

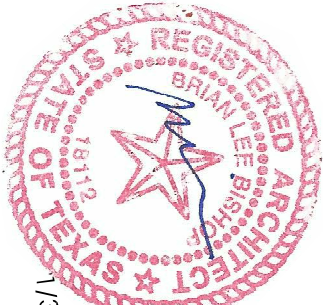
AVENUE H DUPLEX ADDITION

3807 Avenue H
Austin, Texas 78751

Pandya Duplex Addition



5300 Magdalena Austin, Texas 78735 512.653.1467



COVER SHEET &
SITE PLAN

G1.1

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MAULIK PANDYA

CONSULTANT INFORMATION

LIST OF DRAWINGS

ARCHITECTURAL
G1.1 COVER SHEET & SITE PLAN
AD1.1 DEMOLITION PLAN
A1.1 FLOOR PLAN
A1.2 CEILING PLAN
A1.3 ROOF PLAN
A2.1 EXTERIOR & INTERIOR ELEVATIONS

STRUCTURAL
S-1 FOUNDATION AND ROOF FRAMING PLANS

- RESIDENTIAL DESIGN STANDARDS AS THEY APPLY TO THIS PROJECT**
- 1.2 NO MODIFICATIONS TO THE EXISTING FACADE ARE PROPOSED. WITH THE EXCEPTION OF REMOVAL OF WINDOW UNITS, AND ALL ELEMENTS SUCH AS SIDING, TRIM, DOOR AND WINDOW STYLE, ROOF-EDGE DETAILS, ETC., WILL MATCH EXISTING.
 - 3.1 THE FRONT OF THE HOUSE WILL REMAIN UNCHANGED.
 - 3.2 PROPOSED EXIT DOORS FOR THE ADDITION WILL MATCH EXISTING BACK DOOR (TO BE REMOVED) EXCEPT IT WILL CONTAIN GLASS.
 - 3.3 NO ORIGINAL WINDOWS FACING THE STREET OR SIDES OF THE HOUSE ARE PROPOSED TO BE REMOVED. NEW WINDOWS SHALL MATCH EXISTING.
 - 3.5 NEW ROOF MATERIAL AND PITCH SHALL MATCH EXISTING.
 - 4.4 ADDITION WILL HAVE SAME FLOOR TO CEILING HEIGHT.

SITE INFORMATION

SOUTH 40' OF LOT 54, SHADOW LAWN
ZONING: SF-54-HD-NCCDNP
LOT SF: 8,220 SF

MAXIMUM BUILDING COVERAGE

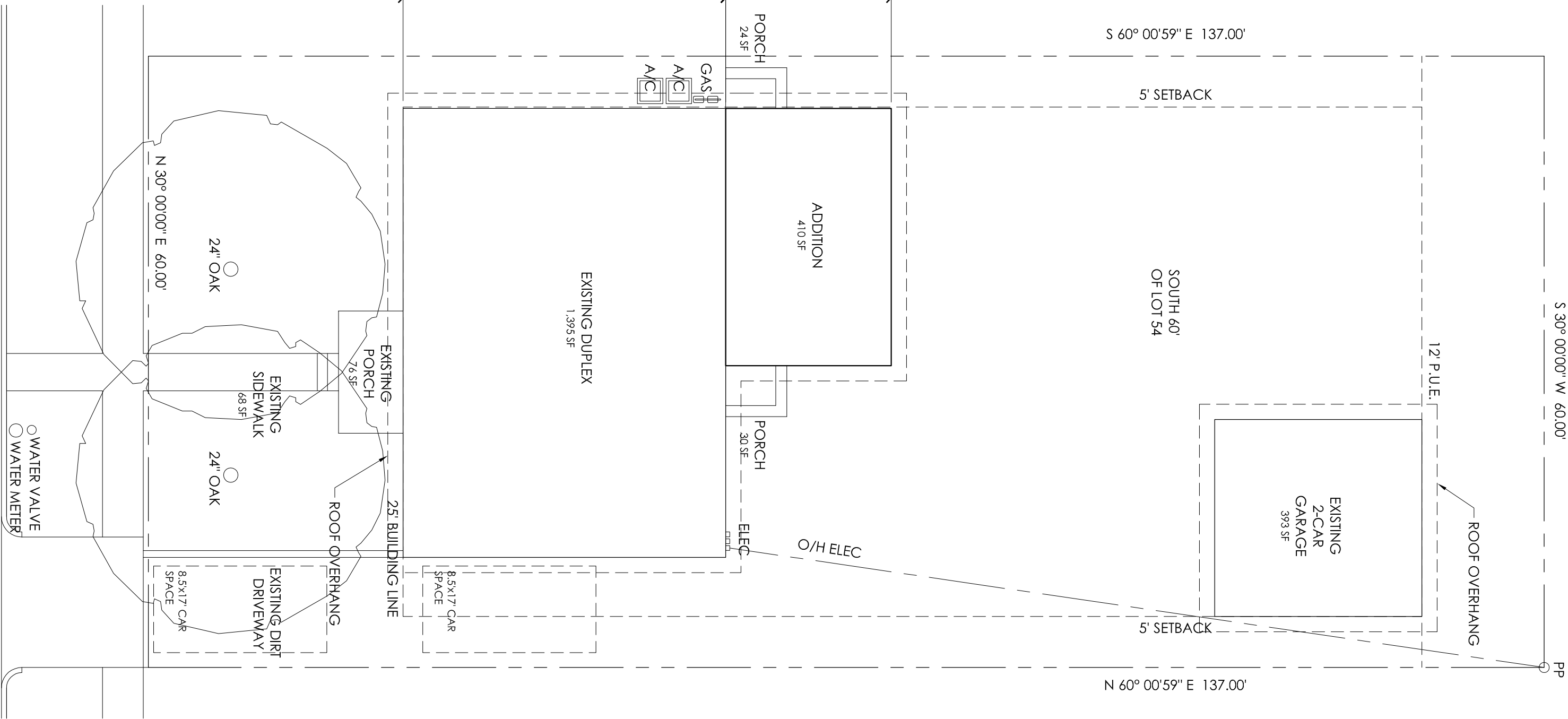
40% OR 3,288 SF
DUPLEX TOTAL: 1,395 SF
GARAGE: 393 SF
ADDITION: 410 SF
IMPERVIOUS BUILDING COVERAGE: 2,198 SF
BUILDING COVERAGE: 2,198 / 8,220 = 26.7%

MAXIMUM IMPERVIOUS COVERAGE

45% OR 3,699 SF
DUPLEX TOTAL: 1,805 SF
GARAGE: 393 SF
ROOF OVERHANG: 46 SF
FRONT SIDEWALK: 68 SF
FRONT PORCH: 76 SF
BACK STEPS (24'-30'-54 SF): 54 SF
AC PADS: 18 SF
TOTAL: 2,414 SF
IMPERVIOUS COVER: 2,414 / 8,220 = 29%

MAXIMUM F.A.R.

40% OR 3,288 SF
DUPLEX: 1,395 SF
ADDITION: 410 SF
ROOF OVERHANG: 46 SF
GARAGE EXTENSION: 46 SF
TOTAL: 1,748 SF
AREA: 1,748 / 8,220 = 0.21 F.A.R.



