

If you need assistance completing this application (general inquiries only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

ROW

CASE # C15-2014-0027
ROW ID # 11083252
Roll # 0221010602

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

Special Exception

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 4003 Sinclair Avenue

LEGAL DESCRIPTION: Subdivision – MCGUIRES SUBD NO 1

Lot(s) ^{2 & S 10FT Lot 3} 4 Block 4 Outlot Division

I/We Macy Ryan on behalf of myself/ourselves as authorized agent for
 affirm that on Jan 30th 2014

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

 ERECT ATTACH COMPLETE REMODEL X MAINTAIN

A side yard setback of 4.8FT on the southern property boundary.

in a SF3 district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

- (b) The hardship is not general to the area in which the property is located because:

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 1406 W. 39 1/2 St

City, State & Zip Austin, TX 78756

Printed Regina Allen Phone 512-467-2888 Date 1/30/2014

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 4003 Sinclair Ave.

City, State & Zip Austin, TX 78756

Printed Macy Ryan Phone 512-762-5975 Date 1/30/2014



SPECIAL EXCEPTION INSPECTION



Address:	4003 Sinclair Ave.
Permit Number:	2014-003355
Property Owner Requesting Special Exception:	Ben & Macy Ryan

Special Exception Requested:

side setback violation along south property line

Date Structure was originally constructed: Added between 1997 and 2003 per COA GIS bldg footprints

Date of Inspection:	01-15-2014
Building Official or designated representative	Tony Hernandez
X	The granting of the variances requested will <u>Not</u> result in any hazard to the life, health or public safety for either the property for which the variance is requested or to an adjoining public or private property
	The granting of the variances request will result in a hazard to the life, health or public safety of the either the property for which the variance is requested or to an adjoining public or private property. The following hazards related to the variance request were noted in this inspection: 1.

0 20 40 60 Feet

AE APPROVED
DEC 20 2013
354-8
RLS

South 10
of Lot 3

Lot 2
Blk 4

S 56°49'36" E 135.08'
(S 56°05'00" E 135.02')

Original 1st Line

One Story
Frame
Residence

2nd FL (613/145)
W (314/255)

Gravel Driveway

Concrete Driveway

BEARING BASIS
N 30°55'00" E 60.09' (60.00')

SINCLAIR AVENUE

(60' R.O.W. For Plat)

