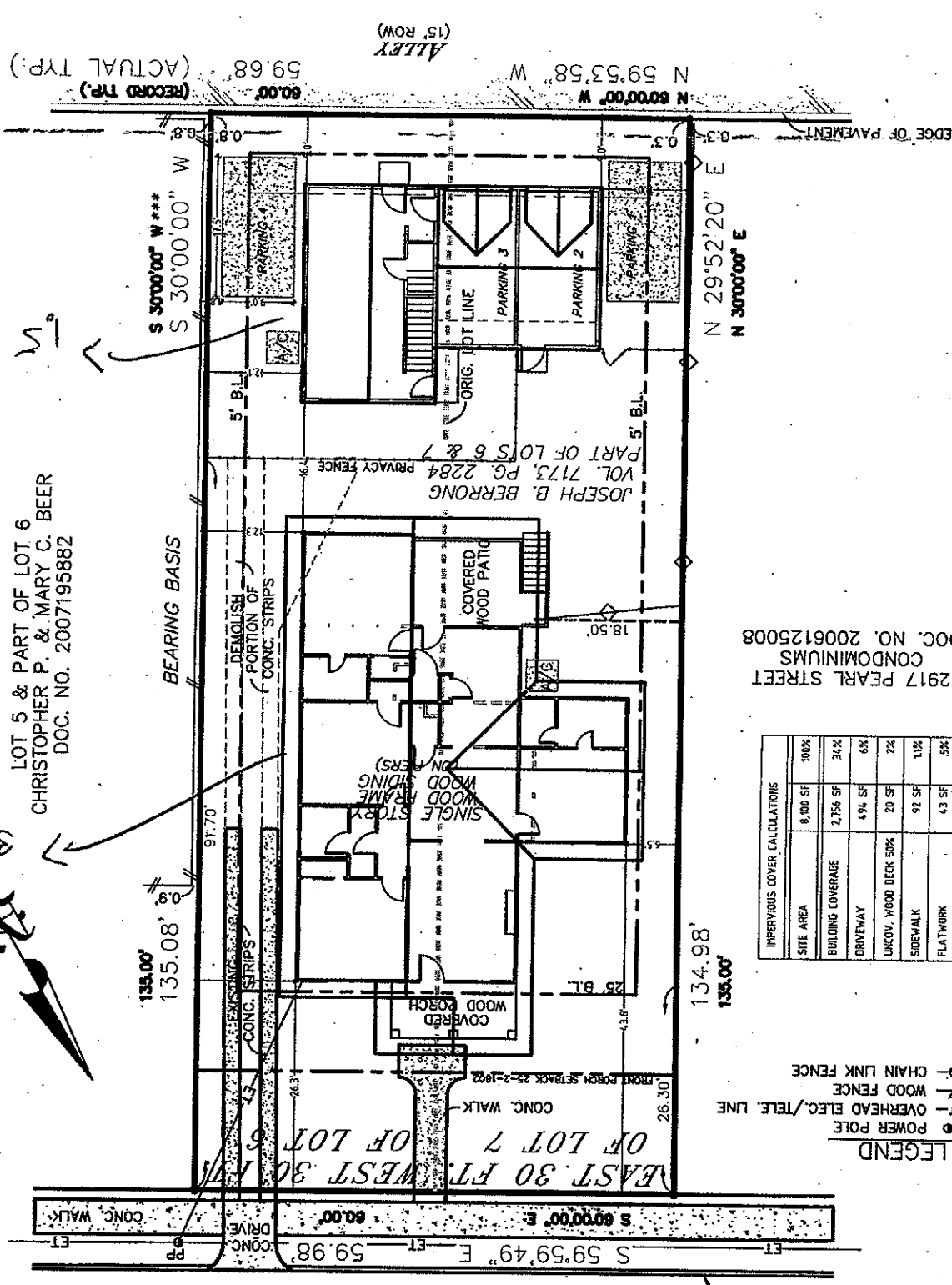
Approved: ☒ Yes ☐ No (Remarks on back) Phone 512 974-2632



Application expires 90 days after date of Approval

Version 1.1.0.0

WEST 30th STREET (ROW VARIES)



- LEGEND**
- PP POWER POLE
  - ET OVERHEAD ELEC./TELE. LINE
  - W WOOD FENCE
  - CL CHAIN LINK FENCE

IMPERVIOUS COVER CALCULATIONS

SITE AREA	8,100 SF	100%
BUILDING COVERAGE	2,756 SF	34.2%
DRIVEWAY	494 SF	6%
UNCOV. WOOD DECK 50%	20 SF	2%
SIDEWALK	92 SF	1.1%
FLATWORK	43 SF	5%
A/C PADS	32 SF	3%
TOTAL IC	3,437 SF	42%
TOTAL IC ALLOWED	3,645 SF	45%

2917 PEARL STREET  
CONDOMINIUMS  
DOC. NO. 2006125008

LOT 5 & PART OF LOT 6  
CHRISTOPHER P. & MARY C. BEER  
DOC. NO. 2007195882

JOSEPH B. BERRONG  
VOL. 7173, PG. 2284  
PART OF LOTS 6 & 7

**acero**  
CONSTRUCTION  
PO BOX 4126 AIX 78704 • 512 528 1495

811 W 30TH  
AUSTIN, TEXAS 78705

DATE ISSUED	DRAWN BY	CHECKED BY	JOB NUMBER	REVISIONS
05FEB2009	BRW	MLR	WBT	

A2

1:20  
PLOT PLAN

CITY OF AUSTIN

**acero**  
CONSTRUCTION  
PO BOX 9410 APT 787M • D12 538 3493

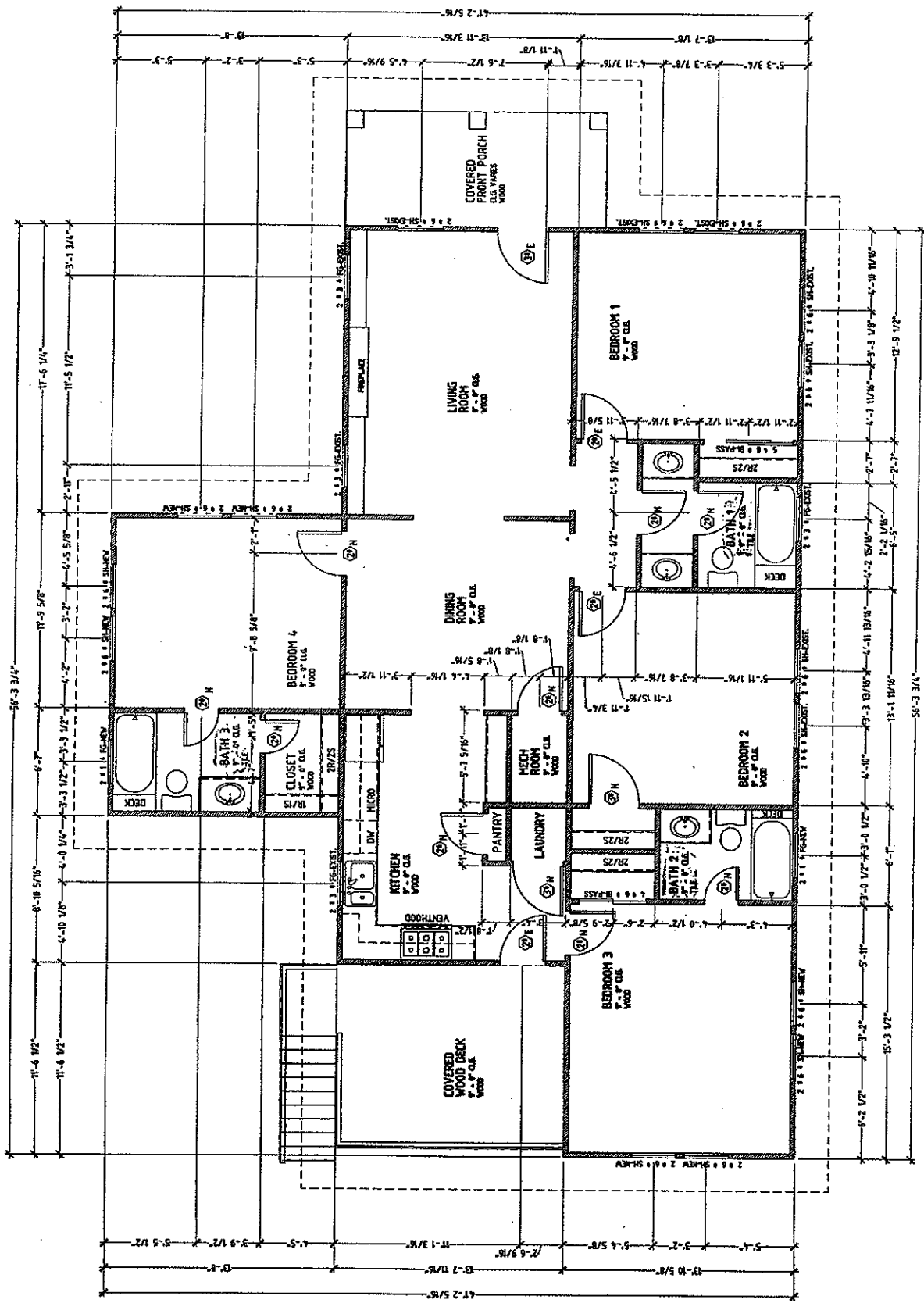
**811 W 30TH**  
AUSTIN, TEXAS 78705

DATE ISSUED	05FEB2009
DRAWN BY	BRW
CHECKED BY	MLR
JOB NUMBER	W611
REVISIONS	

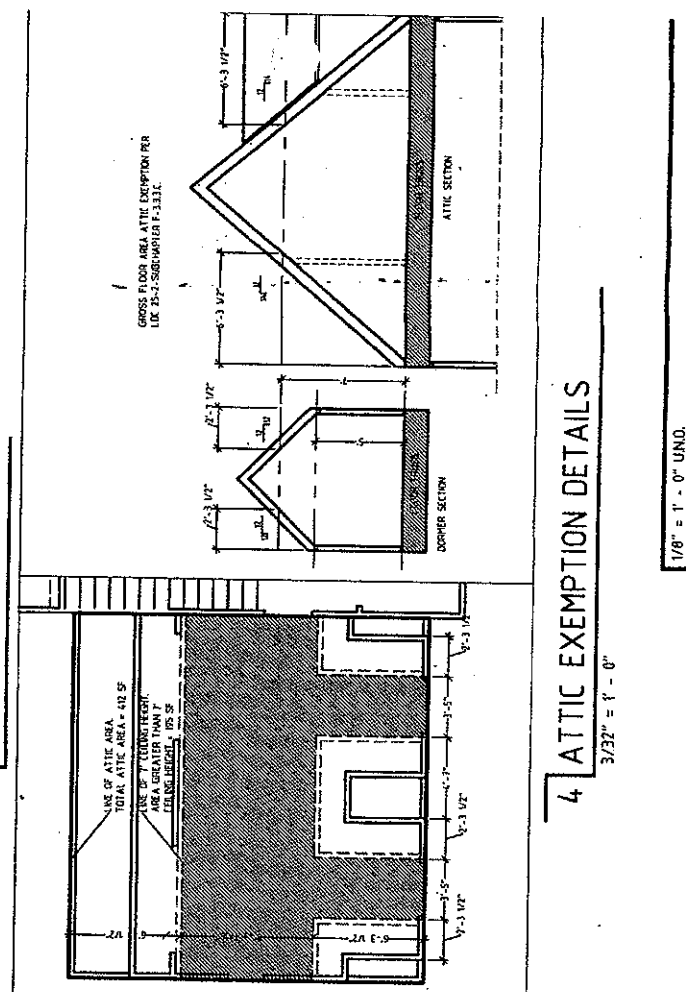
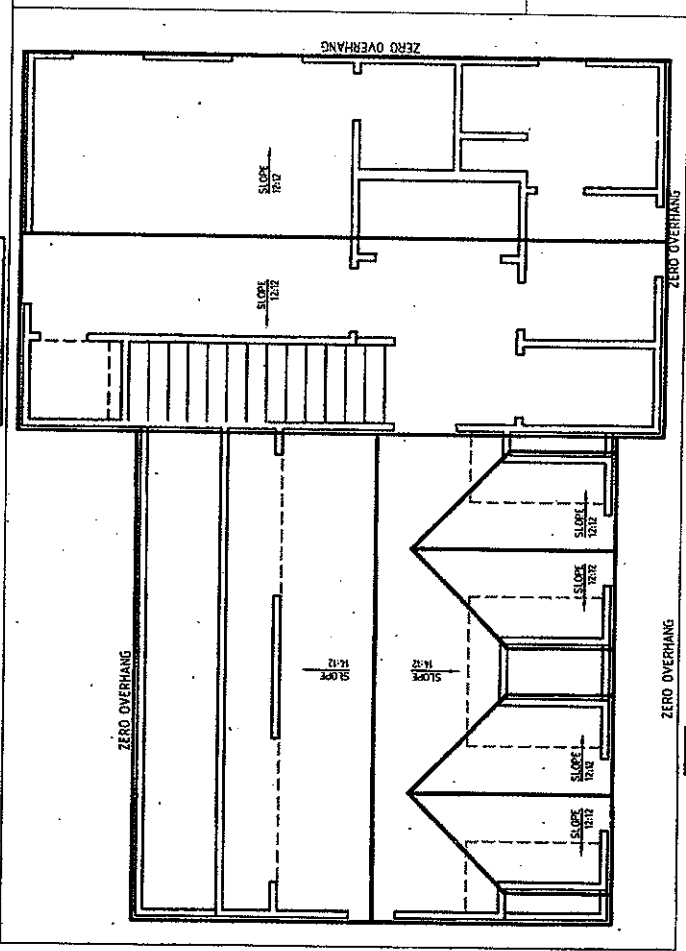
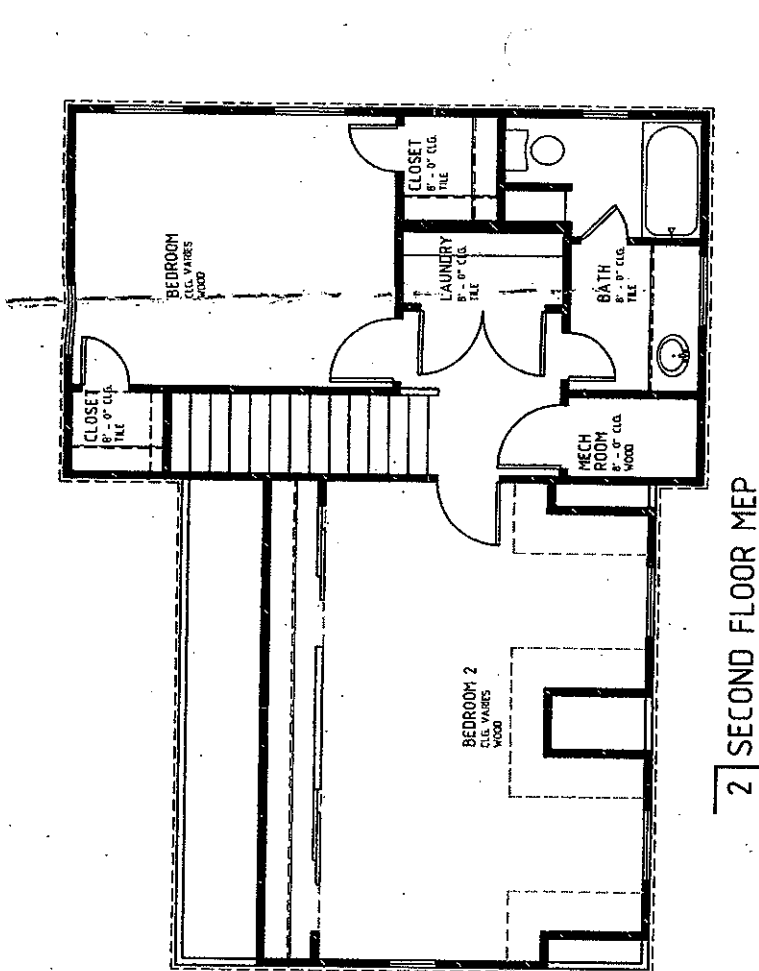
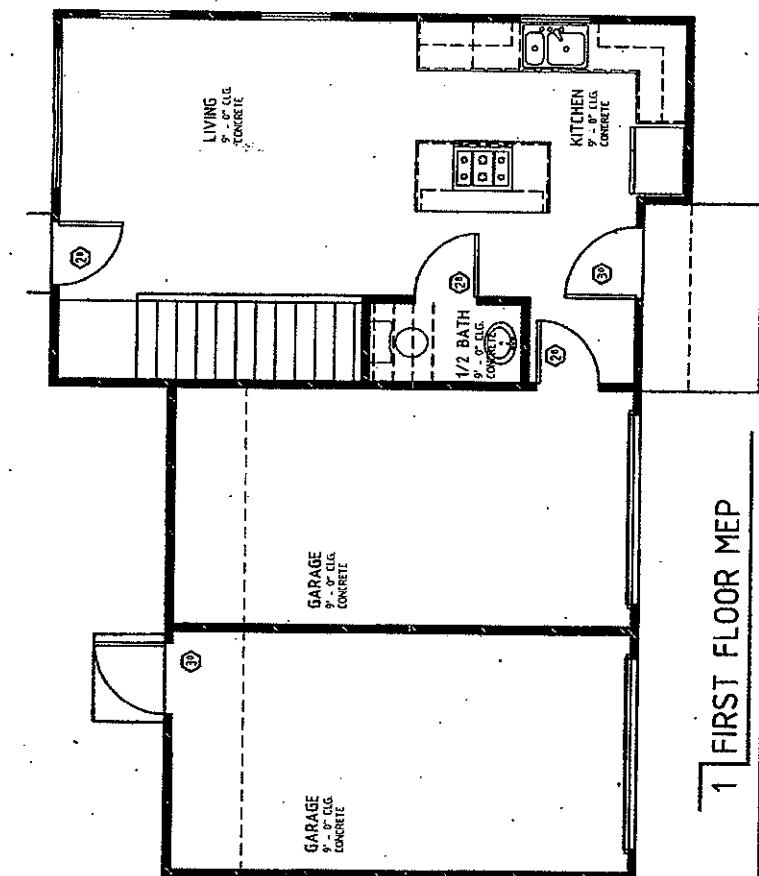
**A4**

