

**HISTORIC LANDMARK COMMISSION
JANUARY 27, 2014
CERTIFICATE OF APPROPRIATENESS
LHD-2013-0022
808 Blanco Street
Castle Hill Local Historic District**

PROPOSAL

Add a 1/2 story addition to a contributing house.

PROJECT SPECIFICATIONS

The existing house is a c. 1915, one-story, bungalow with a cross-gabled roof covered in diamond shingles, and wood siding. The house has Craftsman details including a prominent, partial-width porch with decorative posts, by brick columns. Other Craftsman-style fenestration includes open eaves with exposed rafter ends, decorative brackets and false timbering trim in the gable ends, and battered, horizontal wood siding foundation skirt.

The applicant proposes to add a ½ story addition behind the existing ridge line of the house, and a rear screened porch. The addition will have a front facing gable with side gabled dormers. The gable ends will have a trim design similar to that on the existing house but will not have decorative brackets. The walls of the addition will have siding similar to that on the existing house.

The applicant further proposes to remove a non-original second front door and patch the opening with wood siding to match that on the existing house. Other work on the existing house will include making in-kind repairs to elements as needed.

STANDARDS FOR REVIEW

The existing house is a contributing property in the Hyde Park Local Historic District. The Hyde Park Local Historic District Goals and Design Standards for new construction state:

C. REHABILITATION OR ALTERATION OF CONTRIBUTING BUILDINGS

1. Required Standards.

- (a) Maintain the historic style and retain character-defining features. Character-defining features generally include exterior wall materials, windows and window screens, doors and entryway details, roof form, porches, chimneys, railings, and trim.
- (b) Do not install new materials that obscure or endanger original materials, including but not limited to painting of original masonry or installation of vinyl or aluminum siding over original wood siding.
- (c) Repair existing original windows unless determined infeasible due to excessive deterioration that is adequately documented in the application for a certificate of appropriateness. Utilize recommended repair practices listed below where feasible.
- (d) Replacement windows, where permitted, must match the original, size, profile, muntin shape, configuration, and details. Do not use vinyl-clad windows. Do not use false muntins attached to or inserted between insulated glass panels.
- (e) Roofs.

- (1) When replacing a roof, maintain the original roof form and other character defining features of the roof including overhangs, barge boards, rafter tails, and cresting, where existing.
 - (2) Unacceptable roof materials are those that are not used elsewhere in the district, are not appropriate for the subject property, or have otherwise been determined incompatible with the district or the subject property.
 - (f) When repointing existing masonry, new mortar shall match the original mortar in color, composition, texture, and tooling.
 - (g) Do not enclose original front porches to create interior space.
2. Recommendations/Advisory standards
- (a) Materials, general. When replacement materials are required, consider sustainably-harvested or reclaimed materials where appropriate.
 - (b) Wood. Repair original wood wherever possible using epoxy repair techniques.
 - (c) Windows. To maximize energy efficiency of existing windows, consider
 - (1) installation of clear heat-rejecting window film
 - (2) replacement of deteriorated weatherstripping and glazing compound
 - (3) restoration of historic functioning shutters
 - (4) installation of sun control awnings;
 - (5) solar screens that are compatible with the historic screens in the district. Solar screens, if used, must be wood framed.
 - (6) installation of interior insulating curtains and blinds
 - (d) Roofs.
 - (1) Acceptable roof materials include but may not be limited to composition shingle, metal roofs of all types except corrugated metal, fiberglass shingles, metal shingles, as determined appropriate.
 - (2) When appropriate, consider Energy Star qualified roof products, which lower roof surface temperature and can reduce peak cooling demand by 10-15 percent.
 - (3) Consider adding a radiant barrier in the attic or underneath the roof deck to reduce summer heat gain and reduce air-conditioning loads.

D. ADDITIONS TO EXISTING BUILDINGS

This section applies to all additions with specific standards that apply to contributing and non-contributing buildings as noted.