YOUR DEDICATED TEAM OF REAL ESTATE PROFESSIONALS

Stewart



Avenue One Properties

11111 11111

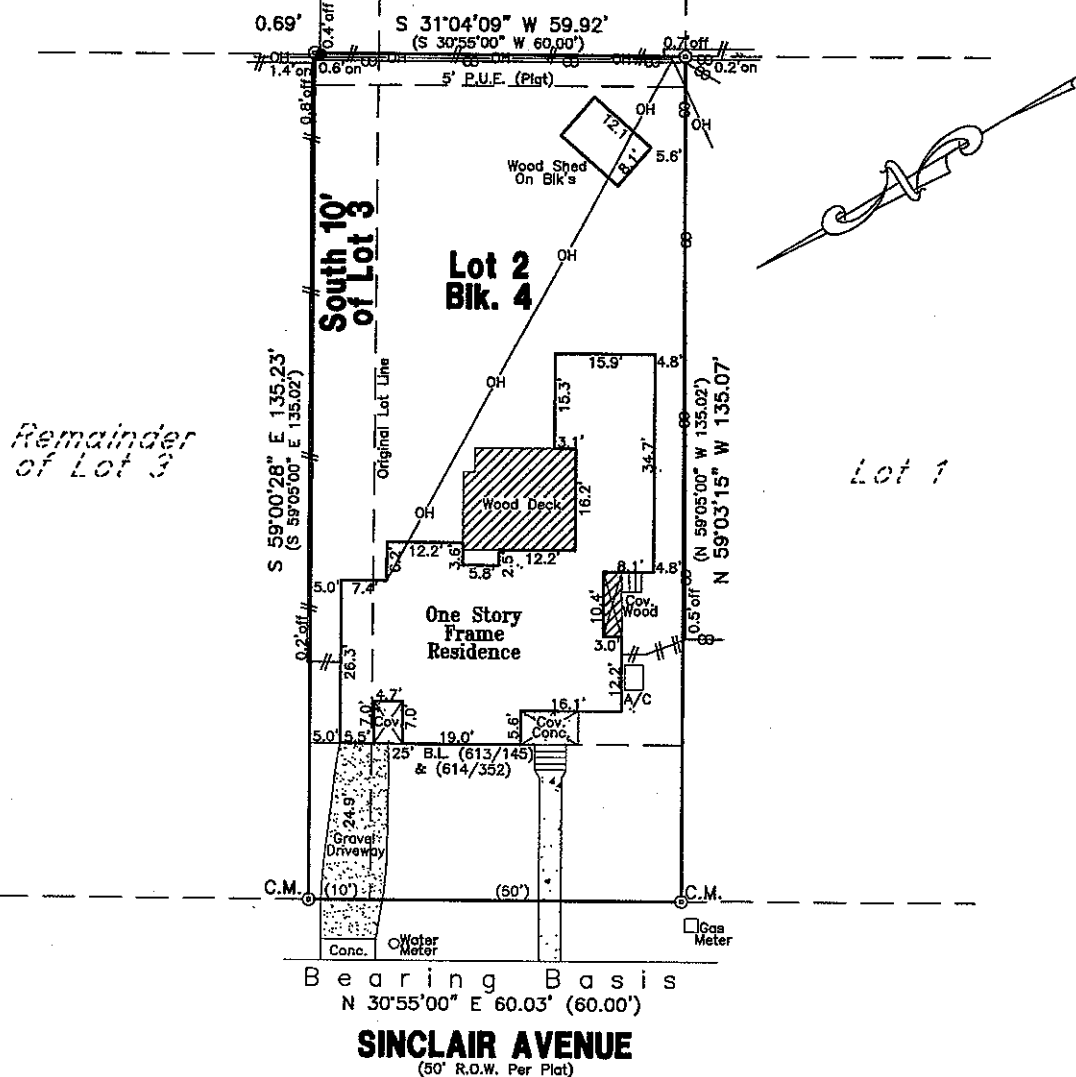
City Financial

Rich Bull

Lot 14

Lot 15

Lot 16



YOUR DEDICATED TEAM OF REAL ESTATE PROFESSIONALS



Avenue One Properties

Lisa Katz
901 W. 9th Street
Austin, Texas 78703
Phone (512) 917-5912
Fax (512) 472-4722

Citi Financial

Rich Ball
1000 Technology Drive
O'Fallon, MO
63368-28501
Phone (800) 925-5319
Fax (866) 583-9461

Toyi Johnson
3801 N. Cap. Texas Hwy. Ste. #E-120
Austin, Texas 78746
Phone (512) 327-4533 Fax (512) 327-5049

Subject to Restrictions as Stated in:
Vol. 612, Pg. 328, Vol. 613, Pg. 145, Vol. 614, Pg. 352 and Per
Plat in Vol. 4, Pg. 55.

*Lot 2 and South 10' of Lot 3.

SUBDIVISION MCGUIRE'S SUBDIVISION NO. 1

LOT: * BLOCK: 4 VOLUME: 4 PAGE: 55 PLAT RECORDS

COUNTY: TRAVIS STATE OF TEXAS STREET ADDRESS: 4003 SINCLAIR AVENUE

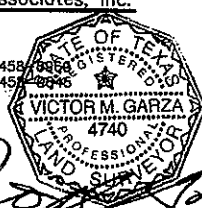
CITY: AUSTIN REFERENCE NAME: KENDRA WRIGHT and KIRK WRIGHT



Dewey H. Burris & Associates, Inc.
Land Surveying Services

1404 West North Loop Blvd.
Austin, Texas 78756

512*458-8888
Fax 512*458-8888



THIS AREA IS NOT DEPICTED AS BEING IN A SPECIAL FLOOD HAZARD AREA PER FEMA'S FLOOD INSURANCE RATE MAP 480624 0165 E DATED 01/04/01. IT IS REPRESENTED AS IN ZONE "X". HOWEVER AT PRESENT TIME, NO ELEVATIONS, DRAINAGE, OR FLOOD STUDIES HAVE BEEN PERFORMED AND INFORMATION IS BASED SOLELY UPON SAID MAP. THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY AS TO ANY INFORMATION PROVIDED BY SAID MAP AND DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE OF FLOOD DAMAGE. FOR FURTHER INFORMATION CONTACT YOUR FLOOD PLAIN ADMINISTRATOR.

REVISED: 01/29/14

TO THE LENDHOLDER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED AND TO

STEWART TITLE GUARANTY COMPANY
STEWART TITLE AUSTIN, INC.

DATE 05/02/06

TITLE CO STEWART

G.F. # 6030249

JOB # R0418906A_TA

SCALE 1" = 20'

I DO HEREBY CERTIFY TO THOSE LISTED HEREON THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND, UNDER MY SUPERVISION, OF THE PROPERTY LEGALLY DESCRIBED HEREON, IS PREPARED IN ACCORDANCE TO THE TITLE COMMITMENT REFERENCED HEREON, AND THAT THERE ARE NO VISIBLE BOUNDARY LINE CONFLICTS, ENCROACHMENTS OR IMPROVEMENTS, OR ROADS IN PLACE, EXCEPT AS SHOWN HEREON, TO THE BEST OF MY KNOWLEDGE. ONLY DOCUMENTS CONTAINED WITHIN THE AFOREMENTIONED TITLE COMMITMENT WERE REVIEWED.

JACK_TBK	
FIELD WORK	GRADY 05/01/06
CALCULATIONS	RACHEL 05/02/06
DRAFTING	JACK 05/02/06
FINAL CHECK	V.G. 05/02/06
CORRECTIONS	M.P. 05/02/06
LIP DATE	

LEGEND

- 1/2" IRON PIPE FOUND
- 1/2" REBAR FOUND
- 1/2" REBAR SET
- 600 NAIL FOUND
- 600 NAIL SET
- SPINDLE FOUND
- BARS WIRE FENCE
- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- B.L. BUILDING LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- S.D.E. SURFACE DRAINAGE EASEMENT
- W/WW WATER/WASTEWATER
- E.E. ELECTRIC EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- () RECORD INFORMATION
- POWER POLE
- O.H. OVERHEAD UTILITIES