**PRINCIPLE STRUCTURE  
FIRST FLOOR - FRAMING**

1/4" = 1' - 0"

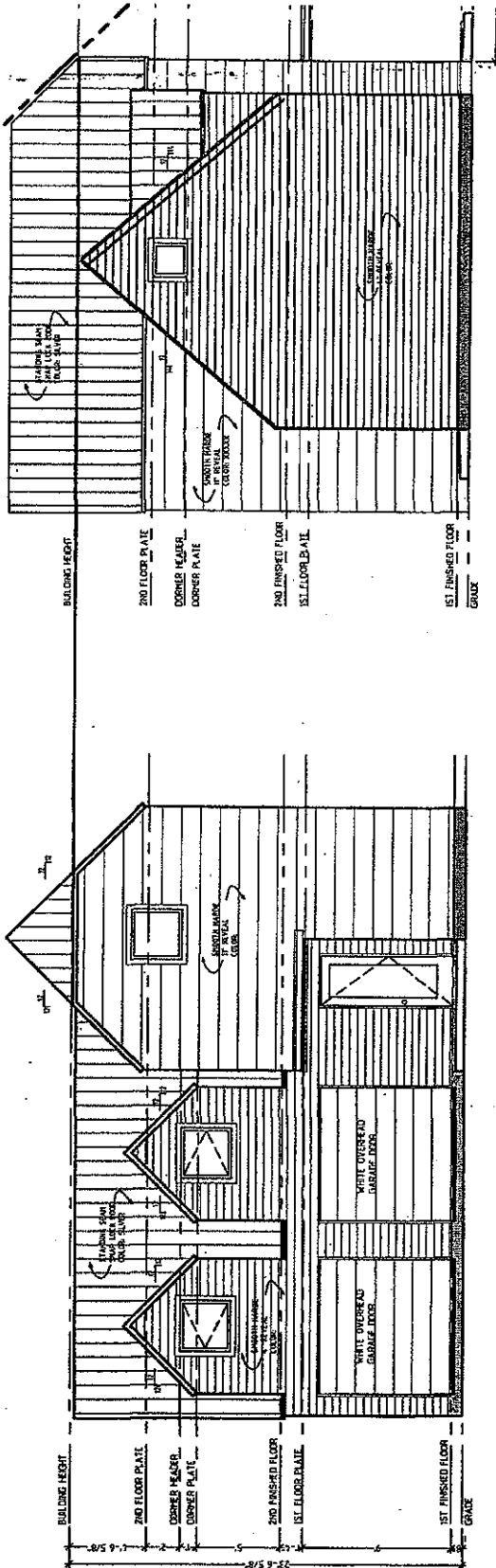
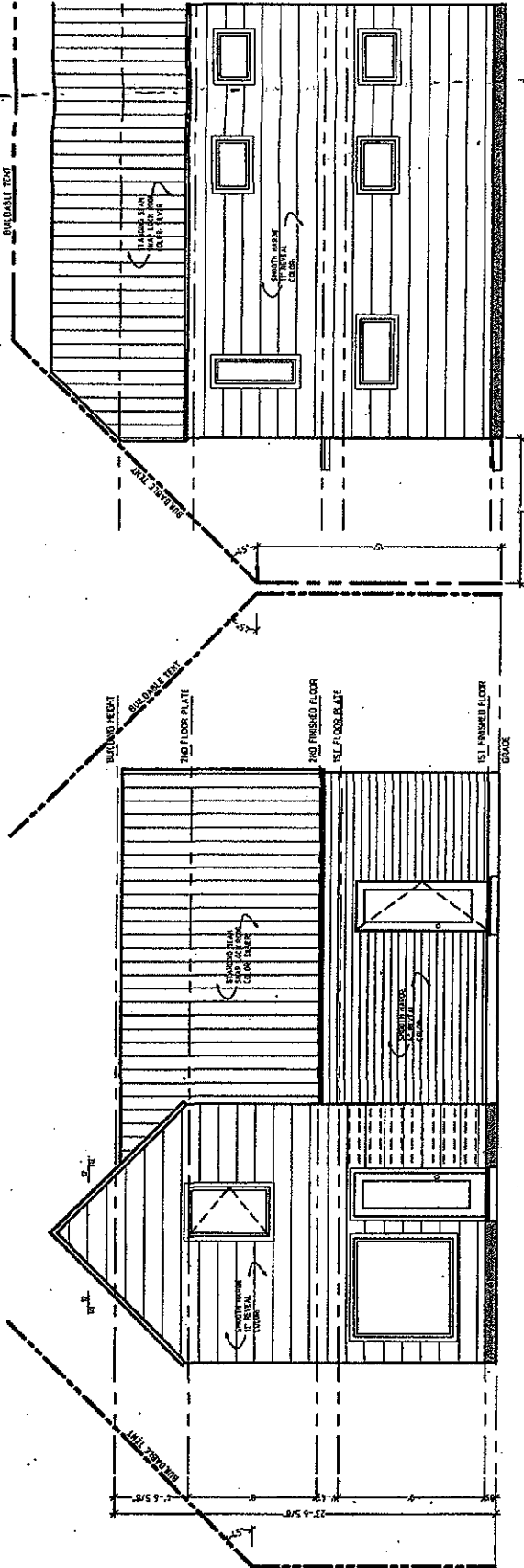






1/8" = 1' - 0" UNO.  
SECONDARY DWELLING  
MEP

3/32" = 1 - 0"



**acero**

CONSULTING  
PO BOX 4010 APT 2070C • 612 382 3499

BID SET  
NOT FOR  
CONSTRUCTION

811 W 30TH

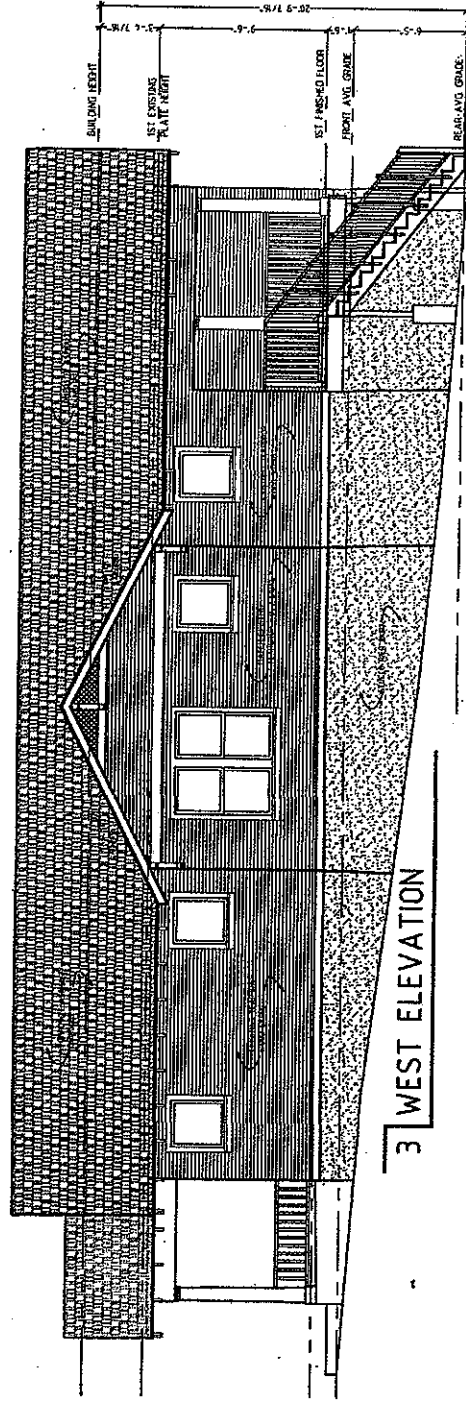
811 WEST 30TH STREET  
AUSTIN, TEXAS 78705

DATE ISSUED  
05FEB2009  
DRAWN BY  
BRW  
CHECKED BY  
MLR  
JOB NUMBER  
WB11  
REVISIONS

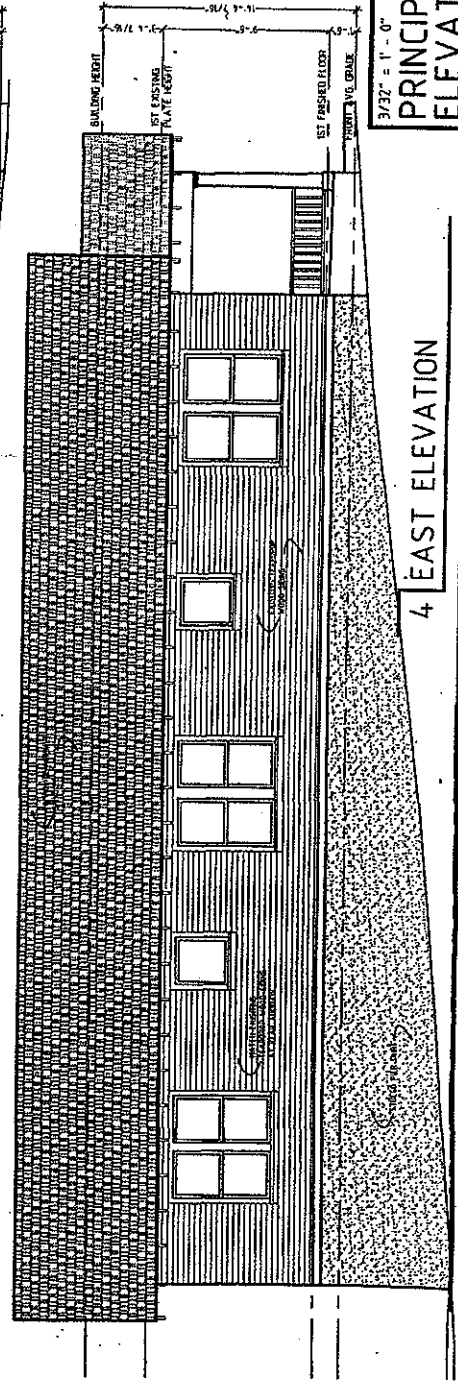

A9

2 NORTH ELEVATION

1 SOUTH ELEVATION



3 WEST ELEVATION



4 EAST ELEVATION

PRINCIPLE STRUCTURE  
ELEVATIONS

3/32" = 1' - 0"





**City of Austin  
Watershed Protection and Development Review Department  
Land Status Determination  
1995 Rule Platting Exception**

**February 10, 2009**

**File Number: C8I-2009-0042**

**Address: 811 W 30TH ST**

**Tax Parcel I.D. # 0217021302**

**Tax Map Date: 08/28/2003**

The Watershed Protections & Development Review has determined that this parcel, as described in the attached description and map, **IS EXCEPTED FROM THE REQUIREMENT TO PLAT** in accordance with the Land Development Code, Section 25-4-2(C), and is eligible to receive utility service.

The parcel of land consists of five acres or less, and is described as being **W 30FT LOT 6 \* & E 30FT LOT 7 OLT 72 DIV D HARPERS SUBD** in the current deed, recorded on **Jan 27, 2009**, in **Document #2009011403**, Travis County Deed Records. This parcel existed in its current configuration on January 1, 1995, as evidenced by a deed recorded on **Nov 03, 1980**, in Volume **7173**, Page **2284**, Travis County Deed Records. The parcel was lawfully receiving utility service, as defined in Section 212.012 of the Texas Local Government Code, on January 1, 1995, as evidenced by water service on **Feb 24, 1937**. The parcel meets the requirements of the Land Development Code for roadway frontage and is located on an existing street.

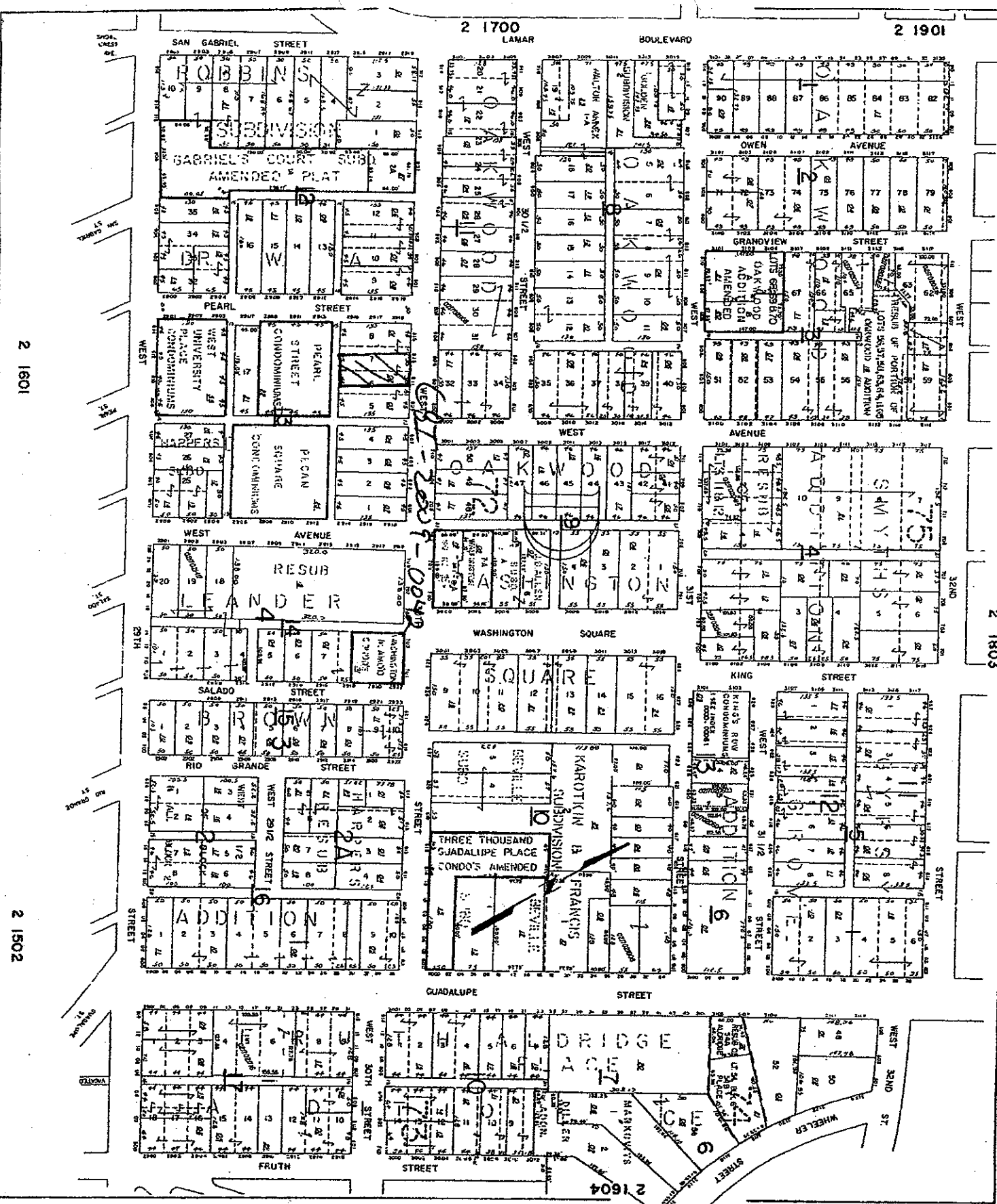
**Additional Notes/Conditions:**  
**NONE**

This determination of the status of the property is based on the application of Chapter 212, Municipal Regulation of Subdivisions and Property Development, Texas Local Government Code; and the City of Austin Land Development Code, Chapter 25-4, Subdivision. Recognition hereby does not imply approval of any other portion of the City Code or any other regulation.