1. Required Standards

- (a) For contributing buildings, a new addition shall not visually overpower the existing building, compromise its historic character, or destroy any unique character defining features. Large additions may be constructed as a separate building and connected to the existing building with a linking element such as a breezeway, as long as they comply with other sections of these Standards and applicable codes.
- (b) For contributing buildings, two-story additions to one-story buildings must be set back a minimum of 1/3 the depth of the building measured from the front wall of the house (excluding the porch), or 15 feet measured from the front wall of the house (excluding the porch), whichever number is greater.
- (c) Design an addition using appropriate scale and detailing to avoid creating a top-heavy appearance.
- (d) Materials of the addition (walls, roofing materials, and windows) shall be compatible with the original building, and may include use of modern materials such as fiber-cement siding, as appropriate.

- (e) New roof forms must match the pitch of the roof on the existing house to the greatest extent possible.
- (f) Windows shall be compatible in form and materials with the existing building, and can be used to define contemporary design when determined appropriate for the particular application.

2. Recommendations/Advisory Standards

- (a) Consider creation of usable space by finishing out an existing attic, including the addition of dormers on a side roof that is set back from the front of the building at least 15' or 1/3 the building depth.
- (b) Design a one-story addition to a one-story building if allowed under impervious cover regulations. Use existing attic space for additional living area if possible.
- (c) When constructing a two-story rear addition, consider the use of vegetative screening at the back and side property lines to respect the privacy of your property and that of your neighbors.

The location, massing and scale of the addition meets the design standards. Additionally the design of the addition reflects the form and style of the existing house, while simplifying the design details so as to be differentiated from the original house.

COMMITTEE RECOMMENDATION

Simply the bracket design on the addition. Removing the second front door is acceptable.

STAFF RECOMMENDATION

Approve the Certificate of Appropriateness eliminating the decorative brackets on the addition and removing the non-original door.

