

C15-2014-0066

If you need assistance completing this application (general inquiries only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2<sup>nd</sup> Floor (One Texas Center).

Amended -  
ROW

CASE # \_\_\_\_\_  
# \_\_\_\_\_

**CITY OF AUSTIN  
APPLICATION TO BOARD OF ADJUSTMENT  
GENERAL VARIANCE/PARKING VARIANCE**

**WARNING: Filing of this appeal stops all affected construction activity.**

**PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED  
INFORMATION COMPLETED.**

STREET ADDRESS: 57 Anthony St. Austin, TX 78702

LEGAL DESCRIPTION: Subdivision - Driving Park Addition  
South 40%

Lot(s) Lot 8 Block K Outlot 61 Division O

I/We Christine Chun on behalf of myself/ourselves as authorized agent for  
Christine Chun affirm that on April 8, 2014,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

    ERECT X ATTACH     COMPLETE     REMODEL     MAINTAIN

an extension to an existing carport to widen it from 8'6" to 11'6" (measured by the  
concrete footing) and to widen the concrete driveway leading to the carport to 14'6".

This requires a 4' variance into a 5' side setback including a 1' roof overhang.

in a SF-3-NP district.  
(zoning district)

**NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.**

**VARIANCE FINDINGS:** I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

**REASONABLE USE:**

1. The zoning regulations applicable to the property do not allow for a reasonable use because:  
The existing carport has a usable width of 8'2" due to support posts. Entry is off of the alleyway, and the carport is not wide enough to safely allow a small car to go in or out.

**HARDSHIP:**

2. (a) The hardship for which the variance is requested is unique to the property in that:  
The carport is insufficiently designed, resulting in an unsafe structure. The car doors can't open while parked, and I have hit and damaged the car on the carport 3 times in 2 months.

(b) The hardship is not general to the area in which the property is located because:

There are many properties with functional 1 or 2 car carports or garages, some with entry off of the alley.

**AREA CHARACTER:**

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

There are many properties with 1 or 2 car carports or garages in the area. There will still be two feet between the carport structure and the neighbor's fence.

**PARKING:** (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

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3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

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4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

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**NOTE:** The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

**APPLICANT CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 57 Anthony St.

City, State & Zip Austin, TX 78702

Printed Christine Chun Phone (512) 665-2226 Date 4/8/2014

**OWNERS CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 57 Anthony St.

City, State & Zip Austin, TX 78702

Printed Christine Chun Phone (512) 665-2226 Date 4/8/2014

April 8, 2014

Hello!

I am requesting a setback variance for the property at 57 Anthony St. The setback concerned is at the rear of my property, but it is a side setback for a normal lot.

I purchased the property last November from the builder as a newly constructed home, and quickly found after moving in that the carport was too narrow to be used easily or safely. The car must be positioned very carefully within the carport to allow the driver's side door to open enough to exit the car, and even then it is a very tight squeeze. In the first two months of residence, I hit and damaged the car against the carport three times. I have a rather small car (Honda Civic), so I imagine the carport is simply unusable as such for any larger vehicle.

The driveway leading up to the carport was also not built according to the plans, resulting in a 8'6" driveway when a 12' driveway was drawn. There is no concrete supporting the arc between the alleyway and the carport where the car must drive in order to reach the carport, resulting in the car "falling" into the yard when entering or exiting the carport. This can't be good for the vehicle, and it is creating a hole in the yard.

Though the carport is drawn and built to be 8'6" wide (which I understand to be the minimum required in the city of Austin), there are 4" cedar support posts which make the actual usable width 8'2" wide.

I am requesting a setback variance to be able to widen the carport and driveway 3 feet, taking it to 11'6" (usable width of 11'2"). Typical carport widths seem to range from 10' to 12'. This variance would leave 2 feet of open ground between the carport and the neighbor's fence. The additional one foot of the variance is to accommodate the 1' roof overhang.

I have spoken with both of my adjacent neighbors, and they are all right with my proposal to widen the carport. I have also spoken with the Holly Neighborhood Coalition about my situation, and they are initially also in support of the modifications. Though I attended their last meeting to discuss the issue, we ran out of time to go into my request in detail. I have submitted my application materials to the Coalition's board so that they might review the modifications in further detail.

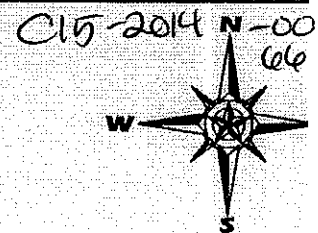
Thank you for taking the time to consider my request. I will look forward to speaking with you soon!

Sincerely,  
Christine Chun

# LEGEND

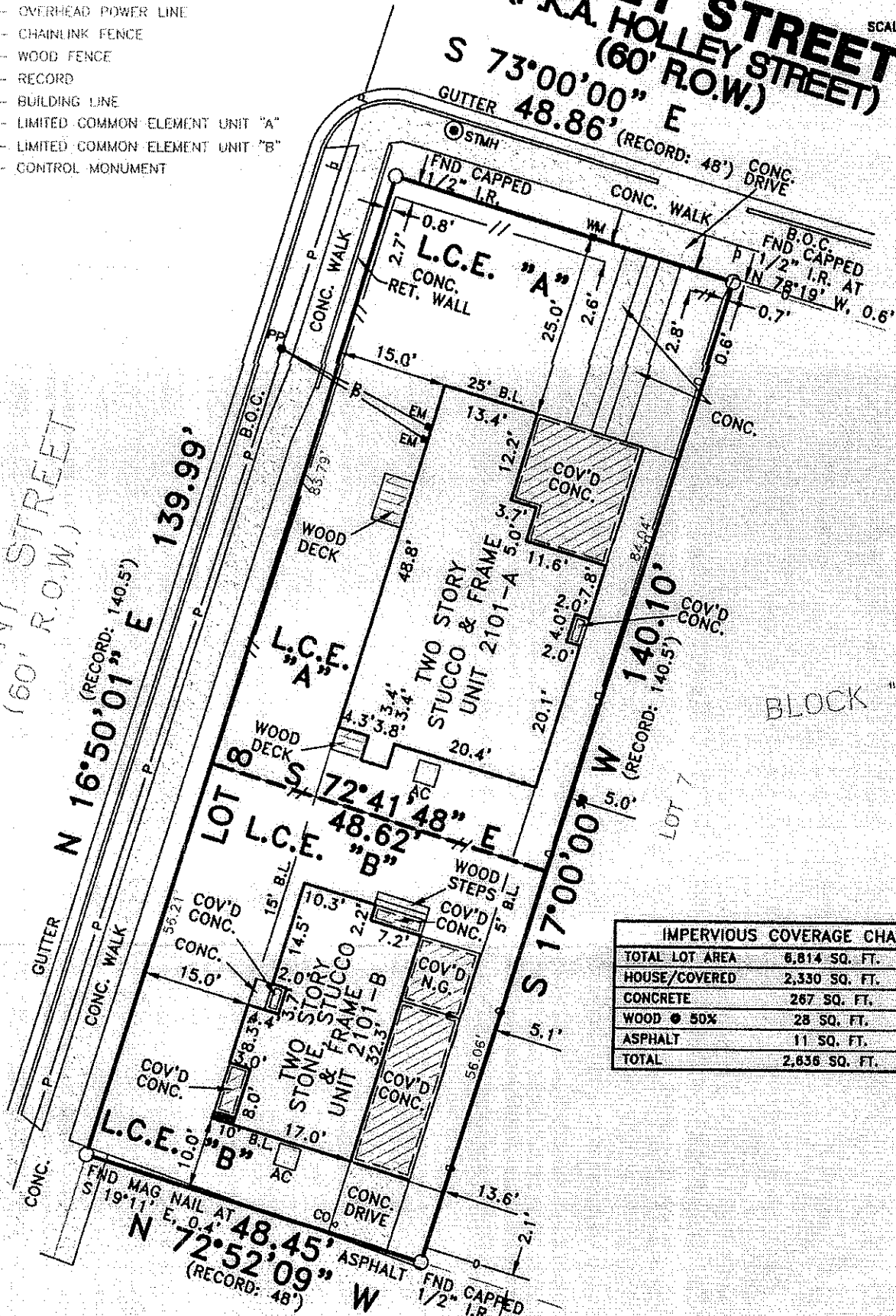
- CO - CLEANOUT
- EM - ELECTRIC METER
- WM - WATER METER
- STMH - STORM MANHOLE
- ST - STREET SIGN
- PP - POWER POLE
- P - OVERHEAD POWER LINE
- CL - CHAINLINK FENCE
- WF - WOOD FENCE
- ( ) - RECORD
- B.L. - BUILDING LINE
- L.C.E. "A" - LIMITED COMMON ELEMENT UNIT "A"
- L.C.E. "B" - LIMITED COMMON ELEMENT UNIT "B"
- CM - CONTROL MONUMENT

## 2101 HOLLY ST. CONDOS CONDO PLAT



**HOLLY STREET**  
(FKA. HOLLEY STREET)  
(60' R.O.W.)  
S 73°00'00" E  
48.86' (RECORD: 48')

ANTHONY STREET  
(60' R.O.W.)  
N 16°50'01" E  
(RECORD: 140.5')  
139.99'



BLOCK "K"

IMPERVIOUS COVERAGE CHART		
TOTAL LOT AREA	6,814 SQ. FT.	-
HOUSE/COVERED	2,330 SQ. FT.	34.2 %
CONCRETE	267 SQ. FT.	3.9 %
WOOD @ 50%	28 SQ. FT.	0.4 %
ASPHALT	11 SQ. FT.	0.2 %
TOTAL	2,636 SQ. FT.	38.7 %

I do hereby certify that this survey was this day made on the ground under my direct supervision and that this plat correctly represents the property legally described hereon (or on attached sheet). That the facts found at the time of this survey show the improvements and that there are no

ALLEY  
(15' R.O.W.)

