

LEGAL DESCRIPTION
LOT 1 MAAS SUBD RESUB OF A PORTION OF
LOT 3 BLK 14

PROJECT DIRECTORY

ARCHITECT: WEBBER & STUDIO, INC. 300 WEST AVE., SUITE 1322 AUSTIN, TX 78701 512-236-1032	STRUCTURAL: WAY ENGINEERING 11615 ANGUS ROAD, SUITE 119 AUSTIN, TEXAS 78759 512-343-0766
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1. THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTES, DIMENSIONS AND SCHEDULES. THE CONTRACTOR SHALL MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR INITIATION OF WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.

VICINITY MAP

A vicinity map showing the project site location. The map includes the following streets and landmarks:

- ENFIELD ROAD
- WEST MARTIN LUTHER KING JR. BOULEVARD
- WEST 15TH STREET
- WEST 10TH STREET
- WEST 5TH STREET
- WEST 10TH STREET
- WEST 5TH STREET
- WEST CEDAR CHAVEZ STREET
- LADY BIRD LAKE
- IONIC
- PROJECT SITE (indicated by an arrow)
- WEST LINN STREET
- NORTH LAMAR BOULEVARD
- COMGRESS AVENUE
- 538

CODE INFO

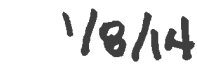
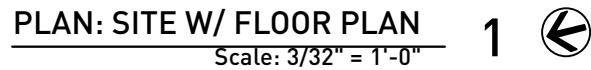
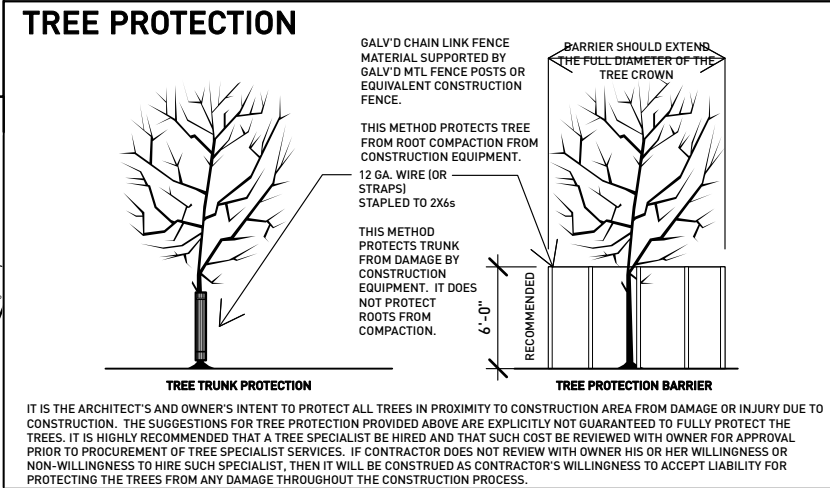
ZONING: SF-3-NP / OWA

BLDG COVERAGE:	IMP COVERAGE [45% ALLOW]:
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EXST= 1721/6070=28.4%	EXST= 1996/6070=33%
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PROP=1938/6070=31.9%	PROP=2285/6070=37.6%

<u>SHEET</u>	<u>DESCRIPTION</u>
A001	COVER SHEET
A101	PLANS: DIMENSION & MEP
A201	EXTERIOR ELEVATIONS & BUILDING SECTIONS
S1	FRAMING PLAN, NOTES, & DETAILS
S2	FRAMING PLAN, NOTES, & DETAILS