PHOTOS



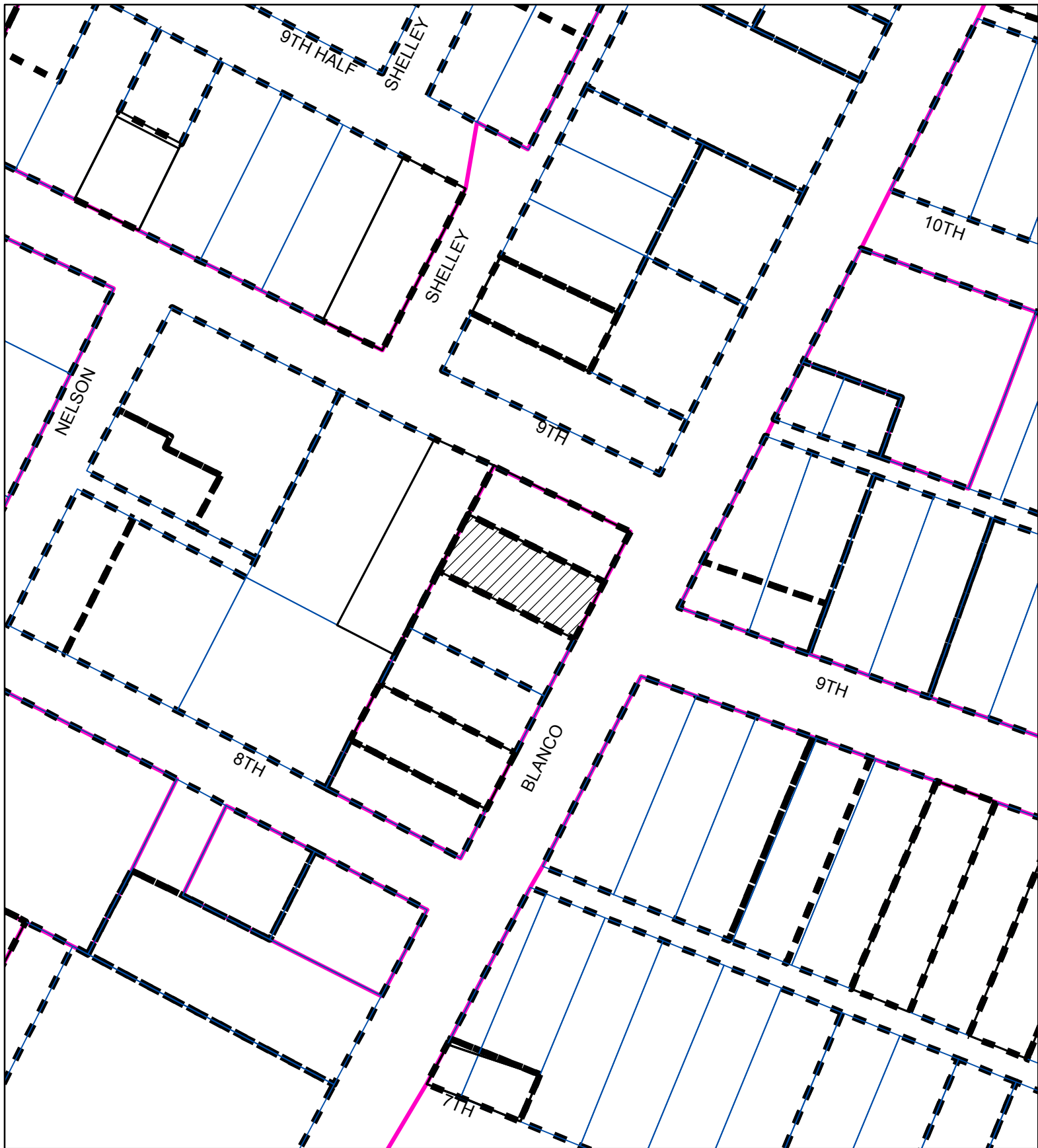
Front Elevation



Side Elevation



Rear Elevation



SUBJECT TRACT



ZONING BOUNDARY

CASE#: LHD-2013-0022
LOCATION: 808 Blanco Street



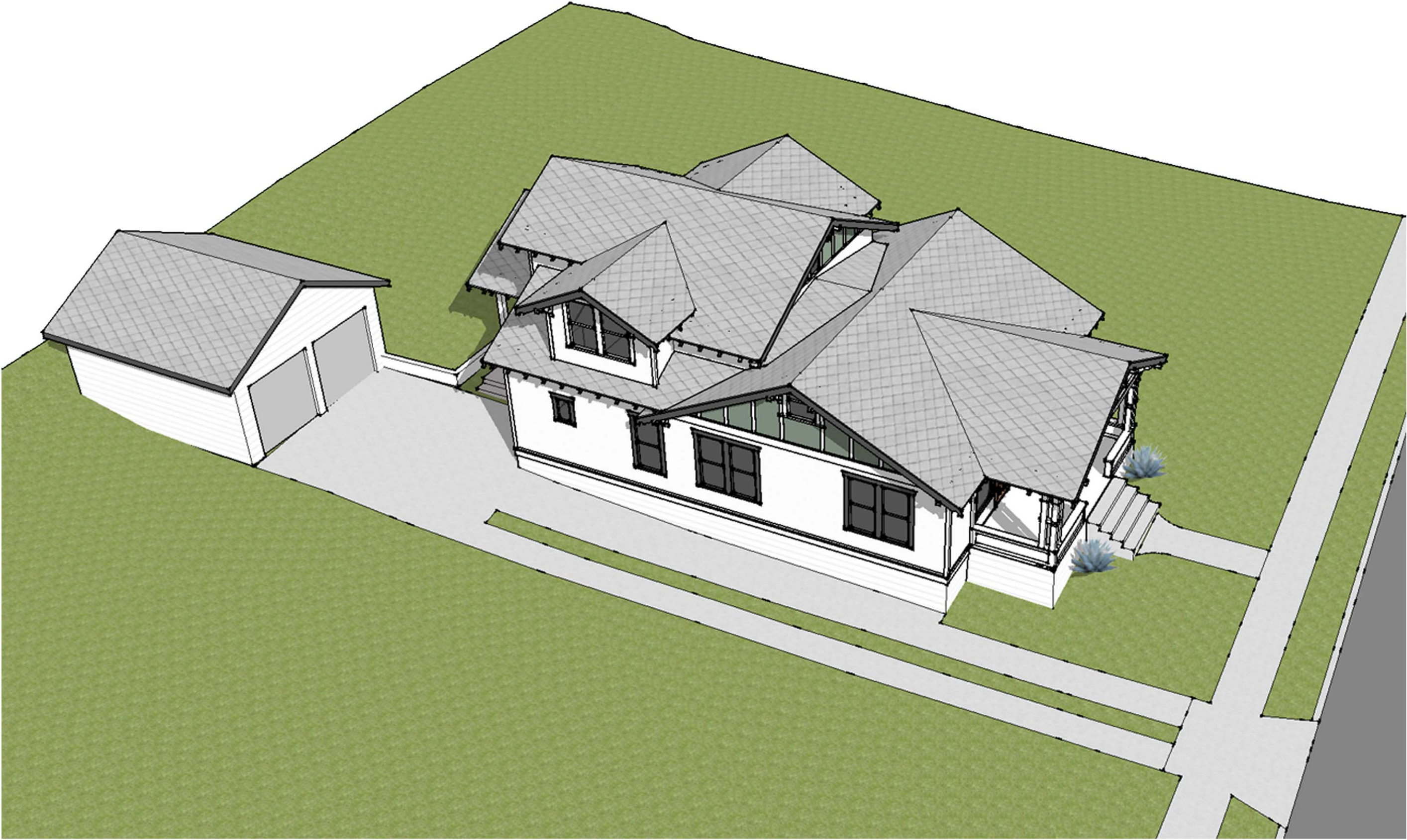
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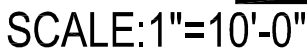
Thomson Residence
808 Blanco Street
Austin, Texas 78703