I, Luz Maria Vasquez,

who lives at 2103 Holly St.,

have reviewed the modifications to the carport requested at 57 Anthony Street, and I am fine with the setback variance required.

Luz Maria Vasquez printed name

Luz Maria Vasquez signature

4-7-2014 date

\_\_\_\_\_ printed name

\_\_\_\_\_ signature

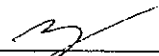
\_\_\_\_\_ date

I, Zac Martinsen,

who lives at 2101 Holly St.,

have reviewed the modifications to the carport requested at 57 Anthony Street, and I am fine with the setback variance required.

Zac Martinsen printed name

 signature

4/6/14 date

\_\_\_\_ printed name

\_\_\_\_ signature

\_\_\_\_ date

**SITE PLAN**  
**A1.0**



# **SHEET INDEX:**

- A1.0 SITE PLAN
- A2.0 FLOOR PLANS
- A3.0 ELEC. PLANS
- A4.0 ELEVATIONS
- A5.0 BLDG SECTIONS
- A6.0 ROOF PLAN/
- WINDOW SCHEDULE
- A7.0 INTERIOR ELEVATIONS

## **GENERAL NOTES:**

- Do not scale drawings. If a crucial dimension is not given, contact the designer.
- Contractor to field verify all site conditions, dimensions, grade elevations, and topography prior to start of construction.
- In case of discrepancies or conflicts on the drawings, or between the drawings and the existing site conditions, the contractor is responsible for consulting the designer before proceeding with any work.
- All dimensions are to face of stud, unless noted otherwise.
- All components, materials, assemblies and finishes to be constructed and installed per manufacturer's recommendations, code requirements and regulated building practices.
- Engineering for foundation to be provided by local engineer.
- All work shall be performed in accordance with all applicable codes, regulations, and standards having jurisdiction. If there are any questions or conflicts concerning compliance with such codes, regulations, or standards, the contractor is responsible for notifying the architect before proceeding with any work.
- Applicable codes:
  - 2009 International Energy Conservation Code
  - 2009 International Building Code - Commercial Construction
  - 2009 International Residential Code - Residential Building
  - Mechanical Construction
  - 2009 Uniform Plumbing Code - Residential & Commercial Construction
  - 2009 Uniform Mechanical Code - Commercial
  - 2011 National Electrical Code - All electrical installations
- Complete Plumbing, Electrical, and Mechanical systems shall be provided and installed by licensed subcontractors, and the design of those systems is not included in the scope of these drawings.
- Foundation design and structural design is by others and is not included in the scope of these drawings. Floor truss and roof rafter design is by others and is not included in the scope of these drawings.
- Contractor shall obtain all necessary permits related to this construction as required by law.
- Contractor shall be responsible for protecting all areas beyond and within the construction limits.
- Contractor shall contact the appropriate utility companies to locate all underground utilities before starting any excavation or digging work.
- These drawings and all copies thereof furnished by designer are an instrument of service and are the property of the designer. They may be used only for this project and

LOT SIZE: 6,744 sf

BUILDING AND SITE AREA				
AREA DESCRIPTION	HOUSE 'A' SF	HOUSE 'B' SF	HOUSE 'B'	TOTAL SF
1st FLOOR CONDITIONED AREA	1,145	596		1,741
2nd FLOOR CONDITIONED AREA				
3rd FLOOR CONDITIONED AREA				
BASEMENT				
COVERED PARKING	198	198		396
COVERED PATIO, DECK or PORCH	54	146		200
BALCONY				
OTHER				
TOTAL BUILDING COVERAGE	1,397	940		2,337
DRIVEWAY	300	122		422
SIDEWALKS				
UNCOVERED PATIO				
UNCOVERED WOOD DECK (50%)				
A/C PADS	9	9		18
OTHER (POOL COPING ETC.)				
TOTAL SITE COVERAGE	1,646	1,071		2,717
POOL				
SPA				

2,777 sf / 6,744 sf = 41% IMPERVIOUS COVER

GROSS FLOOR AREA				
AREA DESCRIPTION	HOUSE 'A' SF	HOUSE 'B' SF	EXEMPT	TOTAL SF
1st FLOOR	1,145	596	X	1,741
2nd FLOOR	617	254		871
3rd FLOOR				
BASEMENT				
ATTIC				
GARAGE (ATTACHED)				
(DETACHED)				
CARPORT (ATTACHED)	198		396	0
(DETACHED)				
ACCESSORY BLDGS(S)				
TOTAL GROSS FLOOR AREA				2,612

2,612 sf / 6,744 sf = .39 FAR/GFA

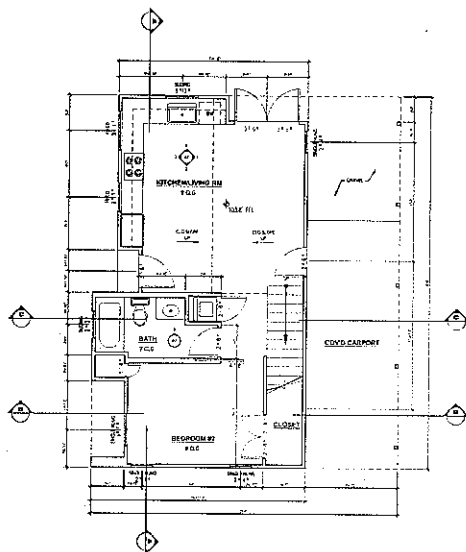
HOUSE 'A'  
LOW ADJACENT GRADE AT NW  
CORNER OF HOUSE = 100.8  
HIGH ADJACENT GRADE AT SE  
CORNER OF STUDIO = 102.19  
AVG. ADJACENT GRADE = 101.475  
(100.8 + 102.152) / 2 = 101.475

ANTHONY STREET  
(60' P.O.W.)  
N 16°50'01" E 139.99'

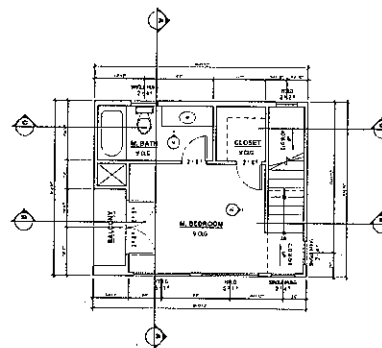
0900-1102-510

HOUSE 'B'

C15-2044-0066



1st FLOOR PLAN  
SCALE: 1/16" = 1'-0"



2ND FLOOR PLAN  
SCALE: 1/16" = 1'-0"



512.796.7152  
WWW.AUSTINFLOORPLANS.COM

CONSTRUCTION SET  
FOR SPEC HOUSE 'B'  
57 ANTHONY ST.  
AUSTIN, TX 78702



512-454-4600  
www.austinfloorplans.com

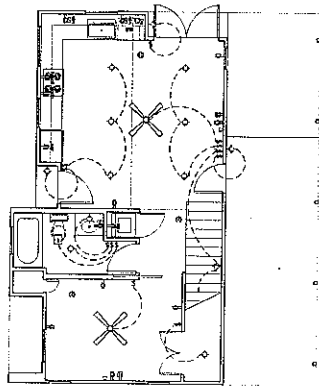
Revisions	No.	Date	By

Issue Date: 2/21/22  
Scale: AS NO 1/2

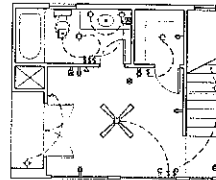
FLOOR PLANS

A2.0

C15-2014-0066



1ST FLOOR ELEC. PLAN  
SCALE: 1/4" = 1'-0"



2ND FLOOR ELEC. PLAN  
SCALE: 1/4" = 1'-0"



CONSTRUCTION SET  
FOR SPEC HOUSE 'B'  
57 ANTHONY ST.  
AUSTIN, TX 78702



Revisions		
No.	Date	By

Electrical  
PLANS  
A3.0



**AUSTIN**  
FLOOR PLANS

WWW.AUBTIFLOORPLANE.COM



Design to Build in the  
unique USFWS Home

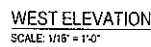
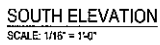
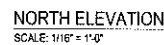
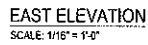
**12-454-4600**

[www.usfshomes.com](http://www.usfshomes.com)

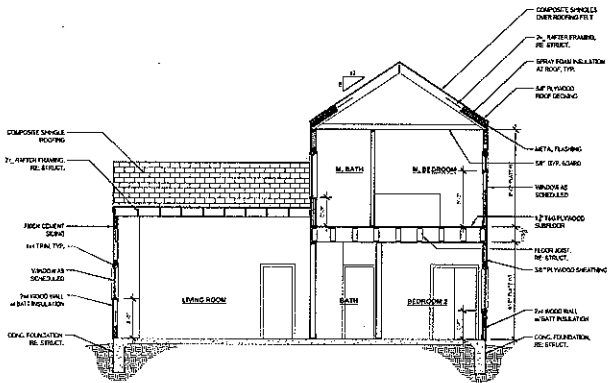
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## ELEVATIONS

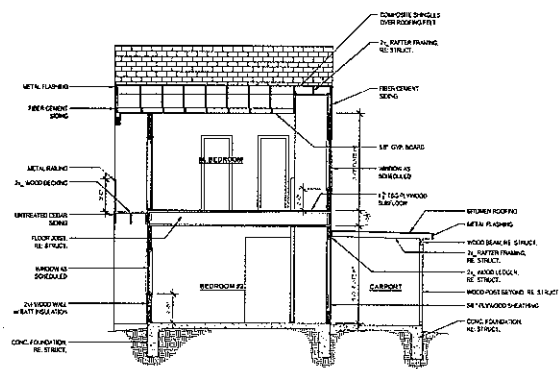
A4.0



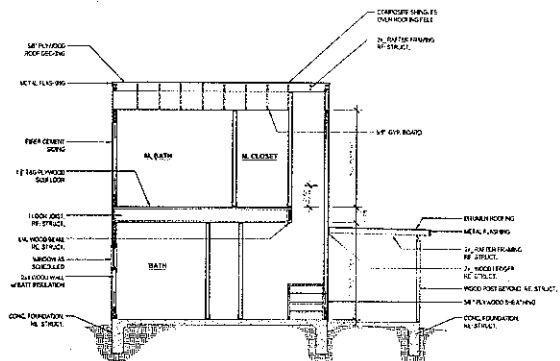
## ELEVATIONS



SECTION A-A  
SCALE: 1/4" = 1'-0"



