

**HISTORIC LANDMARK COMMISSION
JANUARY 27, 2014
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2014-0003
Zilker Park
2225 Andrew Zilker Road/Sunshine Camp**

PROPOSAL

Demolish a non-contributing building and construct a new building.

RESEARCH

There are portions of the building that were constructed c. 1934 as part of the Civil Works Administration (CWA) construction that took place at Zilker Park in the winter of 1933-34. However, a damaging fire in the 1950s led to significant changes including flattening the roof, enlarging window openings, and adding a monitor, which resulted in a loss of the building's historic appearance.

PROJECT SPECIFICATIONS

The existing c. 1934 building house is a one-story, masonry building with a very low slope, standing seam metal roof with a large monitor. The entrance has a low slope gable and is accessed by wood stairs. There are large, wooden, multi-paned windows with horizontal siding between the window units.

The applicant proposes to construct a 2-3 story building with masonry and horizontal wood cladding, and a standing seam metal roofing. The eaves will have exposed rafter ends and faux knee braces. There will be numerous multi-paned, metal, casement style windows, and multiple metal framed French doors on the front façade. An existing open-sided pavilion structure will remain and be incorporated into the new design.

STANDARDS FOR REVIEW

The existing property is not contributing to the Zilker Park National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on

accurate duplications of features, substantiated by historical, physical, or pictorial evidence.

- Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

The existing building is listed as non-contributing in the 1997 National Register nomination. The design of the new building, although taller than the existing building, is minimally, if at all, visible from any other place in the park due to the extensive tree cover surrounding the site, and so has minimal impact on the overall integrity of the site.

STAFF RECOMMENDATION

Release the permit per the proposed design.

PHOTOS



Historic photo of c. 1934 building



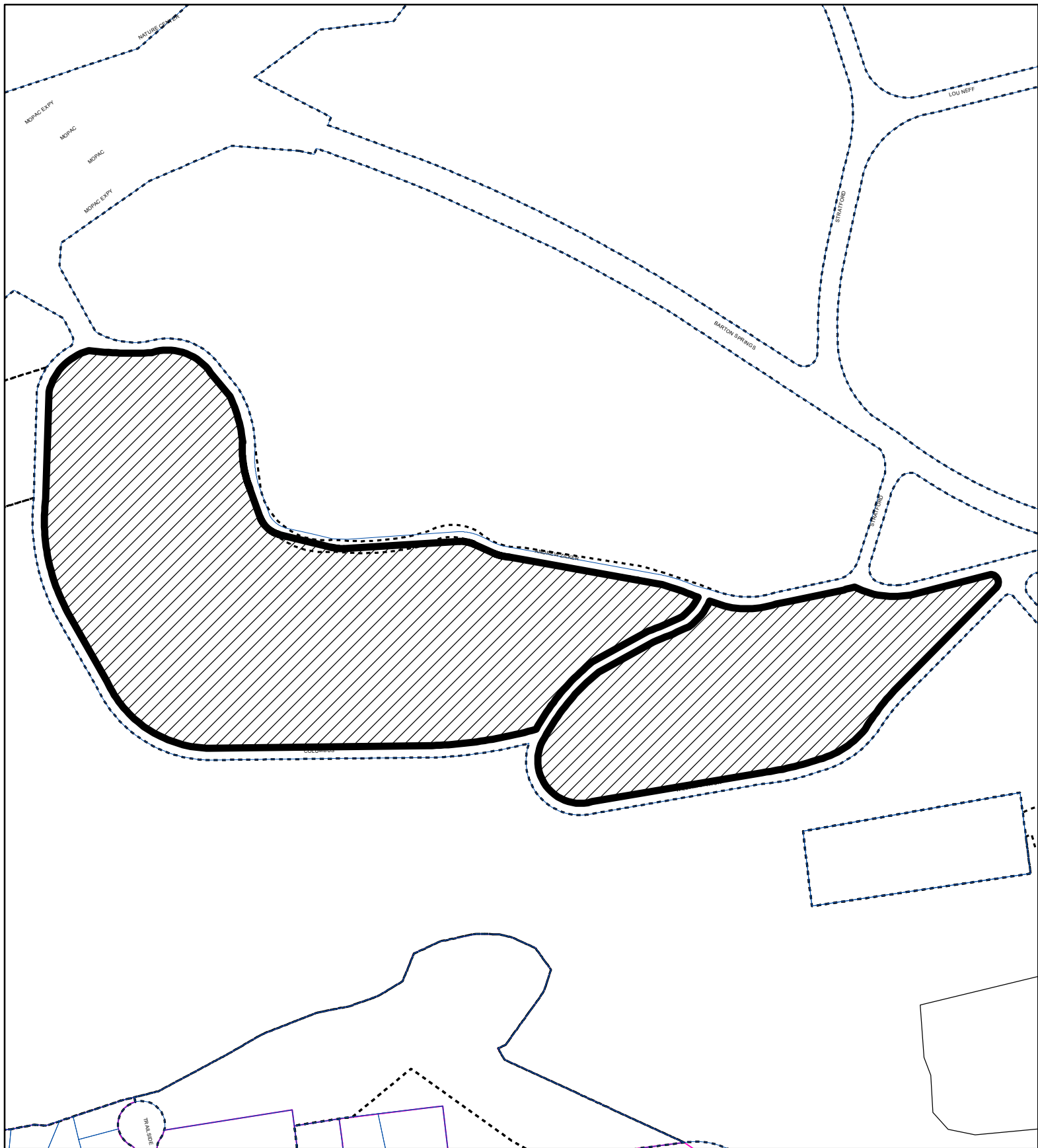
Current appearance of building



Detail of masonry wall.



Rendering of new construction as seen through existing tree cover.



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2014-0003
LOCATION: 2225 Andrew Zilker Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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Owner:

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Project Manager:

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CM & Development Liason: Adam Nyer
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General Contractor:

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Project Manager: Keith Ziegelman
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PH: (512) 815-8638

Architectural Design:

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Project Architect: Mark Carlson, AIA
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E-mail: mark@cgapartners.net
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Web Site: www.cgapartners.net
Project Manager:
Pamela Chen, architect, LEED AP
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Interior Designer:

Company name: Cornerstone Architects
Interior Designer: Mark Carlson, AIA
Address: 7000 Bee Cave Rd., Suite 200
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Web Site: www.cgapartners.net
Project Manager:
Pamela Chen, architect, LEED AP
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Structural Engineer:

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Civil Engineer:

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M.E.P. Engineer:

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David McDonald, P.E., LEED AP
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Kitchen Designer:

Company name: Mission Restaurant Supply
Matt Hampton
Address: 6509 N. Lamar Blvd.
Austin, TX 78752
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Company name: DWG.
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Address: 912b Congress Ave.
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Austin Sunshine Camp's ZILKER LODGE

2225 ANDREW ZILKER ROAD
AUSTIN, TEXAS 78746

CONCURRENT SITE PLAN REVIEW:

Improvements at Zilker Metropolitan Park
2225 Andrew Zilker Road
Legal Description: ABS 14 SUV 21 Hill HP ACR 20.02
Tax Parcel: 0106080101
Tracking number: 10994790
SPC-2012-0104D(R1)

Site plan revision to the Barton Springs Pool Improvement
SPC-2012-0104D
2201 Barton Springs Road

INDEX TO DRAWINGS











STRUCTURAL	
S0.0	STRUCTURAL NOTES
S0.1	STRUCTURAL NOTES
S1.0	FOUNDATION PLAN
S1.1	2ND FLOOR FRAMING PLAN
S1.2	3RD FLOOR (ATTIC) FRAMING PLAN
S1.3	ROOF FRAMING PLAN
S2.0	FOUNDATION DETAILS
S3.0	FRAMING DETAILS
S3.1	FRAMING DETAILS
S4.0	CONCRETE REINFORCEMENT DETAILS
S4.1	CONCRETE REINFORCEMENT DETAILS
S4.2	FRAMING DETAILS
S4.3	FRAMING DETAILS
S4.4	DETAILS
S4.5	DETAILS