AVENUE H

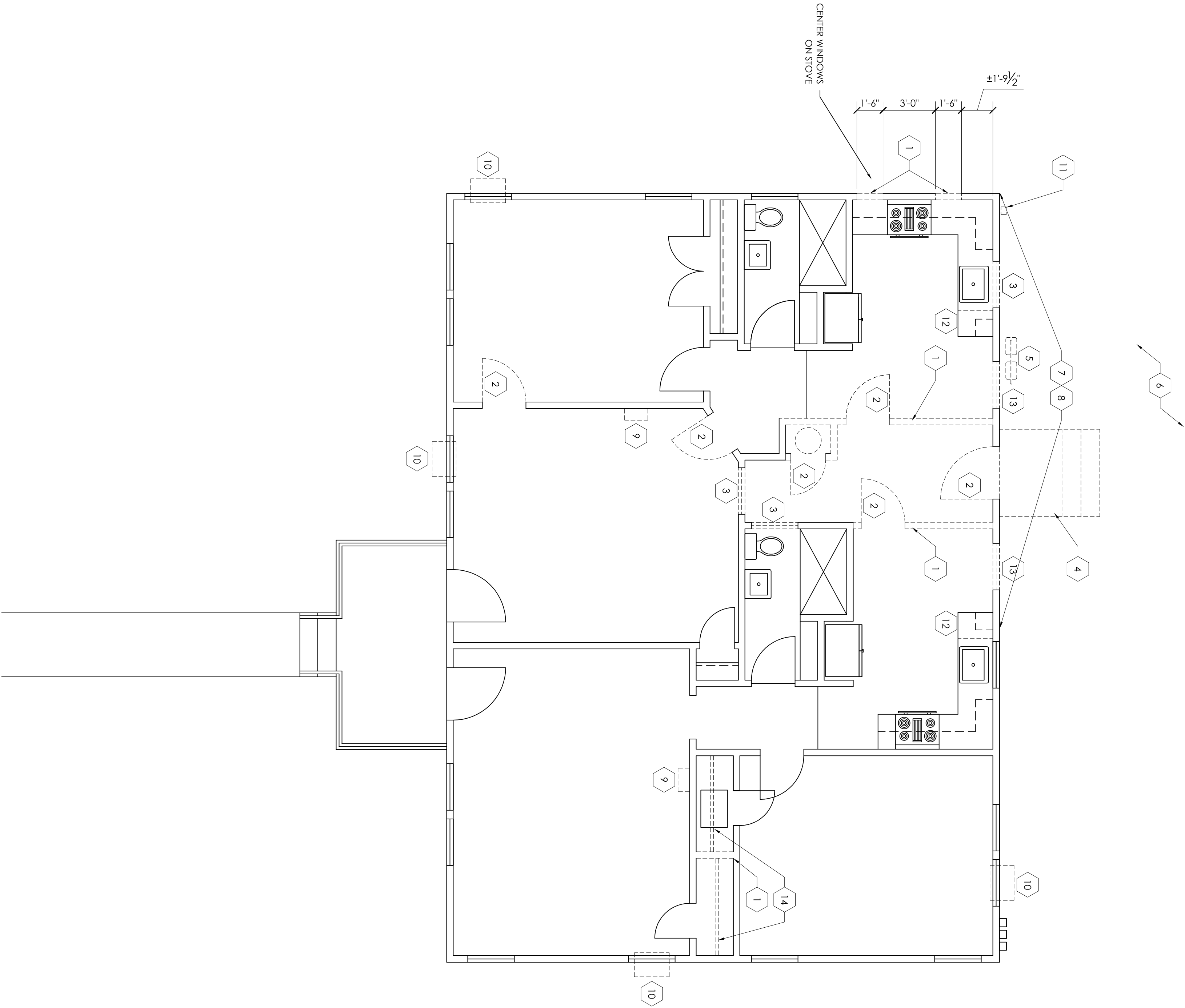
SITE PLAN
1" = 10'-0" (22x34), 1" = 20'-0" (11x17)

GENERAL DEMOLITION NOTES

1. REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS AS REQUIRED TO ALLOW FOR THE INSTALLATION AND CONNECTION OF NEW WORK, INCLUDING REMOVAL OF SUCH EXISTING MECHANICAL AND/OR ELECTRICAL EQUIPMENT, PIPING, CONDUIT, WIRE, ETC., WHICH IS NOT TO REMAIN OR IN CONNECTION WITH THE NEW WORK.
2. THE DEMOLITION DRAWINGS INDICATE BUILDING CONDITIONS PER PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE SLIGHT DEVIATION FROM THESE DRAWINGS.
3. REPLACE ITEMS TO BE REUSED IF THEY ARE DAMAGED AND CANNOT BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT AT NO ADDITIONAL COST TO THE CONTRACT.
4. ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE DECIDED BY THE OWNER.
5. WHEN EXISTING MECHANICAL, PLUMBING AND/OR ELECTRICAL FIXTURES AND/OR EQUIPMENT ARE TO BE REMOVED FROM THE SPACE, THEY SHALL BE DISCONNECTED AT THE SOURCE AND REMOVED IN ITS ENTIRETY.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL INTEGRITY OF BUILDING. PROVIDE BRACING AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED NOTIFICATION OF AUTHORITIES PRIOR TO DEMOLITION. ANY DEMOLISHED MATERIALS ARE TO BE REMOVED AND LEGALLY DISPOSED OF.

DEMOLITION KEYNOTES

- 1 REMOVE PORTION OF EXISTING WALL
- 2 REMOVE EXISTING DOOR
- 3 REMOVE EXISTING WINDOW
- 4 REMOVE CONCRETE PORCH AND STEPS
- 5 RELOCATE EXISTING GAS METERS
- 6 REMOVE LANDSCAPING TO ACCOMMODATE NEW ADDITION
- 7 REMOVE SIDING, VAPOR BARRIER AND SHEATHING
- 8 REMOVE PORTION OF ROOF OVERHANG AT NEW ADDITION
- 9 REMOVE WALL HEATER
- 10 REMOVE WINDOW UNIT
- 11 REMOVE WALL MOUNTED LIGHT
- 12 REMOVE 18" BASE CABINET AND REPLACE WITH AN 18" WIDE DISHWASHER
- 13 REMOVE EXISTING WINDOW AND FRAMING/WALL BELOW FOR NEW DOOR
- 14 REMOVE SHELVES AND ROD IN CLOSET



DEMOLITION PLAN

2

NOTES

1

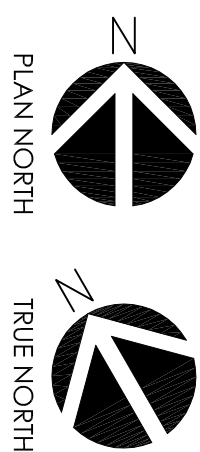
Pandya Duplex Addition

3807 Avenue H
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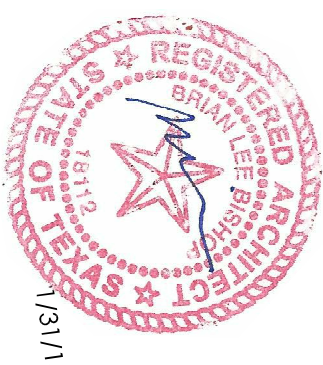
- ALL DIMENSIONS ARE TO FINISHED SURFACE OR CENTERLINE OF SCHEDULED OPENING UNLESS NOTED OTHERWISE.
- COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MANUFACTURER REQUIREMENTS
- ALL BREAKS IN FLOOR FINISHES WHICH OCCUR AT DOOR OPENINGS SHALL BE CENTERED AT CENTER OF DOOR IN A CLOSED POSITION.
- PROVIDE CHEMICAL TERMITICIDE TREATMENT TO SOIL
- PROVIDE SOUND BATS INSIDE ALL NEW PARTITIONS
- NEW INTERIOR WALLS TO BE FRAMED WITH 2x4s AT 16" O.C. WITH SINGLE 2x4 BASE PLATE AND DOUBLE 2x4 TOP PLATES. PROVIDE 1/2" GYPSUM BOARD EACH SIDE, TAPED, AND TEXTURED TO MATCH EXISTING.
- NEW EXTERIOR WALLS TO BE FRAMED WITH 2x4s AT 16" O.C. WITH SINGLE 2x4 BASE PLATE AND DOUBLE 2x4 TOP PLATES. INSULATE WITH R-15 BATS. PROVIDE 1/2" GYPSUM BOARD AT INSIDE, TAPED, FLOATED, AND TEXTURED TO MATCH EXISTING AND 1/2" OSB SHEATHING TO EXTERIOR. COVER SHEATHING WITH TYVEK OR EQUAL AND WOOD SIDING TO MATCH EXISTING. PAINTED.
- INSTALL R-30 BATS ABOVE CEILING IN ATTIC OF NEW CONSTRUCTION.
- ALL INTERIOR AND EXTERIOR TRIM TO MATCH EXISTING.