SECTION B-B  
SCALE: 1/4" = 1'-0"



SECTION C-C  
SCALE: 1/4" = 1'-0"



CONSTRUCTION SET  
FOR SPEC HOUSE 'B'  
57 ANTHONY ST.  
AUSTIN, TX 78702

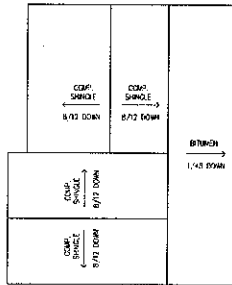


512-454-4600  
austinfoorplans.com

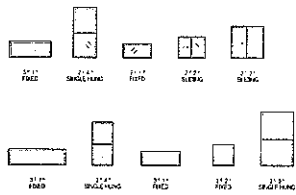
Revised	By	Date

BUILDING  
SECTIONS  
A5.0

C15-2014-0066



ROOF PLAN  
SCALE: 3/16" = 1'-0"



WINDOW SCHEDULE



CONSTRUCTION SET  
FOR SPEC HOUSE 'B'  
57 ANTHONY ST.  
AUSTIN, TX 78702



Revisions

No.	Date	By

Issue Date: 3/21/22  
Scale: AS SHOWN

ROOF PLANS/  
WINDOW  
SCHEDULES  
**A6.0**

[illegible]

Technical drawing of a bathroom layout. The drawing shows a toilet, a sink, and a shower area. Dimensions are provided in feet and inches. Labels include:

- TOILET
- SINK
- SHOWER
- TOILET
- SINK
- SHOWER
- TOILET
- SINK
- SHOWER

[illegible]



512.796.7152  
[www.austinfoorplans.com](http://www.austinfoorplans.com)

**CONSTRUCTION SET  
FOR SPEC HOUSE 'B'  
57 ANTHONY ST.  
AUSTIN, TX 78702**



**512-454-4600**  
[jac@mea.com](mailto:jac@mea.com)

**Members:**

No.	Name	Title

**Issue Date:** 9/24/97 **Scale:** AS NOTED

**INTERIOR  
ELEVATIONS**

A7.0

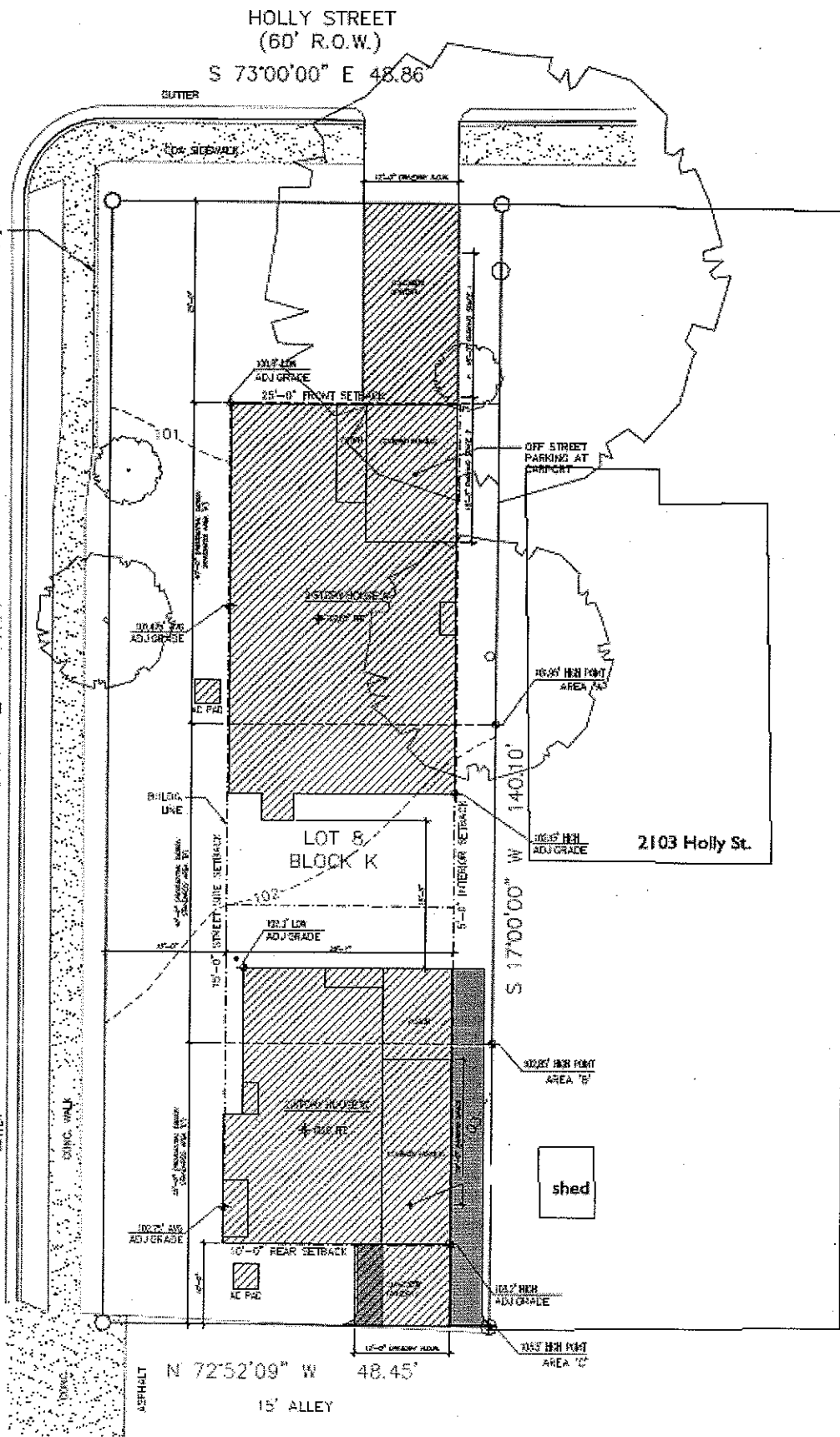
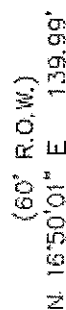
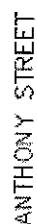
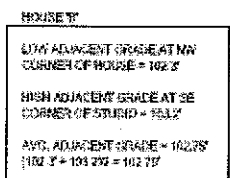
Exhibits and supporting materials  
for the carport variance request at

**57 Anthony St.**

78702

May 27, 2014





# SITE PLAN

SCALE: 1" = 30'

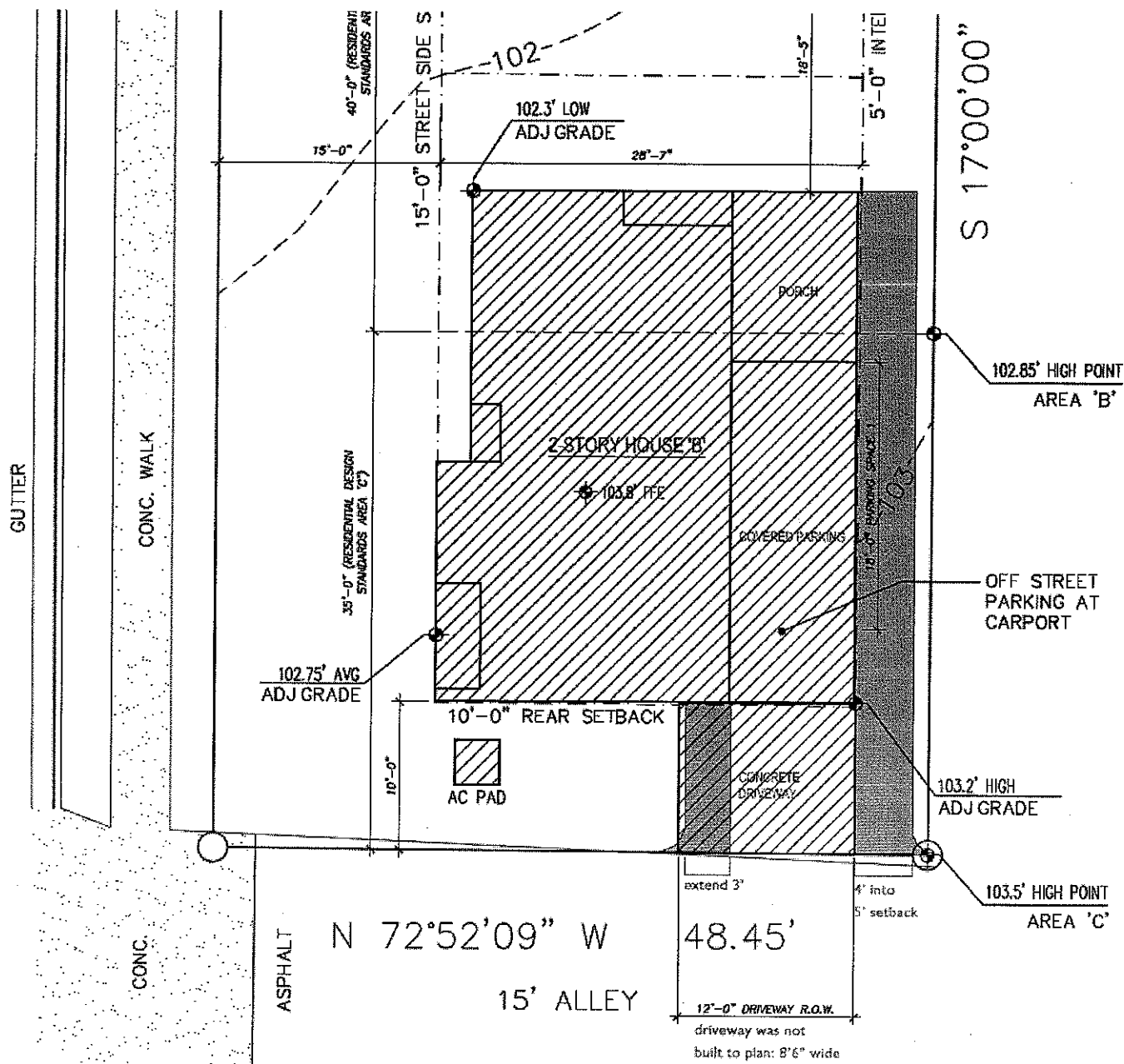


THE NORTH



PLAN SOUTH

Current, proposed, and adjacent structures. Proposed modifications in blue.