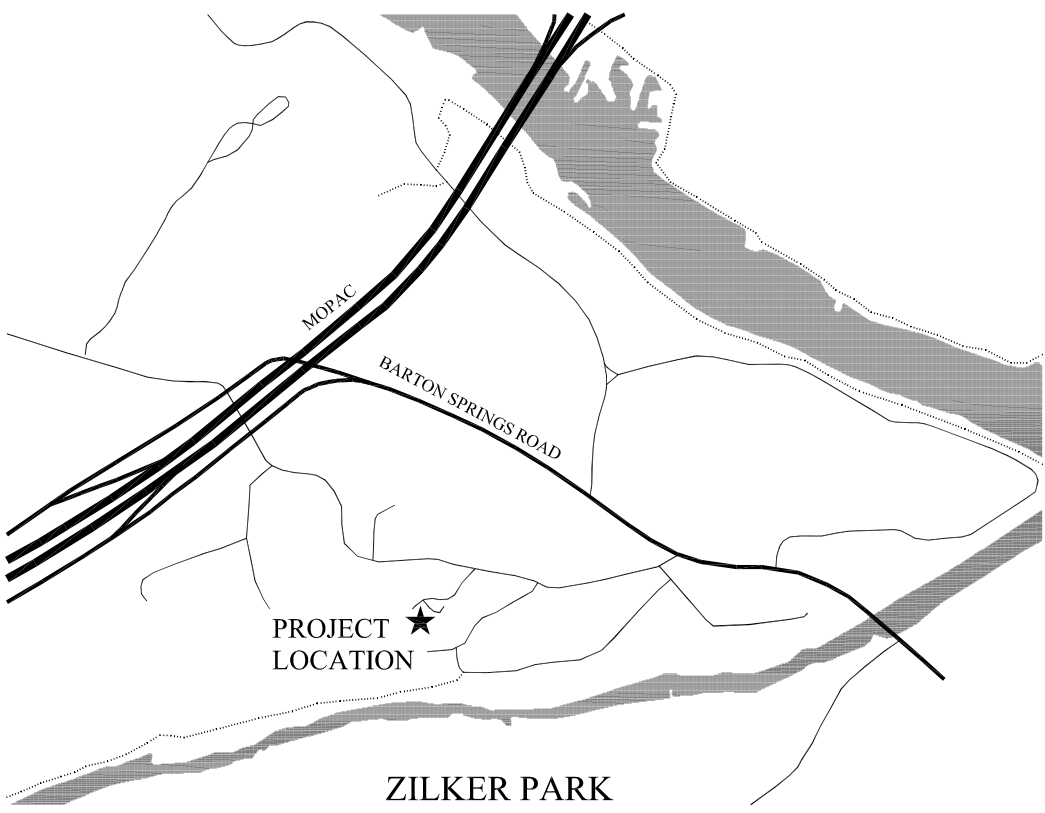
MEP	
M1.0	MECHANICAL SYMBOLS, ABBREVIATIONS
M1.1	MECHANICAL SCHEDULE
M1.2	MECHANICAL SCHEDULE
M2.1	1ST FLOOR HVAC
M2.2	2ND FLOOR HVAC
M2.3	3RD FLOOR HVAC
M2.4	ROOF PLAN HVAC
M3.1	MECHANICAL DETAILS
M5.1	KITCHEN VENTILATION DETAILS
M5.2	KITCHEN VENTILATION DETAILS
M5.3	KITCHEN VENTILATION DETAILS
M5.4	KITCHEN VENTILATION DETAILS
M5.5	VRF SYSTEM DETAILS
M5.6	VRF SYSTEM DETAILS

E0.0	ELECTRICAL SYMBOLS, ABBREVIATIONS
E0.1	ELECTRICAL NOTES
E1.1	ELECTRICAL SITE PLAN
E2.0	ELECTRICAL POWER PLAN- PAVILION
E2.1	ELECTRICAL 1ST FLOOR POWER PLAN
E2.2	ELECTRICAL 2ND FLOOR POWER PLAN
E2.3	ELECTRICAL 3RD FLOOR POWER PLAN
E2.4	ELECTRICAL 1ST FLOOR LIGHTING PLAN
E2.5	ELECTRICAL 2ND FLOOR LIGHTING PLAN
E2.6	ELECTRICAL 3RD FLOOR LIGHTING PLAN
E2.7	ELECTRICAL 1ST FLOOR HVAC POWER PLAN
E2.8	ELECTRICAL 2ND FLOOR HVAC POWER PLAN
E3.1	ELECTRICAL KITCHEN
E4.1	ELECTRICAL DETAILS
E4.2	ELECTRICAL DETAILS
E4.3	ELECTRICAL DETAILS
E5.1	ELECTRICAL ONE-LINE DIAGRAMS
E6.1	ELECTRICAL SCHEDULES
E6.2	ELECTRICAL SCHEDULES
E6.3	ELECTRICAL SCHEDULES
E6.4	ELECTRICAL PANEL SCHEDULES
E6.5	ELECTRICAL PANEL SCHEDULES

P1.0	LEGEND & SCHEDULES
P2.0	UNDERFLOOR PLUMBING
P2.1	PLUMBING 1ST FLOOR
P2.2	PLUMBING 2ND FLOOR
P2.3	PLUMBING 3RD FLOOR
P2.4	PLUMBING ROOF PLAN
P3.1	PLUMBING DETAILS
P3.2	PLUMBING DETAILS
P3.3	PLUMBING DETAILS
P4.1	PLUMBING RISER DIAGRAMS
P4.2	PLUMBING RISER DIAGRAMS
P4.3	PLUMBING RISER DIAGRAMS
P4.4	PLUMBING RISER DIAGRAMS
P5.1	ENLARGED PLUMBING FLOOR PLANS
P5.2	ENLARGED PLUMBING FLOOR PLANS