1712 West 10th St. • Austin, Texas • 78703
Main House Addition

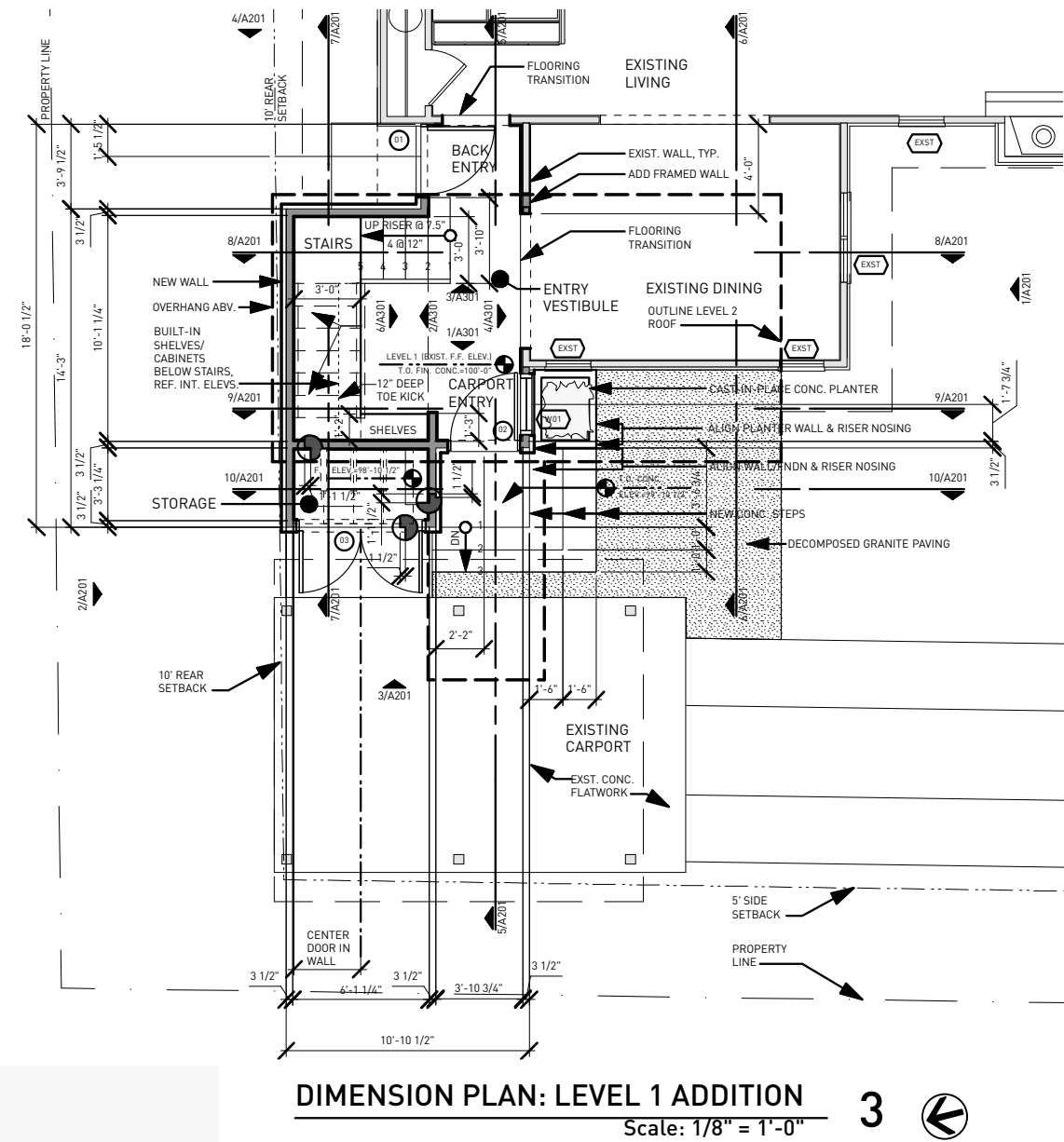
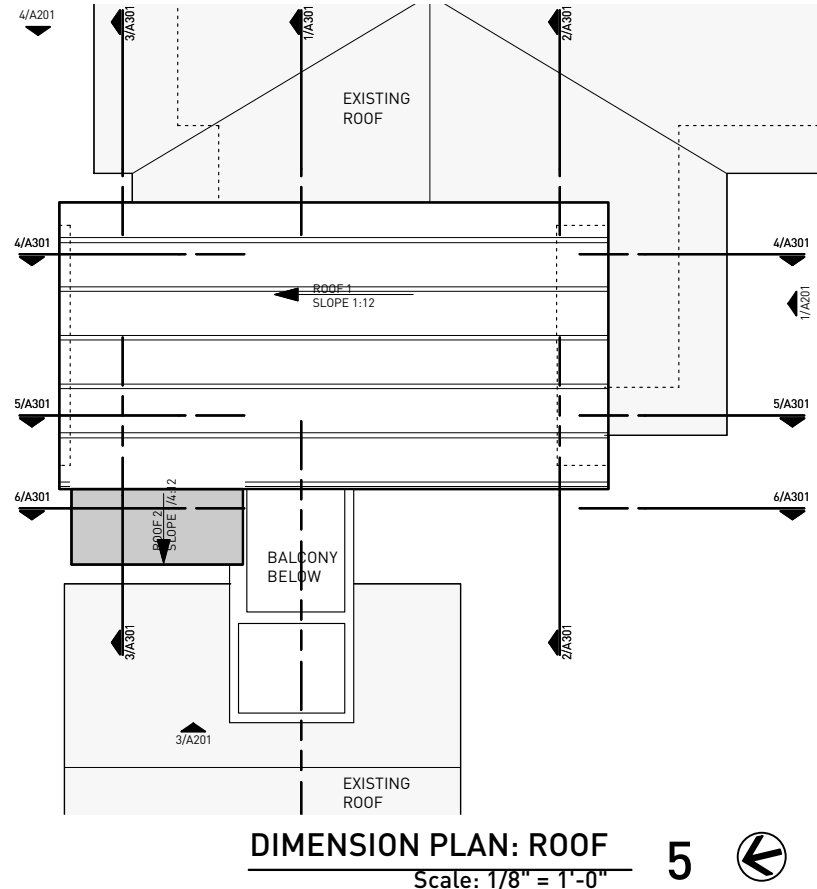
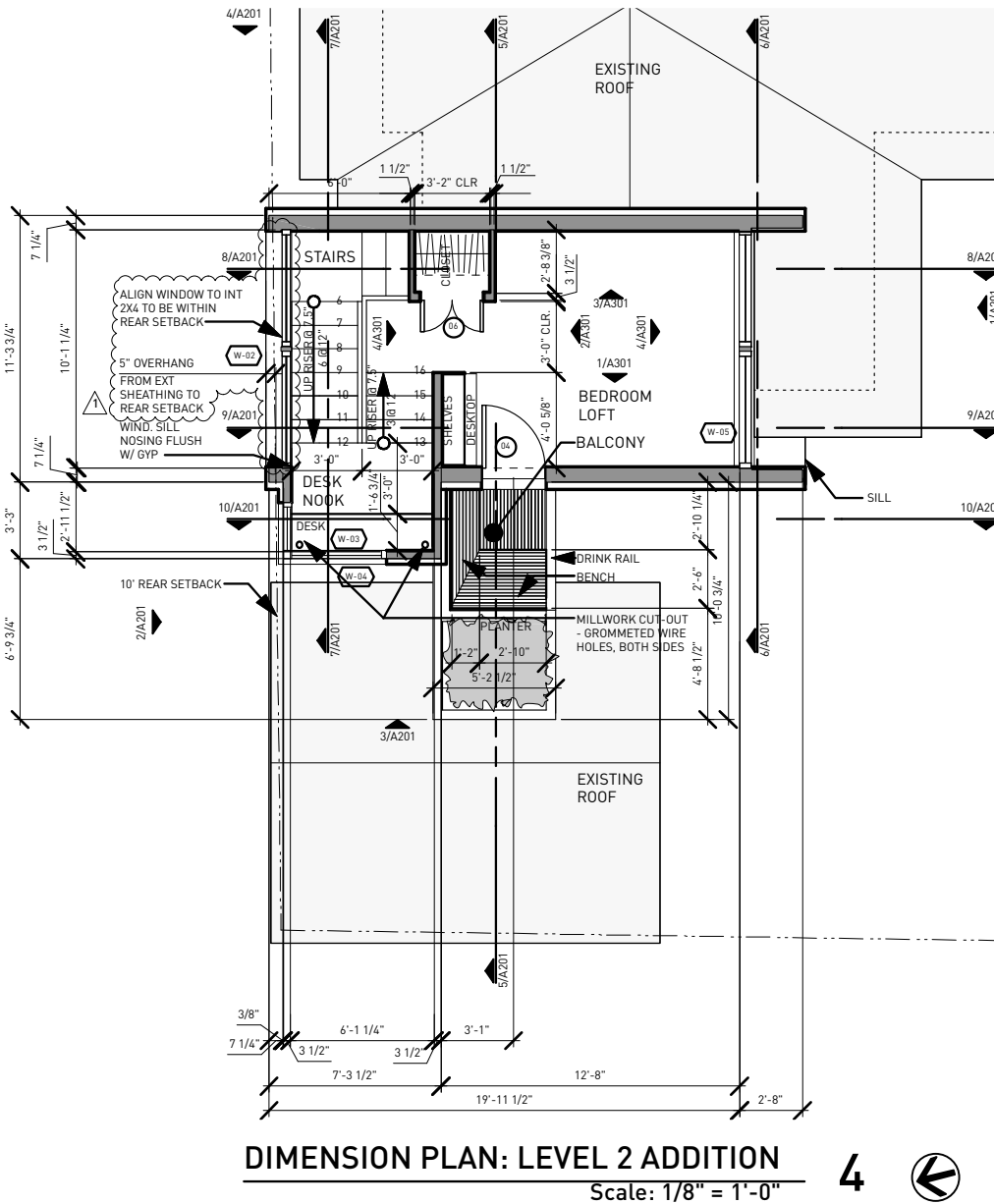
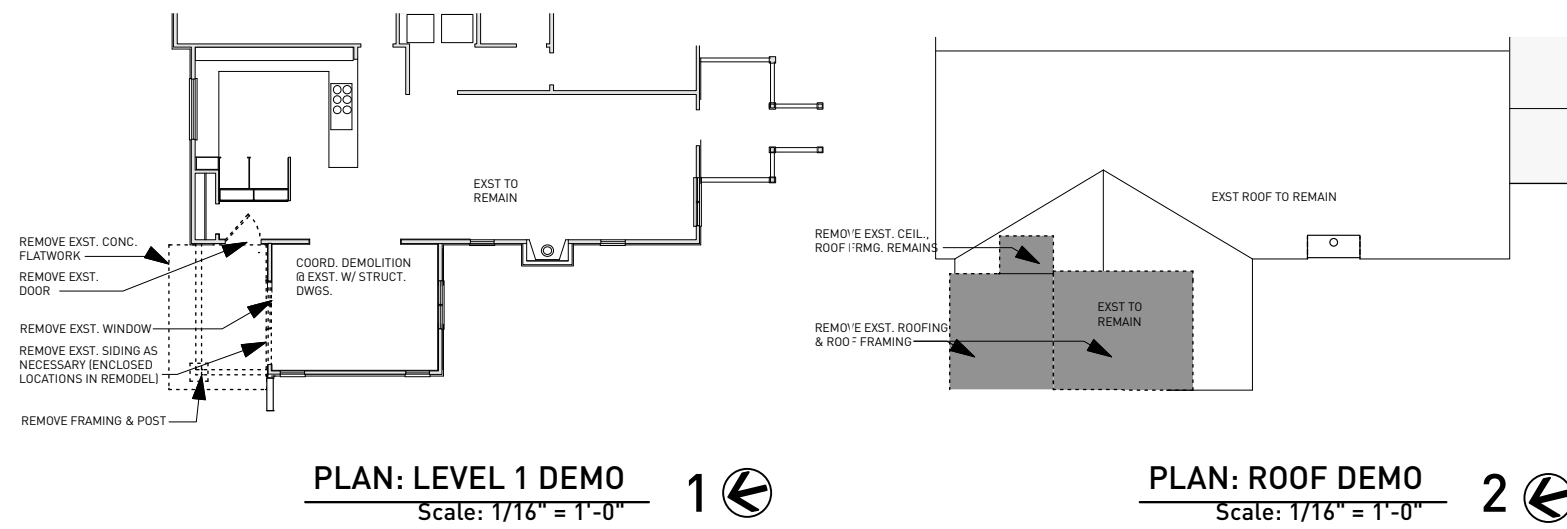
ARCHITECTURE

Webber + Studio, Inc.

JANUARY 8, 2014
REV2_PERMIT

A001

COVER SHEET:



REGISTERED ARCHITECT
EDWARD WEBBER
16441
STATE OF TEXAS

1/8/14

West 10th: Phase 1
1712 West 10th St. • Austin, Texas • 78703
Main House Addition 2

ARCHITECTURE
Webber + Studio, Inc.