# SITE PLAN

SCALE: 1" = 30'



TRUE NORTH



PLAN NORTH

### Detail and measurements of the proposed changes.

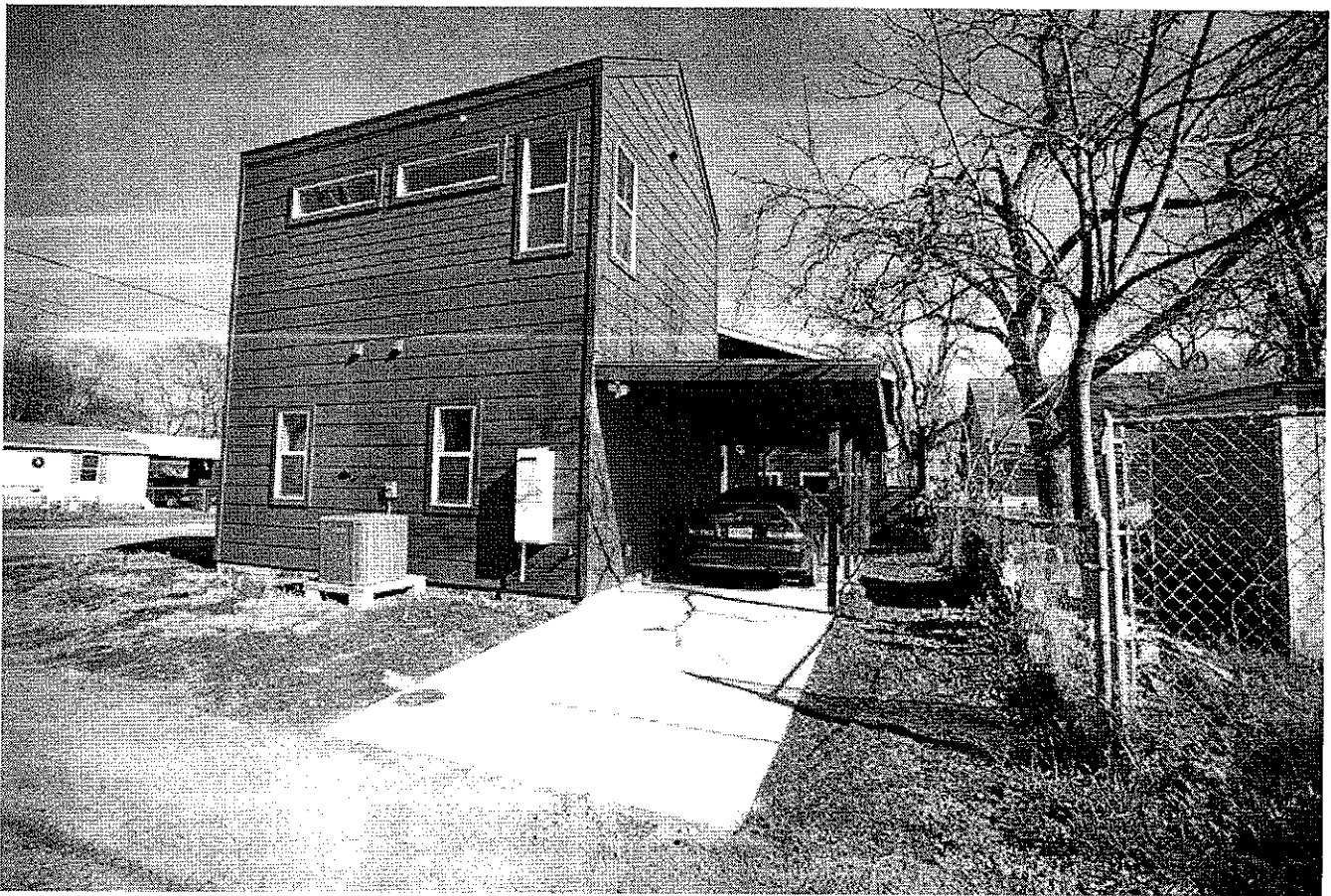
Current carport photos.

This shows that the driver's side door cannot open comfortably while parked.

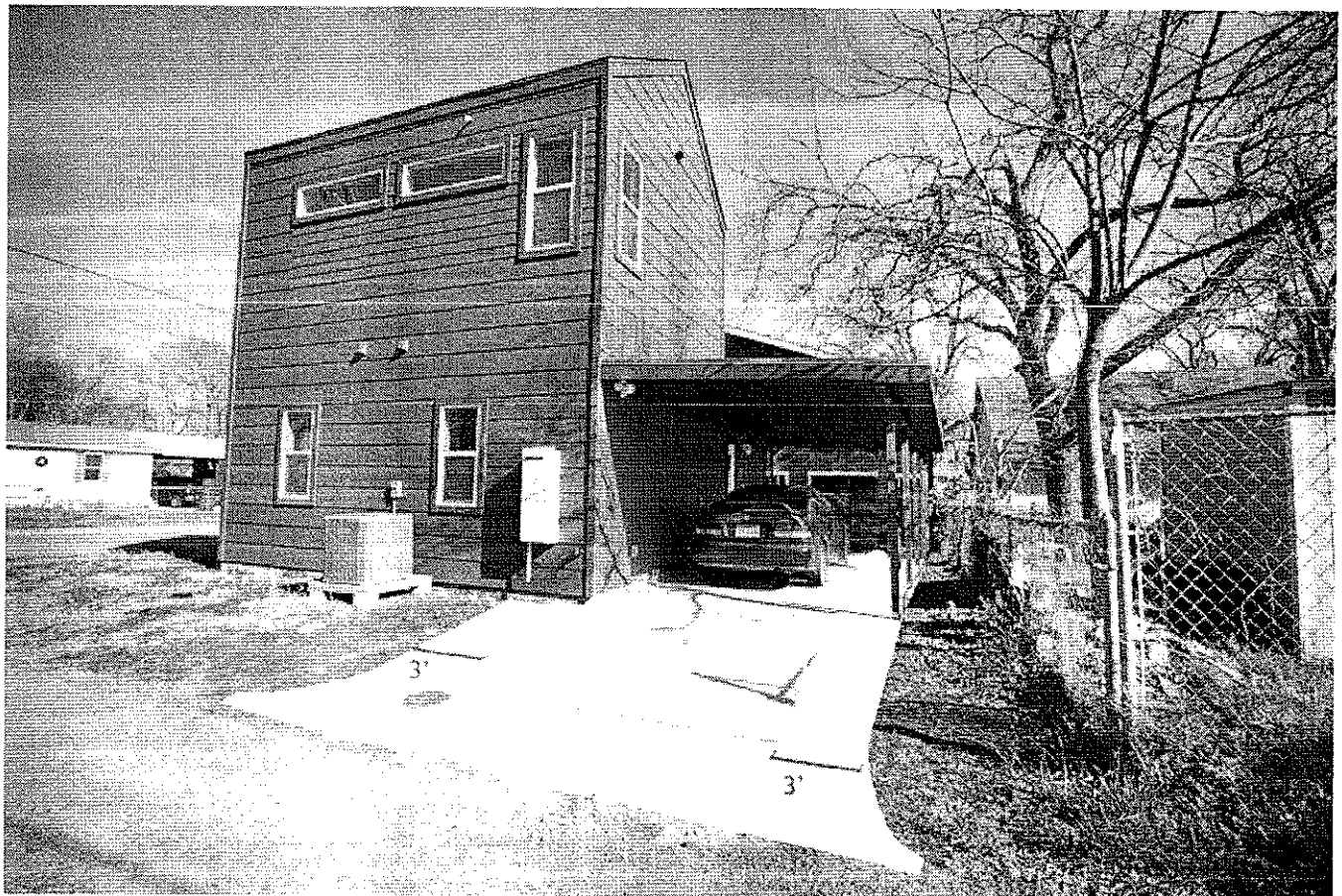


The driveway leading up to the carport does not have concrete bridging the alley and the carport, resulting in the car "falling" into the yard and creating a hole every time it enters or exits.





Current carport, with the concrete footing 5' from the fence at 2103 Holly St. (1' roof overhang.)