T.M.E. - TO MATCH EXISTING
O.F.C.I. - OWNER FURNISHED, CONTRACTOR INSTALLED
N.I.C. - NOT IN CONTRACT
W.I.C. - WALK IN CLOSET
① - TEMPERED GLAZING

- 1 ELECTRICAL SERVICE PANEL.
- 2 A/C CONDENSER
- 3 RELOCATED GAS METERS
- 4 INT'L WALL WITH CONSTRUCTION TO MATCH EXISTING ADJACENT CONSTRUCTION
- 5 PATCH AND REPAIR WHERE WALL WAS REMOVED TO MATCH ADJACENT SURFACE
- 6 EXISTING BUILDING ADDRESS LOCATION
- 7 FURNITURE, N.I.C.
- 8 COORDINATE CLOSET LAYOUT WITH OWNER PRIOR TO FABRICATION
- 9 EXTEND TILE TO NEW KITCHEN WALL AND INTO WASHER-DRYER CLOSET. TILE TO MATCH EXISTING KITCHEN TILE
- 10 RELOCATE EXISTING WATER HEATER AND PROVIDE NEW WATER HEATER TO MATCH EXISTING. SEPARATE PLUMBING LINES PER UNIT TO EACH WATER HEATER
- 11 REPAIR WINDOW AND TRIM WHERE WINDOW UNIT WAS REMOVED
- 12 PATCH AND REPAIR WALL WHERE HEATER WAS REMOVED
- 13 PROVIDE NEW GYPSUM BOARD OVER EXISTING STUDS, ENTIRE LENGTH OF NEW CONSTRUCTION
- 14 PROVIDE 4" DIAMETER GALV. METAL PIPES FOR DRYER VENTS. INSTALL BY HANGING THE PIPES FROM THE TRAKING IN THE CRAWL SPACE AND INSULATE PIPES. PROVIDE A BACKDRAFT DAMPER ON EACH EXHAUST
- 15 EXISTING CRAWL SPACE ACCESS
- 16 NEW 24"x24" CRAWL SPACE ACCESS
- 17 PATCH AND REPAIR TILE AND GROUT AROUND NEW WINDOWS TO MATCH ADJACENT SURFACES




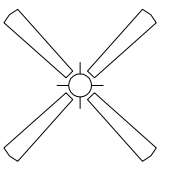

















NOTES	FLOOR PLAN
1	2



GENERAL CEILING NOTES

ALL INTERIOR CEILING FINISHES TO BE 5/8" MINIMUM GWB, MOUNTED DIRECTLY TO UNDERSIDE OF FRAMING ABOVE, UNLESS NOTED OTHERWISE. TAPE & FLOAT, TEXTURE & PAINT

ELECTRICAL & RCP LEGEND

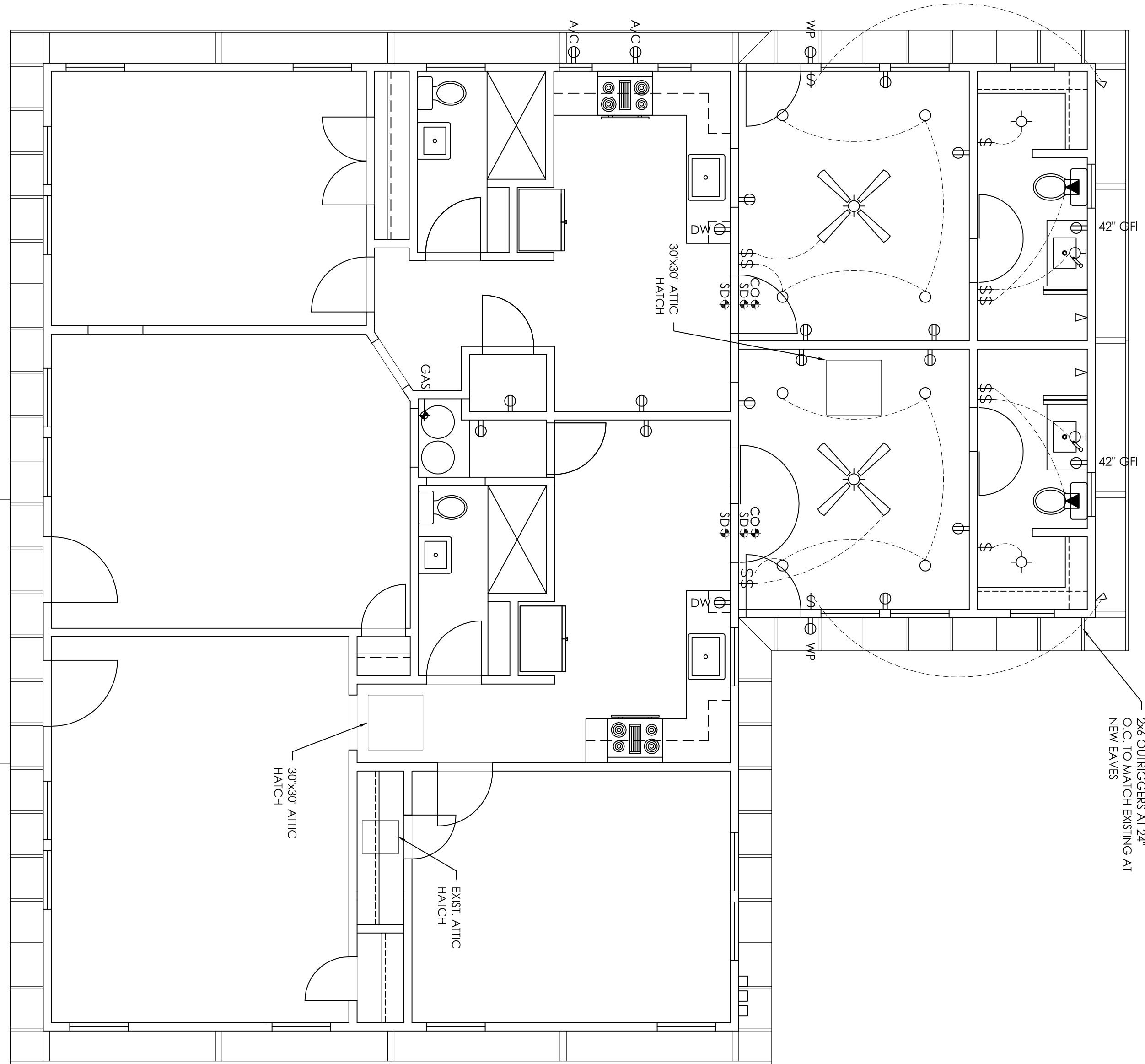
\$	SWITCH		SURFACE MOUNTED LIGHT
\$3	SWITCH - 3 WAY		CEILING FAN: COORDINATE W/ OWNER PROVIDE ADDITIONAL SWITCH FOR OPTIONAL LIGHT KIT
\$0	SWITCH - DIMMER		RECESSED CANLIGHT W/ EXHAUST FAN AND HEAT
⊖	OUTLET - 110V DUPLEX		TELEVISION OUTLET
GH⊖	OUTLET - 110V DUPLEX - G.F.I.		DATA OUTLET
⊖	OUTLET - 220V		TELEPHONE OUTLET
⊖	OUTLET - QUADRUPEX		DOOR BELL CHIME
SD⚡	SMOKE DETECTOR RE: NOTES THIS SHEET		CHIMES
○	RECESSED FLUORESCENT CANLIGHT, UNO.		THERMOSTAT
○	LOW VOLTAGE RECESSED CANLIGHT		ABOVE FINISH FLOOR
○	WALL SCONCE: COORDINATE W/ OWNER		GROUND FAULT INTERRUPT
⓪	RECESSED CANLIGHT, ADJUSTABLE BEAM		SURFACE MOUNTED
⊕	SUSPENDED LIGHT FIXTURE: COORDINATE W/ OWNER		SURFACE MNTD. SPEAKER
⬆	FLOOD LIGHT		SUSPENDED
	FLUORESCENT LIGHT FIXTURE W/ PLASTIC LENS COVER: - SURFACE MOUNTED - 2', 4' OR 8' LENGTH (AS NOTED)		WATER HEATER
			WALL MOUNTED
			WATERPROOF
			CARBON MONOXIDE DETECTOR