3.0	STUCK WALLS.
3.1	IF FINISH ELEVATION OF SLAB IS SUCH THAT FINISH GRADING WILL PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.
3.2	ALL EXISTING SEEBSHIPS FACE OF STUD OR CENTERLINE OF COLUMN.
3.3	ALL WALLS TO BE 24" WOOD STUDS UNLESS NOTED OTHERWISE.
3.4	DOOR OPENINGS THAT ARE NOT INTRINSICALLY LOCATED ARE TO BE CENTERED BETWEEN WALLS OR DOOR OPENINGS WITH THE HINGE SIDE 4" MIN. FROM AN ADJACENT WALL OR COLUMN AS SHOWN ON THE PLANS.

100. GENERAL CONTRACTOR TO VERIFY ALL BEDROOMS MAINTAIN AT LEAST ONE WINDOW THAT MEETS EGRESS AS REQUIRED BY CODE.

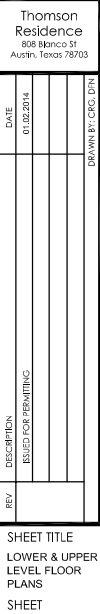
149. ALL WALLS OVER 6'0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS AT 16" O.C. OR DOUBLE 2X4 STUDS AT 8" O.C.
150. PROVIDE FLOOR JOISTS TO ANY EXTENSIVE FLOORS TO BE A MINIMUM OF 1 1/2".
151. CONTRACTOR TO VERIFY THE FLOORING MATERIALS TO MAINTAIN HIRLIM DIPS.
170. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.

3.2.2 CONTRACTOR TO PROVIDE A 3/4" PLYWOOD GATWALK FROM
ATTIC ACCESS TO HVAC UNITS, UNITS TO BE LOCATED
WITHIN 20' OF ACCESS.

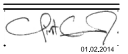
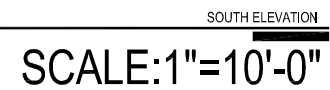


LOWER LEVEL FLOOR PLAN

SCALE: 1"=10'-0"