512.236.1032
300 West Avenue
Suite 1322
Austin, Texas 78701
Fax 512.236.1039

JANUARY 8, 2014
REV2_PERMIT
1 11/14/13 ZONING CLARIFICATION REVISION
2 01/08/14 REVISIONS PER COA PERMIT REVIEW COMMENTS

A101
PLANS



1/8/14

West 10th: Phase 1

Main House Addition

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Fax 512.236.1039

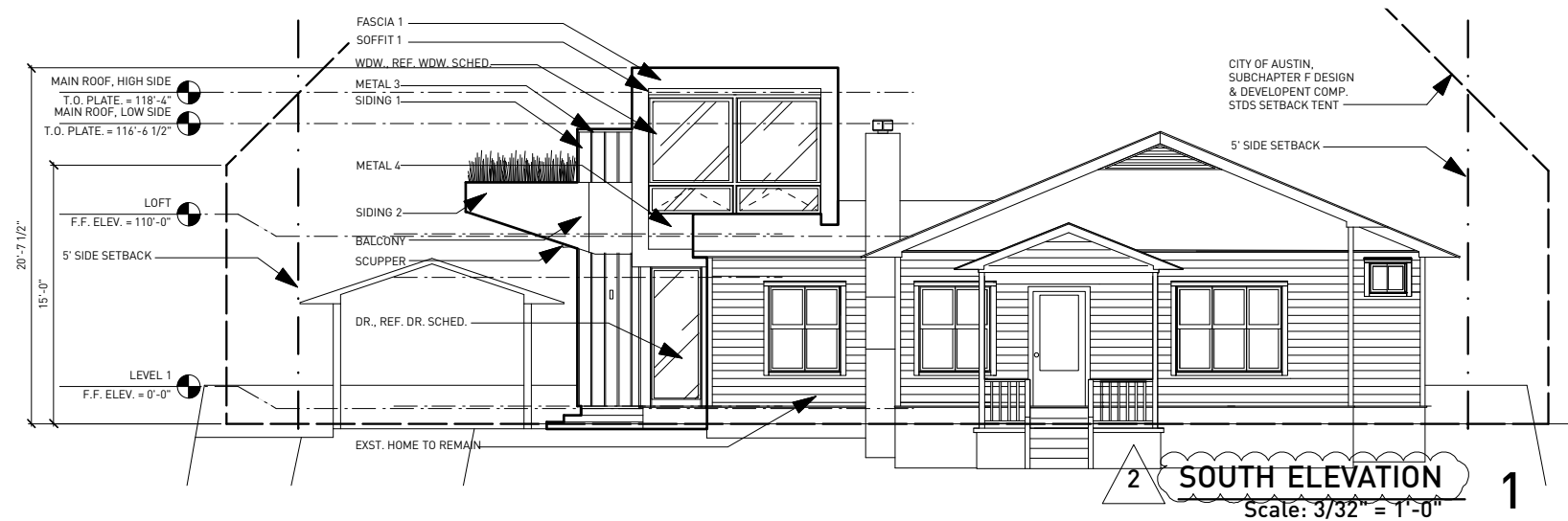
JANUARY 8, 2014

REV2_PERMIT

- 1 11/14/13 ZONING
CLARIFICATION REVISION
- 2 01/08/14 REVISIONS PER
COA PERMIT REVIEW
COMMENTS

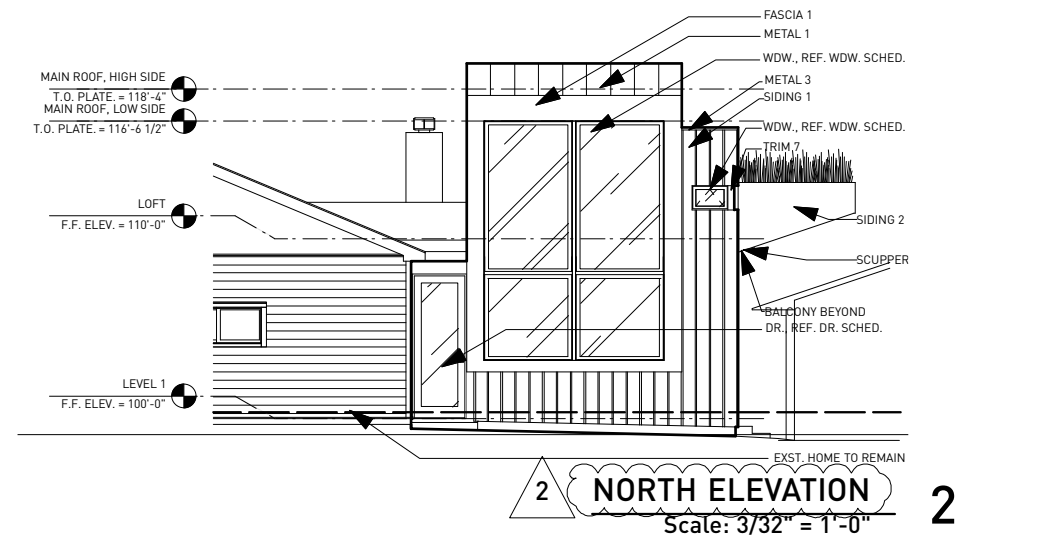
A201

EXTERIOR ELEVATIONS & BUILDING SECTIONS



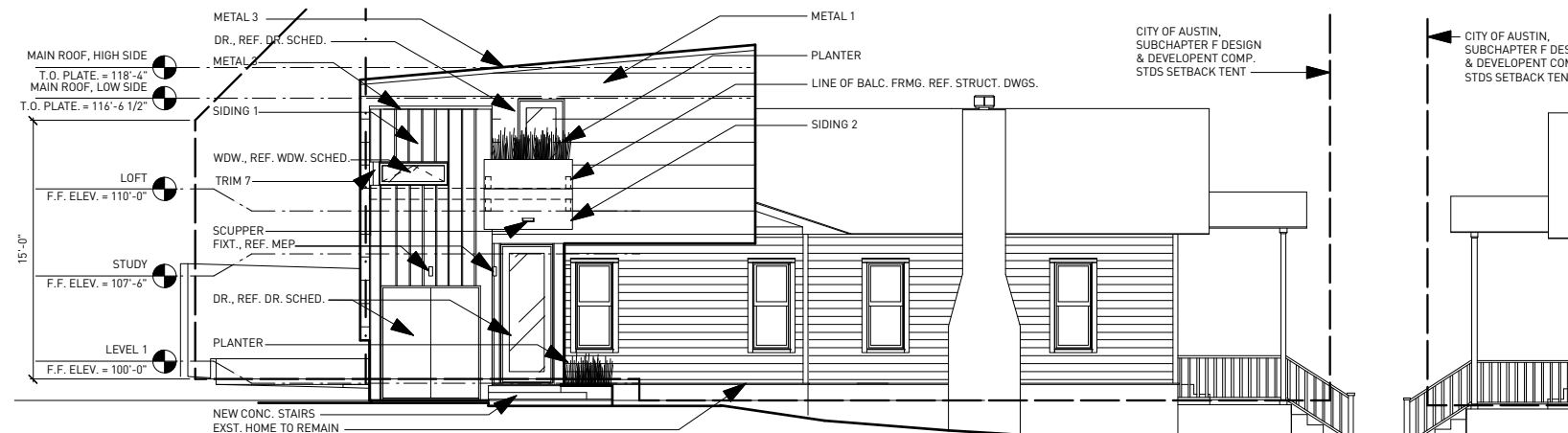
SOUTH ELEVATION

Scale: $3/32'' = 1'-0''$



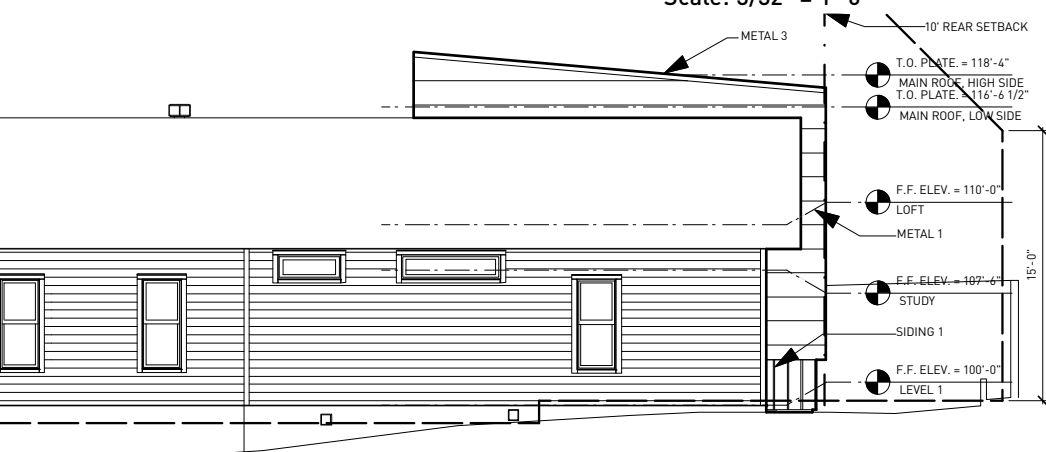
NORTH FLORIAN

Scale: $\frac{3}{32}'' = 1'-0''$



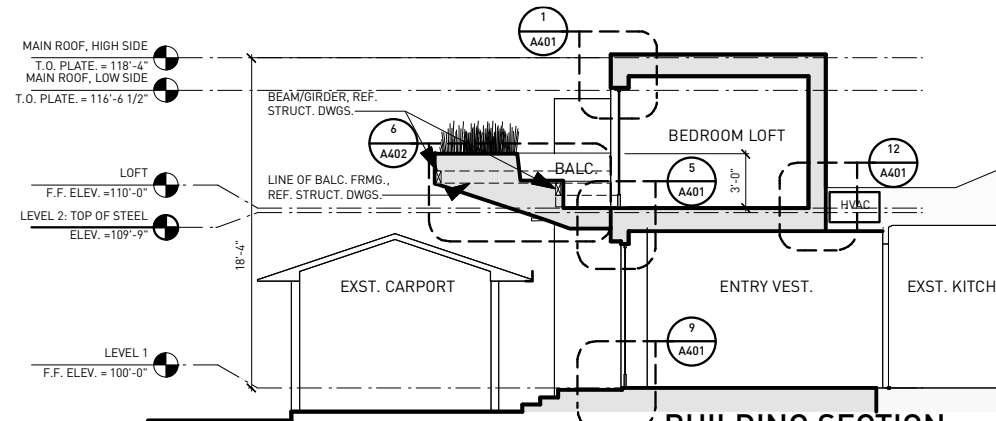
WEST ELEVATION

Scale: $\frac{3}{32}'' = 1'-0''$



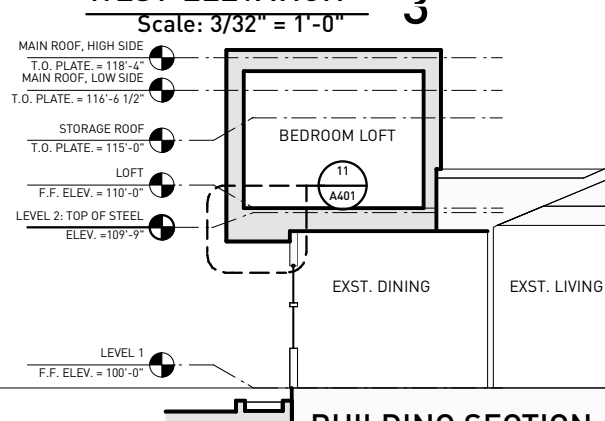
FAST ELEVATION

Scale: 3/32" = 1'-0"



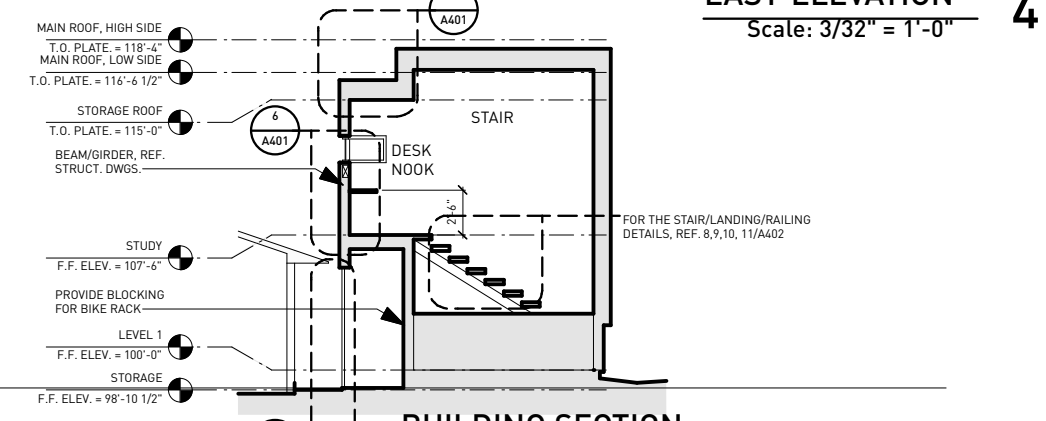
BUILDING SECTION

Scale: $\frac{3}{32}'' = 1'-0''$



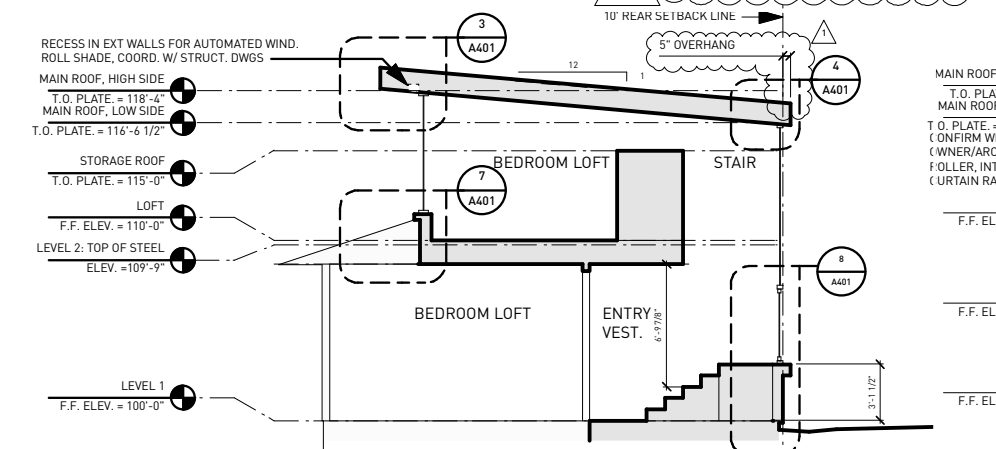
BUILDING SECTION

Scale: $\frac{3}{32}'' = 1'-0''$



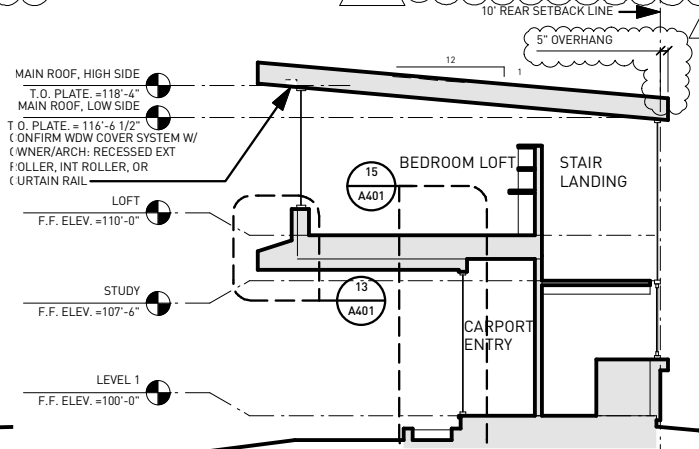
BUILDING SECTION

Scale: $\frac{3}{32}'' = 1'-0''$



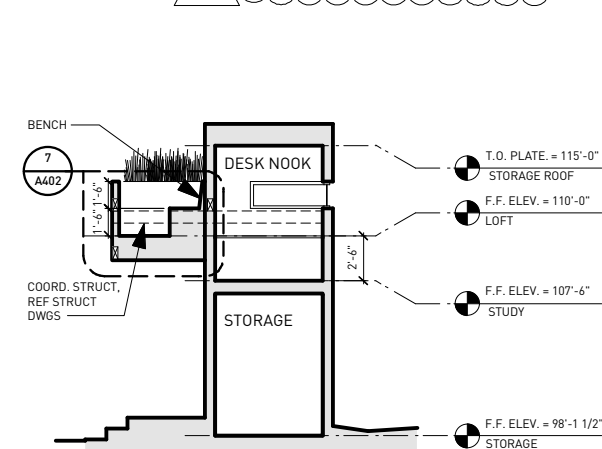
BUILDING SECTION

Scale: $\frac{3}{32}'' = 1'-0''$



BUILDING SECTION

Scale: $\frac{3}{32}'' = 1'-0''$



BUILDING SECTION

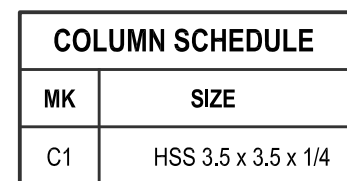
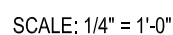
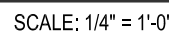
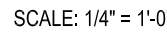
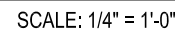
Scale: $3/32" = 1'-0"$