ELECTRICAL & RCP NOTES

1. CONTRA POWER REQUIREMENTS AND POWER LOCATIONS TO ALL EQUIPMENT AND APPLIANCES.
2. CONFIRM TYPE, STYLE AND LOCATION OF ALL ELECTRICAL FIXTURES WITH OWNER. INSTALL PER CODE AND MANUFACTURER'S RECOMMENDATIONS.
3. A DEDICATED 20-AMP CIRCUIT SHALL SERVE THE REQUIRED BATHROOM OUTLETS. BATH LIGHTINGS SHALL NOT BE AN OUTLET CIRCUIT.
4. ALL EXTERIOR RECEPTACLES SHALL HAVE WEATHERPROOF COVERS.
5. ALL SWITCHES TO MATCH EXISTING STYLE AND HEIGHT ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
6. ALL OUTLETS TO MATCH EXISTING STYLE AND HEIGHT ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
7. ELECTRICAL SERVICE AMPERAGE TO BE COORDINATED WITH RINAL ELECTRICAL LOAD. ELECTRICAL CONTRACTOR TO VISIT SITE & TO VERIFY PANEL CAPACITY PRIOR TO BIDDING.
8. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN BEDROOMS SHALL BE ARC FAULT CIRCUIT INTERRUPTED.
9. AT RECESSED LIGHTS IN INSULATED CEILINGS PROVIDE IC RATED, ELECTRONIC BALLAST AND AIR TIGHT (AT).
10. INSULATE ALL HOT WATER PPES TO R-4 MIN.
11. BATH FAN SHALL EXHAUST 1 CUFC FOOT PER MINUTE PER SF OF SPACE AND HAVE A SOUND RATING BELOW 1.0 SONES. FAN TO BE BROWN ULTRA SILENT MODEL OR APPROVED EQUAL.
12. PROVIDE NEW CENTRAL AIR AND HEAT TO BOTH UNITS. LOCATE FANS IN ATTIC. INSULATE SUPPLY DUCTS TO R-8 AND RETURN TO R-6.

SMOKE DETECTOR NOTES

1. SMOKE DETECTORS REQUIRED IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY AS SHOWN.
2. SLEEPING ROOM SMOKE DETECTORS SHALL BE WALL MOUNTED, CENTERED ABOVE EACH BEDROOM DOOR. ALL OTHER SMOKE DETECTORS SHALL BE CEILING MOUNTED.
3. SMOKE AND CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED, SUCH THAT WHEN ONE DETECTOR IS ACTIVATED, ALL DETECTORS WILL EMIT AN AUDIBLE ALARM.
4. SMOKE AND CARBON MONOXIDE DETECTORS SHALL RECEIVE POWER FROM BUILDING WIRING AND EQUIPPED WITH BATTERY BACKUP.
5. INSTALL ALL DETECTORS PER MANUFACTURER'S RECOMMENDATIONS.
6. CONTRACTOR SHALL PROVIDE WIRING FOR SMOKE AND CARBON MONOXIDE DETECTORS.



CEILING PLAN

1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

2

NOTES

1

NONE

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Austin, Texas 78751



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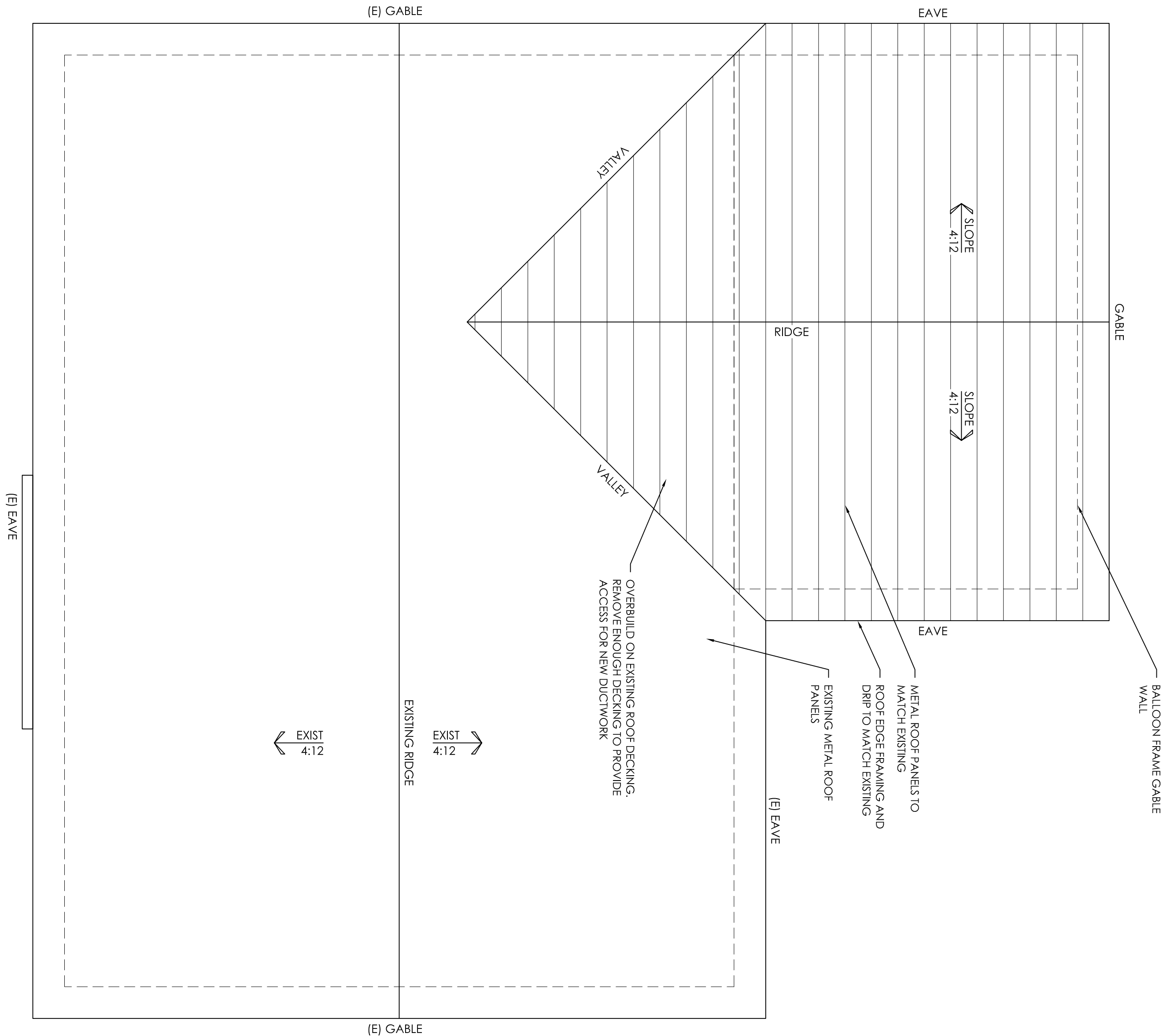


CEILING PLAN

Sheet No.