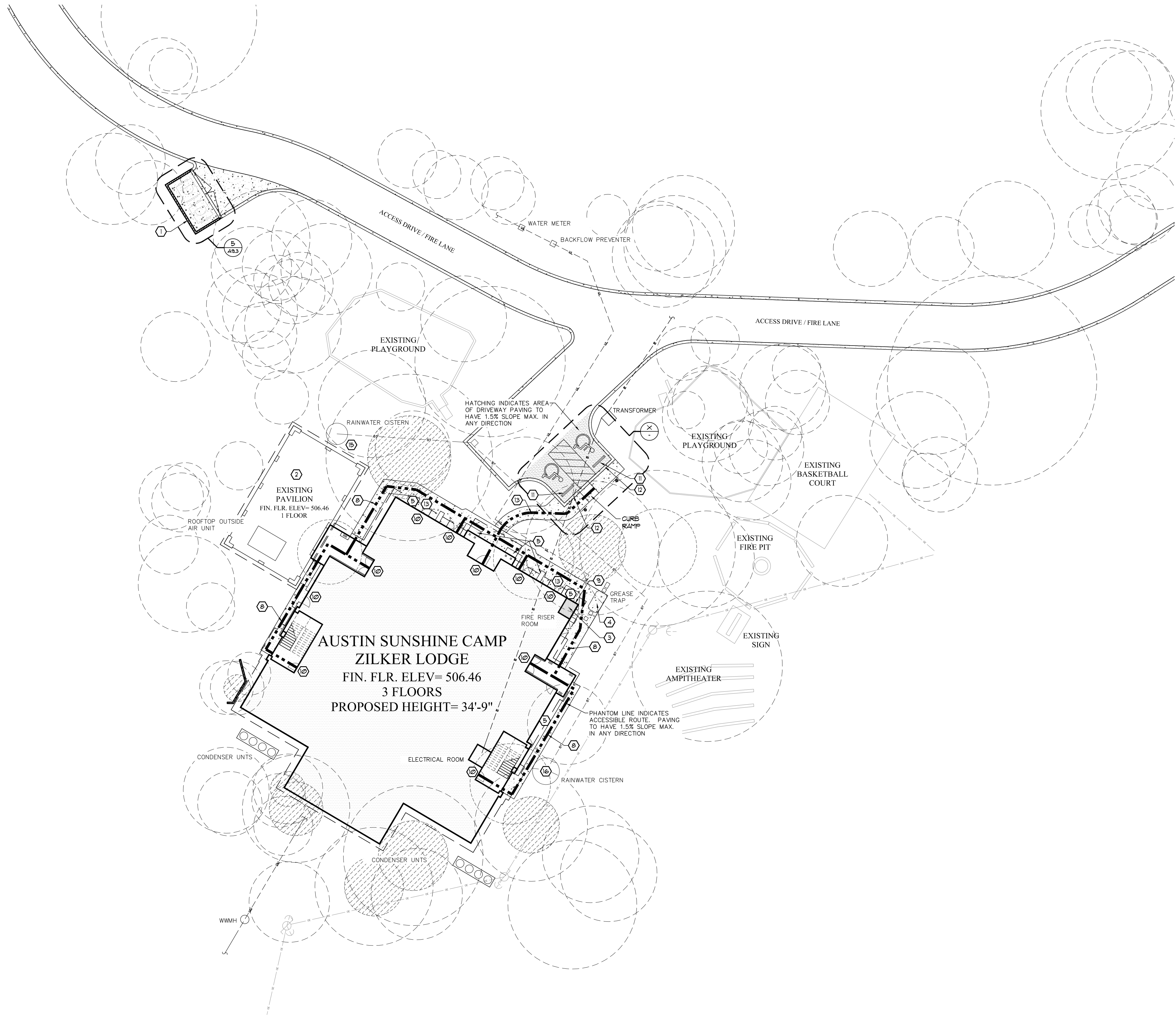
ARCHITECTURAL	
A0.0	COVER, PROJECT INFORMATION, DRAWING INDEX
A0.1	CODE SUMMARY & NOTES
A0.2	LIFE SAFETY PLANS & NOTES
A0.3	RATED ASSEMBLY & PENETRATION DETAILS
A0.4	RATED ASSEMBLY & PENETRATION DETAILS
A0.5	RATED ASSEMBLY & PENETRATION DETAILS
A0.6	T.D.L.R./ T.A.S. DETAILS & NOTES
A1.1	ARCHITECTURAL SITE PLAN
A2.1	1ST FLOOR PLAN
A2.2	2ND FLOOR PLAN
A2.3	3RD FLOOR PLAN
A2.4	ROOF PLANS
A2.5	1ST FLR. REFLECTED CEILING PLAN
A2.6	2ND FLR. REFLECTED CEILING PLAN
A2.7	3RD FLR. REFLECTED CEILING PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	BUILDING SECTIONS
A4.1	WALL SECTIONS
A4.2	WALL SECTIONS
A4.3	WALL SECTIONS
A4.4	WALL SECTIONS
A5.1	STAIR PLANS & SECTIONS
A5.2	STAIR PLANS & SECTIONS
A5.3	ENLARGED ELEVATOR PLANS & SECTION
A5.4	ENLARGED RESTROOM PLAN
A5.5	ENLARGED RESTROOM PLAN
A5.6	ENLARGED KITCHEN AND RESTROOM PLANS
A6.1	INTERIOR ELEVATIONS
A6.2	INTERIOR ELEVATIONS
A6.3	INTERIOR ELEVATIONS
A6.4	INTERIOR ELEVATIONS
A6.5	INTERIOR ELEVATIONS
A7.1	DOOR & HARDWARE SCHEDULES
A7.2	WINDOW & ROOM FINISH SCHEDULES
A8.1	PARTITION TYPES/ DETAILS
A9.1	DETAILS
A9.2	DETAILS
A9.3	DETAILS
A9.4	DETAILS
A9.5	DETAILS
KEP	KITCHEN EQUIPMENT PLAN

<u>LEGEND:</u>			
	KEYNOTE CALL-OUT		STRUCTURAL GRID
	UNIT / ROOM NUMBER		WALL SECTION
	DOOR NUMBER		DETAIL CALL-OUT
	WINDOW TYPE		BUILDING SECTION
	INTERIOR ELEV.		
	WALL TYPE		



LOCATION MAP
SCALE: N.T.S.





PLAN THE SITE PLAN
SCALE 1" = 20'

KEYNOTE LEGEND

1	REFUSE ENCLOSURE. REF XX
2	EXISTING PAVILION
3	FIRE SPRINKLER RISER ROOM
4	GREASE TRAP. REF PLUMBING DRAWINGS.
5	PLANTING AREA
6	SPECIAL CONCRETE PAVING TREATMENT AT THIS AREA.
7	ASPHALT PAVING.
8	DASHED LINE INDICATES ACCESSIBLE ROUTE.
9	FIRE DEPARTMENT CONNECTIONS. SEE CIVIL DRAWINGS.
10	BUILDING ENTRANCE/ EXIT
11	6" VERTICAL CURB
12	6" STEEL PIPE BOLLARD WITH ACCESSIBLE PARKING SIGN.
13	NEW CONCRETE SIDEWALK. REF CIVIL DRAWINGS
14	MAILBOX
15	ABOVE GROUND CISTERN. REF CIVIL DRAWINGS.
16	BELOW GROUND CISTERN. REF CIVIL DRAWINGS.
17	
18	
19	
20	
21	
22	

LOCATION MAP

SCALE: N.T.S.

ZILKER LODGE
an Austin
Sunshine Camp Facility
2225 Andrew Zilker Rd.
Austin, Texas 78703



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REVISION:		
3rd story redesign per PARD	9.16.13	
review comments		
City plan review comments	9.10.14	

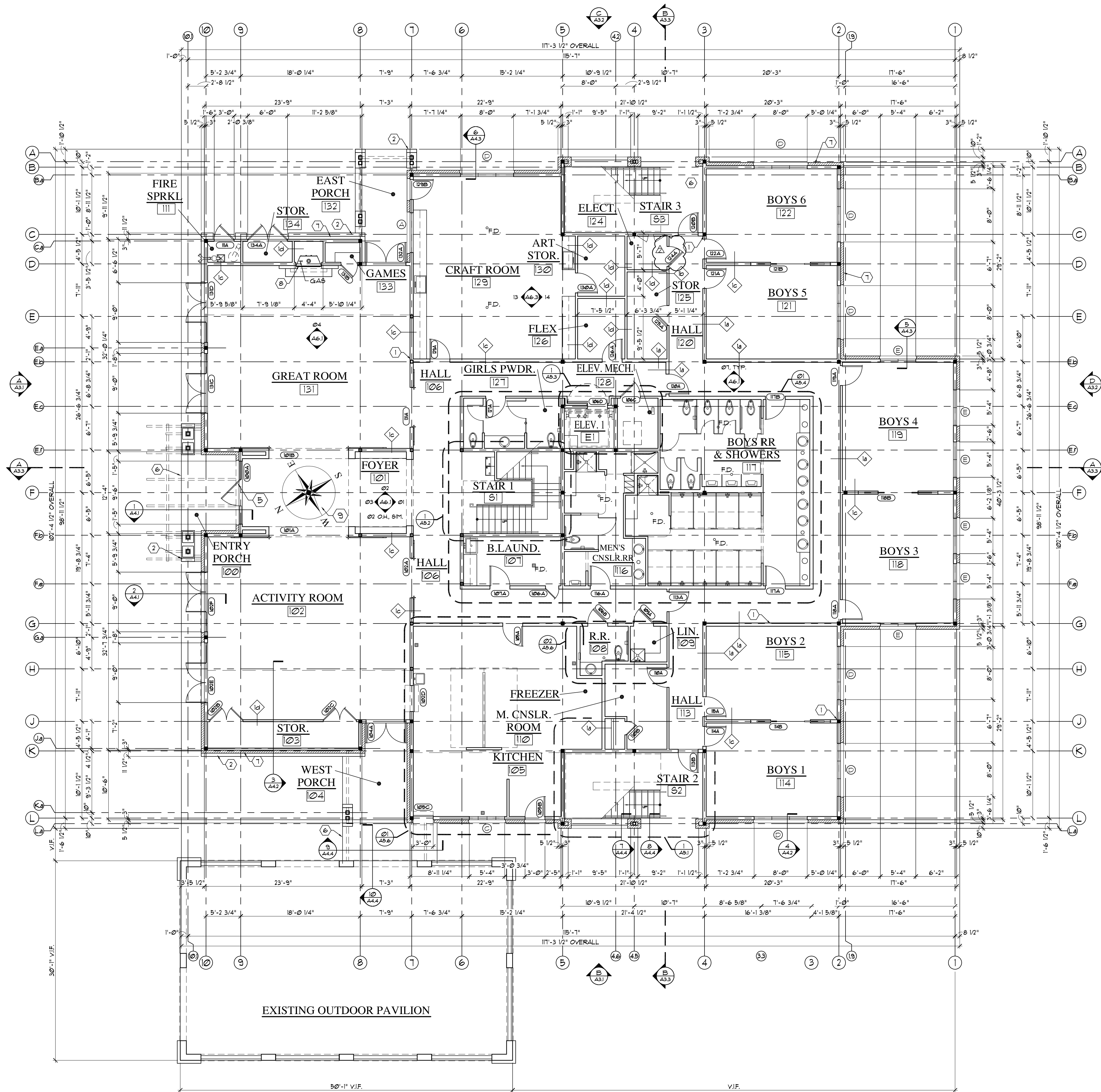
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Zilker Clubhouse
SHEET NO.:

A1.1

PROJECT NO.	12135
DRAWN BY:	SQ/ PC
DATE:	9.10.13
CHECKED BY:	MC



1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEYED NOTES

- 1 STRUCTURAL STEEL COLUMN PER ENGINEER DRAWINGS
- 2 SLOPED STONE MASONRY WAINSCOT
- 3 SUMP PIT, COORDINATE ELEVATOR HYDRAULIC PISTON AND SUMP PIT REQUIREMENTS WITH ELEVATOR MANUFACTURER
- 4 HAMPER AND LINEN
- 5 DRILL FOR DOOR PIVOT AS REQUIRED BY DOOR MANUFACTURER
- 6 ENGINEERED FOUNDATION FOR BUILDING OR WALKWAYS - CONTRACTOR TO VERIFY ANY SLOPING AND/OR GRATING REQUIREMENTS TO AAS/ ADA STANDARDS
- 1 STONE MASONRY VENEER
- 8 42" B VENT GAS FIREPLACE
- 9 CONCRETE FLOOR DESIGN
- 10 SHELF/ ROD - REFER TO DETAIL 3/A82

GENERAL PLAN NOTES

- A CONTRACTOR TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS PRIOR TO ORDERING OR INSTALLING.
- B PROVIDE FIRE ALARMS & APPROVED FIRE EXTINGUISHERS IN SEMI-RECESSED CABINET AS REQUIRED BY CODE.
- C UNLESS SPECIFICALLY NOTED OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM HINGE CORNER.
- D PROVIDE BLOCKING IN STUD WALLS FOR CABINET AND GRAB BAR MOUNTING AS NECESSARY
- E ALL SWITCH HEIGHTS TO BE AT 48" AFF. PER ADA UNO.
- F REFERENCE A81 FOR WALL TYPES, A71 FOR DOOR AND WALL PANEL SCHEDULE, A12 FOR WINDOW TYPES AND ROOM FINISH SCHEDULE.
- G HATCHED COLUMNS FIRE PROTECTED PER DETAIL 6/A81.

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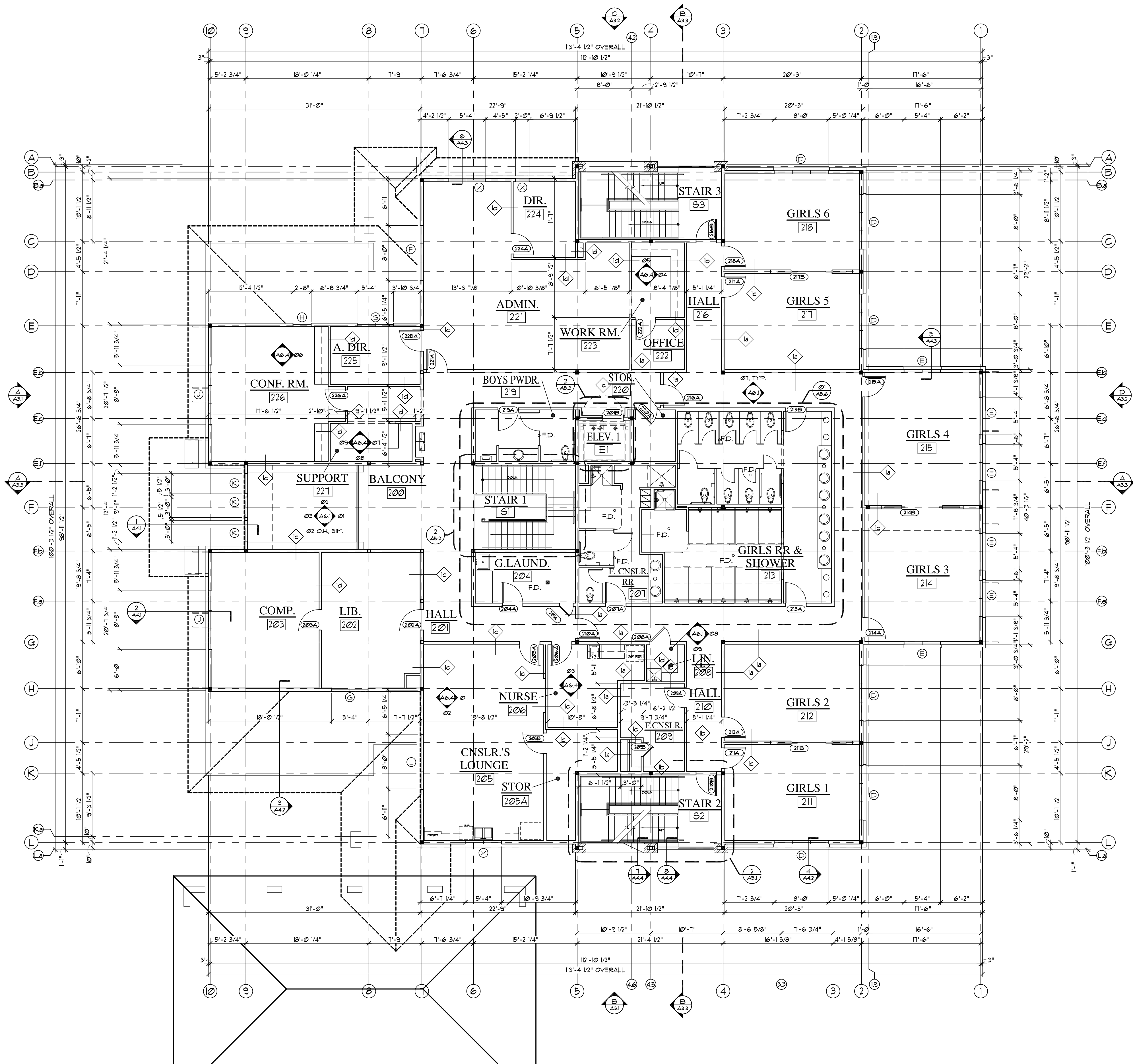
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1ST FLOOR PLAN



2ND FLOOR PLAN
SCALE 1/8" = 1'-0"

KEYED NOTES

- 1 STRUCTURAL STEEL COLUMN PER ENGINEER DRAWINGS
- 2 SLOPED STONE MASONRY WAINSCOT
- 3 SUMP PIT. COORDINATE ELEVATOR HYDRAULIC PISTON AND SUMP PIT REQUIREMENTS WITH ELEVATOR MANUFACTURER
- 4 HAMPER AND LINEN
- 5 DRILL FOR DOOR PIVOT AS REQUIRED BY DOOR MANUFACTURER
- 6 ENGINEERED FOUNDATION FOR BUILDING OR WALKWAYS. CONTRACTOR TO VERIFY ANY SLOPING AND/OR GRATING REQUIREMENTS TO TABS/ ADA STANDARDS
- 1 STONE MASONRY VENEER
- 8 42" B VENT GAS FIREPLACE
- 9 CONCRETE FLOOR DESIGN
- 10 SHELF/ ROD - REFER TO DETAIL 3/A82

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- D PROVIDE BLOCKING IN STUD WALLS FOR CABINET AND GRAB BAR MOUNTING AS NECESSARY
- E ALL SWITCH HEIGHTS TO BE AT 48" AFF. PER ADA UNO.
- F REFERENCE A81 FOR WALL TYPES, A71 FOR DOOR AND WALL PANEL SCHEDULE, A12 FOR WINDOW TYPES AND ROOM FINISH SCHEDULE.
- G ■ HATCHED COLUMNS FIRE PROTECTED PER DETAIL 6/A81.