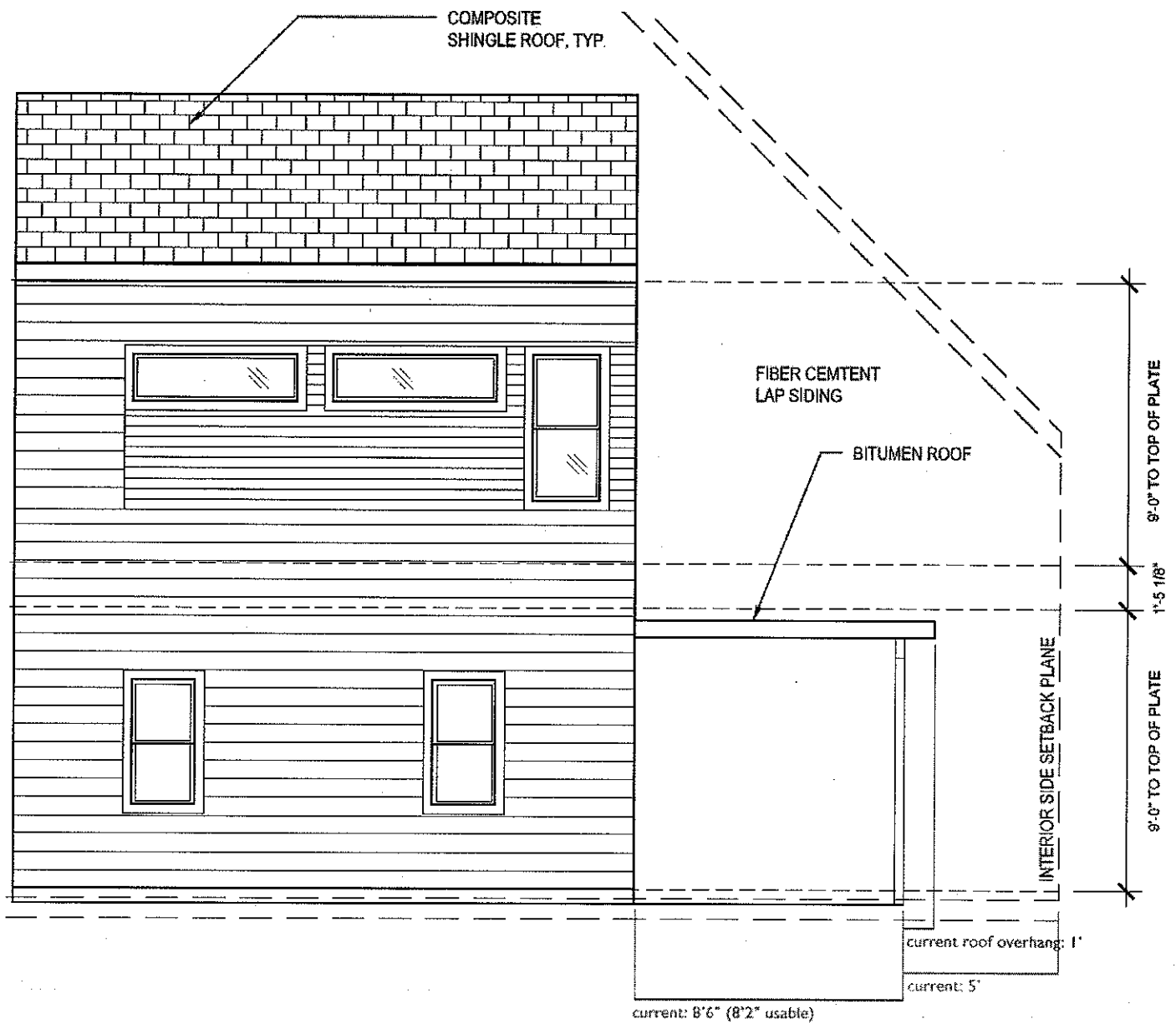


Proposed carport modifications, with concrete footing 2' from the fence. Roof 1' from fence.

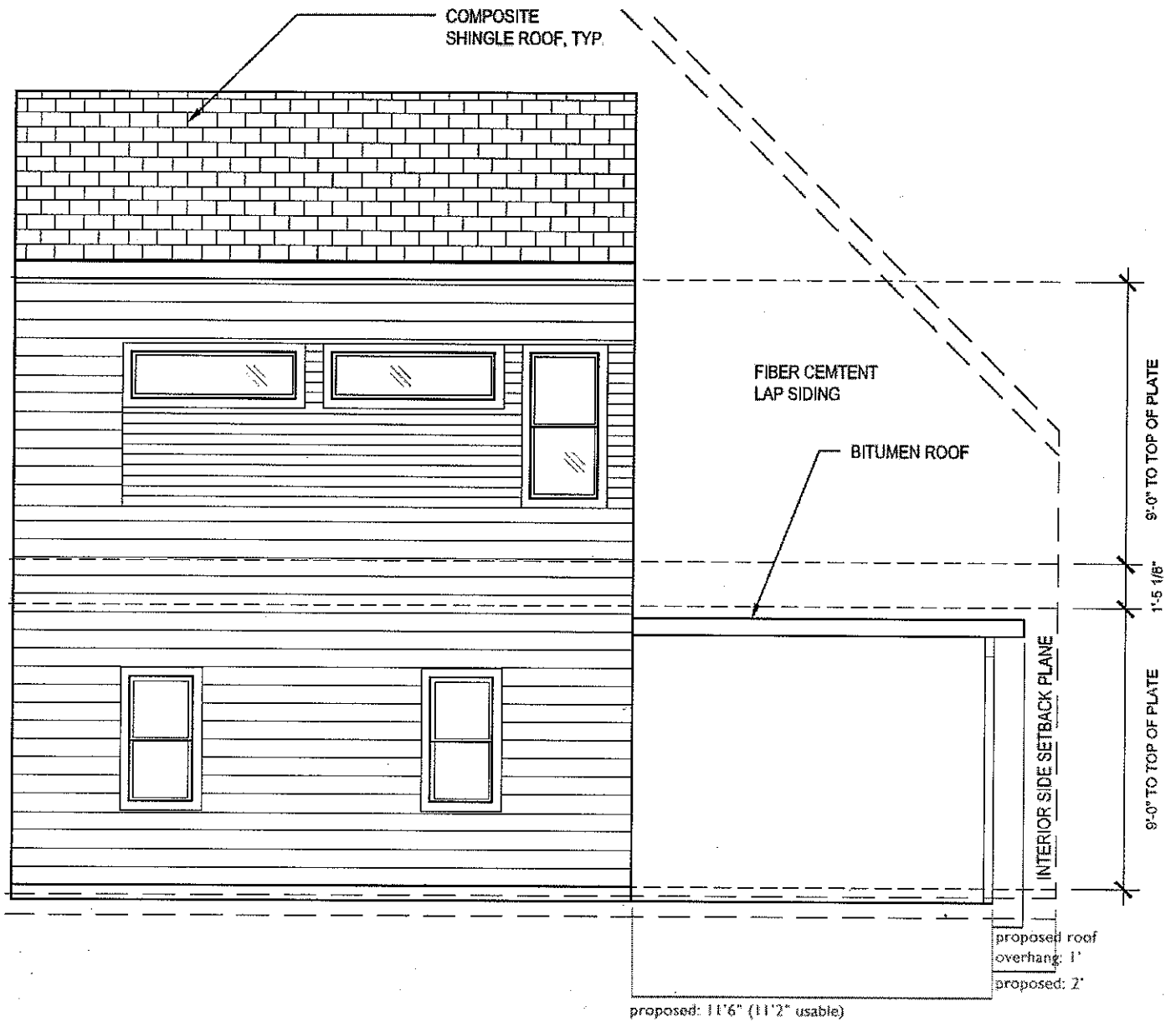




View from the street. Since the carport is located behind the house with alley access, the proposed changes should not alter the character of the neighborhood.



Drawing of current carport dimensions.



Proposed carport dimensions.

IMPERVIOUS COVERAGE CHART		
TOTAL LOT AREA	6,814 SQ. FT.	-
HOUSE/COVERED	2,330 SQ. FT.	34.2 %
CONCRETE	267 SQ. FT.	3.9 %
WOOD @ 50%	28 SQ. FT.	0.4 %
ASPHALT	11 SQ. FT.	0.2 %
TOTAL	2,636 SQ. FT.	38.7 %

Current impervious cover calculations from survey at closing.  
 $2,636 \text{ sf} / 6,814 \text{ sf} = 38.7\%$  impervious cover

Proposed modifications would add:

3 ft x 10 ft concrete on the left side = 30 sf

3 ft x 34.5 ft covered area on the right side = 103.5 sf

$(2,636 \text{ sf} + 133.5 \text{ sf}) / 6,814 \text{ sf} = 40.2\%$  impervious cover



The style and materials of the carport extension will resemble the style and materials of the existing carport as closely as possible.

The materials currently in use are:

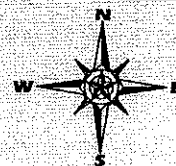
- #2 grade lumber
- TPO membrane
- bitumen roofing
- metal flashing
- 5/8" plywood sheathing
- concrete foundation
- cedar posts and beam support

C19-2014-0066

# LEGEND

- CD - CLEARCUT
- EM - ELECTRIC METER
- WM - WATER METER
- STMH - STORM MANHOLE
- SS - STREET SIGN
- PP - POWER POLE
- OP - OVERHEAD POWER LINE
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- L.C.E. "B" - LIMITED COMMON ELEMENT UNIT "B"
- ⊙ - CONTROL MONUMENT