A1.2

NEW ROOF AREA :	410.5F
REQUIRED VENTILATION (%so)	1.33F
GABLE VENT	36.5F



ROOF PLAN NOTES

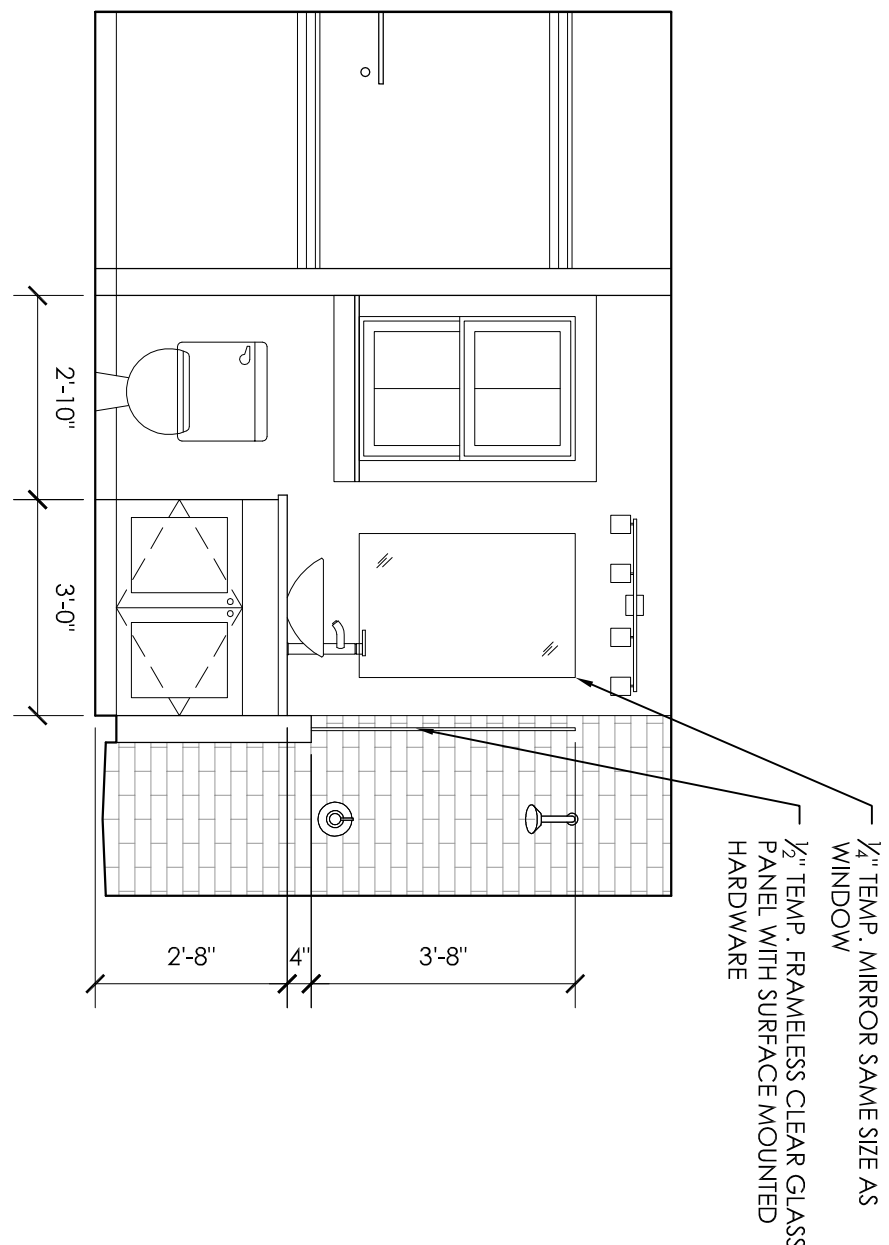
NEW ROOF SLOPES TO MATCH EXISTING SLOPES UNLESS NOTED OTHERWISE.
ALL ROOF OVERHANGS AND ROOF EDGE DETAILS TO MATCH EXISTING.

ATTIC VENTILATION NOTES

THE MINIMUM VENTILATING AREA SHALL NOT BE LESS THAN 1/60 SINCE AT LEAST 50 PERCENT BUT LESS THAN 80 PERCENT OF THE VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED.
REFERENCE ROOF PLAN FOR INDIVIDUAL ROOF AREA CALCULATIONS.

Pandya Duplex Addition

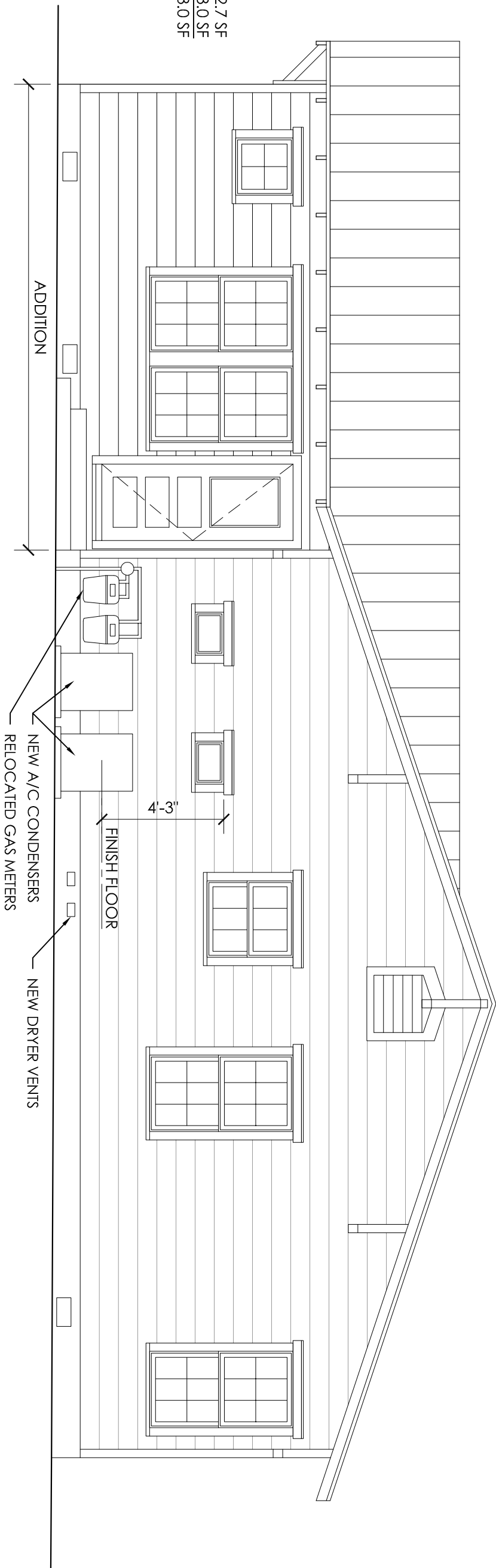
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BATH 2 ELEVATION
3/8" = 1'-0" (22x34), 3/16" = 1'-0" (11x17)