1. All structural members shall be Southern Pine, #2 KD (19% m/c) or better
2. All stud walls shall be S.P.F., stud grade or better, KD (19% m/c), or #2 Southern Pine, Unless Noted Otherwise (U.N.O.).
3. All exterior and all load bearing walls shall be minimum
2 x 4 @ 16" o.c. (U.N.O.).
4. Exposed members and sill plates shall be treated #2 KD Southern Pine.
5. In addition to any other requirements, provide 1x4 let-in diagonal bracing at each end, and at least every 25 ft. of all exterior walls and main cross-stud partition per code.
6. Roof decking shall be APA-rated, 32/16, Exp-1, 3/4" thick plywood (T & G).
7. Floor decking shall be 3/4" thick "STURD-I-FLOOR", T & G, Exp-1.
8. Provide 1/2" thick, EXP-1, APA-rated plywood sheathing, or OSB, at all exterior walls. ("Shearwalls," if specified on the plan, shall NOT be substituted with OSB)
9. Unless specified in the drawing, Builder shall install the appropriate joist and beam hangers with a shear capacity matching or exceeding that of the member being supported.
10. Masonry fireplace design shall be by others.
11. Builder shall take extra care to assure that upper level load bearing walls and posts can transfer their loads to the supports directly below them. (Install all blocking or stud columns below floor decking.)
12. For clarity, these plans do not show crickets. Contractor shall provide crickets per the Architectural roof plan.
13. All ceiling, beam, and plate heights shown on these plans are nominal and approximate dimensions. Builder is responsible to verify all of the dimensions and to determine the exact height and location of all building components.
14. This design meets the 90 mph wind speed.