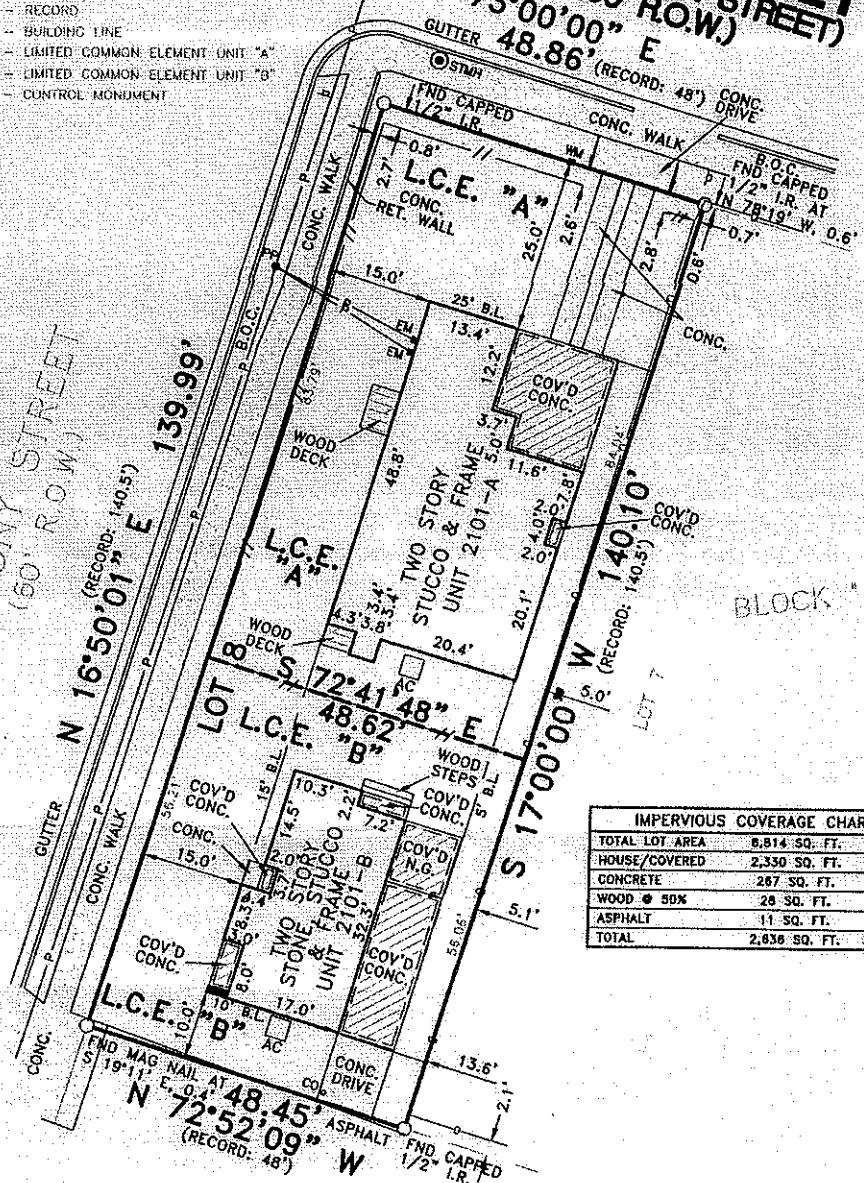
## 2101 HOLLY ST. CONDOS CONDO PLAT



SCALE: 1" = 20'

**HOLLY STREET**  
(FKA HOLLEY STREET)  
S 73°00'00" E  
48.86' E  
(RECORD: 48')

ANTHONY STREET  
(50' R.O.W.)  
N 16°50'01" E  
139.99' E  
(RECORD: 140.5')



BLOCK "K"

IMPERVIOUS COVERAGE CHART	
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CONCRETE	287 SQ. FT. 3.9 %
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ASPHALT	11 SQ. FT. 0.2 %
TOTAL	2,636 SQ. FT. 38.7 %

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*[Signature]*

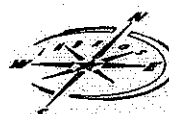
10/8/13



LOT 8, BLOCK "K"  
DRIVING PARK ADDITION  
OUTLOT 37, 38, 39, 49, 50, 60 AND 61  
DIVISION O  
VOL. 2, PG. 206D, T.C.P.R.  
TRAVIS COUNTY, TEXAS

**EXHIBIT "E"**

10/03/13  
DRAWN BY: MDL  
JOB NO.: 25288  
SHEET 1 OF 1



Windrose Land Services Austin  
4120 Commercial Center Dr.  
Suite 300  
Austin, Texas 78744  
TEL (512) 326-2100 FAX (512) 326-2770

BOUNDARY DECISION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY THIS FIRM, DATED 01/30/13.

**Ford** Go Further

CARS CROSSOVERS & SUVs TRUCKS HYBRIDS & EVs COMMERCIAL ALL TECHNOLOGY SHOPPING TOOLS

2014 F-150 Gallery Features Specs Models Accessories Pricing We Own Work Build & Price

### F-150 Specifications

Highlights Exterior Interior Capacities Engine Chassis Towing Payload Package Selector View All

#### Regular Cab Exterior Dimensions

Overall length (in.) 231.9"

Wheelbase (in.) 125.9  
Height (in.) 75"  
Height (with mirrors) 97.6"

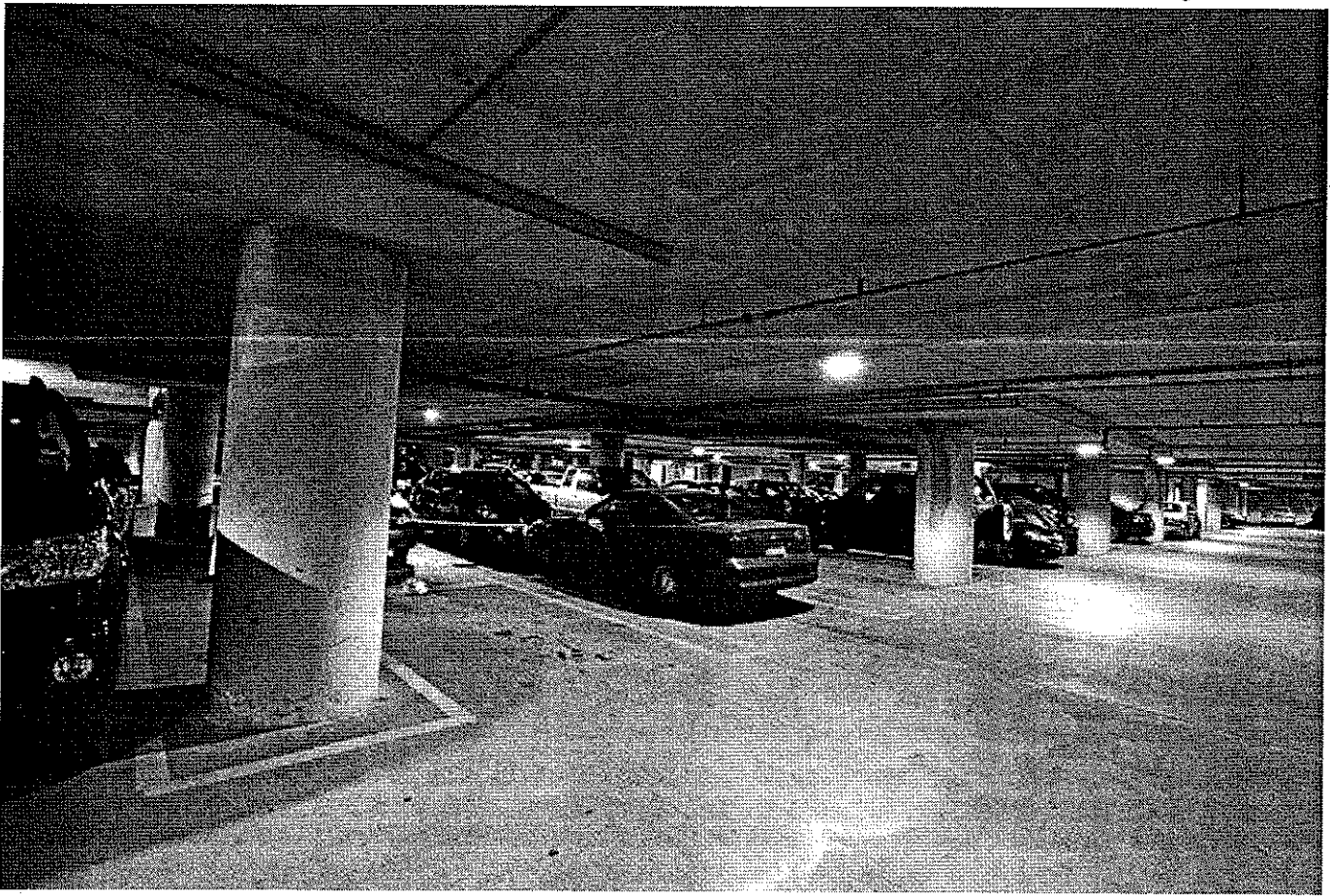
	Regular Cab		SuperCab		SuperCrew	
	6.5-ft. Styleside	8.0-ft. Styleside	6.5-ft. Styleside	8.0-ft. Styleside	6.5-ft. Styleside	8.0-ft. Styleside
Pickup box style	4x2	4x4	4x2	4x4	4x2	4x4
Drive system	-	-	125.9	125.9	144.5	144.5
Wheelbase (in.)	-	-	213.2	213.2	231.9	231.9
Overall length (in.)	-	-	74.8	76	75	76
Cab height (in.)	-	-	79.2	79.2	79.2	79.2
Width - Excluding mirrors (in.)	-	-	97	97	97	97
Width - Including mirrors (in.)	-	-	83.5	83.5	83.5	83.5
Width - Mirrors folded (in.)	-	-	67.0	67.0	67.0	67.0
Track width front/rear (in.)	-	-	38.3	38.3	38.3	38.3
Overhang front/rear (in.)	-	-	22.4	22.4	22.8	22.8
Angle of approach (degrees)	-	-	23.9	25.3	24.5	26.1
Angle of departure (degrees)	-	-	17.6	17.1	17	15.7
Ramp breakover angle (degrees)	-	-	-	-	-	-

A standard Ford F-150 is 8'1" wide including mirrors. The carport is 8'2.5" wide.