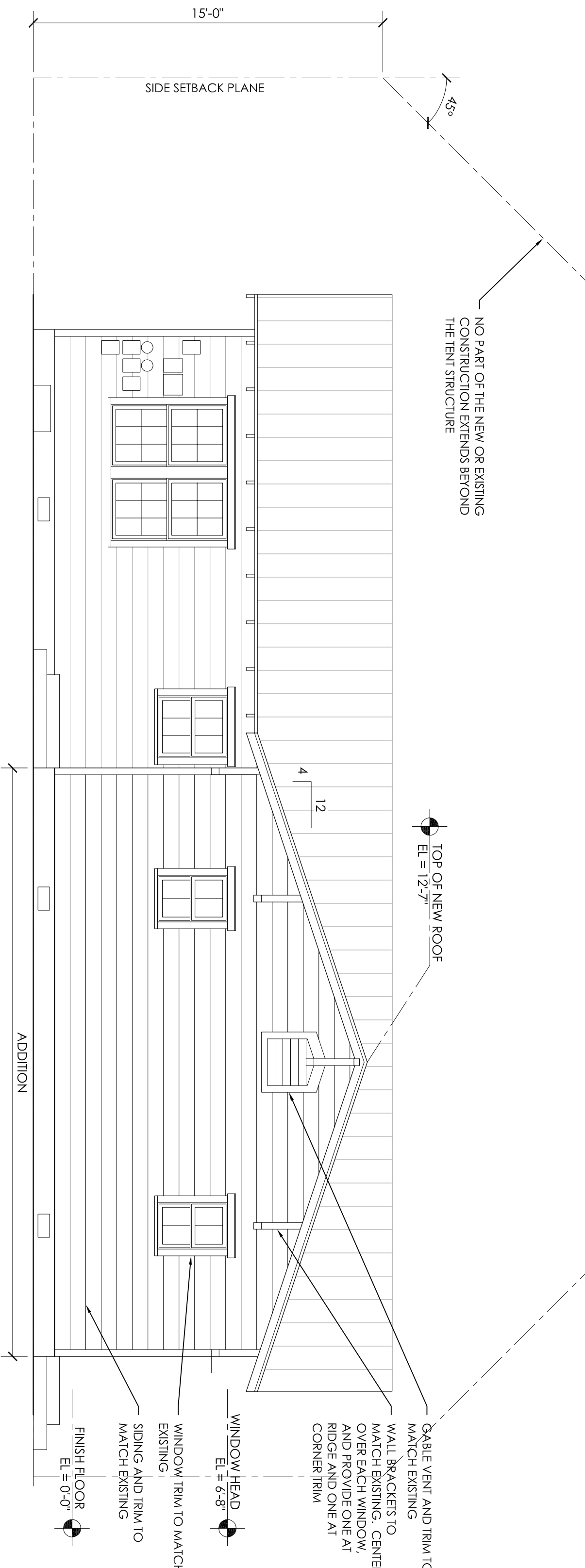
4

NEW CRAWL SPACE AREA:
410 SF
REQUIRED VENTILATION (1/2")
CRAWL SPACE VENTS @ .05 SFI 3.0 SF
TOTAL VENTILATION PROVIDED 3.0 SF



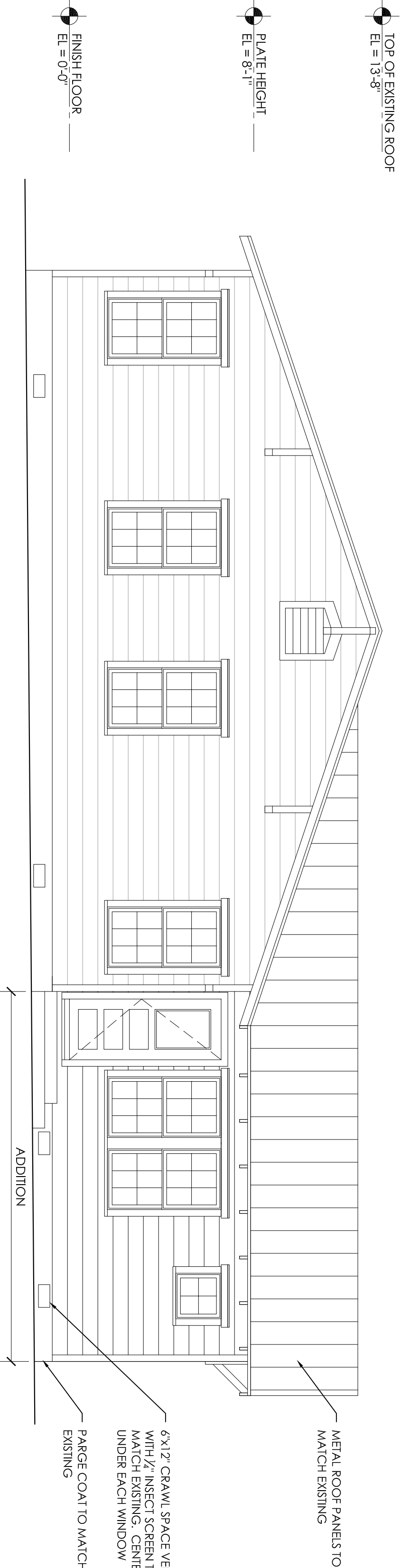
NORTH ELEVATION
1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