**By:**

**Daniel Word, Representative of the Director**

**Watershed Protection and Development Review Department**



MAP NO. 21702

SCALE 1" = 100'

TRAVIS CENTRAL APPRAISAL DISTRICT  
 8314 Cross Park Drive  
 Austin, Tx 78754  
 Internet Address WWW.TRAVISCAD.ORG  
 Main Telephone Number (512)834-9317  
 Appraisal Information (512)834-9138  
 Fax Number (512)835-5371  
 TDD (512)836-3328

ASSOCIATES  
 AUSTIN COUNTY OFFICE  
 AUSTIN, TX  
 CITY OF AUSTIN  
 TRAVIS COUNTY

08/23/2003 REC



# CITY OF AUSTIN



## WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT LAND STATUS DETERMINATION APPLICATION

☐ Legal Tract

☐ 1987 Rule Exception

☐ Health / Safety Exception

☒ 1995 Rule Exception

☐ Five-Acre Exception

### PROJECT INFORMATION: (Department Use Only)

Grandfather/Exception Date: 1-1-95

Filing Date: 2-10-09

Accepted by: [Signature]

File Number: CBT-2009-0042

Case Manager: Daniel Ward

### PROPERTY INFORMATION

Tax Parcel Identification Number: 02170213020000

Location Address: W 811 30TH STREET AUSTIN, TX 78751

Subdivision Name: W. A. HARPER'S SUBDIVISION of OUTLOT 72, DIVISION "D"

Whole Lot #s: \_\_\_\_\_ Partial Lot #s: 6,7 Block #s: \_\_\_\_\_

Recorded in Plat book: Vol. 2 Page: 205 County: TRAVIS

Or if no subdivision

\_\_\_\_\_ Acres out of \_\_\_\_\_ Survey in \_\_\_\_\_ County

### DEED INFORMATION

Deed conveying tract to current owner is filed for Record in: {if no Volume/Page, use Document No.}

Doc.  
Volume 2009011403 Page \_\_\_\_\_ County: TRAVIS Date: JAN 27, 2009

Deed pre-dating (grandfather date or exception date) is filed for Record in:

Volume 7173 Page 2284 County: TRAVIS Date: NOV 3, 1980

### OWNER INFORMATION

Name: BERNIE REINGOLD

Street Address: 8103 INDIAN 1

City: HOUSTON State: TX Zip: 77096 Tel: 832 333-2515

### PRIMARY CONTACT INFORMATION

Firm Name: ACERO Construction Contact: Brian Wills

Street Address: 811 West Live Oak, Rear House

City: Austin State: TX Zip: 78704

Telephone: 512 328 3648 FAX: 512 535 6361

BRWills

Applicant's Signature

05 FEB 2009

Date

# Basement Exemption - Accessory Use

BASEMENT

CITY OF AUSTIN

RESIDENTIAL PERMIT APPLICATION "A"

BP Number 07-107521  
 Building Permit No. 2007-107539 BC  
 Plat No. \_\_\_\_\_ Date 3/20/07  
 Reviewer MBT

PRIMARY PROJECT DATA

Service Address 11909 ROTHERHAM DRIVE 78753 Tax Parcel No. 254856  
 Legal Description  
 Lot 27 Block B Subdivision COPPERFIELD Section 1 Phase D  
 If in a Planned Unit Development, provide Name and Case No. \_\_\_\_\_  
 (attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

Description of Work  
 \_\_\_\_\_ Remodel (specify) \_\_\_\_\_  
 \_\_\_\_\_ New Residence  
 \_\_\_\_\_ Duplex  
 \_\_\_\_\_ Garage attached \_\_\_\_\_ detached  
 \_\_\_\_\_ Carport attached \_\_\_\_\_ detached  
 \_\_\_\_\_ Pool  
 \_\_\_\_\_ Addition (specify) ADD 2 STOREY WORKSHOP AND ART STUDIO W. BASEMENT  
 \_\_\_\_\_ Other (specify) \_\_\_\_\_

Zoning (e.g. SF-1, SF-2...) SE-2 SF-2  
 - Height of Principal building 24 ft. # of floors 1 Height of Other structure(s) THIS 26 ft. # of floors 2 + Basement  
 - Does this site currently have water and wastewater availability? ☒ Yes \_\_\_\_\_ No. If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.  
 - Does this site have a septic system? \_\_\_\_\_ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

Does this site have a Board of Adjustment ruling? \_\_\_\_\_ Yes ☒ No If yes, attach the B.O.A. documentation  
 Will this development require a cut and fill in excess of 4 feet? \_\_\_\_\_ Yes ☒ No  
 Does this site front a paved street? ☒ Yes \_\_\_\_\_ No A paved alley? \_\_\_\_\_ Yes ☒ No  
 Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? \_\_\_\_\_ Yes ☒ No

VALUATIONS FOR REMODELS ONLY

VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY

PERMIT FEES (For office use only)

Building \$ \_\_\_\_\_  
 Electrical \$ \_\_\_\_\_  
 Mechanical \$ \_\_\_\_\_  
 Plumbing \$ \_\_\_\_\_  
 Driveway/ Sidewalk \$ \_\_\_\_\_  
 TOTAL \$ \_\_\_\_\_  
 (labor and materials)

Lot Size 8668 sq. ft.  
 Job Valuation - Principal Building \$ \_\_\_\_\_  
 (Labor and materials)  
 Job Valuation - Other Structure(s) \$ 28,000  
 (Labor and materials)  
 TOTAL JOB VALUATION  
 (sum of remodels and additions)  
 \$ 28,000  
 (Labor and materials)

	NEW/ADDITIONS	REMODELS
Building	\$ <u>82.00</u>	\$ _____
Electrical	\$ <u>47.00</u>	\$ _____
Mechanical	\$ _____	\$ _____
Plumbing	\$ <u>46.00</u>	\$ _____
Driveway & Sidewalks	\$ _____	\$ _____
TOTAL	\$ _____	\$ _____

OWNER / BUILDER INFORMATION

OWNER Name DENNIS BRUHN Telephone (h) 751-7051  
 BUILDER Company Name SELF / HOME OWNER Telephone (w) \_\_\_\_\_  
 Contact/Applicant's Name \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor H.A. Pager \_\_\_\_\_  
 FAX \_\_\_\_\_  
 Telephone \_\_\_\_\_  
 CERTIFICATE OF OCCUPANCY Name DENNIS BRUHN Telephone \_\_\_\_\_  
 Address 11909 ROTHERHAM DRIVE City AUSTIN ST TX ZIP 78753

If you would like to be notified when your application is approved, please select the method:  
 \_\_\_\_\_ telephone \_\_\_\_\_ e-mail

You may check the status of this application at [www.ci.austin.tx.us/development/pjcrivr.htm](http://www.ci.austin.tx.us/development/pjcrivr.htm)



**CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION "B"**

**CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION**

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE

DATE 3-20-07

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction)

Rejection Notes/Additional Comments (for office use only):

ESPA Approved, Mar 20, 2007  
add 1/2 bath = 2 1/2 bdr

Service Address

11909 ROTHERHAM DRIVE AUSTIN TEXAS 78753

Applicant's Signature

Date 3-20-07

**CITY OF AUSTIN**  
**RESIDENTIAL PERMIT APPLICATION "C"**

**BUILDING COVERAGE**

The area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing		New / Addition	
a. 1 <sup>st</sup> floor conditioned area	1456	sq. ft.	224	sq. ft.
b. 2 <sup>nd</sup> floor conditioned area	-	sq. ft.	336	sq. ft.
c. 3 <sup>rd</sup> floor conditioned area	-	sq. ft.	-	sq. ft.
d. Basement	-	sq. ft.	224	sq. ft.
e. Garage / Carport	-	sq. ft.	-	sq. ft.
<input checked="" type="checkbox"/> attached	294	sq. ft.	-	sq. ft.
detached	-	sq. ft.	-	sq. ft.
f. Wood decks [must be counted at 100%]	-	sq. ft.	-	sq. ft.
g. Breezeways	-	sq. ft.	-	sq. ft.
h. Covered patios	-	sq. ft.	-	sq. ft.
i. Covered porches	64	sq. ft.	140	sq. ft.
j. Balconies	-	sq. ft.	-	sq. ft.
k. Swimming pool(s) [pool surface area(s)]	-	sq. ft.	-	sq. ft.
l. Other building or covered area(s)	70	sq. ft.	-	sq. ft.
Specify <u>MASONRY</u>				

**TOTAL BUILDING AREA** (add a. through l.) 1884 sq. ft. 476 924 sq. ft.

**TOTAL BUILDING COVERAGE ON LOT** (subtract, if applicable, b., c., d., k. and f. if uncovered)

3467.2

2360 sq. ft.  
27.2 % of lot

**IMPERVIOUS COVERAGE**

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot (see above)	2360	sq. ft.
b. Driveway area on private property	370	sq. ft.
c. Sidewalk / walkways on private property	60	sq. ft.
d. Uncovered patios	200	sq. ft.
e. Uncovered wood decks [may be counted at 50%]	0	sq. ft.
f. Air conditioner pads	10	sq. ft.
g. Concrete decks		sq. ft.
h. Other (specify) _____		sq. ft.

**TOTAL IMPERVIOUS COVERAGE** (add a. through h.)

2900.6

3000 sq. ft.  
34.6 % of lot



Kramer Service Center  
2412 Kramer Lane, Bldg. "C"  
Austin, Texas 78758  
(512) 505-7206

### Austin Energy

### Electric Service Planning Application (ESPA)

(Please Print or Type)

St. Elmo Service Center  
4411-B Meinardus Drive  
Austin, Texas 78744  
(512) 505-7500

**For Residential or Small Commercial "SERVICE ONLY" under 350 amps 1Ø or 225 amps 3Ø**

Customer Name DENNIS BRUHN Phone 836-2688  
751-7051  
Address 11909 ROTHERHAM DR AUS TX 78753  
Legal Description Copperfield Section ONE, Phase "D"  
Lot 27 Block B Commercial/Residential? RES

Service Main Size \_\_\_\_\_ (amps) Service Conductor \_\_\_\_\_ (type & size)  
Service Length \_\_\_\_\_ (ft.) Number of Meters? \_\_\_\_\_ Multi-Fuel Y N  
Overhead/Underground <sup>RF</sup> \_\_\_\_\_ Voltage \_\_\_\_\_ ☐ Single-phase (1Ø) ☐ Three-phase (3Ø)  
Total Square Footage \_\_\_\_\_ Total A/C Load \_\_\_\_\_ (# of units) \_\_\_\_\_ (Tons)  
Largest A/C unit \_\_\_\_\_ (Tons) LRA of Largest A/C Unit \_\_\_\_\_ (amps)  
Electric Heating \_\_\_\_\_ (kW) Other \_\_\_\_\_ (kW)

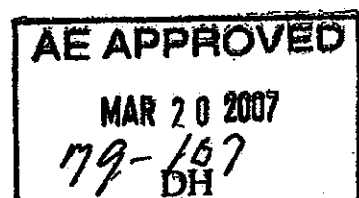
Comments: \_\_\_\_\_

ESPA Completed by (Signature & Print name) \_\_\_\_\_ Date \_\_\_\_\_ Phone \_\_\_\_\_

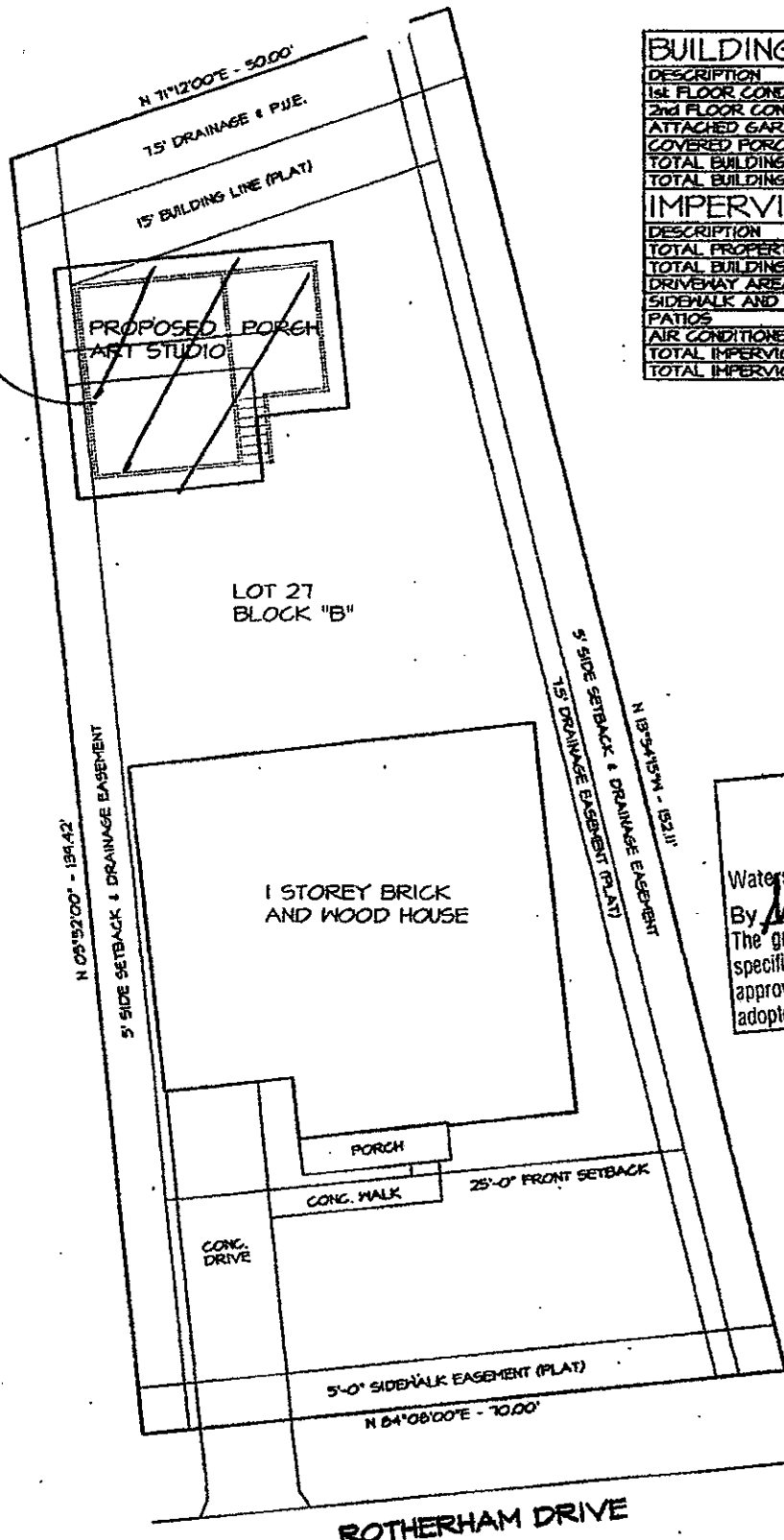
AE Representative \_\_\_\_\_ Date \_\_\_\_\_

Approved: ☐ Yes ☐ No (Remarks on back) Phone 974-9112

**Application expires 90 days after date of Approval**



3 story workshop / Studio addition



BUILDING COVERAGE		
DESCRIPTION	EXISTING	NEW / ADDITION
1st FLOOR CONDITIONED AREA	1,456 SQ.FT.	224 SQ.FT.
2nd FLOOR CONDITIONED AREA	0 SQ.FT.	336 SQ.FT.
ATTACHED GARAGE	294 SQ.FT.	0
COVERED PORCH	64 SQ.FT.	140 SQ.FT.
TOTAL BUILDING COVERAGE	1,884 SQ.FT.	476 SQ.FT.
TOTAL BUILDING PERCENT OF PROPERTY		21.2%
IMPERVIOUS COVERAGE		
DESCRIPTION	AREA	
TOTAL PROPERTY AREA	8,668 SQ.FT.	
TOTAL BUILDING COVERAGE	2,360 SQ.FT.	
DRIVEWAY AREA ON PROPERTY	370 SQ.FT.	
SIDEWALK AND WALKWAYS ON PROPERTY	60	
PATIOS	200 SQ.FT.	
AIR CONDITIONER PADS	10 SQ. FT.	
TOTAL IMPERVIOUS COVERAGE	3,000 SQ.FT.	
TOTAL IMPERVIOUS COVERAGE PERCENT OF PROPERTY	34.6%	

#### LEGAL DESCRIPTION

Lot 27, Block "B" Copperfield  
Section ONE, Phase "D"  
Travis County, Texas

#### ADDRESS:

11909 Rotherham Drive

Austin, Texas 78748

CITY OF AUSTIN  
APPROVED FOR PERMIT  
Victoria Hsu, P.E.