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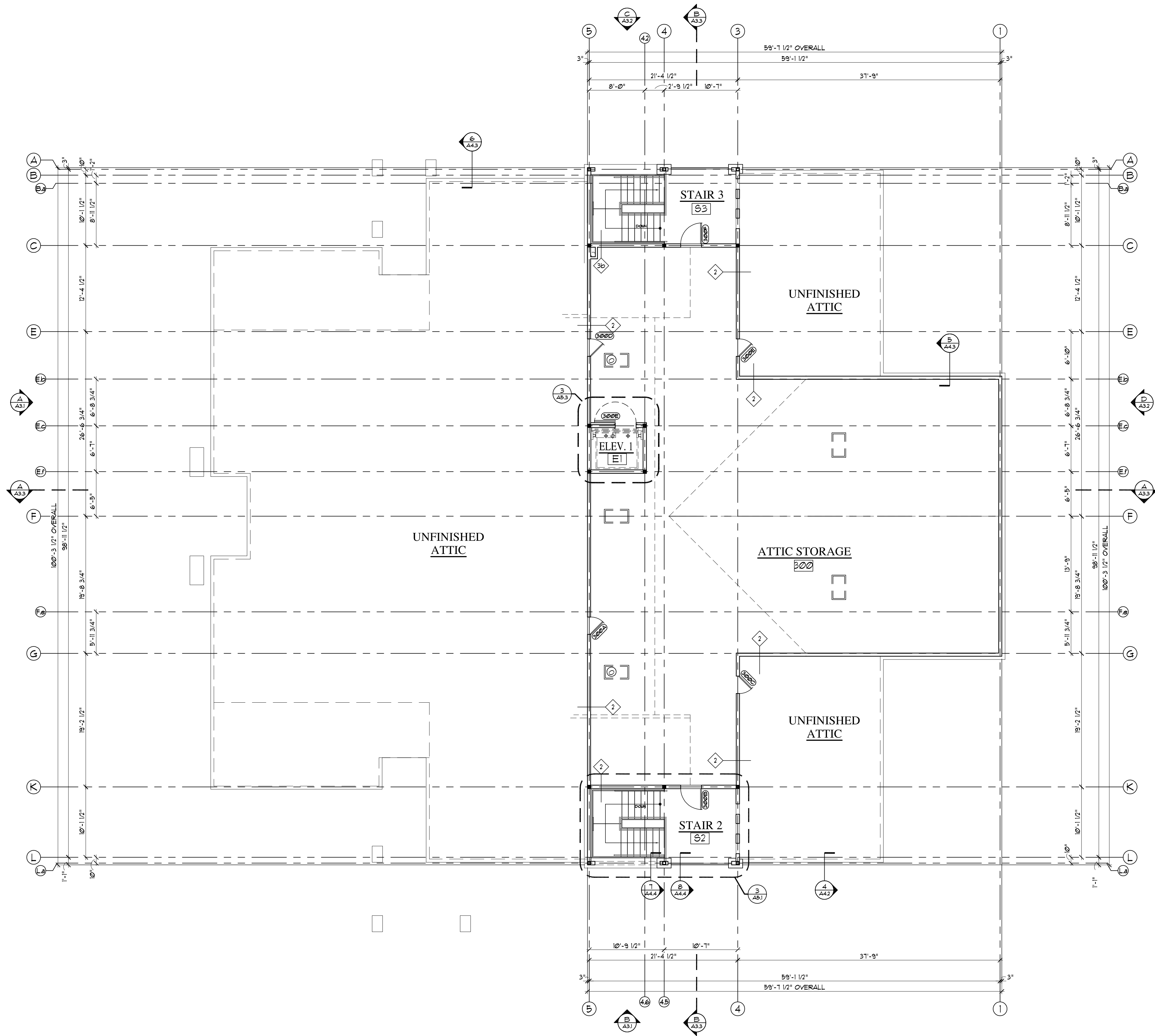
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2ND FLOOR PLAN



3RD FLOOR PLAN

SCALE 1/8" = 1'-0"

KEYED NOTES

- STRUCTURAL STEEL COLUMN PER ENGINEER DRAWINGS
- SLOPED STONE MASONRY WAINSCOT
- SUMP PIT. COORDINATE ELEVATOR HYDRAULIC PISTON AND SUMP PIT REQUIREMENTS WITH ELEVATOR MANUFACTURER
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- STONE MASONRY VENEER
- 42" B VENT GAS FIREPLACE
- CONCRETE FLOOR DESIGN
- SHELF/ ROD - REFER TO DETAIL 3/A8.2

GENERAL PLAN NOTES

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- C UNLESS SPECIFICALLY NOTED OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM HINGE CORNER.
- D PROVIDE BLOCKING IN STUD WALLS FOR CABINET AND GRAB BAR MOUNTING AS NECESSARY
- E ALL SWITCH HEIGHTS TO BE AT 48" AFF. PER ADA UNO.
- F REFERENCE A8.1 FOR WALL TYPES, A7.1 FOR DOOR AND WALL PANEL SCHEDULE, A12 FOR WINDOW TYPES AND ROOM FINISH SCHEDULE.
- G ■ HATCHED COLUMNS FIRE PROTECTED PER DETAIL 6/A8.1.