3



EAST ELEVATION
1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

2

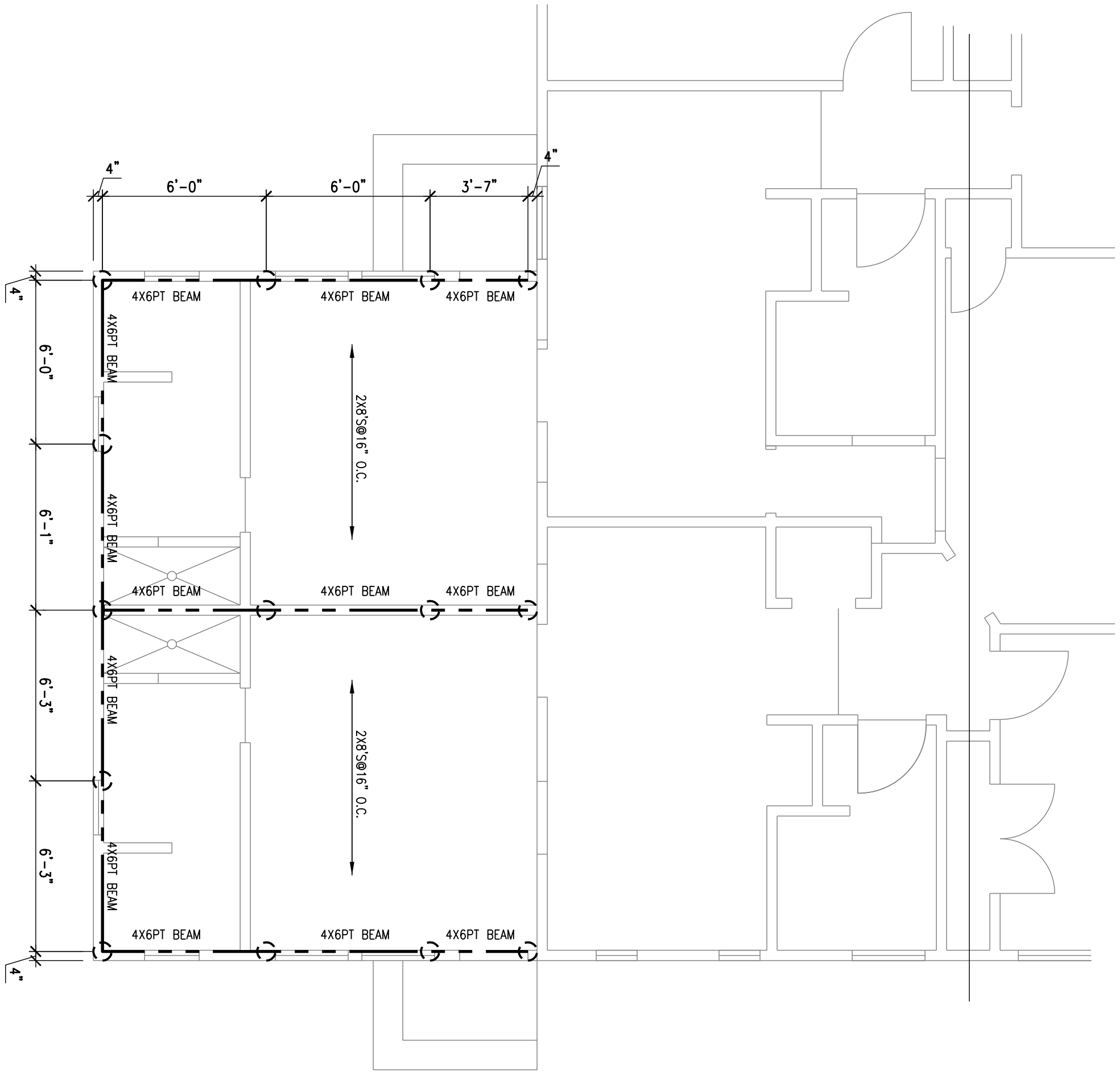


SOUTH ELEVATION
1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

1

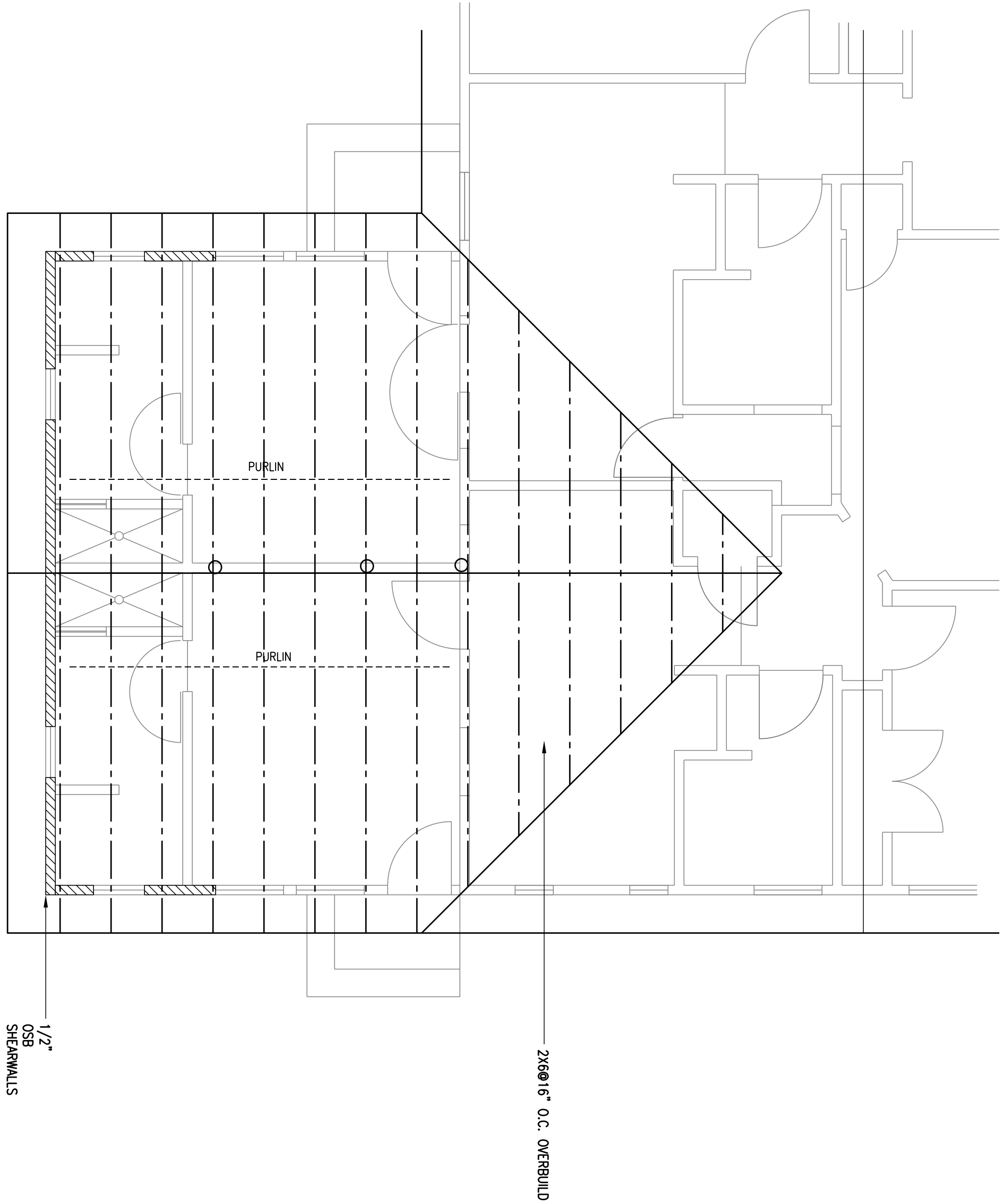
Pandya Duplex Addition

3807 Avenue H
Austin, Texas 78751



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

- DESIGN CRITERIA NOTES
- THE INTENDED DESIGN STANDARDS (LATEST EDITION) AND/OR CRITERIA ARE AS FOLLOWS:
GENERAL: INTERNATIONAL RESIDENTIAL/BUILDING CODE 2012 EDITION
WOOD TRUSSES: TPI
 - DESIGN LOADS
DEAD LOADS: 10 PSF - COMPOSITION SHINGLE
LIVE LOADS: 40 PSF
CEILING JOIST: 20 PSF
WOOD JOIST: 10 PSF
SEISMIC: SEISMIC CATEGORY "A"
 - ROUGH CARPENTRY
1. ALL WOOD FRAMING MATERIAL SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT. ALL FRAMING LUMBER SHALL BE NO. 2 SYP OR BETTER.
2. ALL LOAD BEARING PARTITIONS SHALL RECEIVE A DOUBLE 2X TOP PLATE AND LAPPED AT CORNERS.
3. ALL PARTITIONS SHALL BE BRACED ON THE TOP AT INTERVALS NOT EXCEEDING 6 FEET ON CENTER
4. ALL MULTIPLE GIRDERS, BEAMS AND JOISTS SHALL BE GANG NAILED
5. ALL FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
6. PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWN ANCHORS, AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY "SIMPSON STRONG TIE" OR APPROVED EQUAL.
7. PREFABRICATED LVS, GULFAMS, AND PSI HEADERS AND BEAMS SHALL BE MANUFACTURED BY "TRUS JOIST MANUFACTURING CORP." OR APPROVED EQUAL. MINIMUM BENDING STRESSES SHALL BE AS FOLLOWS:
LVS = 2,600 PSI
PSI = 2,900 PSI
GULFAMS = 2,400 PSI
 - ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS AND OTHER HARDWARE EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED
 - INSTALL ALL BLOCKING NECESSARY FOR ATTACHING ALL FINISHES: GYPSUM WALLBOARD, CABINETRY, ETC.
 - ATTACH WOOD PLATES TO FOUNDATIONS WITH 1/2" ANCHOR BOLTS AT 4'-0" O.C. MAXIMUM SPACING WITH AT LEAST 2 BOLTS PER PLATE.
 - INSTALL COLUMNS AT ALL INTERLS, BEAMS, HEADERS, EQUAL TO THE WIDTH OF THE BEAM. ALL MEMBERS WITH SPANS LESS THAN 5 FOOT SHALL HAVE SINGLE JACK STUDS.
 - ATTACH WALL AND ROOF SHEATHING TO FRAMING WITH 8d NAILS AT 12" O.C. INTERMEDIATE SUPPORTS AND 6" O.C. EDGE SUPPORTS
 - THE CONTRACTOR SHALL INSURE THAT ALL LOADS AND REACTIONS FROM BEAMS, BEARINGS WALLS, COLUMNS, ETC. ARE CONTINUOUSLY SUPPORTED TO THE FOUNDATION.
 - ALL FLOOR SHEATHING SHALL BE A MINIMUM 3/4" TONGUE AND GROOVE SHEATHING GULED AND NAILED AT 6" O.C. WITH 8d NAILS.
 - TAPERED END CUTS SHALL MEET MANUFACTURERS REQUIREMENTS.
 - NOTCHING OF PREFABRICATED LUMBER SHALL NOT BE PERMITTED. WEB HOLES SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS



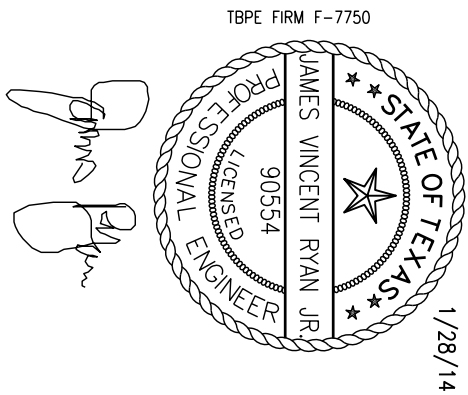
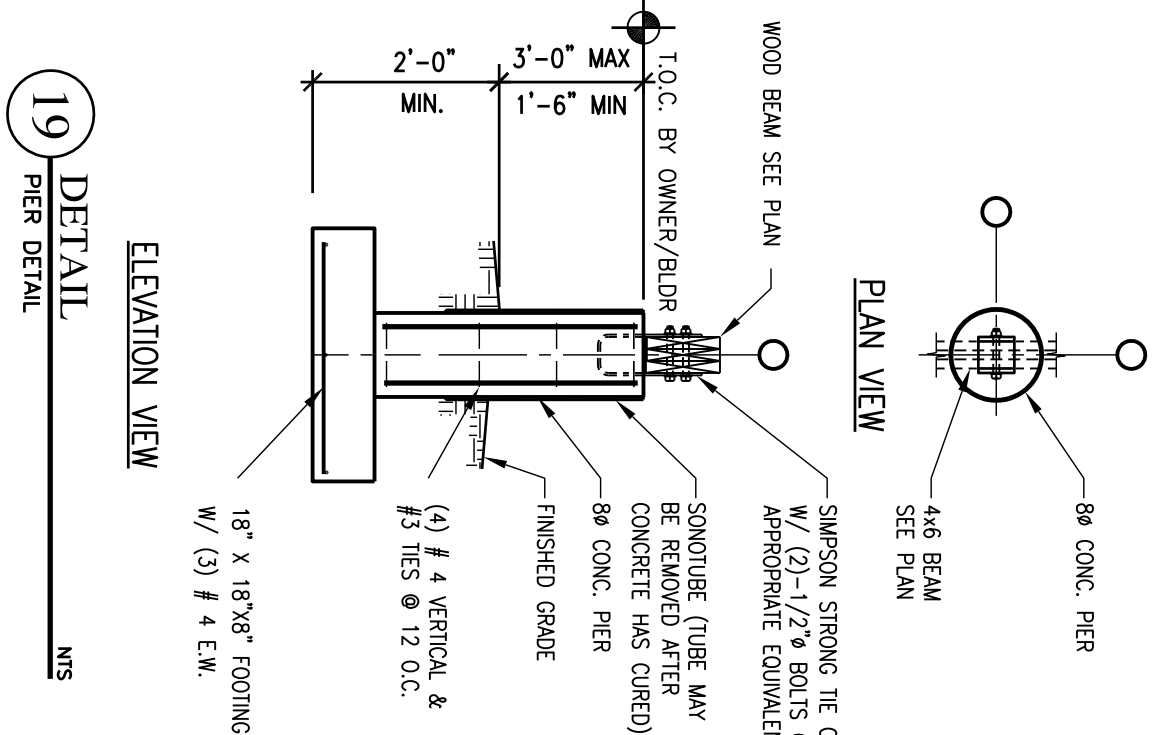
ALL RAFTERS AND CEILING JOIST 2X6@24" O.C.

ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

HANGER SCHEDULE		
MEMBER	HANGER	REACTION (LBS)
(1) 2x10	HU SERIES	500 MIN.
(2) 2x10	HU210-2	1,650
(2) 2x12	HU212-2	2,145
(3) 2x10	HU210-3	1,875
(3) 2x12	HU212-3	2,145
3.5x9.25	HUS410	1,860
3.5x11.875	HUS412	2,510
3.5x14	HU416	2,680
3.5x16	HHUS410	5,190
3.5x18	HUS414	11,180
5.25x9.25	HUS31/9	1,875
5.25x11.875	HHUS5.5/10	5,190
5.25x14	HHUS5.5/10	5,190
5.25x16	HHUS5.5/10	5,190
5.25x18	HUS5.5/14	11,180
TJ/S	IUT SERIES	730 MIN
TRUSSES		
* THESE HANGERS ARE TO BE USED UNLESS OTHERWISE NOTED ON PLAN		
* ALL HANGERS ARE SIMPSON STRONG TIE.		

HEADER SCHEDULE		
SIZE	ONE STORY B.R.	TWO STORY B.R.
2-2x6	5'-10"	4'-8"
2-2x8	6'-9"	5'-5"
2-2x10	8'	6'-4"
2-2x12	9'-3"	7'-5"
* THESE HEADER SIZES ARE TO BE USED UNLESS OTHERWISE NOTED ON PLAN		
* ALL MATERIAL TO BE NO.2 S.P.		
* NUMBER OF STORES BELOW ROOF LEVEL (B.R.)		
* (1) JACK STUD REQUIRED AT ALL OPENINGS		

LINTEL SCHEDULE		
MARK	SIZE	JACK STUDS
L1	(2) 1 3/4" X 11 1/4" LVL	(2) 2 X 4/6
L2	(2) 1 3/4" X 14" LVL	(2) 2 X 4/6
L3	(2) 1 3/4" X 16" LVL	(2) 2 X 4/6
L4	(2) 1 3/4" X 18" LVL	(2) 2 X 4/6
L5	(3) 1 3/4" X 11 1/4" LVL	(2) 2 X 6
L6	(3) 1 3/4" X 14" LVL	(2) 2 X 6
L7	(3) 1 3/4" X 16" LVL	(2) 2 X 6
L8	(3) 1 3/4" X 18" LVL	(2) 2 X 6
L9	5.25 X 24 GULFAM	(4) 2 X 6



FOUNDATION PLAN

3807 AVENUE H
AUSTIN TX

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SEAL:

REVISIONS

NO.	DESCRIPTION	DATE	APPR.

FILE:

SHEET TITLE:

JOB NO:	14-021
DATE:	1/28/13
DESIGNER:	
CHECKED:	
DRAWN:	

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S-1
OF 1