Watershed Protection & Development Review Department  
By Victoria Hsu Date 3/20/07  
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

AE APPROVED

MAR 20 2007

79-107  
DH

ROTHERHAM DRIVE

Dennis Bruhn - Art Studio

11909 Rotherham Drive, Austin, Texas

SITE PLAN

Scale: 1"=20'-0"

Robert James Architecture

(512) 450-0589

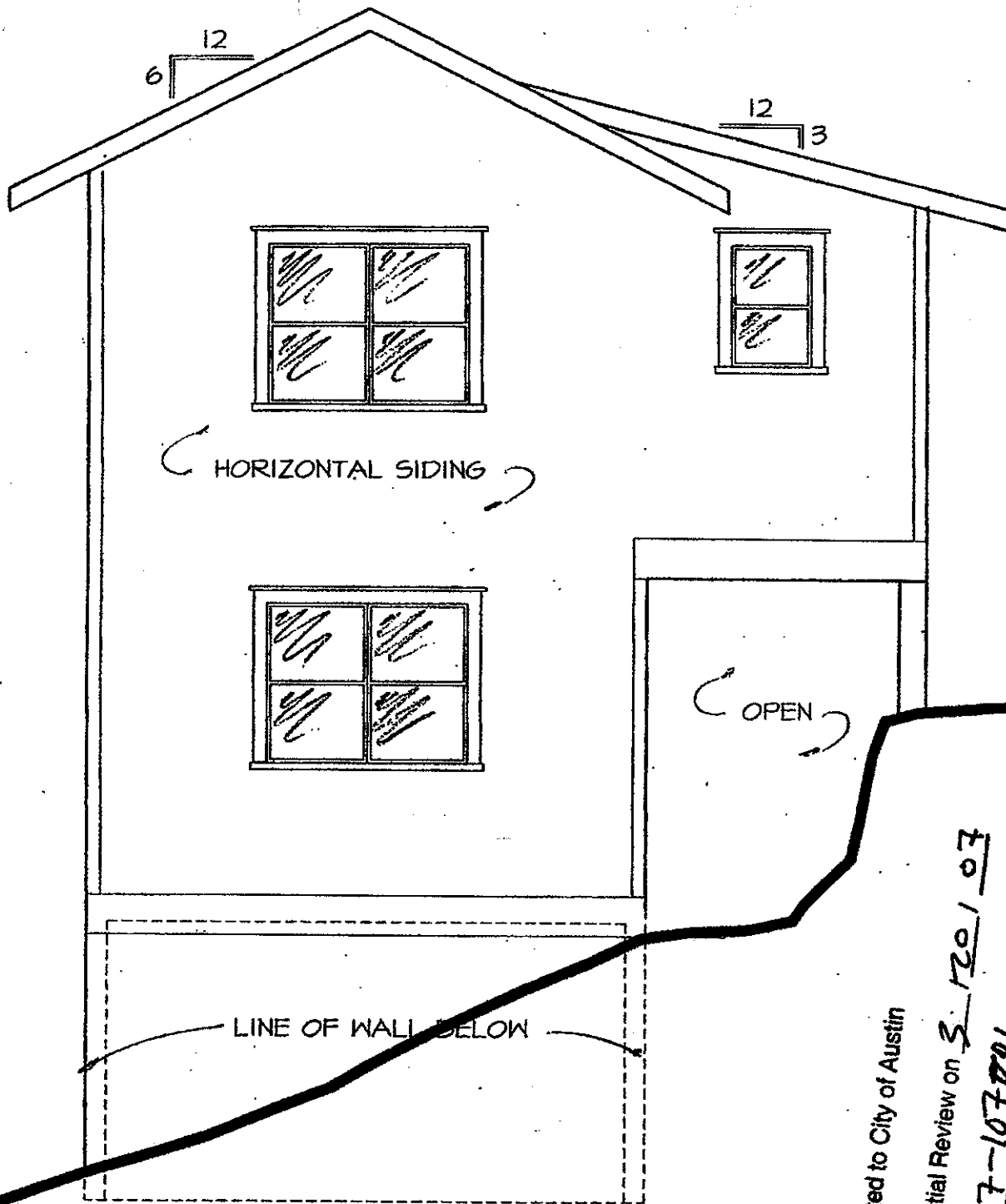
March 2nd, 2007



3/20/07



NORTH



Submitted to City of Austin  
 Residential Review on 3-12-07  
 BP 07-107321  
 [Signature]

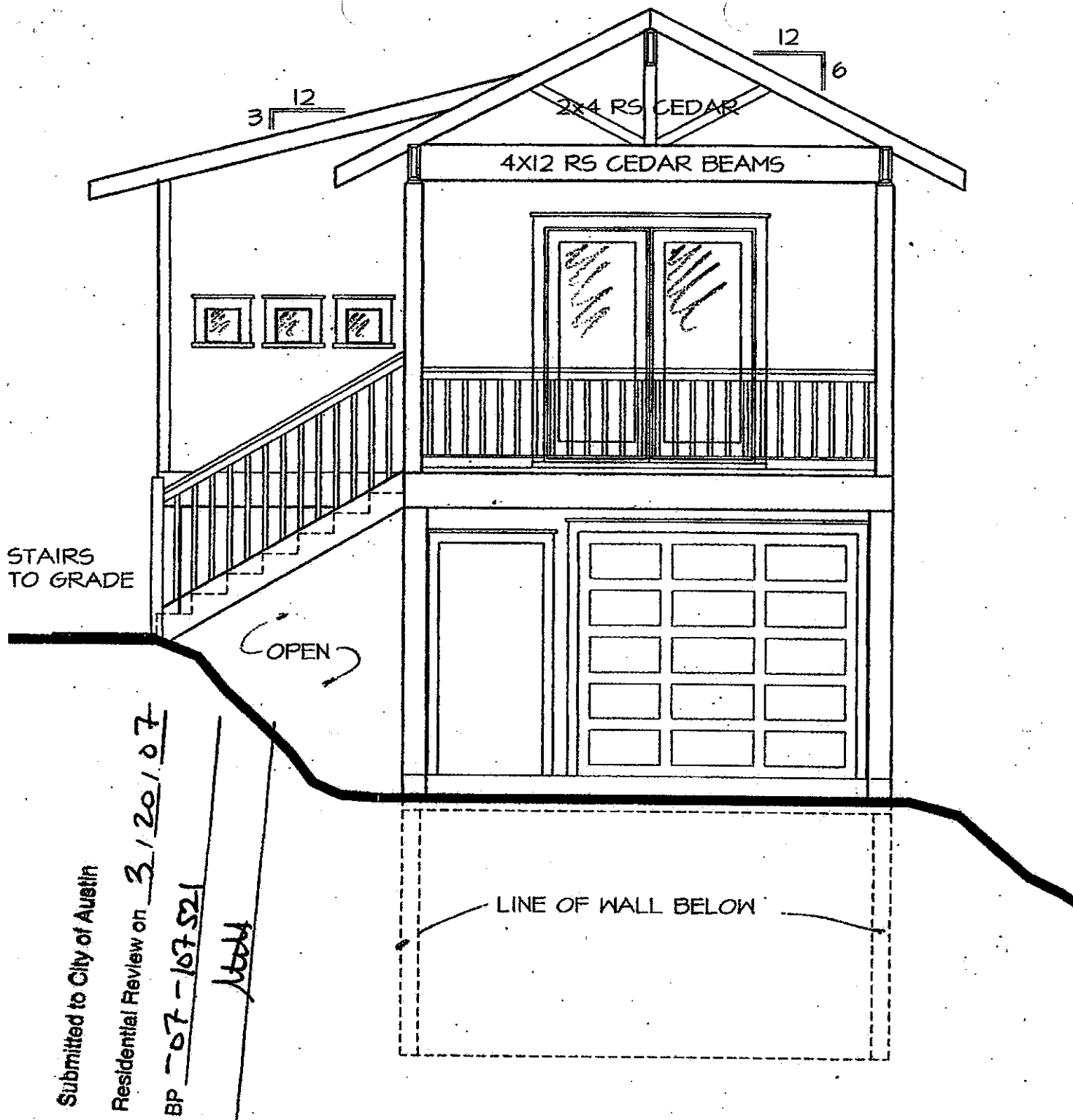
**Dennis Bruhn - Art Studio**  
 11909 Rotherham Drive, Austin, Texas

**Exterior Elevation - East (Side)**  
 Scale: 1/4"=1'0"

**Robert James Architecture**  
 (512) 450-0589  
 March 2nd, 2007



3-10-07

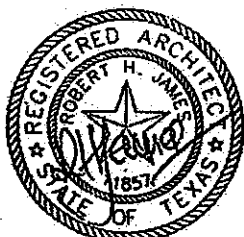


Submitted to City of Austin

Residential Review on 3/20/07

BP -07-107521

1604



3.10.07

Dennis Bruhn - Art Studio

11909 Rotherham Drive, Austin, Texas

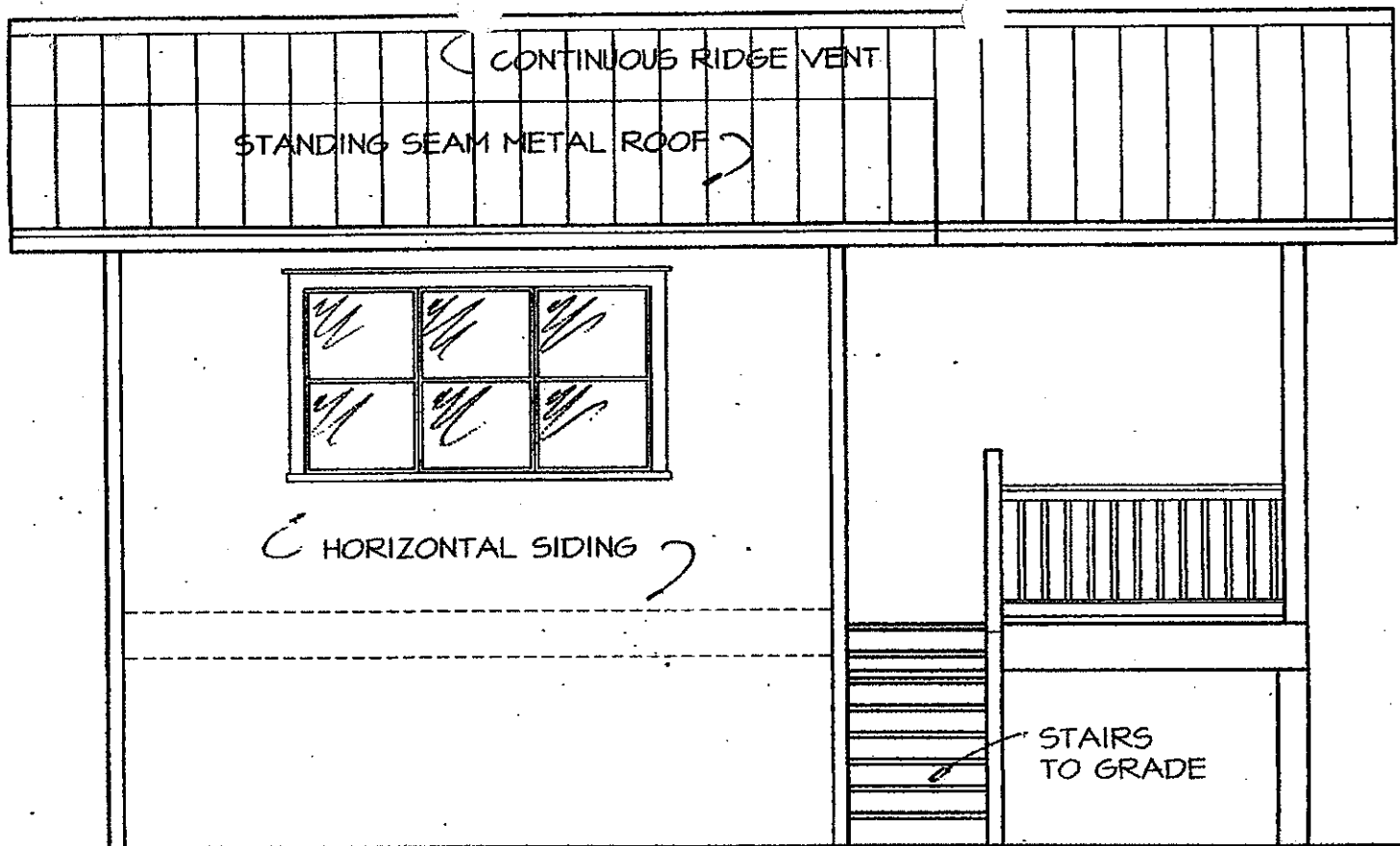
Exterior Elevation - West (Side)

Scale: 1/4"=1'0"

Robert James Architecture

(512) 450-0589

March 2nd, 2007



LINE OF WALL BELOW

**Dennis Bruhn - Art Studio**

11909 Rotherham Drive, Austin, Texas

Submitted to City of Austin

Residential Review on 3/20/07

BP -07-167521

*Handwritten signature*

**Exterior Elevation - North (Front)**

Scale: 1/4"=1'0"

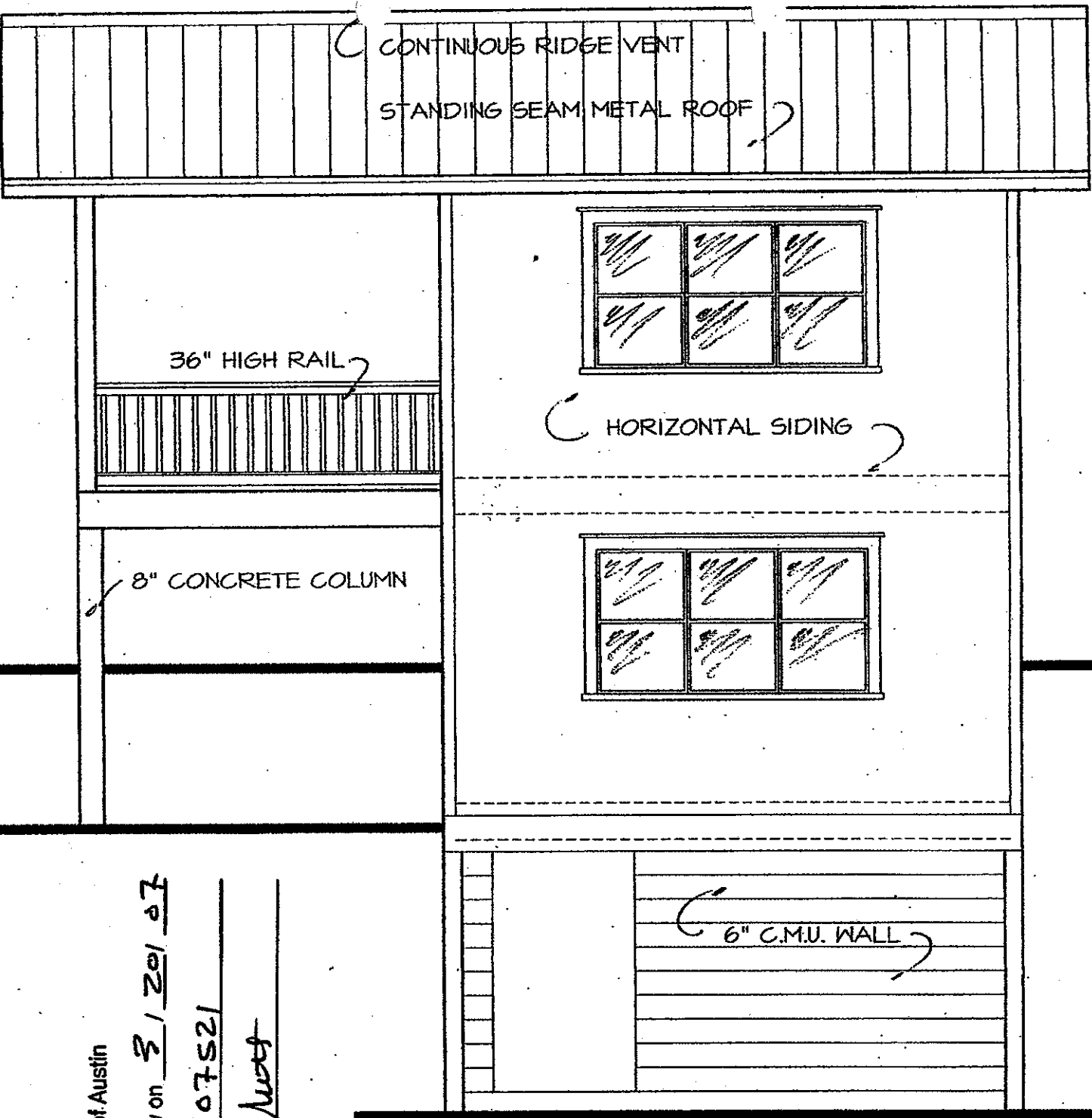


3.10.07

**Robert James Architecture**

(512) 450-0589

March 2nd, 2007



Submitted to City of Austin

Submitted for Preliminary Review on 3/20/07

07-107521

Just

3-p.07

**Dennis Bruhn - Art Studio**

11909 Rotherham Drive, Austin, Texas

**Exterior Elevation - South (Rear)**

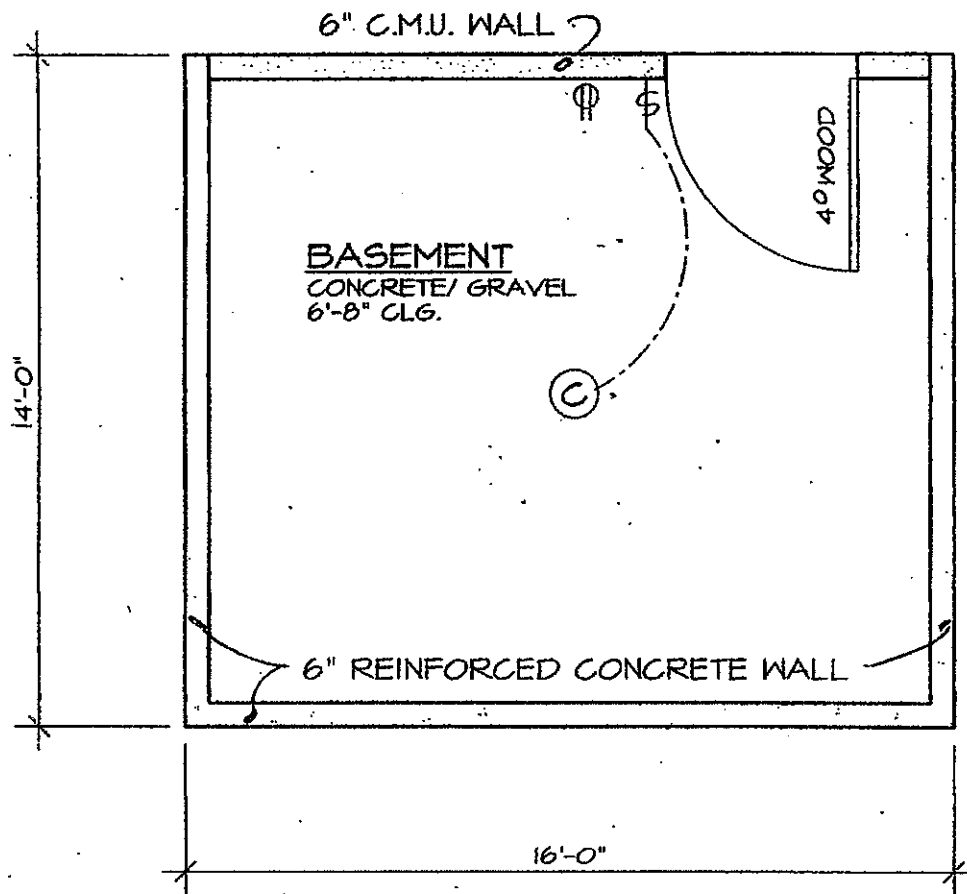
Scale: 1/4"=1'0"