The site plan illustrates a residential property with the following features and dimensions:

- Streets and Walkways:**
  - STREET S:** Located to the north, with a 15'-0" setback from the property line.
  - CONC. WALK:** Concrete walkway along the western boundary.
  - 15' ALLEY:** Located to the south, with a 15'-0" width.
  - ASPHALT:** Asphalt surface along the southern boundary.
  - GUTTER:** Located along the western boundary.
- Property Dimensions and Features:**
  - Overall Dimensions:** 28'-7" wide by 17'-0" deep.
  - 2-STORY HOUSE 'B':** The main structure, with a 10'-0" rear setback and a 10'-0" side setback.
  - AC PAD:** A 10'-0" wide area for an air conditioning pad, located 11'-0" from the rear property boundary.
  - CONCRETE DRIVEWAY:** 8'-6" wide, leading to the covered parking area.
  - COVERED PARKING:** 18'-0" wide, located to the east of the house.
  - PORCH:** Located to the north of the house.
  - 102.3' LOW ADJ GRADE:** Elevation at the northern corner.
  - 102.75' AVG ADJ GRADE:** Average adjacent grade on the western side.
  - 103.8' FFE:** Finished Floor Elevation at the center of the house.
  - 103.2' HIGH ADJ GRADE:** Elevation at the southeast corner.
  - 103.5' HIGH POINT AREA 'C':** High point located near the driveway.
  - 102.85' HIGH POINT AREA 'B':** High point located near the porch.
- Other Features:**
  - OFF STREET PARKING AT CARPORT:** Located to the east of the property.
  - 12'-0" DRIVEWAY R.O.W.:** Right-of-Way for the driveway.
  - 10'-8" and 14'-0" Dimensions:** Vertical dimensions indicating setbacks or distances from the alley and fence lines.

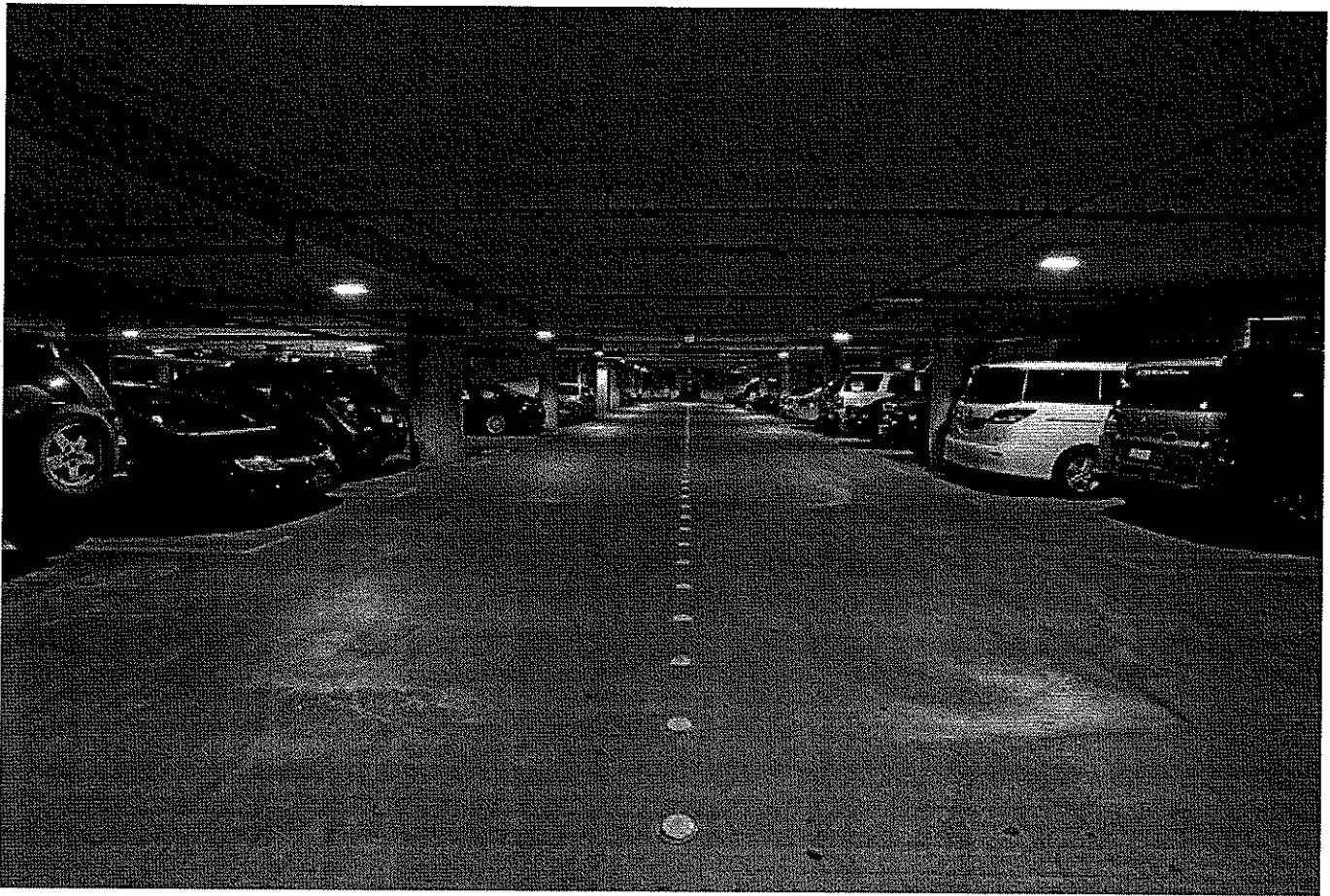
### Measurements of carport and alley.



Photographs of the parking garage under city hall.







Photographs of the parking garage under city hall continued.

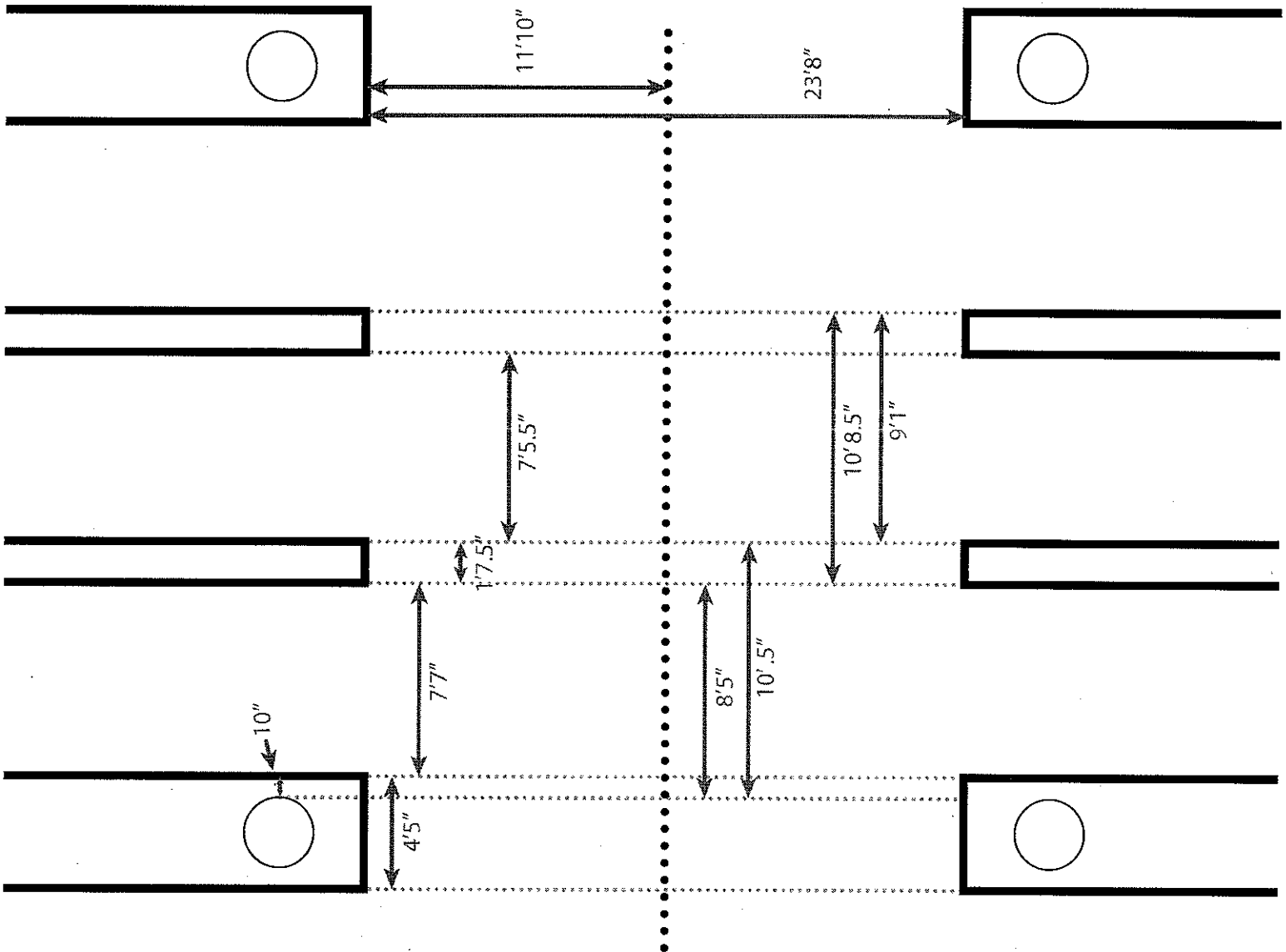
**Austin City Hall Parking Garage Measurements**

All painted lines are 4" wide

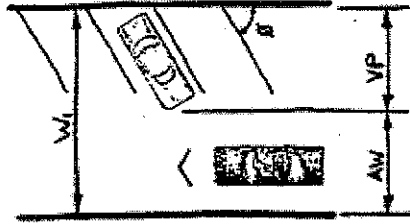
All measurements are between centerlines

Center lane safety circles are 4" diameter

There was generally 9" - 18" (but sometimes zero and less than zero) clearance between the tires of a parked car and the edge of the painted line of a space (not centerline).