1. Contractors shall thoroughly review these plans, and all related construction documents to verify and coordinate dimensions, locations, placement, and applicability of construction components as well as their relationship to each other and existing conditions. If there are discrepancies, conflicts, and omissions, the Contractor shall notify the Architect and Engineer as soon as possible.
2. Any discrepancies, conflicts, and omissions that are critical to the bid, shall be addressed by the Contractor prior to his/her bid, or included in the bid as a proposal for solutions and changes to deliver a complete project. Any changes and additional works required to clarify discrepancies, conflicts, and omissions that are not identified with the bid are considered non-critical to the bid, and shall be completed at no additional cost to the Owner.
3. Contractors shall make a detailed site visit and shall immediately bring any inconsistencies, site layout problems, or other requests for clarification to the Engineer for resolution, prior to bid submittal.
4. Contractors shall be competent and experienced in the type of construction used and have full knowledge of construction methods and procedures. Contractors shall coordinate all trades to provide a complete working system.
5. These drawings, in general, are diagrammatic, and not intended to be used as a manual. Fabrication, construction methods, and placement shall comply with applicable local code(s) and standard construction practices. In the absence of a local code, the International Building Code (latest edition) shall apply.
6. The exact locations of structures shown on Engineer's plans are based on the Architectural site plan and/or floor plans. Architects and General Contractors are responsible for verifying all site restrictions, such as building setbacks, restrictive covenants, property lines, and Homeowners' Association limitations.
7. Waterproofing, moisture control, and French drain are all per the Architect and/or Contractors.
8. Job-site safety conditions, including, but not limited to, lateral stability and wind bracing, shall be the Contractors' responsibility.

1. Remove min. 6" of top soil, any loose soil, all organic material, and all existing fill.
2. Fill material shall be Road Base per City of Austin standard.
3. Fill shall be placed in loose lifts not exceeding 8" and each layer shall be compacted to 95% per ASTM D-698.
4. Footings and exterior beams shall bear a min. of 24" into undisturbed soil or weathered limestone. Beams may bear on top of consistent hard rock provided that the minimum beam depth is achieved. (Provide allowance for rock excavation and removal, if necessary, to comply with plans)
5. Bearing surface shall be horizontal, stepping as necessary.
6. Provide 6 mil. poly vapor barrier under slab.
7. All reinf. steel shall be ASTM-615, Grade 60.
8. Min. length of laps = 30 bar diameters.
9. Provide #5 corner bars at all horiz. reinf. on walls, corner beams, and dead-end beams.
10. If grade beam depth exceeds 30", add 2-#5 cont. at 18" O.C. If beam depth exceeds 6 ft. see detail or consult engineer.
11. Provide slab mat supports (chairs) @ 36" O.C.E.W.
12. Concrete shall test 3000 psi @ 28 days (min. 5 samples); max. slump = 5".
13. Install 12"x12"x12" anchor bolts @ 36" O.C. (3' projection) at all exterior walls (Unless Noted Otherwise).
14. Surface drainage shall be directed away from the building. Builder is responsible for French drain, weep holes, water stops, and waterproofing as necessary. French drain or weep holes, if shown on this plan, serve only as a reminder.
15. Slab elevation, top of concrete, finish floor, and other reference elevations are to serve as guidelines only. Contractor shall verify them with the Architect and Site conditions.
16. Trees must not be planted, or remain, closer than the mature drip line of the trees. Root systems can cause a substantial reduction in soil volume in the vicinity of the trees during dry periods.
17. This foundation is designed for bearing on weathered limestone or Caliche. If the existing soil properties and conditions are found to be different from that above, contact the Engineer immediately.
18. Compaction of fill material shall be tested at every lift by a licensed geotechnical engineer. One test per 2000 S.F. (min. 3 per lift).
19. Provide one concrete test set (4 cylinders) per 75 cu.yds. (min. 1 set per day).

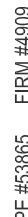
1. Structural steel shall be per the following ASTM specifications: Wide flange shapes shall be A992, Fy=50 ksi. Structural tubing (HSS) shall be A500, Fy=46 ksi. Other steel shapes shall be A36.
2. Unless noted otherwise, steel members shall be given shop coat and touch-up primer paint.
3. Contractors and steel fabricator are responsible for the design of all connections, including shop and field welding requirements per the latest edition of the AISC manual unless noted otherwise.
4. Welding of main structural members shall be performed by a certified welder, and shall be made per the latest standards of the A.W.S.
5. Before fabrication, Steel Fabricator and General Contractor shall review all construction documents, including architectural plans, to verify dimensions, locations, and quantities of all steel members. Before steel erection, the General Contractor and Steel Fabricator shall take field measurements of all existing conditions and as-built structures that affect the steel members, to assure the exact heights and locations of all structural steel members and their components. Steel fabricator shall coordinate with other trades.
7. Unless Noted Otherwise, vertical dimensions locating steel are measured from "Top of Structural Decking" or "Top of Raw Concrete." Contractor shall make necessary adjustments relating to Architectural floor finishes.
8. All top of steel elevations are nominal and shall be verified by the General Contractor and Steel Fabricator.
9. Engineering drawings shall not be reproduced and used as shop drawings. In the shop drawings, any new details, adjusted details, or other deviations from the engineering drawings shall be clouded with notes drawing attention for the reviewing engineer to verify.
10. Prior to submittal, shop drawings shall be thoroughly reviewed and approved by the General Contractor. Shop drawings that have not been approved by the General Contractor will be returned without review.



Top of steel elevation shall be per architectural drawings. Builder is responsible for coordinating with architectural drawings to verify exact elevation of steel framing members.

All ceiling, beam, and plate heights shown on these plans are nominal and approximate dimensions. Builder is responsible for verifying all dimensions and determining the exact height and location of all beams, columns, and other building components.

Rafter, joist, and truss layout shown on these plans are diagrammatic only. Builder shall coordinate exact locations with lighting and HVAC plans.