**Robert James Architecture**

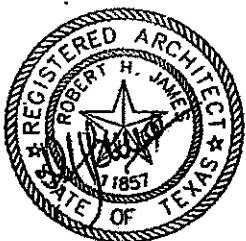
(512) 450-0589

March 2nd, 2007





Submitted to City of Austin  
Residential Review on 3/20/07  
BP 07-107521  
NWA

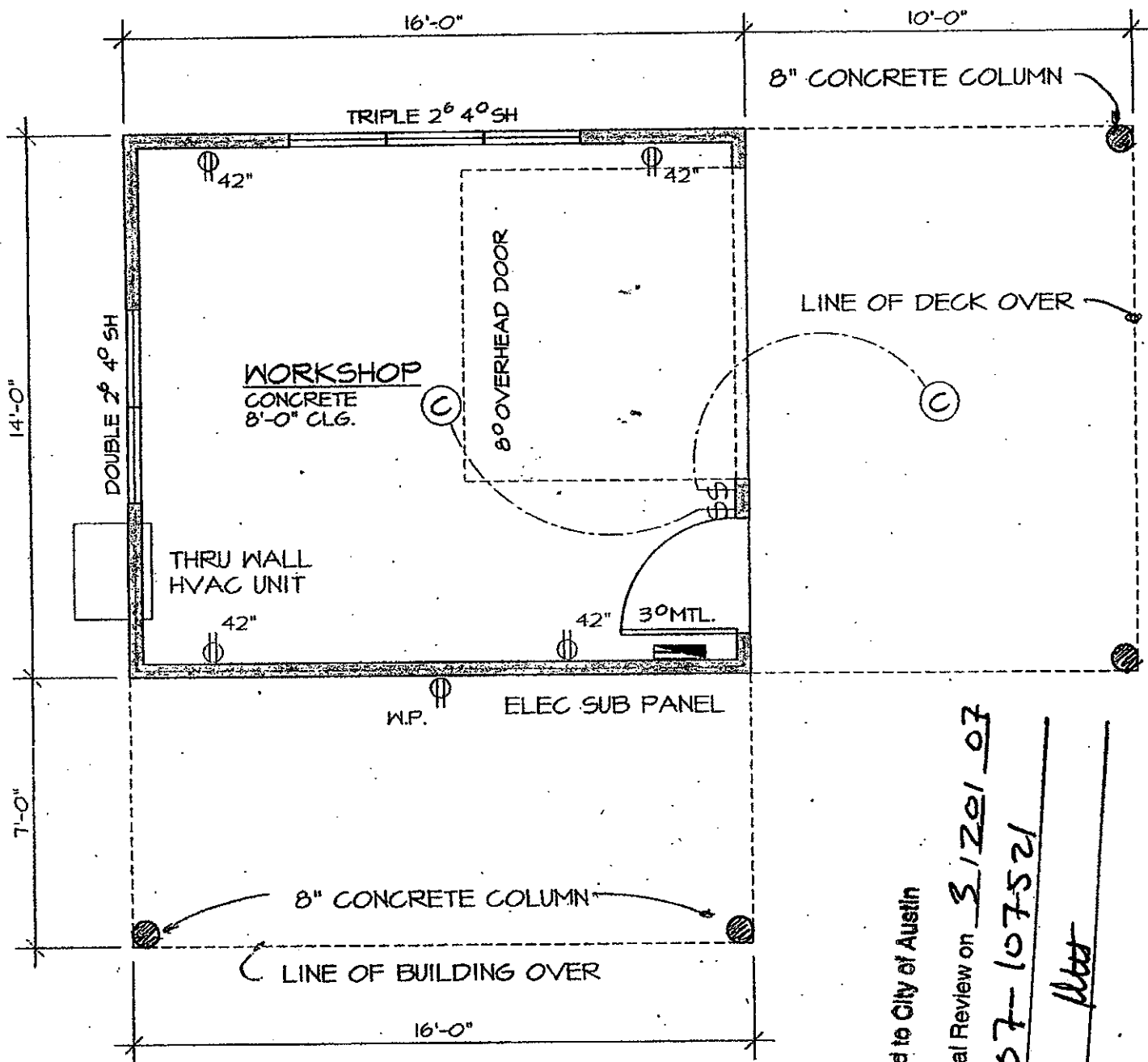


3.10.07

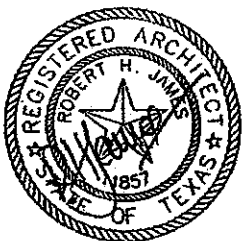
Dennis Bruhn - Art Studio  
11909 Rotherham Drive, Austin, Texas

BASEMENT FLOOR PLAN  
Scale: 1/4"=1'0"

Robert James Architecture  
(512) 450-0589 March 2nd, 2007



Submitted to City of Austin  
 Residential Review on 3/20/07  
 BP 125701-79  
11/11



3.10.07

## Dennis Bruhn - Art Studio

11909 Rotherham Drive, Austin, Texas

## WORK SHOP FLOOR PLAN

Scale: 1/4"=1'0"

Robert James Architecture

(512) 450-0589

March 2nd, 2007



CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION "A"

BASEMENT  
Resubmit

BP Number	PK 2008 074968
Building Permit No.	08-024978
Plat No.	7-33-2008
Reviewer	JOB [Signature] 9/23/08

PRIMARY PROJECT DATA

Service Address 11909 Rockerham Drive 78753 Tax Parcel No. 254856  
Legal Description  
Lot 27 Block 13 Subdivision Copperfield Section 1 Phase 0

If in a Planned Unit Development, provide Name and Case No.  
(attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

Description of Work  
☐ New Residence  
☐ Duplex  
☐ Garage ☐ attached ☐ detached  
☐ Carport ☐ attached ☐ detached  
☐ Pool  
☒ Remodel (specify)  
☒ Addition (specify) ADD Two Story work shop w/ basement  
☐ Other (specify)

Zoning (e.g. SF-1, SF-2...) SF-2

- Height of Principal building 24 ft. # of floors 1 Height of <sup>this</sup> other structure(s) 26 ft. # of floors 2 + basement

- Does this site currently have water and wastewater availability? ☐ Yes ☐ No. If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.

- Does this site have a septic system? ☐ Yes ☐ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

Does this site have a Board of Adjustment ruling? ☐ Yes ☒ No If yes, attach the B.O.A. documentation

Will this development require a cut and fill in excess of 4 feet? ☐ Yes ☒ No

Does this site front a paved street? ☒ Yes ☐ No A paved alley? ☐ Yes ☒ No

Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☐ Yes ☒ No

VALUATIONS FOR  
REMODELS ONLY

VALUATIONS FOR NEW CONSTRUCTION  
OR ADDITIONS ONLY

PERMIT FEES  
(For office use only)

Building \$  
Electrical \$  
Mechanical \$  
Plumbing \$  
Driveway/  
Sidewalk \$  
TOTAL \$  
(labor and materials)

Lot Size 8668 sq.ft.  
Job Valuation - Principal Building \$  
(Labor and materials)  
Job Valuation - Other Structure(s) \$ 28,000  
(Labor and materials)  
TOTAL JOB VALUATION  
(sum of remodels and additions)  
\$ 28,000.00  
(Labor and materials)

	NEW/ADDITIONS	REMODELS
Building	\$ <u>100.00</u>	
Electrical	\$ <u>57.00</u>	
Mechanical	\$	\$
Plumbing	\$	\$
Driveway & Sidewalk	\$	\$
TOTAL	\$	\$

OWNER / BUILDER INFORMATION

OWNER	Name <u>Dennis Bruhn</u>	Telephone (h) <u>751-7051</u> (w)
BUILDER	Company Name <u>Self/home owner - Dennis Bruhn</u>	Telephone
	Contact/Applicant's Name <u>Dennis Bruhn</u>	Pager
DRIVEWAY/ SIDEWALK	Contractor <u>N.A.</u>	FAX
		Telephone
CERTIFICATE OF OCCUPANCY	Name <u>Dennis Bruhn</u>	Telephone
	Address <u>11909 Rockerham Dr.</u>	City <u>AUSTIN</u> ST <u>TX</u> ZIP <u>78753</u>

If you would like to be notified when your application is approved, please select the method:

☐ telephone ☐ e-mail:

You may check the status of this application at [www.ci.austin.tx.us/development/pierivr.htm](http://www.ci.austin.tx.us/development/pierivr.htm)

**CITY OF AUSTIN**  
**RESIDENTIAL PERMIT APPLICATION "B"**

**CITY OF AUSTIN**  
**RESIDENTIAL PERMIT APPLICATION**

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.


I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

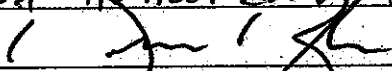
I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE  DATE 9/23/18  
HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) \_\_\_\_\_

**Rejection Notes/Additional Comments (for office use only):**

Service Address 11409 Rockerham Drive Austin, TX 78753  
Applicant's Signature  Date 9/23/18

**CITY OF AUSTIN**  
**RESIDENTIAL PERMIT APPLICATION "C"**

**BUILDING COVERAGE**

The area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing		New / Addition	
a. 1 <sup>st</sup> floor conditioned area	1456	sq.ft.	224	sq.ft.
b. 2 <sup>nd</sup> floor conditioned area		sq.ft.	336	sq.ft.
c. 3 <sup>rd</sup> floor conditioned area		sq.ft.		sq.ft.
d. Basement		sq.ft.	224	sq.ft.
e. Garage / Carport		sq.ft.		sq.ft.
<input checked="" type="checkbox"/> attached	294	sq.ft.		sq.ft.
detached		sq.ft.		sq.ft.
f. Wood decks [must be counted at 100%]		sq.ft.	90	sq.ft.
g. Breezeways		sq.ft.		sq.ft.
h. Covered patios		sq.ft.		sq.ft.
i. Covered porches	64	sq.ft.	140	sq.ft.
j. Balconies		sq.ft.		sq.ft.
k. Swimming pool(s) [pool surface area(s)]		sq.ft.		sq.ft.
l. Other building or covered area(s)		sq.ft.		sq.ft.
Specify _____				

**TOTAL BUILDING AREA** (add a. through l.)

1814 sq.ft. 924 sq.ft.  
 1014

**TOTAL BUILDING COVERAGE ON LOT** (subtract, if applicable, b., c., d., k. and f. if uncovered)

3467.2 2290  
 26.4 % of lot

**IMPERVIOUS COVERAGE**

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot (see above)	2290	sq.ft.
b. Driveway area on private property	370	sq.ft.
c. Sidewalk / walkways on private property	60	sq.ft.
d. Uncovered patios		sq.ft.
e. Uncovered wood decks [may be counted at 50%]	90 ÷ 2 = 45	sq.ft.
f. Air conditioner pads	10	sq.ft.
g. Concrete decks		sq.ft.
h. Other (specify) _____		sq.ft.

**TOTAL IMPERVIOUS COVERAGE** (add a. through h.)

2775 sq.ft.  
 32 % of lot  
 8668' X 45% = 3900.6 impervious coverage

1<sup>ST</sup> FL60R



Rich / Jerry  
1st fl D.A.C.

**ONE STOP SHOP**

**505 Barton Springs**

Austin, Texas 78701  
(512) 974-2632 phone  
(512) 974-9779 fax

**Austin Energy**

Electric Service Planning Application (ESPA)

(Please Print or Type)

All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

For Residential or Small Commercial "SERVICE ONLY" under 350 amps 1Ø or 225 amps 3Ø

Requestor's Name	<u>DENNIS Bruhn</u>	Phone	<u>836 2688</u>
Address	<u>11905 Rotherham Drive</u>	OR	
Legal Description	<u>Copperfield Section 1 Phase D</u>		
Lot	<u>27</u>	Block	<u>B</u>
		Commercial/Residential?	<u>Commercial</u>
Who is your electrical service provider? <u>AE</u> or Other			

Service Main Size	<u>—</u>	(amps)	Service Conductor	<u>—</u>	(type & size)
AE Service Length	<u>—</u>	(ft.)	Number of Meters?	<u>—</u>	Multi-Fuel Y N
Overhead/Underground	<u>Underground</u>	Voltage	<u>1Ø</u>	Single-phase (1Ø) <input type="checkbox"/> Three-phase (3Ø)	
Total Square Footage	<u>—</u>	New service or upgrade <u>Temporary</u>			
Largest A/C unit	<u>—</u>	(Tons)	OR LRA of Largest A/C Unit	<u>—</u>	(amps)
Electric Heating	<u>—</u>	(kW)	Other	<u>—</u>	(kW)

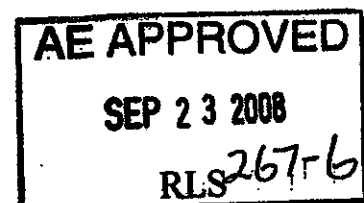
Comments: Addition on the rear of lot/ art  
Studio

ESPA Completed by (Signature & Print name) \_\_\_\_\_ Date \_\_\_\_\_ Phone \_\_\_\_\_

AE Representative \_\_\_\_\_ Date \_\_\_\_\_  
(Remarks on back) Phone 974-2632

**Application expires 180 days after date of Approval**

Revised by Austin Energy 12/11/07



REVIEWED FOR ZONING ONLY

CITY OF AUSTIN  
APPROVED FOR PERMIT  
Victoria Hsu, P.E.

Waterford Police & Development Review Department  
by W. P. [Signature] Date 9-23-2007  
The granting of a permit for or approval of these plans and  
specifications shall not be construed to be a permit for or a  
proof of any violation of any of the provisions of the current  
staff building code or any other ordinance of the City of Waterford.

11909 Rotherham Drive, Austin, Texas

Scale: 1"=20'-0"

(512) 450-0589

March 2nd, 2007

BUILDING COVERAGE		
DESCRIPTION	EXISTING	NEW / ADDITION
1st FLOOR CONDITIONED AREA	1,456 SQ.FT.	224 SQ.FT.
2nd FLOOR CONDITIONED AREA	0 SQ.FT.	336 SQ.FT.
ATTACHED GARAGE	294 SQ.FT.	0
COVERED PORCH	64 SQ.FT.	140 SQ.FT.
TOTAL BUILDING COVERAGE	1,884 SQ.FT.	476 SQ.FT.
TOTAL BUILDING PERCENT OF PROPERTY		27.2%

IMPERVIOUS COVERAGE	
DESCRIPTION	AREA
TOTAL PROPERTY AREA	8,660 SQ.FT.
TOTAL BUILDING COVERAGE	2,360 SQ.FT.
DRIVEWAY AREA ON PROPERTY	370 SQ.FT.
SIDEWALK AND WALKWAYS ON PROPERTY	60
PATIOS	200 SQ.FT.
AIR CONDITIONER PADS	10 SQ. FT.
TOTAL IMPERVIOUS COVERAGE	3,000 SQ.FT.
TOTAL IMPERVIOUS COVERAGE PERCENT OF PROPERTY	34.6%

**All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.**

### LEGAL DESCRIPTION

Lot 27, Block "B" Copperfield  
Section ONE, Phase "D"  
Travis County, Texas

ADDRESS:

11909 Rotherham Drive  
Austin, Texas 78753

**AE APPROVED**

SEP 23 2008

267-b

CITY OF AUSTIN  
APPROVED FOR PERMIT  
Victoria Hsu, P.E.

Watershed Protection & Development Review Department:  
Date: 3/20/07

By Mayor Mark Tamm Date 3/20/01  
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

CITY OF AUSTIN  
APPROVED FOR PERMIT  
Victoria Hsu, P.E.

APPROVED  
Victoria Hsu, P.E.  
Watershed Protection & Development Review Department  
By [Signature] Date 3/14/08  
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.



310-07



ADDRESS:

11909 Rotherham Drive

NEW RESIDENTIAL: 1<sup>st</sup> fl

2<sup>nd</sup> fl

REMODEL: 1<sup>st</sup> fl

2<sup>nd</sup> fl

ADDITION: 1<sup>st</sup> fl

basement & 2<sup>nd</sup> fl storage / tool room  
& 3<sup>rd</sup> fl personal auto studio

2<sup>nd</sup> fl

TOTAL BATHROOMS:

OTHER:

(Refer to BP 2008 18217)

SIGNATURE:

# Garage / Carport & Screen Porch Exemption

AUSTINTEXAS.GOV | AIRPORT | LIBRARY | AUSTIN ENERGY | AUSTIN WATER | CONVENTION CENTER | VISITORS BUREAU |

## FOLDER DETAILS

## PUBLIC INFORMATION

Public Search

Issued Permit Report

## REGISTERED USERS

New Registration

Update Registration

Permit/Case	Reference File Name	Description	Sub Type	Work Type	Project Name	Status	Application Date	Issue Date	Expiration Date
2012-040634 PR	2012-040634 PR	remodel of and addition to existing detached garage to create two fam use on sf3 lot	R- 103 Two Family Bldgs	New	1218 W 39TH ST	Approved	Apr 26, 2012	Apr 26, 2012	Oct 23, 2012

CARPORT & GARAGE  
EXEMPTION

Related Folders:

## FOLDER INFO

Permit Assign and Pay

## Information Description

## Value

My Permits/Cases

Is this over a Landfill ?