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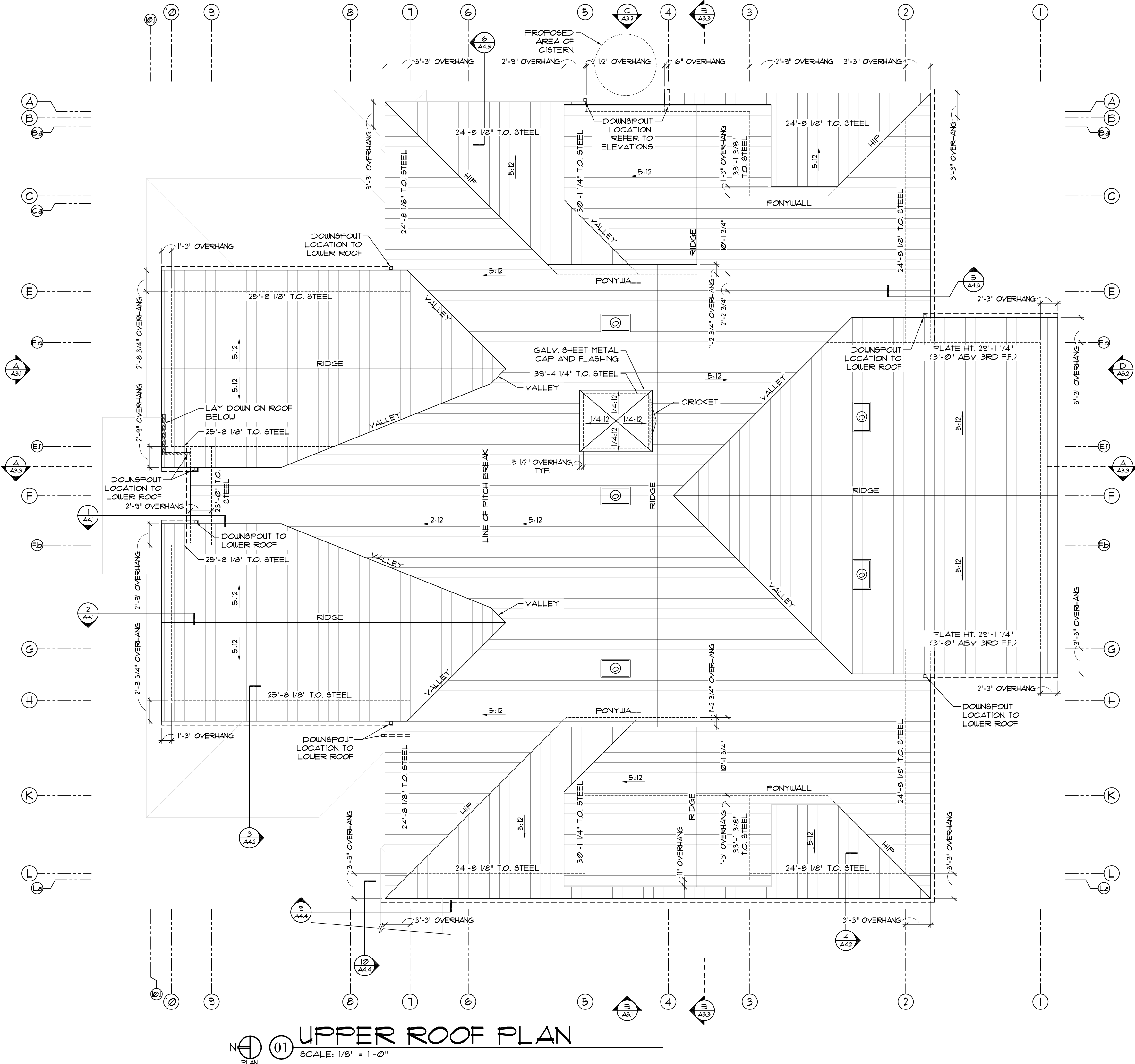
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3RD FLOOR PLAN

ROOF NOTES:

1. ROOF TO BE WOOD TRUSSES PER ENGINEER. GENERAL CONTRACTOR TO COORDINATE ENGINEERED ROOF TRUSSES WITH SHIP REPAIRS FOR MECHANICAL AND PLUMBING EQUIPMENT PER SHIP ENGINEER AND SUB-CONTRACTOR PRIOR TO ORDERING. PROVIDE 3" MIN. PLYWOOD DECKING, OVERFLOW PANS, AND DRAIN LINES PER CODE.
2. ALL PLUMBING & APPLIANCE VENTS ARE TO BE OFFSET TO REAR OF ROOF RIDGE WHEREVER POSSIBLE.
3. ALL OVERHANG DIMENSIONS GIVEN ARE FROM THE CENTERLINE OF STEEL BEAM OR EXTERIOR FACE OF WOOD PLATE, UNLESS NOTED OTHERWISE.
4. METAL ROOF TO BE SNAP LOCK TYPE PER SPEC. OVER DECKING AND ENGINEERED TRUSSES PER STRUCTURAL ENGINEER UNLESS NOTED OTHERWISE. SEE STRUCTURAL PLANS FOR TOP OF STEEL HEIGHTS.
5. REFER TO ELEVATION SHEETS, RCP SHEET, WALL SECTIONS & DETAILS FOR MORE INFORMATION ON SHED ROOFS AND PLATE HEIGHTS.
6. ROOF DOWNSPOUTS TO BE SIZED PER LOCAL CODES AND DRAIN DIRECTION COORDINATED WITH CIVIL ENGINEER. VERIFY WITH LOCAL JURISDICTION CODES PRIOR TO INSTALL.



UPPER ROOF PLAN
 SCALE: 1/8" = 1'-0"



LOWER ROOF PLAN
 SCALE: 1/8" = 1'-0"

CGAPARTNERS

ZILKER LODGE
an Austin
Sunshine Camp Facility
2225 Andrew Zilker Rd.
Austin, Texas 78703



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Zilker Clubhouse
SHEET NO.:

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PROJECT NO. 1213
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CORNERSTONE GROUP ARCHITECTS
7000 REF CAVES RD, SUITE 200 AUSTIN TX 78746
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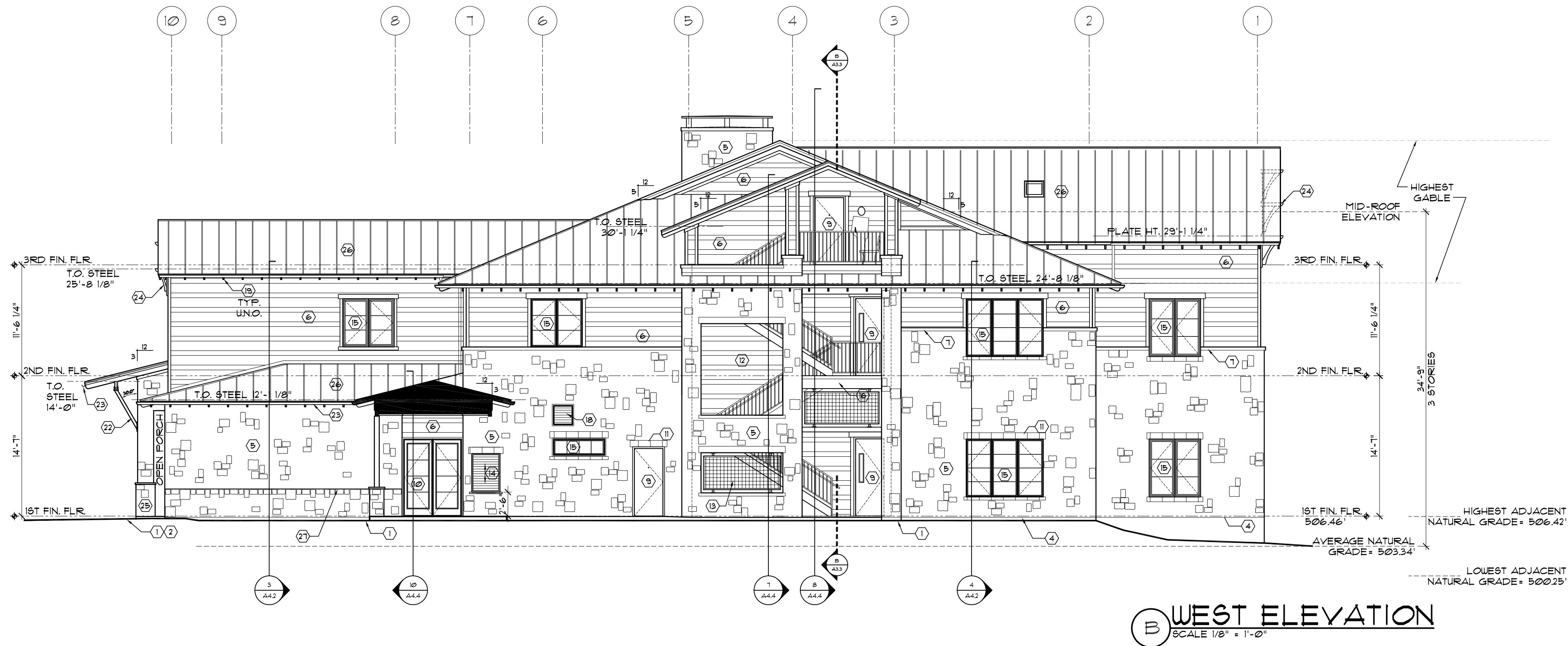
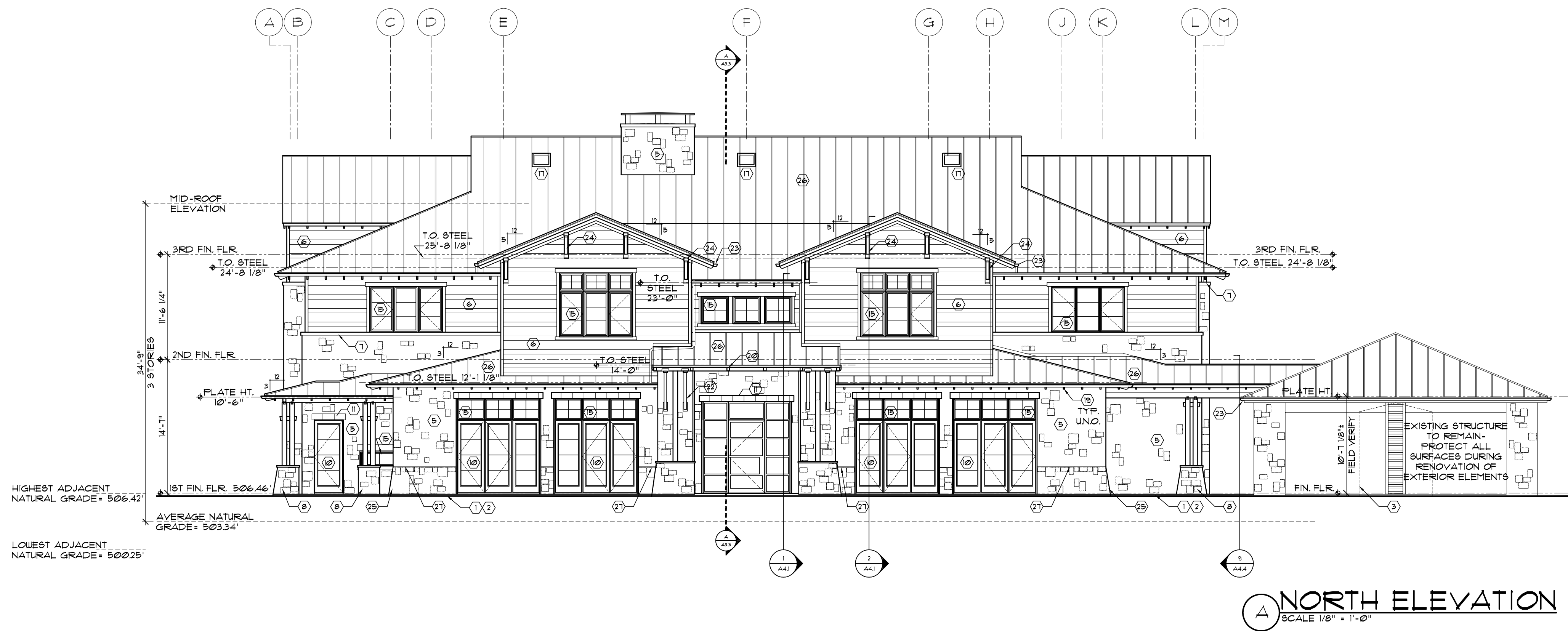
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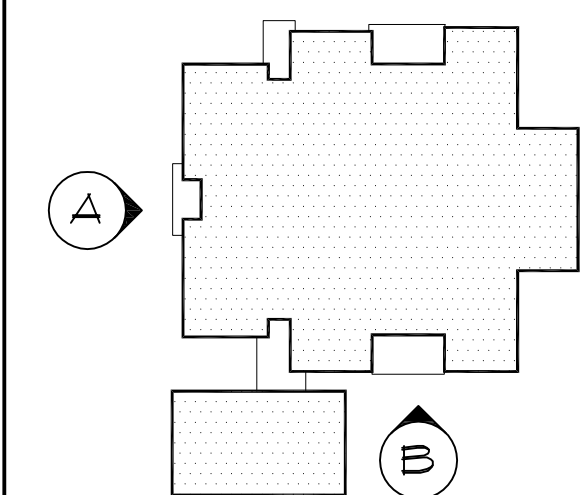
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- KEYNOTE LEGEND**
- 1 GRADING PER CIVIL ENGINEERING PLANS. ENSURE POSITIVE DRAINAGE FROM BUILDING.
 - 2 ENGINEERED FOUNDATION FOR BUILDING OR WALKWAYS. CONTRACTOR TO VERIFY ANY SLOPING AND/OR GRATING REQUIREMENTS TO TAB/ ADA STANDARDS.
 - 3 CISTERN, REF. CIVIL DRAWINGS.
 - 4 MASONRY LUG. SEE FOUNDATION PLANS FOR LARGE DROP DIMENSIONS. FARGE (UNDERPIN) ALL EXPOSED FOUNDATION LOCATIONS.
 - 5 STONE MASONRY VENEER. PROVIDE DEEP HOLES AT LUG PER CODE. PROVIDE VERT. & HOR. REINF. PER ENGINEER. MORTAR COLOR TO BE APPROVED BY OWNER.
 - 6 LAP SIDING.
 - 7 4" CUT STONE WATERTABLE COURSE. SEE WALL SECTION FOR HEIGHT.
 - 8 TAPERED STONE COLUMN BASE AND EXPOSED WOOD COLUMN.
 - 9 HOLLOW METAL DOOR.
 - 10 WOOD/ VINYL/ GLASS DOOR.
 - 11 8" TALL CUT STONE HEADERS TYP. W/ 3" HORIZONTAL SIDE PROJ. INTO FIELD MAS. AND 4" TALL CUT SILLS PER SPEC. W/ SAME SIDE PROJ. & SLOPED TO DRAIN TYP.
 - 12 FRAMED OPENING.
 - 13 METAL SCREEN.
 - 14 ROLL UP METAL DOOR.
 - 15 RESIDENTIAL ALUMINUM/ WOOD WINDOW.
 - 16 STEEL STAIR AND RAILING.
 - 17 SKYLIGHT.
 - 18 METAL AIR INTAKE OR EXHAUST VENT PER M.E.P. DRAWINGS.
 - 19 EXPOSED 2X DOUGLAS FIR WOOD RAFTERS W/ DECORATIVE CUT TAILS. SEE REFLECTED CEILING PLANS & DETAIL SHEETS.
 - 20 EXPOSED 4X8 DOUGLAS FIR WOOD RAFTERS W/ DECORATIVE CUT TAILS. SEE REFLECTED CEILING PLANS & DETAIL SHEETS.
 - 21 CONDENSER UNIT LOCATION.
 - 22 METAL BRACKET PER DETAIL 8/ A32.
 - 23 METAL GUTTERS PER SPEC. - SEE ROOF PLANS FOR SPECIALITY GUTTER LOCATIONS AND DOWNSPOUTS.
 - 24 WOOD BRACKET PER DETAILS 6/ A32.
 - 25 SLOPED STONE MASONRY WAISCOOT.
 - 26 STANDING SEAM METAL ROOF.
 - 27 STONE MASONRY ACCENT COURSE.
 - 28 DECORATIVE WOOD LOUVERED VENT.
 - 29 FIREPLACE VENT.