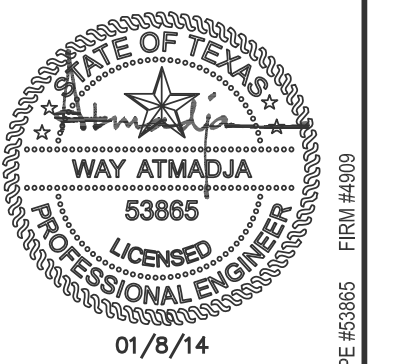
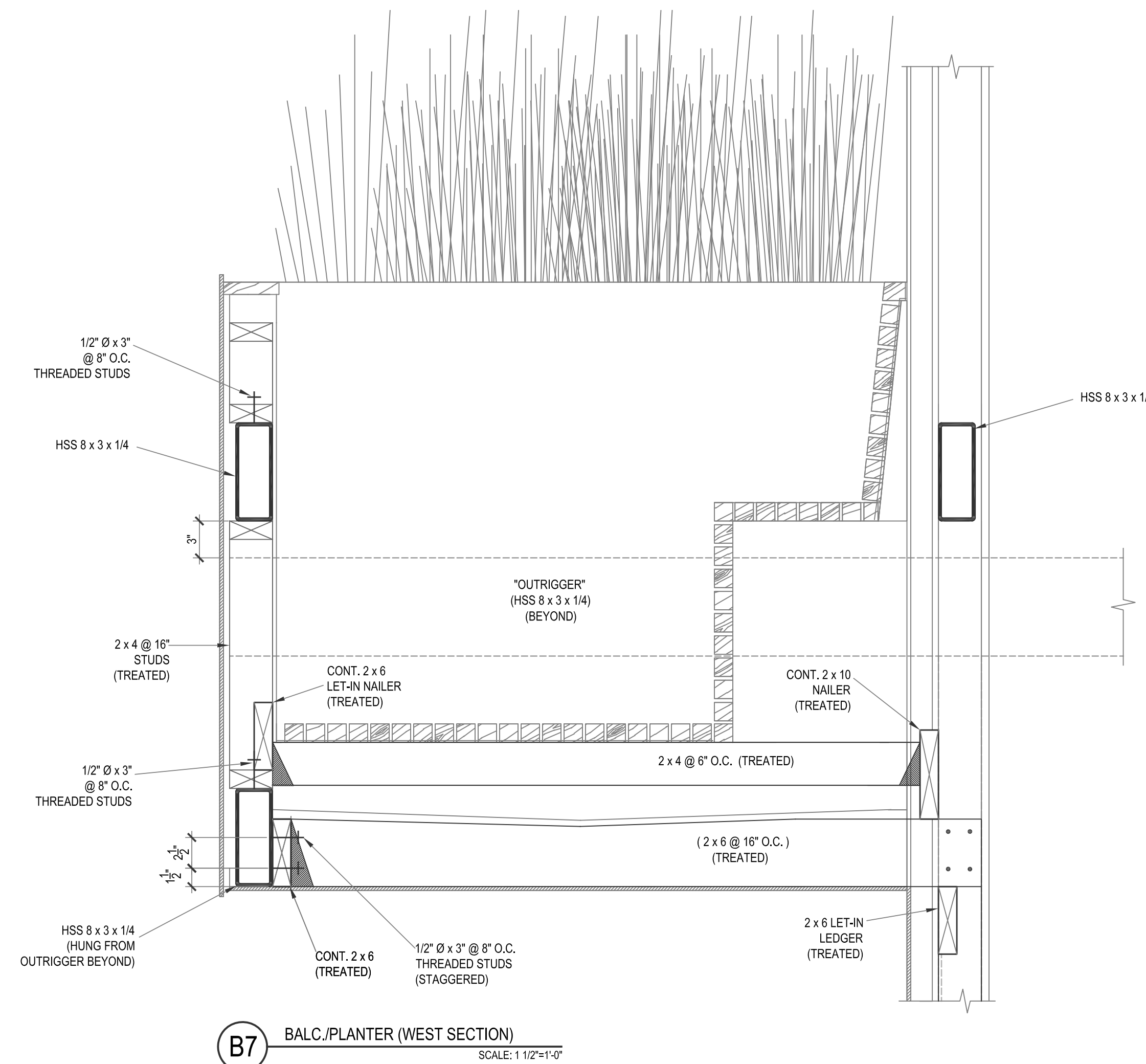
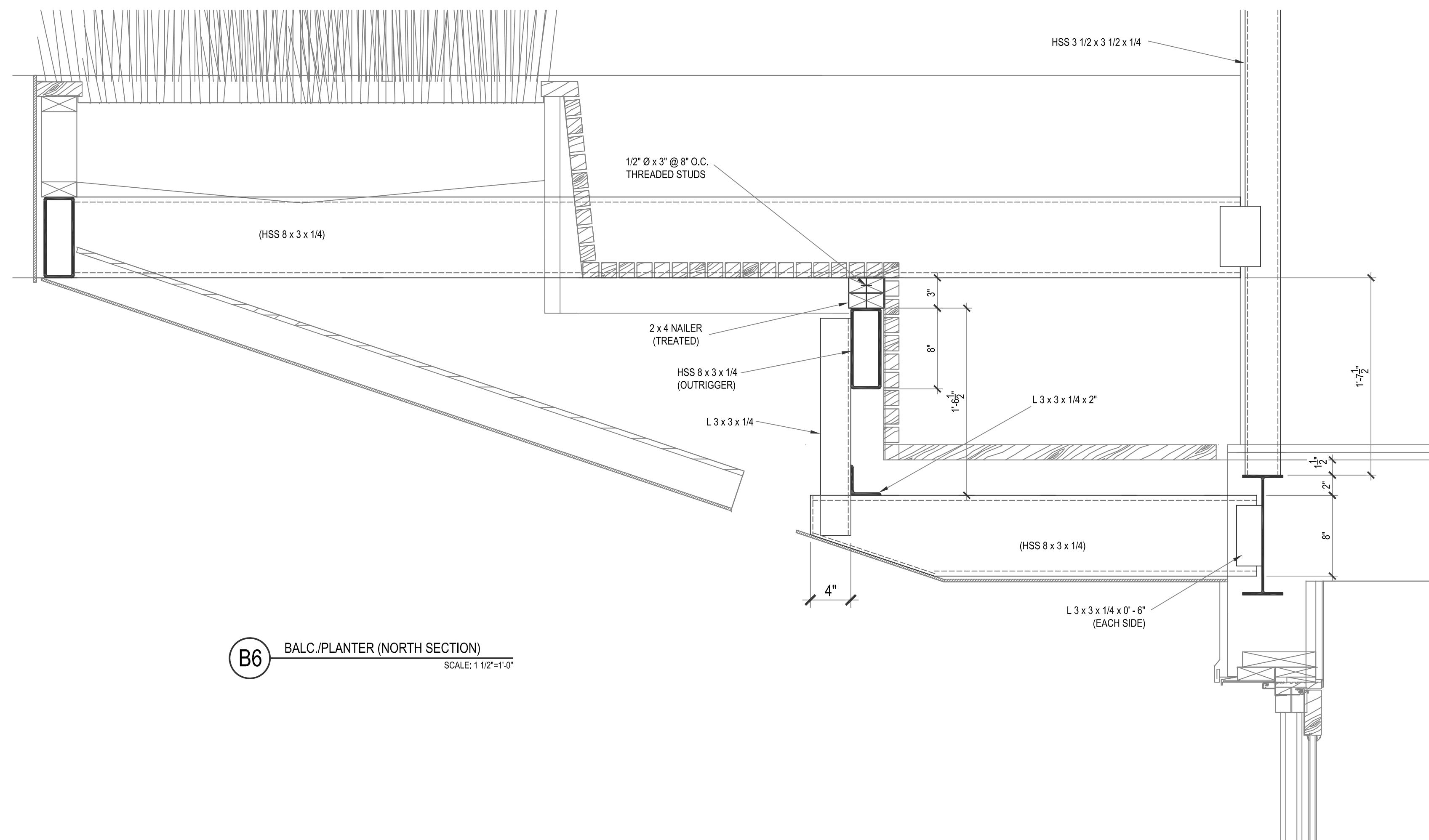
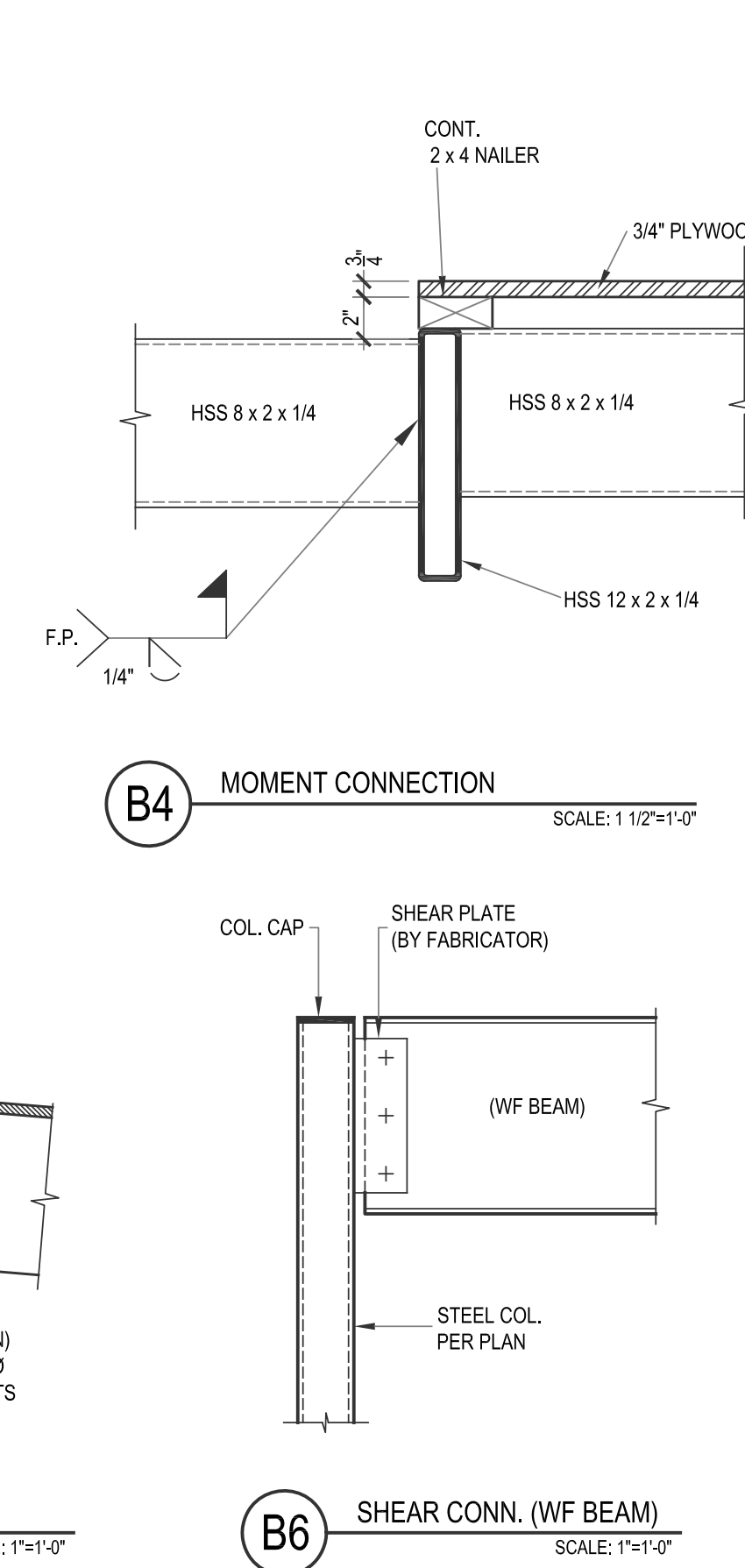
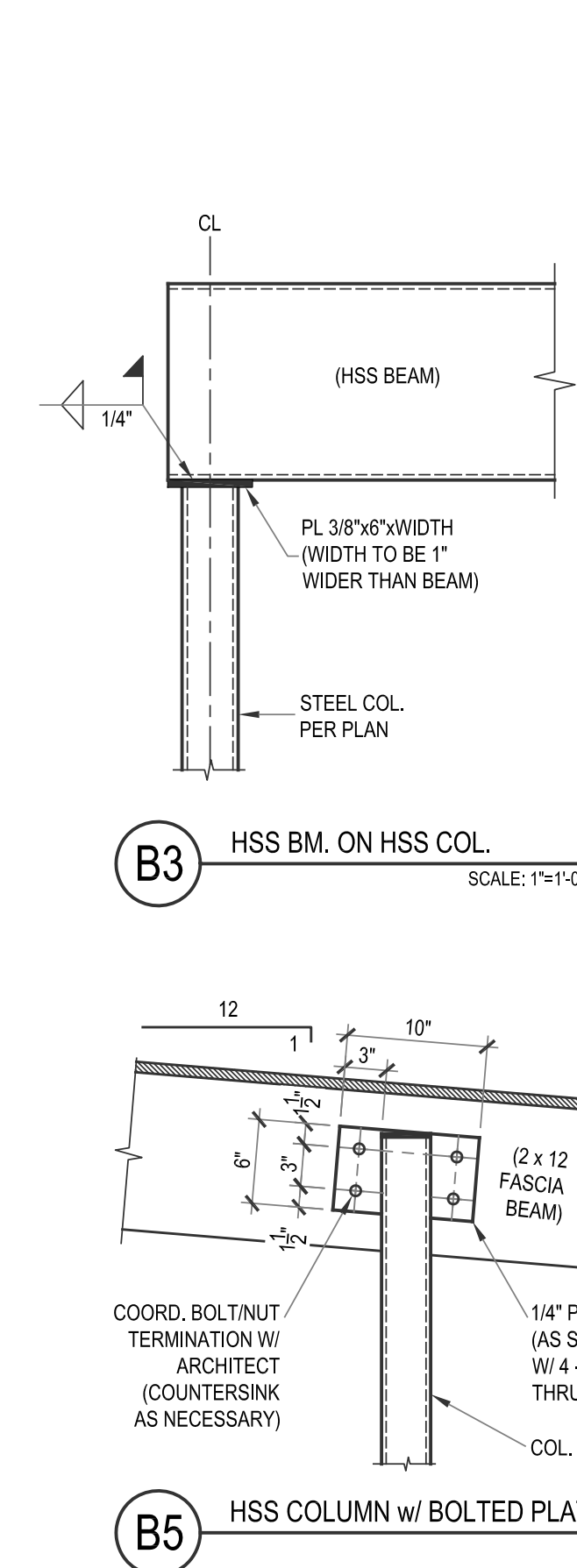
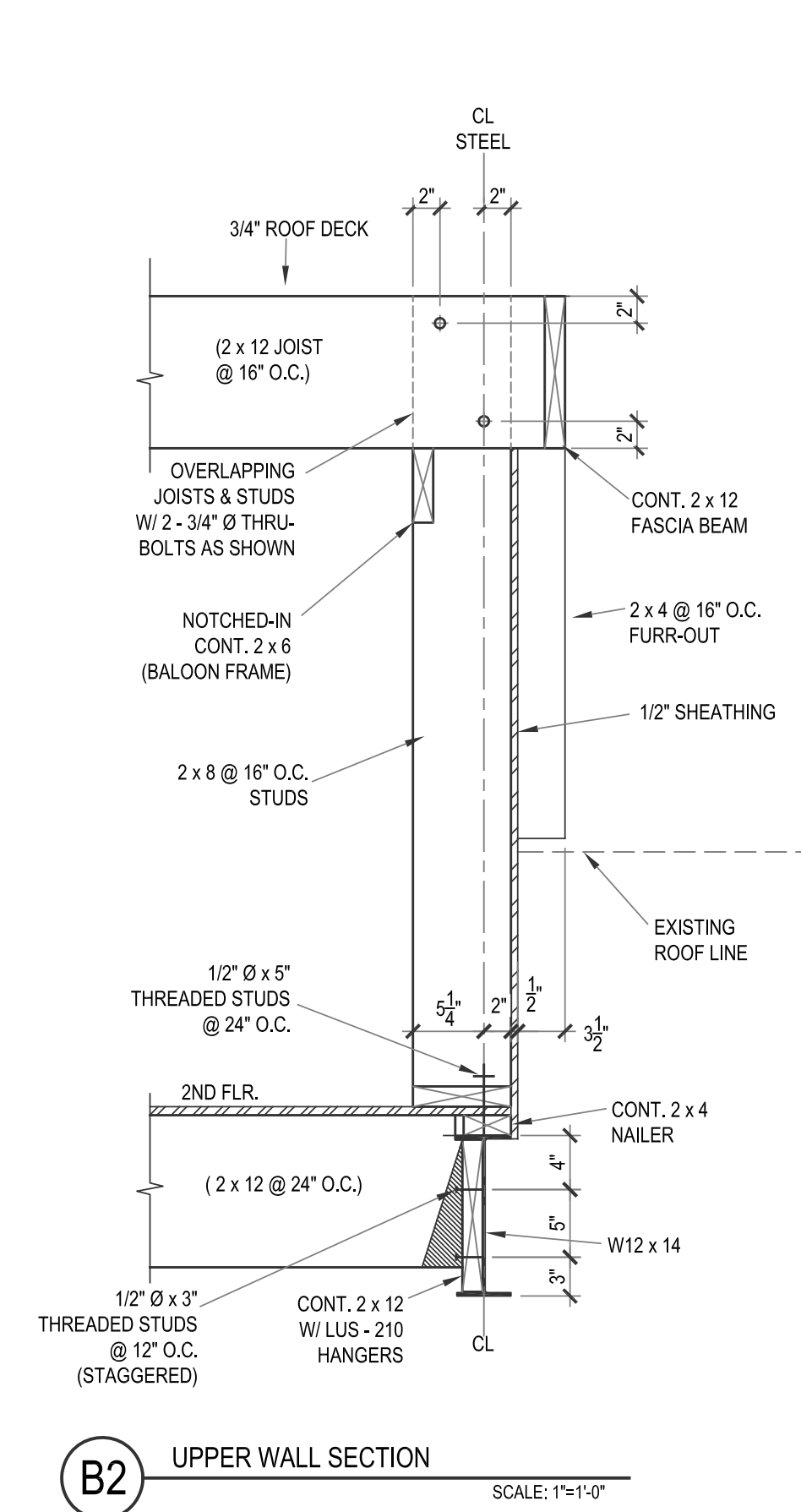
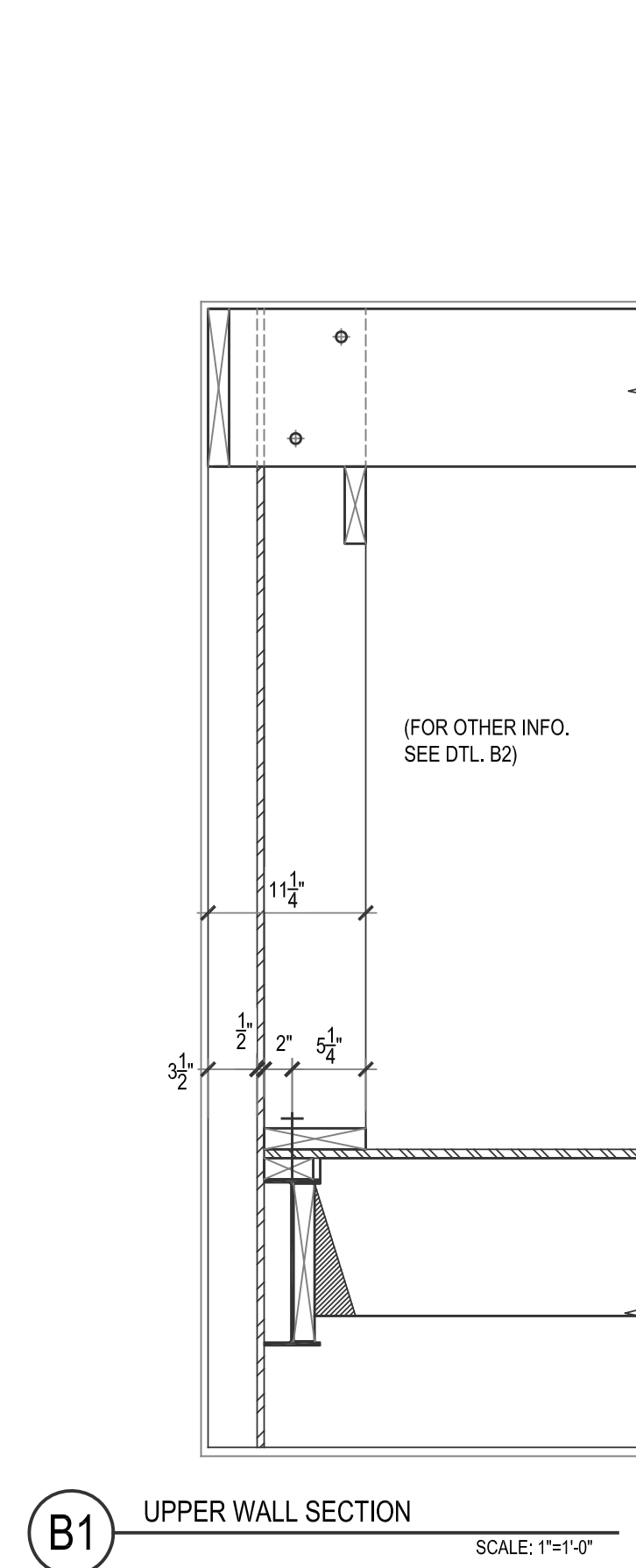