No

Smart Housing?

No

My Licenses

Is Historical Review Required?

No

Is this property in MUD ?

No

Request / Cancel / View Inspections

Current Zoning for Building

SF-3

Name of Neighborhood Plan

ROSEDALE

Subdistrict

NONE

My Escrow Accounts

Status

FUTURE PLANNING AREA

Is this a Legal Lot ?

Yes

Reports

Is there a Cut &amp; Fill in excess of 4 ft

No

Parking Spaces Required

3

Login

Number of Bathrooms

2

Size of Water Meter

5/8

## HELP

Front Set Back

25

Rear Set Back

10

Web Help

Side Set Back

5

Does property access a paved alley?

No

Does property access a paved street?

Yes

## FEEDBACK

Current Use

sfres

Contact PDR

Proposed Use

two fam

Square Footage of Lot

8276

Existing 1st Flr Area Sq. Ft

1612

Existing 2nd Flr Area Sq. Ft

0

Existing 3rd Flr Area Sq. Ft

0

Existing Basement Sq. Ft

0

Existing Attached Garage/Carport Sq. Ft

0

Existing Detached Garage/Carport Sq. Ft

609

Existing Wood Decks Sq. Ft

0

Existing Breezeways Sq. Ft

0

Existing Covered Patios Sq. Ft

288

Existing Covered Porches Sq. Ft

0

Existing Balconies Sq. Ft

0

Existing Swimming Pool(s) Sq. Ft

0

Existing Othr Bld/Covered Areas Sq.Ft

0

Total Existing Building Square Footage

2509

New/Addn 1st Flr Area Sq. Ft

539

New/Addn 2nd Flr Area Sq. Ft

0

New/Addn 3rd Flr Area Sq. Ft

0

New/Addn Basement Sq. Ft

0

New/Addn Attached Garage/Carport Sq.

Ft	0
New/Addn Detached Garage/Carport Sq. Ft	-412
New/Addn Wood Decks Sq. Ft	0
New/Addn Breezeways Sq. Ft	0
New/Addn Covered Patios Sq. Ft	155
New/Addn Covered Porches Sq. Ft	0
New/Addn Balconies Sq. Ft	0
New/Addn Swimming Pool(s) Sq. Ft	0
New/Addn Spa Sq. Ft	0
New/Addn Other Bldg/Covered Areas Sq. Ft	0
Total New/Addition Bldg Square Footage	282
Total Building Coverage on lot Sq. Ft.	2791
Total Building Coverage Percent, of Lot	31
Driveway area on Private Property	485
Sidewalk/Walkways on Private Property	0
Uncovered Patios	0
Uncovered Wood Decks	0
AC Pads	9
Concrete Decks	0
Other	606
Total Impervious Coverage Square Footage	3891
Total Impervious Coverage Percent of Lot	3668
Max. Bldg. Cov. Sq. Ft. Allowed	3310
Max. Impervious Coverage Sq Ft Allowed	3724
Building Inspection	Yes
Electric Inspection	Yes
Mechanical Inspection	Yes
Plumbing Inspection	Yes
Energy Inspection	No
Driveway Inspection	Yes
Sidewalks Inspection	No
Environmental Inspection	No
Landscaping Inspection	No
Tree Inspection	Yes
Water Tap Inspection	Yes
Sewer Tap Inspection	Yes
On Site Sewage Facility Inspection	No
Fire Inspection	No
Health Inspection	No
Usage Category	103
Hazardous Pipeline Review Required	No
Electric Service Planning Application Req'd?	Yes
ESPA Application Number	rls 304-5
ESPA Approval Date	Oct 31, 2011
Site has Water availability?	Yes
Site has Waste Water availability?	Yes
Site has a septic system?	No
Subject to RD&C Requirements	RESIDENTIAL DESIGN STANDARDS
Maximum FAR allowed	.4
Existing 1 FI Area	1612
Existing 1 FI Area-Ceiling Ht over 15'	0
Existing 1 FI Area-Ceiling Ht 15' or less	1612
Existing Total 1 FI Gross Area	1612

Existing 2 FI Area	0
Existing 2 FI Area-Ceiling Ht over 15'	0
Existing 2 FI Area-Ceiling Ht 15' or less	0
Existing Total 2 FI Gross Area	0
Existing 3rd FI Area	0
Existing 3 FI Area-Ceiling Ht over 15'	0
Existing 3 FI Area-Ceiling Ht 15' or less	0
Existing Total 3rd FI Gross Area	0
Existing Basement Gross Area	0
Existing Garage attached	0
Existing Garage detached	409
Existing Carport	199
Existing Total Sq Ft	2220
New/Addn 1 FI Area	539
New/Addn 1 FI Area-Ceiling Ht over 15'	0
New/Addn 1 FI Area-Ceiling Ht 15' or less	539
New/Addn Total 1 FI Gross Area	539
New/Addn 2 FI Area	0
New/Addn 2 FI Area-Ceiling Ht over 15'	0
New/Addn 2 FI Area-Ceiling Ht 15' or less	0
New/Addn Total 2 FI Gross Area	0
New/Addn 3 FI Area	0
New/Addn 3 FI Area-Ceiling Ht over 15'	0
New/Addn 3 FI Area-Ceiling Ht 15' or less	0
New/Addn Total 3 FI Gross Area	0
New/Addition Basement Gross Area	0
New/Addition Garage attached	0
New/Addition Garage detached	-412
New/Addition Carport	0
New/Addition Total Sq Ft	127
Total Number of Driveways	2
Driveway Width 1	12
Total Number of Sidewalks	0
Certificate of Occupancy to be Issued	Yes
Code Year	2006
Code Type	International Residential Code

PROPERTY DETAILS

Number	Pre. Street	Street Type	Dir	Suite Type	Suite Number	City	State	Zip	Legal Desc
1218	W 39TH	STREET				AUSTIN	TX	78756	

PEOPLE DETAILS

Desc.	Organization Name	Address	City	State	Postal	Phone1
Applicant	(Judith Ann Ronkartz)	1218 W 39TH ST	AUSTIN	TX	78756 3922	(512)451-8207

PROCESSES AND NOTES

Process Description	Status	Schedule Date	Start Date	End Date	Assigned Staff	# of Attem
Residential Intake	Closed	Apr 26, 2012	Apr 26, 2012	Apr 26, 2012	Residential Support Staff	
Plan Review Administration	Open					
Residential Zoning Review	Approved	Apr 26, 2012	Apr 26, 2012	Apr 26, 2012	Residential Zoning Reviewers	
Tree Ordinance Review	Open				Michael Embesi (512-974-1876)	
Residential Revision After	Open	Apr 26, 2012				

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## FOLDER DETAILS

## PUBLIC INFORMATION

Public Search

Issued Permit Report

## REGISTERED USERS

New Registration

Update Registration

Permit Assign and Pay

My Permits/Cases

My Licenses

Request / Cancel / View Inspections

My Escrow Accounts

Reports

Login

## HELP

Web Help

## FEEDBACK

Contact PDR

Permit/Case	Reference File Name	Description	Sub Type	Work Type	Project Name	Status	Application Date	Issue Date	Expiration Date
-------------	---------------------	-------------	----------	-----------	--------------	--------	------------------	------------	-----------------

2012-077533 PR

2012-077533 PR

New Construction of two story single family residence with three bedrooms, three bathrooms, attached single car garage and attached covered wood deck. Also, adding a secondary apartment at rear of lot with two bedrooms, kitchen, living, two bathrooms, screened in porch, and attached covered porch, and a detached single car garage.

R- 103 Two Family Bldgs

New

1131 1/2 POQUITO ST

CARPORT & GARAGE  
EXEMPTION

Approved Aug 1, 2012

Oct 10, 2012 Jan 28, 2013

Related Folders:

## FOLDER INFO

## Information Description

## Value

Is this over a Landfill ?	No
Smart Housing?	No
Is this a one/two unit condo?	No
Is Historical Review Required?	No
Is this property in MUD ?	No
Current Zoning for Building	MF-4-NP
Name of Neighborhood Plan	CENTRAL EAST AUSTIN
Subdistrict	NONE
Status	APPROVED WITH ZONING
Is this a Legal Lot ?	Yes
Is there a Cut & Fill in excess of 4 ft	No
Parking Spaces Required	3
Number of Bathrooms	5
Size of Water Meter	3/4
Front Set Back	25
Rear Set Back	10
Side Set Back	5
Does property access a paved alley?	No
Does property access a paved street?	Yes
Current Use	vacant lot
Proposed Use	two family residential

Square Footage of Lot	7789
New/Addn 1st Flr Area Sq. Ft	1670
New/Addn 2nd Flr Area Sq. Ft	736
New/Addn 3rd Flr Area Sq. Ft	0
New/Addn Basement Sq. Ft	0
New/Addn Attached Garage/Carport Sq. Ft	565
New/Addn Detached Garage/Carport Sq. Ft	0
New/Addn Wood Decks Sq. Ft	0
New/Addn Breezeways Sq. Ft	0
New/Addn Covered Patios Sq. Ft	0
New/Addn Covered Porches Sq. Ft	426
New/Addn Balconies Sq. Ft	0
New/Addn Swimming Pool(s) Sq. Ft	0
New/Addn Spa Sq. Ft	0
New/Addn Other Bldg/Covered Areas Sq. Ft	0
Total New/Addition Bldg Square Footage	3397
Total Building Coverage on lot Sq. Ft.	34.2
Driveway area on Private Property	726
Sidewalk/Walkways on Private Property	44
Uncovered Patios	0
Uncovered Wood Decks	10
AC Pads	18
Concrete Decks	0
Other	0
Total Impervious Coverage Square Footage	832.2
Total Impervious Coverage Percent. of Lot	44.4
Max. Bldg. Cov. Sq. Ft. Allowed	.4
Max. Impervious Coverage Sq Ft Allowed	.45
Building Inspection	Yes
Electric Inspection	Yes
Mechanical Inspection	Yes
Plumbing Inspection	Yes
Energy Inspection	Yes
Driveway Inspection	Yes
Sidewalks Inspection	Yes
Environmental Inspection	No
Landscaping Inspection	No
Tree Inspection	No
Water Tap Inspection	Yes
Sewer Tap Inspection	Yes
On Site Sewage Facility Inspection	No
Fire Inspection	No
Health Inspection	No
Usage Category	103
Hazardous Pipeline Review Required	No
Electric Service Planning Application Req'd?	Yes
ESPA Application Number	202-19
ESPA Approval Date	Jul 20, 2012
Site has Water availability?	Yes
Site has Waste Water availability?	Yes
Site has a septic system?	No
Maximum FAR allowed	3115
Floor Area Ratio (FAR)	.321479008858646809603286686352548465785
Total Gross Floor Area	2504
Gross Site Area of Lot	7789
Total Number of Driveways	1
Driveway Width 1	12

Total Number of Sidewalks 0  
 Certificate of Occupancy to be Issued Yes  
 Code Year 2006  
 Code Type International Residential Code

## PROPERTY DETAILS

Number	Pre. Street	Street Type	Dir	Suite Type	Suite Number	City	State	Zip	Legal Desc
1131-1/2	POQUITO	STREET				AUSTIN	TX	78702	Lot: 17 Block: Subdivision: CHERNOSKY SUBD I 6

Lot: 17 Block: Subdivision: CHERNOSKY SUBD NO 6

## PEOPLE DETAILS

Desc.	Organization Name	Address	City	State	Postal	Phone
Applicant	Square Business Investments (Mark A Taylor)	14709 HIGHSMITH ST	Austin	TX	78725	(512) 72501
Previous Owner	WILLIAMS RUBY L & HARRY L ALEXANDER & GRACIE M MILES	WILLIAMS RUBY L &	AUSTIN	TX	78721 1661	

## PROCESSES AND NOTES

Process Description	Status	Schedule Date	Start Date	End Date	Assigned Staff	# of Atterr
Residential Intake	Closed	Aug 1, 2012	Aug 1, 2012	Aug 1, 2012	Bryan Walker (512-974-2708)	
Plan Review Administration	Open					
Residential Zoning Review	Approved	Oct 10, 2012	Aug 10, 2012	Oct 10, 2012	Darren Cain	
Tree Ordinance Review	Open				Michael Embesi (512-974-1876)	
Residential Revision After Issuance	Open	Oct 10, 2012				

## FOLDER ATTACHMENT

Description	Detail
Construction change - carport to garage	<a href="#">View Attachment</a> <a href="#">View Attachment</a> <a href="#">Back</a>

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## FOLDER DETAILS

## PUBLIC INFORMATION

Public Search

Issued Permit Report

## REGISTERED USERS

New Registration

Update Registration

Permit Assign and Pay

My Permits/Cases

My Licenses

Request / Cancel / View Inspections

My Escrow Accounts

Reports

Login

## HELP

Web Help

## FEEDBACK

Contact PDR

Permit/Case	Reference File Name	Description	Sub Type	Work Type	Project Name	Status	Application Date	Issue Date	Expirati Date
		New Construction of two story single family residence with three bedrooms, three bathrooms, attached single car garage and attached covered wood deck. Also, adding a secondary apartment at rear of lot with two bedrooms, kitchen, living, two bathrooms, screened in porch, and attached covered porch, and a detached single car garage.	R- 103 Two Family Bldgs	New	1131 1/2 POQUITO ST	Approved	Aug 1, 2012	Oct 10, 2012	Jan 28, 2013

SCREEN PORCH EXEMPTION  
CARPORT & GARAGE EXEMPTIONS

Related Folders:

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New/Addn Detached Garage/Carport Sq. Ft	0
New/Addn Wood Decks Sq. Ft	0
New/Addn Breezeways Sq. Ft	0
New/Addn Covered Patios Sq. Ft	0
New/Addn Covered Porches Sq. Ft	426
New/Addn Balconies Sq. Ft	0
New/Addn Swimming Pool(s) Sq. Ft	0
New/Addn Spa Sq. Ft	0
New/Addn Other Bldg/Covered Areas Sq. Ft	0
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Mechanical Inspection	Yes
Plumbing Inspection	Yes
Energy Inspection	Yes
Driveway Inspection	Yes
Sidewalks Inspection	Yes
Environmental Inspection	No
Landscaping Inspection	No
Tree Inspection	No
Water Tap Inspection	Yes
Sewer Tap Inspection	Yes
On Site Sewage Facility Inspection	No
Fire Inspection	No
Health Inspection	No
Usage Category	103
Hazardous Pipeline Review Required	No
Electric Service Planning Application Req'd?	Yes
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Total Number of Sidewalks 0  
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 Code Year 2006  
 Code Type International Residential Code

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# City of Austin Residential Permit Application

Residential Review, 2nd floor, One Texas Center  
505 Barton Springs, Austin, TX 78704  
(512) 974-2747

PR #	12-071533-2	BP #	
Signature	8-1-2012	Due Date	8-10-2012
Reviewed/Approved	8-10-12	Issue Date	
		Issued	

Project Information	
Project Address: 1131-1/2 POQUINO ST.	Tax Parcel ID: 02061002330000
Legal Description: LOT 17 OLT 62 DIV B CHERNOSKY NO 6	
Zoning: SF-3-NP	Lot Size (square feet): 7789
Neighborhood Plan Area (if applicable): CENTRAL-EAST AUSTIN Historic District (if applicable):	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? <input checked="" type="checkbox"/> N	
Note: Boundaries are defined under Title 25-2 Subchapter F of the Land Development Code.	
Does this site currently have water availability? <input checked="" type="checkbox"/> N wastewater availability? <input checked="" type="checkbox"/> N	
If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.	
Does this site have a septic system? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, submit a copy of approved septic permit to construct	
Does this site require a cut or fill in excess of four (4) feet? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N	
If yes, contact the Development Assistance Center for a Site Plan Exemption.	
Does this site front a paved street? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N Is this site adjacent to a paved alley? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N	
Does this site have a Board of Adjustment (BOA) variance? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N Case # (if applicable) Y <input checked="" type="checkbox"/> N	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N	
If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.	
Does the project impact a tree protected by ordinance? This would include canopy and/or critical root zone. <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N	
Note: If yes, application for a tree permit with the City Arborist may be required.	
Is this site within one hundred-fifty (150) feet of the one hundred (100) year floodplain? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N	
Note: Proximity to a floodplain may require additional review time.	