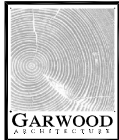
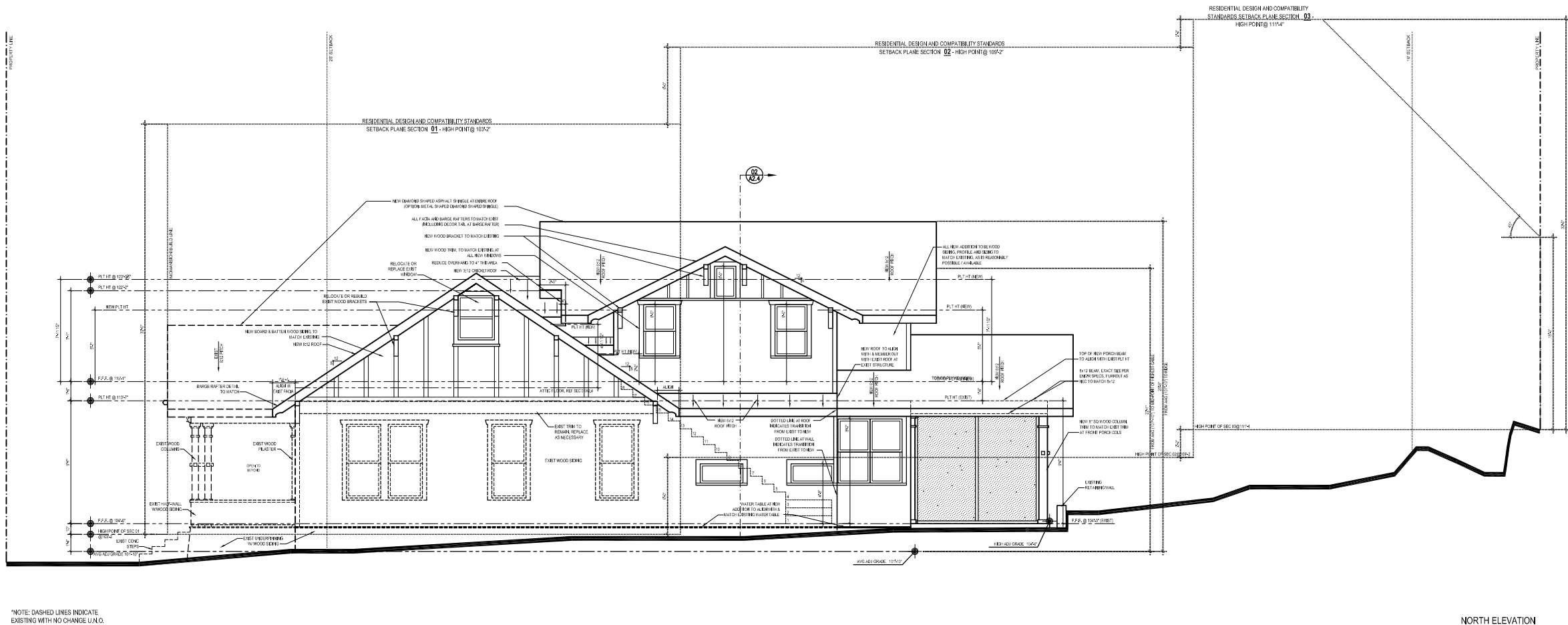


GENERAL
NOTES



		Thomson Residence 888 Blanco St. Austin, Texas 78703	
	DATE	01.02.2014	
	ISSUED FOR PERMITTING		
		DRAWN BY: CAG, DYN	
SHEET TITLE			
ELEVATIONS			
SHEET			
A2.2			

- 1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER
2.0 PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS, PATIOS, AND STUCCOED WALLS.
3.0 VERIFY ELEVATION OF SLAB IS SUCH THAT FINISH GRADE WILL PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.
4.0 VERIFY ELEVATION OF FINISH GRADE IS SUCH THAT FINISH GRADE WILL PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.
5.0 GRADE LINES ARE EXISTING UNLESS NOTED OTHERWISE.