KEY PLAN
FLAT
NTS



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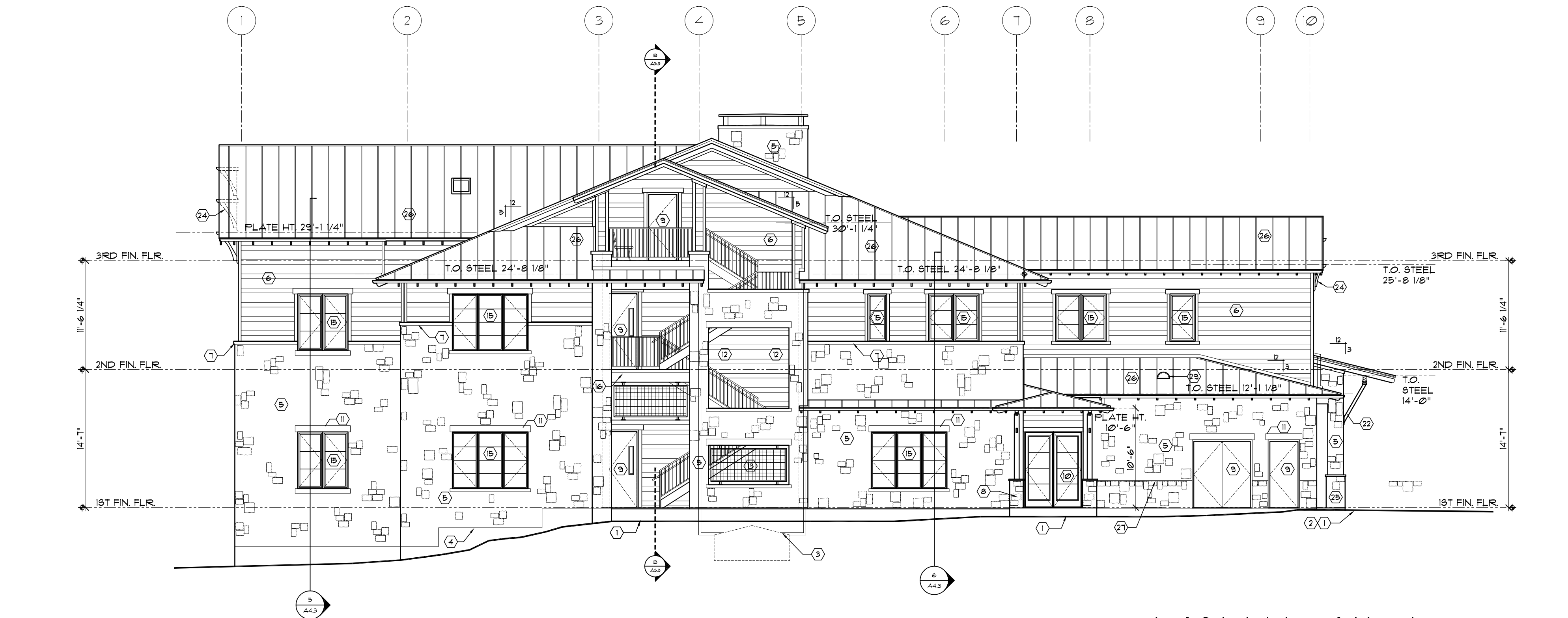
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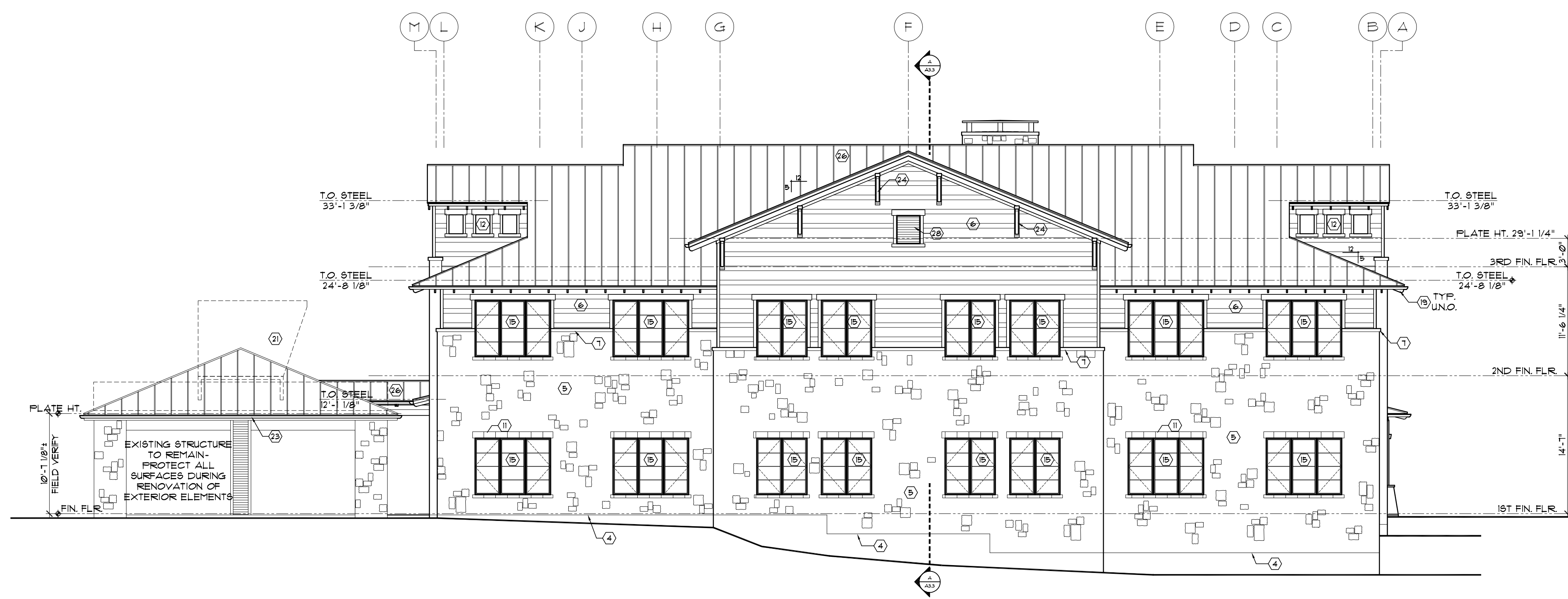
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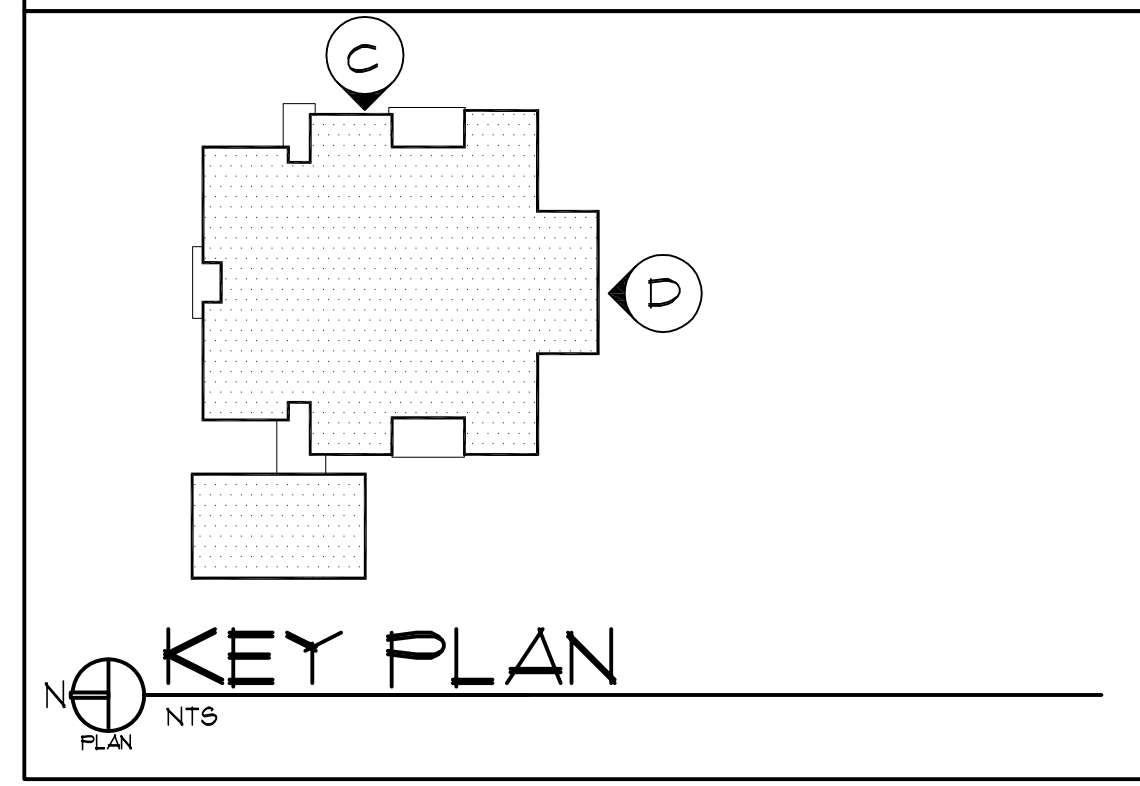


EAST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"

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