Description of Work			
Existing Use: <input checked="" type="checkbox"/> vacant	<input checked="" type="checkbox"/> single-family residential	<input checked="" type="checkbox"/> duplex residential	<input checked="" type="checkbox"/> two-family residential other
Proposed Use: <input checked="" type="checkbox"/> vacant	<input checked="" type="checkbox"/> single-family residential	<input checked="" type="checkbox"/> duplex residential	<input checked="" type="checkbox"/> two-family residential other
Project Type: <input checked="" type="checkbox"/> new construction	<input checked="" type="checkbox"/> addition	<input checked="" type="checkbox"/> addition/remodel	<input checked="" type="checkbox"/> remodel/repair other
# of bedrooms existing: 5	# of bedrooms proposed: 5	# of baths existing: 1	# of baths proposed: 5
Will all or part of an existing exterior wall be removed as part of the project? <input checked="" type="checkbox"/> Y <input checked="" type="checkbox"/> N			
Note: Removal of all or part of a structure requires a demolition permit.			
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) NEW TWO-FAMILY USE. PRIMARY DWELLING (UNIT A): TWO-STORY RESIDENCE WITH COVERED GROUND FLOOR PORCH, COVERED GROUND FLOOR DECK, AND ATTACHED 1-CAR GARAGE. SECOND-FAMILY DWELLING (UNIT B): ONE-STORY RESIDENCE (350 SQ FT AREA) WITH GROUND FLOOR COVERED PORCH, GROUND FLOOR SCREENED-IN PATIO, AND DETACHED CAR-PORT (1-CAR).			
Trades Permits Required: <input checked="" type="checkbox"/> electric <input checked="" type="checkbox"/> plumbing <input checked="" type="checkbox"/> mechanical (HVAC) <input checked="" type="checkbox"/> concrete (right-of-way)			

Job Valuation	
Total Job Valuation: \$ 157,000	Portion of Total Job Valuation Dedicated to Addition/New Construction: \$ 157,000
Primary Structure: \$ 157,000	Blgd: \$ Elec: \$
Accessory Structure: \$	Plumbg: \$ Mech: \$
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	

# Site Development Information

## Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or moored areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Existing Building Coverage (sq ft): \_\_\_\_\_ % of lot size: \_\_\_\_\_

Proposed Building Coverage (sq ft): 7,660 % of lot size: 34.2

## Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Cover (sq ft): \_\_\_\_\_ % of lot size: \_\_\_\_\_

Proposed Impervious Cover (sq ft): 3,458 % of lot size: 44.4

## Setbacks

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? Y ☒ (LDC 25-2-513)

Does any structure (or an element of a structure) extend over or beyond a required yard? Y ☒ (LDC 25-2-513)

Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) Y ☒

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) \_\_\_\_\_

Building Height: 28 ft Number of Floors: 2

Parking (LDC 25-6 Appendix A & 25-6-478) \_\_\_\_\_

# of spaces required: 3 # of spaces provided: 3

## Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC 6-353) Yes ☒ Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? ☒ N

Width of approach (measured at property line): 21-3 ft Distance from intersection (for corner lots only): \_\_\_\_\_ ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y ☒

Area Description		Building and Site Area	
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.		UNIT A Existing Sq Ft	UNIT B New/Added Sq Ft
1 <sup>st</sup> floor conditioned area		820	850
2 <sup>nd</sup> floor conditioned area		736	736
3 <sup>rd</sup> floor conditioned area		—	—
Basement		—	—
Covered Parking (garage or carport)		298	267
Covered Patio, Deck or Porch A: 52+64 / B: 40+22.9		117	309
Balcony		—	—
Other		—	—
Total Building Coverage: 820+736+298+117+56.9		—	2,660
Driveway		154	572
Sidewalks		28	16
Uncovered Patio		—	—
Uncovered Wood Deck (counts at 50%)		10	9
AC pads		—	—
Other (Pool Coping, Retaining Walls)		—	—
Total Site Coverage		—	3,458
Pool		—	—
Spa		—	—

# Subchapter F - McMansion

## Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinances as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	UNIT A Existing	UNIT B New	Exemption	Total
1 <sup>st</sup> Floor	820	850		1,670
2 <sup>nd</sup> Floor	736			736
3 <sup>rd</sup> Floor				
Basement				
Attic				
Garage (attached)	298		200	98
(detached)				
Carport (attached)				
(detached)		267	267	534
Accessory building(s) (detached)				

TOTAL GROSS FLOOR AREA 2,504

(Total Gross Floor Area / lot size) x 100 = 32.1 Floor-To-Area Ratio (FAR)

Is this project claiming a "parking area" exemption as described under Article 3?

Is this project claiming a "ground floor porch" exemption as described under Article 3?

Is this project claiming a "basement" exemption as described under Article 3?

Is this project claiming a "habitable attic" exemption as described under Article 3?

Is a sidewall articulation required for this project?

Does any portion of the structure extend beyond a setback plane?

N N  
Y Y  
Y Y  
Y Y

**Parking Area exemption:** Up to 450 square feet of a parking area may be deducted if it is a detached rear parking area that is separated from the principal structure by not less than 10 feet; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width; or a parking area that is open on two or more sides, if it does not have habitable space above it, and the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plane to the finished floor of the carport. Up to 200 square feet may be deducted if it is an attached parking area used to meet the minimum parking requirement, or a garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either detached from the principal structure, or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width. An applicant may receive only one 450-square foot exemption per site under Article 3. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under Article 3, but only for an attached parking area used to meet minimum parking requirements.

**Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.

Owner		Applicant or Agent		Contact Information	
Mailing Address		Mailing Address		Mailing Address	Mark A Taylor
Phone		Phone		Phone	14709 Highsmith Ave TX 78735
Email		Email		Email	791-2501
Fax		Fax		Fax	Mark Taylor 630 9600 6000
General Contractor	VB Group LLC	Design Professional			
Mailing Address		Mailing Address			East Side Mob Design
Phone		Phone			P.O. Box 6609
Email		Email			ARSON, TX 78762
Fax		Fax			512-947-7759
					rob-dechant@sbeglobal.net

### Acknowledgments

Is this site registered as the owner's homestead for the current tax year with the appraisal district? ☒ Y ☐ N

I understand that in accordance with Sections 25-1-411 and 25-1-166 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.

I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property.

If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.

I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.

I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.

I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed. Tree protection is required per Section 25-8-603.

Erosion and Sedimentation Controls are required per Section 25-8-181.

I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.

Applicant's signature:  Date: 7/27/12



**Austin Water Utility**  
Water & Wastewater Service Plan Verification  
(W&WW SPV)

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

Customer Name: Mark A Taylor Phone: 791-2501 Alternate Phone: \_\_\_\_\_  
Service Address: 1131 1/2 Regatta  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision/Land Status: \_\_\_\_\_ Tax Parcel ID No.: \_\_\_\_\_  
Existing Use: vacant single-family res. duplex garage apartment other \_\_\_\_\_  
Proposed Use: vacant single-family res. duplex garage apartment other 2 SF WWS  
Number of existing bathrooms: \_\_\_\_\_ Number of proposed bathrooms: 2 1/2 5 total  
Use of a pressurized auxiliary water system (i.e. rainwater harvesting, well water, lake/river water, etc.) Yes \_\_\_\_\_ No \_\_\_\_\_

City of Austin Office Use

Water Main size: 10" Service stub size: \_\_\_\_\_ Service stub upgrade required? Y New stub size: 1 1/2"  
Existing Meter number: 110000 Existing Meter size: \_\_\_\_\_ Upgrade required? Y New size: 2 1/2"  
WW Service: Septic System/On-Site Sewage Facility (OSSF) \_\_\_\_\_ or WW Collection System \_\_\_\_\_ WW Main size: \_\_\_\_\_

If a pressurized auxiliary water system is or will be installed, please contact the Utility's Special Services Division (SSD) at 972-1060, 3907 South Industrial Blvd., Suite 100 for consultation and approval.

Auxiliary Water (if applicable) Approved by SSD (Signature & Print name) \_\_\_\_\_ Date \_\_\_\_\_  
Approved: ☐ Yes (see attached approved documents) ☐ No

If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Creek Center, 625 E. 10<sup>th</sup> Street, Suite 715 for consultation and approval.

W&WWSPV Completed by (Signature & Print name) \_\_\_\_\_ Date \_\_\_\_\_  
OSSF (if applicable) Approved by UDS (Signature & Print name) \_\_\_\_\_ Date 7/20/12  
AWU Representative [Signature] Phone 972-0000

Approved: ☐ Yes (see attached approved documents) ☐ No

NOTE: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

**REVIEWED**

Verification expires 180 days after date of Submittal

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2





One Stop Shop  
505 Barton Springs Rd  
(512) 974-2632 - phone  
(512) 974-9112 - phone  
(512) 974-9109 - fax  
(512) 974-9779 - fax

Austin Energy  
Building Service Planning Application (BSPA)

*This form to be used for review of Building Permit only  
For use in One Stop Shop Only*

Responsible Person for Service Request <u>Mark A Taylor</u>	
Email <u>Mark.A.Taylor@ae.com</u>	Fax _____ Phone _____
<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Remodeling	
Project Address <u>1131 1/2 Poquito St</u> OR _____	
Legal Description _____	Lot _____ Block _____
Who is your electrical provider? <input checked="" type="checkbox"/> AE <input type="checkbox"/> Other _____	
<input checked="" type="checkbox"/> Overhead Service <input type="checkbox"/> Underground Service <input type="checkbox"/> Single-phase (1Ø) <input type="checkbox"/> Three-phase (3Ø)	
Location of meter <u>LF</u>	
Number of existing meters on gutter _____ (show all existing meters on riser diagram)	
Expired permit # _____	
Comments <u>New 2-wire A+B</u>	
<u>All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE &amp; NESC codes.</u>	
BSPA Completed by (Signature & Print Name) _____ Date _____ Phone _____	
AE Representative _____	Approved <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No _____ Date _____ Phone _____

Application expires 180 days after the date of approval  
(Any change to the above information requires a new BSPA)

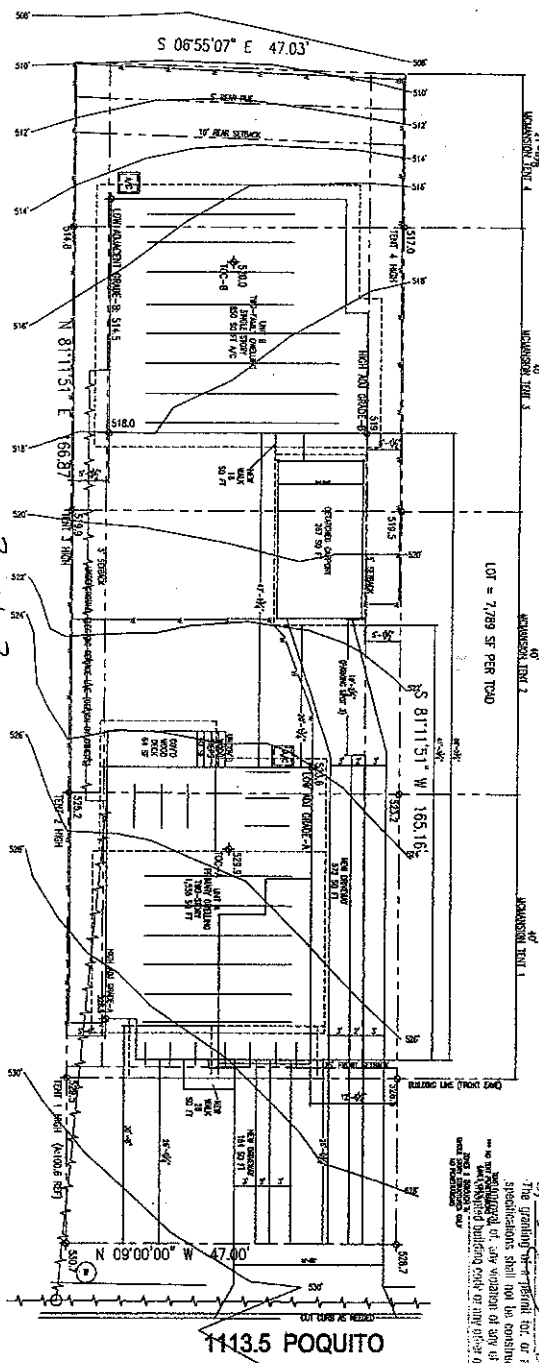
AE APPROVED  
JUL 20 2012  
RLS 2012-19



ISSUED FOR  
REGULATORY  
APPROVAL  
30 JULY 12

FORWARD,  
EVERYTHING IS HERE!  
THIS SHOULD NOT HAVE  
BEEN LOST - OUT!  
FOR  
FORWARDED COORDINATES ADJUSTED.

- 1 REMOVE ALL THE LINES FROM SITE PLAN. - ? WHY?
- 2 LEAVE MC MANSION DATA, SET BACK INFO, EASEMENTS, ETC.
- 3 Provide a roof plan for each unit. - WHY? LONG OUTLINES SHOWN AS REQUIRED



BUILDING AREA DATA		SITE AREA DATA		GROSS FLOOR AREA DATA	
1. TOTAL FLOOR COVERED AREA	1,113.5 SF	1. TOTAL BUILDING FOOTPRINT	1,113.5 SF	1. FIRST FLOOR COVERED AREA	1,113.5 SF
2. TOTAL FLOOR COVERED AREA	1,113.5 SF	2. DRIVEWAYS	1,113.5 SF	2. SECOND FLOOR COVERED AREA	1,113.5 SF
3. TOTAL FLOOR COVERED AREA	1,113.5 SF	3. SIDEWALKS	1,113.5 SF	3. THIRD FLOOR COVERED AREA	1,113.5 SF
4. TOTAL FLOOR COVERED AREA	1,113.5 SF	4. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF	4. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF
5. TOTAL FLOOR COVERED AREA	1,113.5 SF	5. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF	5. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF
6. TOTAL FLOOR COVERED AREA	1,113.5 SF	6. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF	6. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF
7. TOTAL FLOOR COVERED AREA	1,113.5 SF	7. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF	7. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF
8. TOTAL FLOOR COVERED AREA	1,113.5 SF	8. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF	8. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF
9. TOTAL FLOOR COVERED AREA	1,113.5 SF	9. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF	9. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF
10. TOTAL FLOOR COVERED AREA	1,113.5 SF	10. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF	10. UNCOVERED WOOD STOPS & SHELTERS	1,113.5 SF

**A0.1 SITE PLAN**

1113.5 POQUITO  
CITY OF AUSTIN  
TRAVIS COUNTY, TEXAS

**EAST SIDE MOD DESIGN**

Phone: (512) 447-7754  
e-mail: east\_side\_mod\_design@yahoo.com

**EAST SIDE MOD DESIGN**

**DANIEL REEVES**  
1113.5 POQUITO  
AUSTIN, TX 78702

**OWNER:**

DANIEL REEVES  
1113.5 POQUITO  
AUSTIN, TX 78702

**DATE:**

30 JULY 12

**SCALE:**

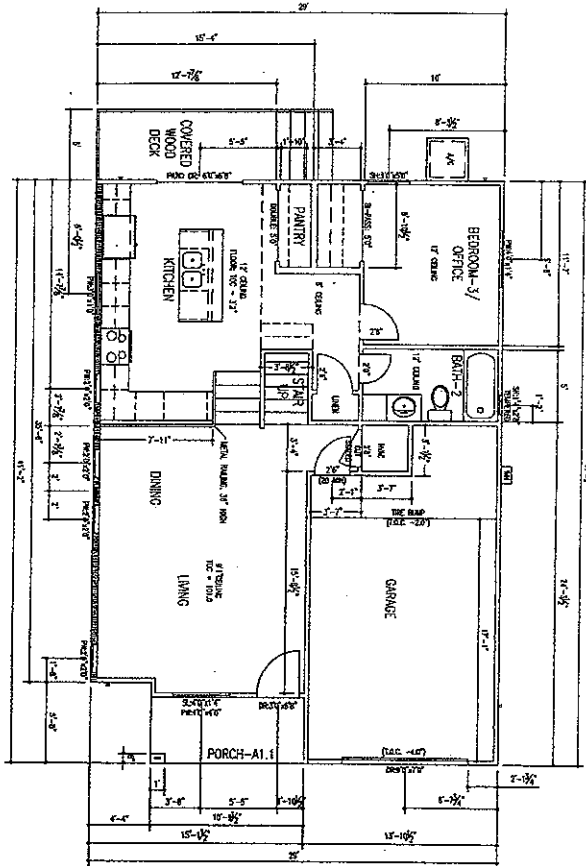
1" = 10'

**NOTES:**

1. SEE PLAN FOR ALL DIMENSIONS AND SETBACKS.

UNIT-A-1301-1 DATA

1. GARAGE COVERAGE
2. COVERED PORCH
3. DRIVE - EXISTING DRIVE
4. COVERED FRONT PORCH-ALL
5. COVERED REAR PORCH-ALL



SCALE: 1/4" = 1'-0"  
SCALE: 1/4" = 1'-0"

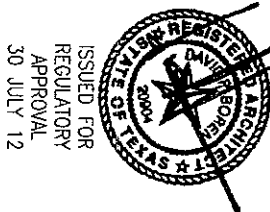
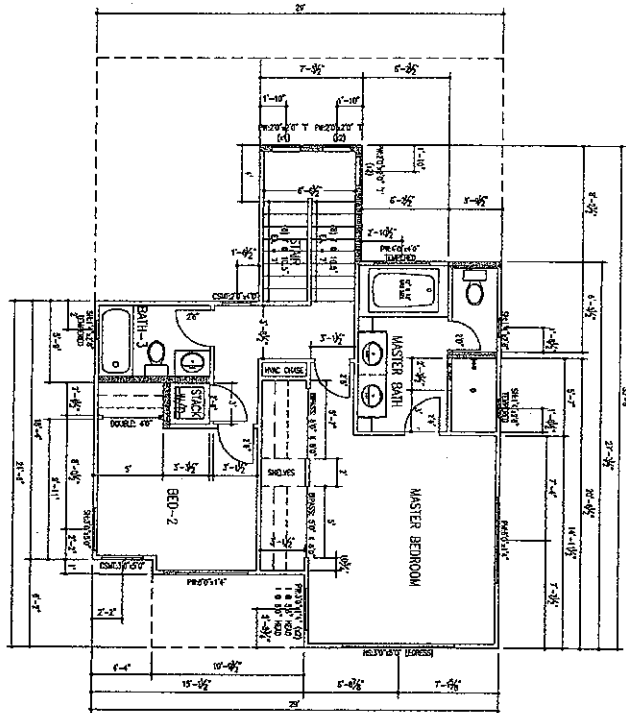
1301-1