GENERAL
NOTES

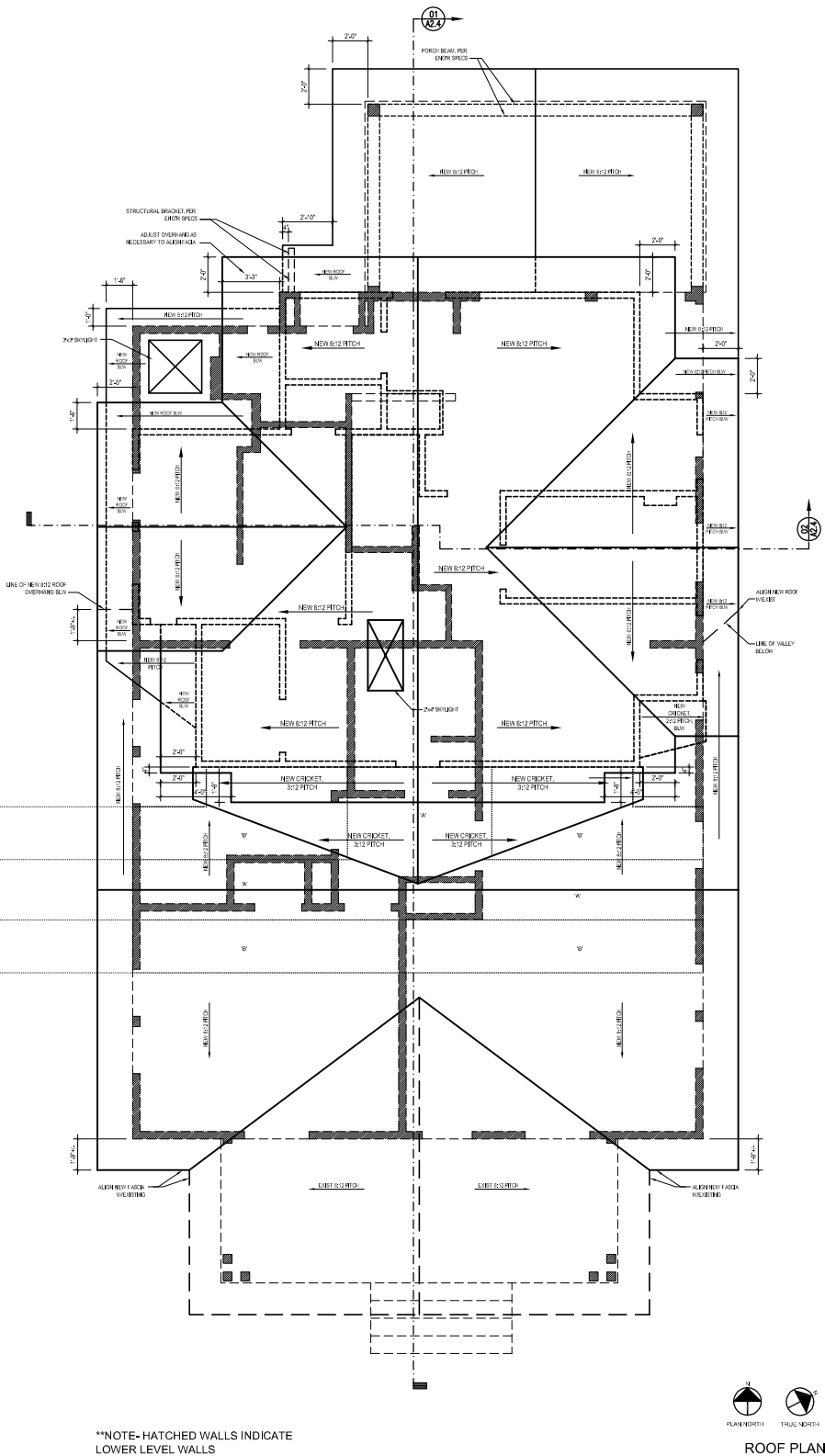
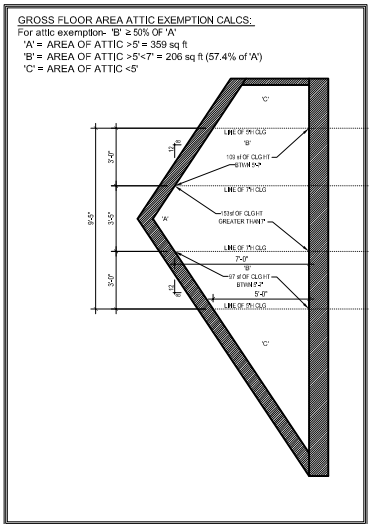
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MECHANICAL, INCLUDING PHOTOCOPYING,
RECORDING, OR BY ANY INFORMATION
SYSTEMS WITHOUT PERMISSION IN WRITING
FROM GARWOOD ARCHITECTURE, PLLC.



01.02.2014

1.0 ROOF PITCHES NOTED AT ROOF PLAN AND ELEVATIONS. ELEVATIONS BEARING REFERENCE TO AN ADJACENT, KNOWN
2.0 GENERAL CONTRACTOR TO VERIFY RAFTER SIZE AND SPACING WITH EXISTING FRAMING PLAN BEFORE
3.0 ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC).
4.0 SHOULD ANY DISCREPANCY BE FOUND, THE OWNER SHALL BE NOTIFIED IMMEDIATELY. CONTACT THE ARCHITECT

GENERAL
NOTES



SCALE: 1"=10'-0"



Thomson Residence 808 Blanco St Austin, Texas 78703	
DATE	01.02.2014
DESCRIPTION	ISSUED FOR PERMITTING
REV	
DRAWN BY: CFC: DTH	
SHEET TITLE ROOF PLAN	
SHEET	
A1.2	