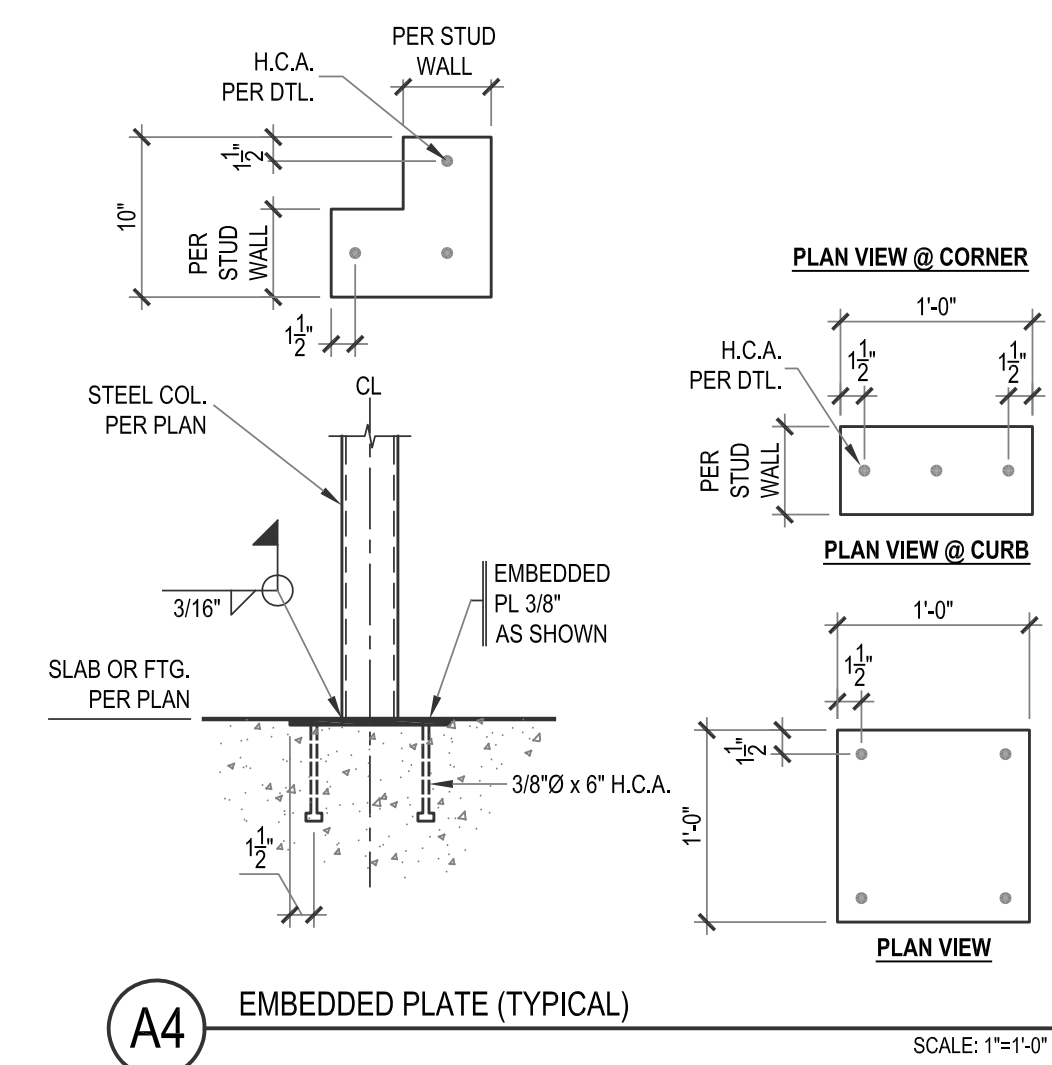
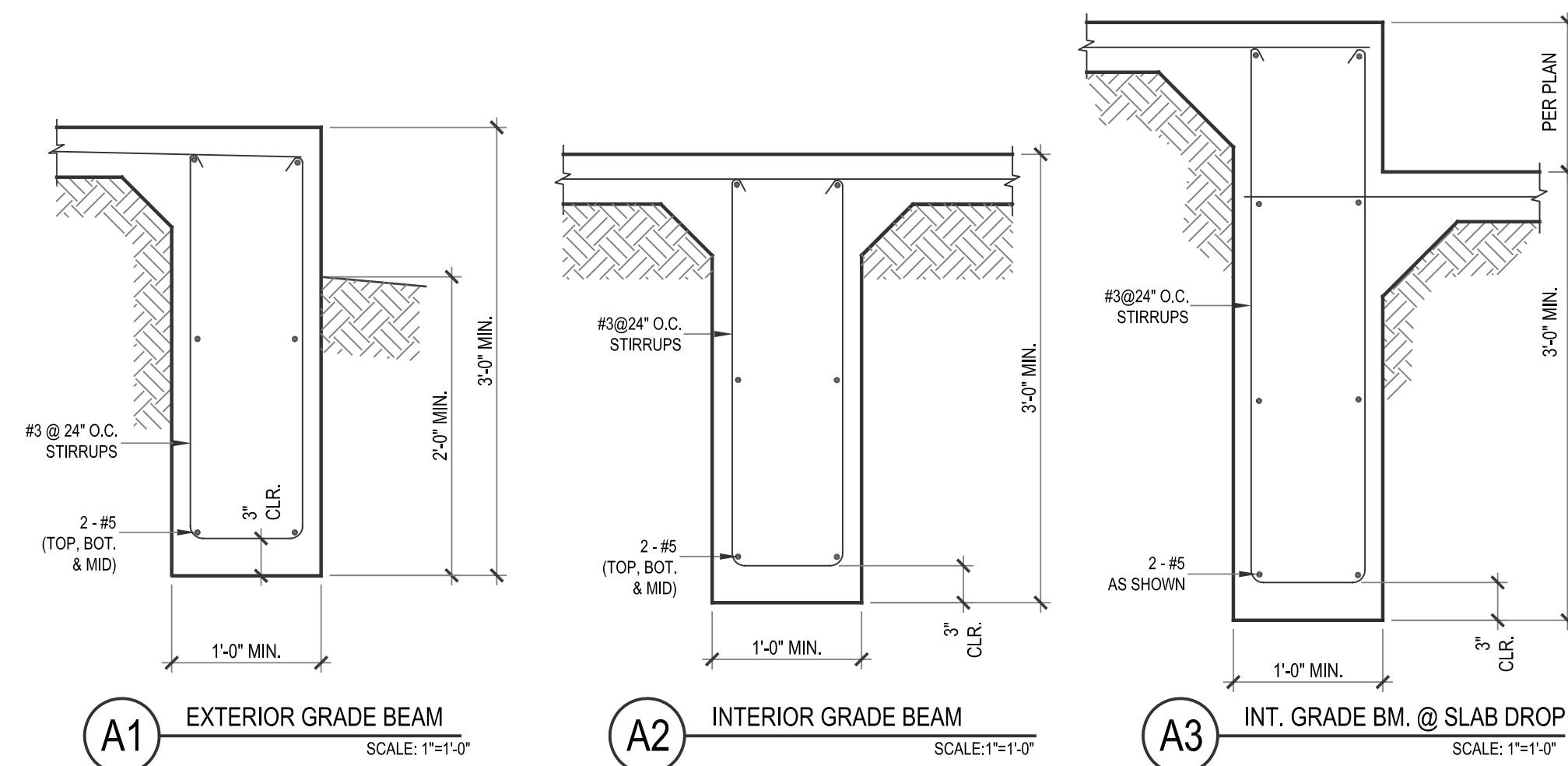
FRAMING PLANS, NOTES & DETAILS

Revisions/Issues:
JANUARY 8, 2014

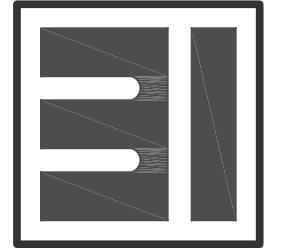
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Job No.	13119

Sheet No.

S1 OF 2



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WEST 10TH
1712 West 10th St.
Austin, Texas 78703

FRAMING PLANS, NOTES &
DETAILS

Revisions/Issues:
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Drawn by: JBW
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Sheet No.

S2 OF 2