ISSUED FOR  
REGULATORY  
APPROVAL  
30 JULY 12



<p>OWNER:</p> <p>1113.5 POQUITO UNIT A</p> <p>AUSTIN, TX</p> <p>78702</p>	<p>1113.5 POQUITO UNIT A</p> <p>CITY OF AUSTIN</p> <p>TRAVIS COUNTY, TEXAS</p>	<p>EAST SIDE MOD ©</p> <p>DESIGN</p> <p>Phone: (512) 642-2754</p> <p>email: east@esmod.com</p>	<p>EAST SIDE MOD</p> <p>DESIGN</p>	<p>NO. 1301-1</p> <p>DATE: 7/30/12</p> <p>PROJECT: 1113.5 POQUITO UNIT A</p> <p>OWNER: CITY OF AUSTIN</p> <p>DESIGNER: EAST SIDE MOD</p> <p>DATE: 7/30/12</p>
---------------------------------------------------------------------------	--------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------	------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------

UNIT-A LEVEL-2 DATA  
 1. OVERLAPPING FLOOR SPACE  
 2. FLOOR NOT INDICATE ANY OTHER DIMENSIONS



ISSUED FOR  
 REGULATORY  
 APPROVAL  
 30 JULY 12

SCALE: 1/8" = 1'-0"  
 SCALE: 1/4" = 1'-0"  
 SCALE: 1/2" = 1'-0"  
 SCALE: 3/4" = 1'-0"  
 SCALE: 1" = 1'-0"

3 BATH  
 3 BEDROOM  
 HT. 5' 0" - 6' 0"  
 HT. 6' 0" - 7' 0"

NO.	DESCRIPTION	REV.	DATE
1	ISSUED FOR REGULATORY APPROVAL		30 JULY 12
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

**A1.2 SECOND FLOOR PLAN**  
 1113.5 POQUITO UNIT A  
 CITY OF AUSTIN  
 TRAVIS COUNTY, TEXAS

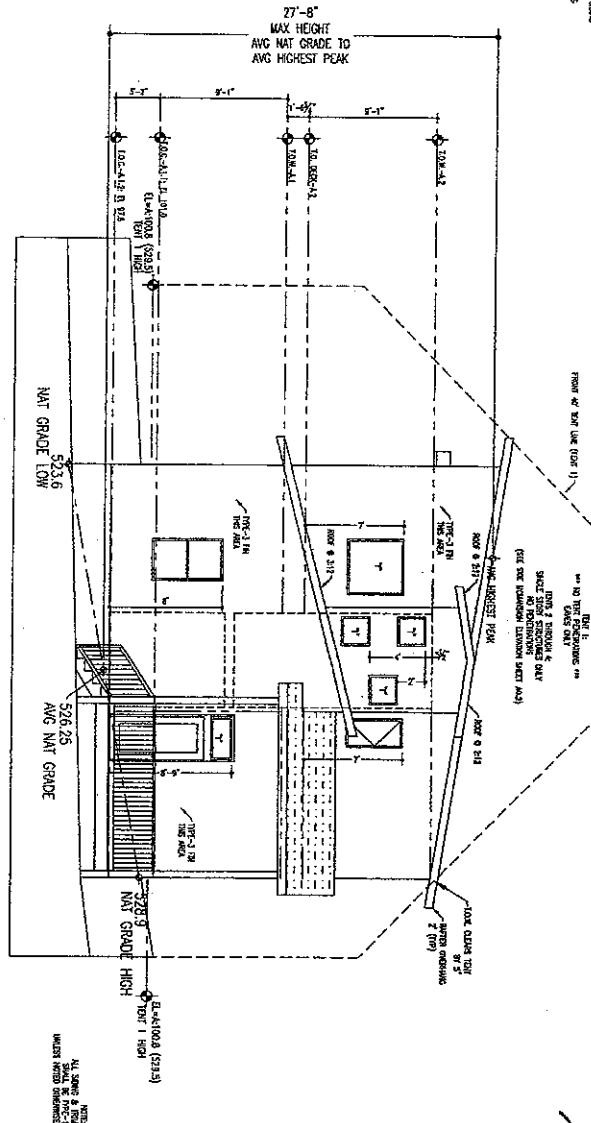
**EAST SIDE MOD © DESIGN**  
 Phone: (817) 827-7774  
 Email: eastside@eastmod.com

OWNER:  
 1113.5 POQUITO UNIT A  
 AUSTIN, TX  
 78702

ISSUED FOR  
REGULATORY  
APPROVAL  
30 JULY 12



- NOTES
- 1. THIS PLAN IS A 2D PLAN OF THE BUILDING.
  - 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
  - 3. ALL DIMENSIONS ARE TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.
  - 4. ALL DIMENSIONS ARE TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.
  - 5. ALL DIMENSIONS ARE TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.
  - 6. ALL DIMENSIONS ARE TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.
  - 7. ALL DIMENSIONS ARE TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.
  - 8. ALL DIMENSIONS ARE TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.
  - 9. ALL DIMENSIONS ARE TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.
  - 10. ALL DIMENSIONS ARE TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.



SCALE 1/4" = 1'-0"  
SCALE 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	30 JUL 12	ISSUED FOR REGULATORY APPROVAL

OWNER:

1113.5 POQUITO UNIT A  
AUSTIN, TX

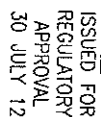
A2.3 REAR (EAST)

1112 S BOQUITO UNIT A

EAST SIDE MOD  
DESIGN

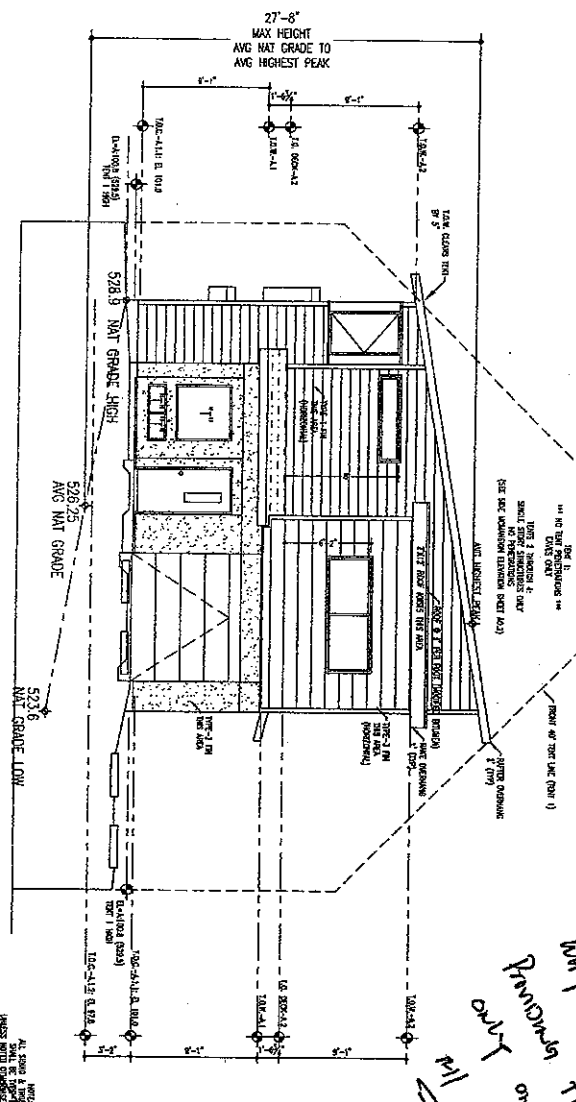


NO.	DATE	DESCRIPTION
1	30 JUL 12	ISSUED FOR REGULATORY APPROVAL



NOTES:

- \* 100%+ FRESH: 4.25" HAZEL STRONG TWIGGY
- \* WHEN RECEIVED: 1.5" CORNER BOARDS
- \* 2nd SHOT PILED TRIM & GROUND
- \* PRE-2 FRESH: EUROPEAN COGNAC FLAVOR
- \* WITH SMOKE TENDER, DISASTROUS PAINT,
- \* & CORNER JOINTS AS SHOWN
- \* FRESH: WOOD PLANK, BRUSH SHEDDING
- \* PRE-3 FRESH: 12" MAJOR SCUFF AS SHOWN
- \* WHEN RECEIVED: 1.5" CORNER BOARDS
- \* 2nd SHOT PILED TRIM & GROUND
- \* \* 1" DOWNHILL SALLY OLIVING
- \* \* WOOD & DOOR TRIM HIND HEDGERS
- \* \* 6"-8" SLIKA




NORTH  
SOUTH  
EAST  
WEST

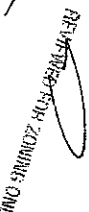
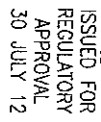
Counters


WYLLIE  
RICHMOND THE FIRST  
OUT ON 2 ELEVENTH ST.  
MAY BE IN ONLY

SOLD 1947 APRIL 10-AM  
SOLD 1947 MARCH 10-AM

ALL Y GOWARD,  
A.O.C. 2-11  
SEE SIGN

ORDER 1113.5 POQUITO UNIT A AUSTIN, TX 78702	A2.1 FRONT (WEST) 1113.5 POQUITO UNIT-A CITY OF AUSTIN TRAVIS COUNTY, TEXAS	EAST SIDE MOD © DESIGN  Phone: (512) 603-7754 e-mail: mod@eastmod.com	REVISION DESCRIPTION BY DATE
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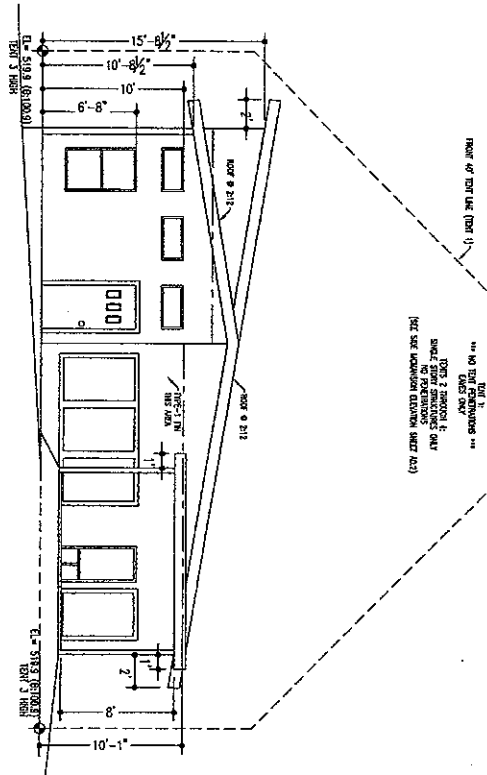


DATE: JAN. 20, 2012 DRAWN: J. J. JONES CHECKED: J. J. JONES APPROVED: J. J. JONES PROJECT: 1113.5 POQUITO CITY: AUSTIN, TX 78702	OWNER:	A0.2 SITE PLAN	EAST SIDE MOD DESIGN Phone: (512) 947-7754 e-mail: rob_dachner@eastsidemod.net		REVISION DESCRIPTION BY DATE
	DANIEL REEVES 1113.5 POQUITO AUSTIN, TX 78702	1113.5 POQUITO CITY OF AUSTIN TRAVIS COUNTY, TEXAS			REVISION DESCRIPTION BY DATE

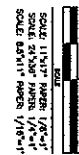
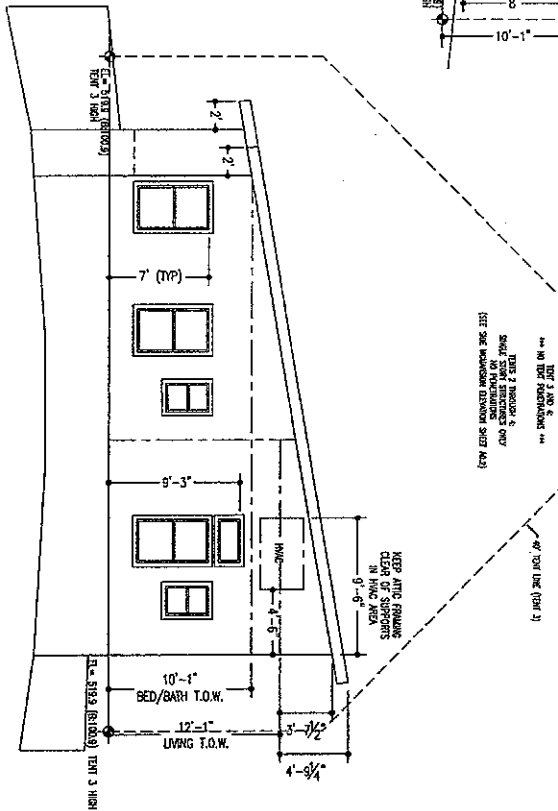
ISSUED FOR  
REGULATORY  
APPROVAL  
30 JULY 12



NORTH



SOUTH



REVIEWED FOR  
DRAWING ONLY

DATE	BY	REVISION
07/30/12	DAVID BOREK	ISSUED FOR REGULATORY APPROVAL

OWNER:  
1113.5 POQUITO UNIT B  
AUSTIN, TX  
78702

A2.1 FRONT / REAR  
850 SQ. FT. DWELLING UNIT  
CITY OF AUSTIN  
TRAVIS COUNTY, TEXAS

EAST SIDE MOD ©  
DESIGN

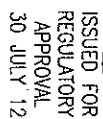
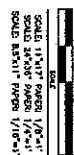
Phone: (512) 942-7754  
e-mail: info@eastmod.com




NO.	DESCRIPTION	DATE
1	ISSUED FOR REGULATORY APPROVAL	07/30/12



1. BUILDING COVERAGE  
1,471 SF
2. COVERED PORCH SPACE  
850 SF
3. COVERED SCREENED PORCH  
228 SF
4. COVERED ENTRY PORCH  
60 SF
5. GAR. PORT.  
312 SF



DATE: 06-01-2012 DRAWN: CHECKED: DESIGNED: PROJECT: SHEET: AS-1	OWNER:  1113.5 POQUITO UNIT B AUSTIN, TX 78702	<b>A1.1 FIRST FLOOR PLAN</b>  850 SQ. FT DWELLING UNIT CITY OF AUSTIN TRAVIS COUNTY, TEXAS	<b>EAST SIDE MOD ©</b> <b>DESIGN</b>  Phone: (512) 947-4754 e-mail: info@esd.com		REVISION	DESCRIPTION	BY	DATE

JUL 20 2012

AUSTIN WATER UTILITY  
CONSUMER SERVICE DIVISION - TAPS

AE APPROVED

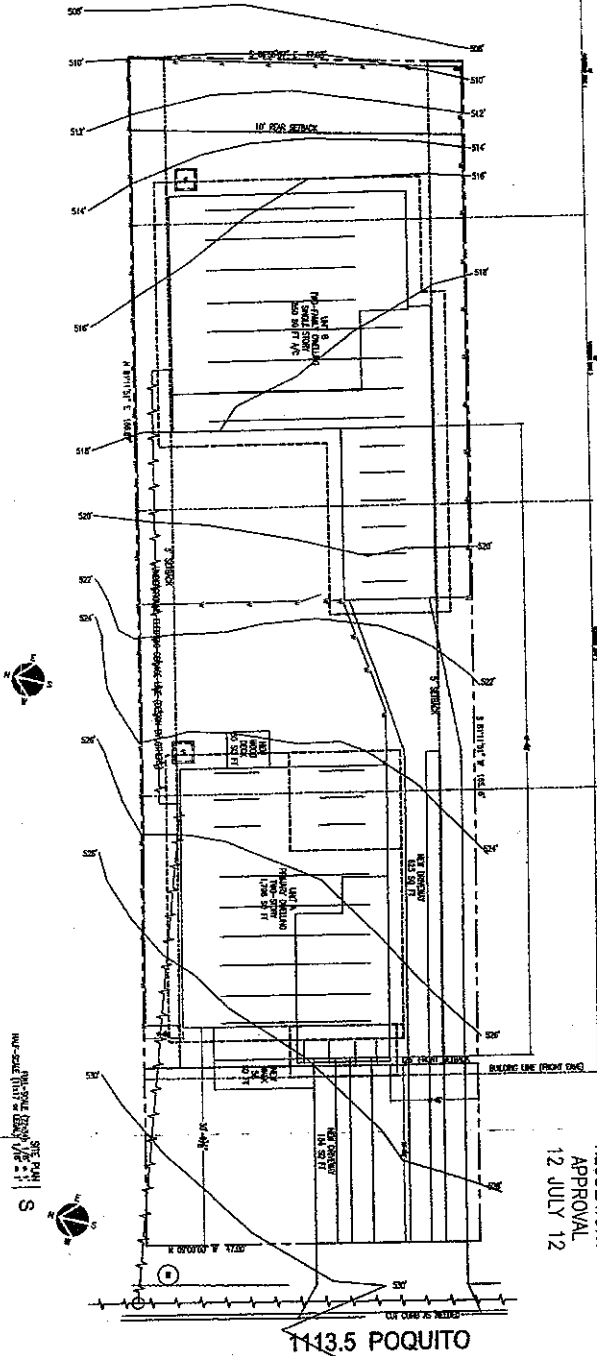
JUL 20 2012

RLS

**All structures etc. must maintain 75" clearance from AE energized power lines. Enforced by AE & NESC codes.**



ISSUED FOR  
REGULATORY  
APPROVAL  
12 JULY 12



SITE PLAN  
 FULL-SCALE (72"x96") 1/8" = 1'  
 HALF-SCALE (11x17" or 18x24") 1/16" = 1'