Angle $\theta$	ONE-WAY FLOW $W_1$ MINIMUM BAY WIDTHS (feet)			
	8.0' Stall Width		8.5' Stall Widths	
	Short Term	Long Term	Short Term	Long Term
30°	24.0	26.5	25.0	26.5
35°	24.5	27.0	26.0	27.0
40°	25.5	28.0	26.5	28.0
45°	26.0	29.0	27.5	29.0
50°	26.5	29.5	28.0	29.5
55°	27.0	30.0	29.0	30.0
60°	28.0	33.0	31.5	32.0
65°	30.0	35.5	34.0	34.5
70°	32.0	38.0	36.5	37.0
75°	34.0	40.0	38.5	39.0
80°	36.0	42.5	41.0	41.5
85°	37.5	44.0	42.5	43.0
90°	39.0	46.0	44.5	45.0



The entire parking and maneuvering area is to be free of any obstructions.  
No loading or unloading is to be done in said area.

Where  $C$  = clearance  
 $L$  = length of design vehicle  
 $W$  = width of design vehicle  
 $\theta$  = angle of parking stall  
 $S$  = stall width

$W_1 = VP + AW$   
 $VP = C + L \sin \theta + W \cos \theta$   
 $AW =$  aisle width computed using ENO foundation formulas & empirically adjusted.

End stalls next to a vertical obstruction 6" or higher shall be 1' wider than otherwise required.

city of santa barbara  
transportation section

STANDARDS FOR PARKING DESIGN

15 MAY 1981

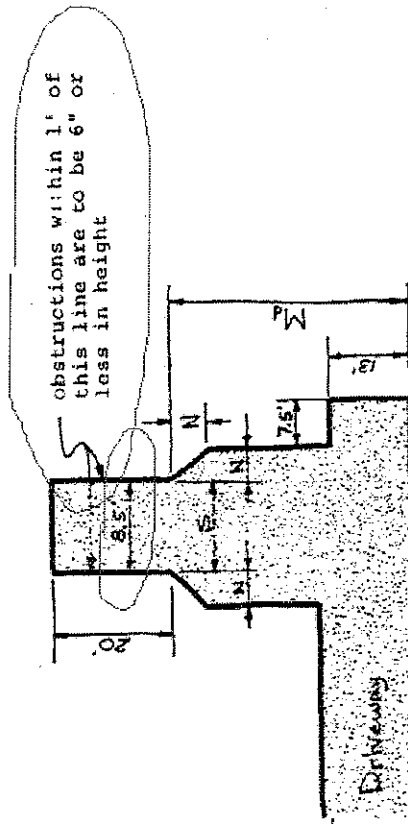


COVERED PARKING


Case 1:

Single stall garages and carports with vertical restrictions on both sides of the stall. If the stall width is increased, a reduction in the backing maneuver requirements can be permitted as indicated in the following table:

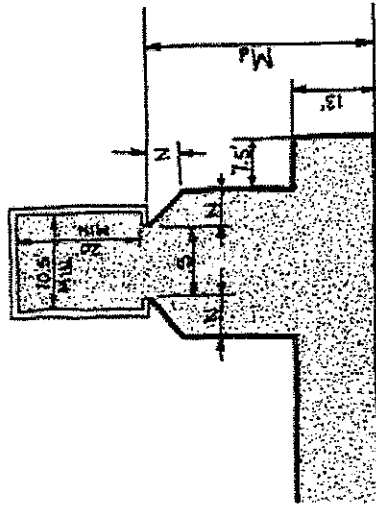
REQUIRED MANEUVERING DEPTHS, $M_d$					
S	8.5	9.0	9.5	10.0	10.5
$M_d$	28.0	27.0	26.5	26.0	25.5
N	4.0	3.5	3.5	3.0	3.0
					11.0
					25.0
					2.5



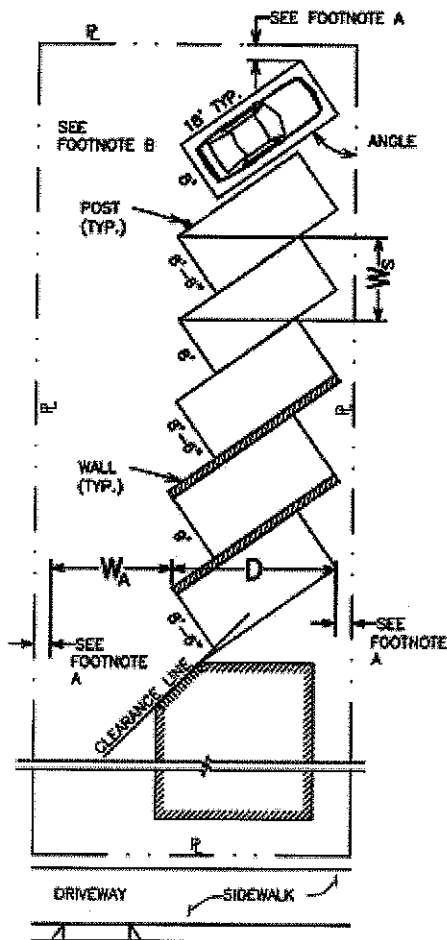
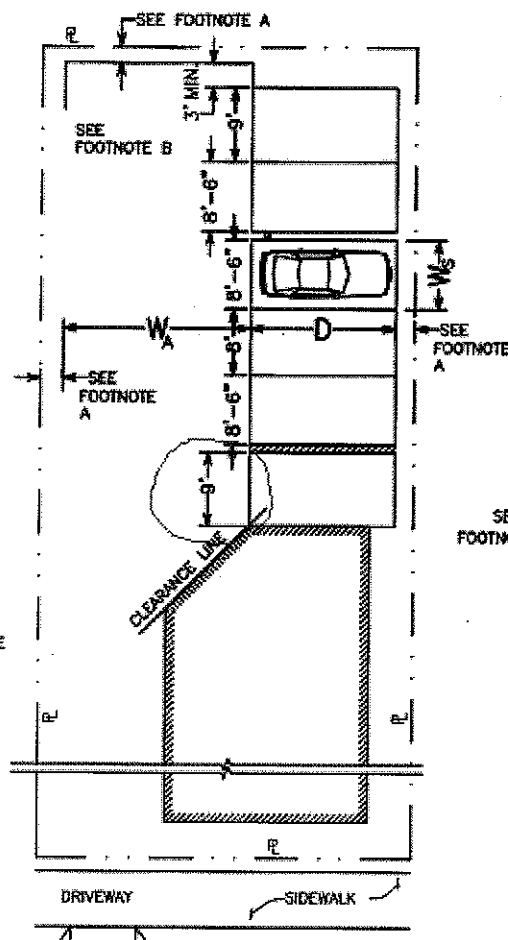
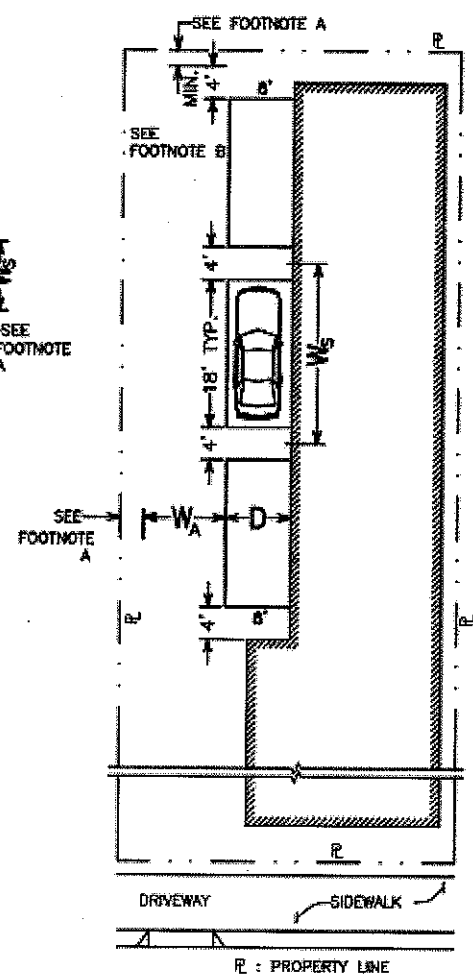
CARPORT

 Paved area to be free of obstructions

The interior height of carports and garages is to be not less than 6'6". Where storage cabinets are provided a height of 4 feet is allowed within 4 feet of the rear of the structure.



GARAGE

**ANGLE PARKING****90° PARKING****PARALLEL PARKING****Footnotes:**

- A. The Berkeley Municipal Code, Zoning Sections 23D.12.080, 23D.04.70, and 23E.28.080, requires various screening, buffering, or landscaping treatments dependent upon location of parking (side or rear), number of spaces, and whether property is commercial or residential.
- B. Vehicles backing up across the sidewalk to enter the street are restricted as follows: Commercial properties are not permitted to do so. Residential properties are permitted to do so under the guidelines presented in handout entitled **RESIDENTIAL DRIVEWAYS** (offered by Public Works, Transportation Division). Therefore, where required, on-site turn-arounds and appropriate driveway or parking aisle widths may need to be incorporated into the parking layout and driveway design.

**General Notes:**

1. Add .5 foot if the parking space is adjacent to walls, posts, columns, etc. Add 1.0 foot if adjacent to landscaping.
2. Vehicles are not permitted to maneuver, into or out of parking spaces, within the public right-of-way.

Angle of Parking	Depth of Stall (D)	Width of Aisle ( $W_A$ )	Width of Stall Parallel with Aisle ( $W_S$ )
Parallel	8'	12'	22.0'
30°	16'	12'	16.0'
45°	18'	12'	11.3'
60°	19.6'	18'	9.2'
75°	19.5'	21'	8.3'
90°	18'	24'	8.0'

**BASIC PARKING REQUIREMENTS**

rev: Oct 09, 2013

G:\CM-TRANSP\01-Development reviews\00PROCESS\Guidelines\Basic Parking Requirements.pdf

Public Works Transportation Division  
City of Berkeley

C15-2014-0066

www.roundrocktexas.gov

www.roundrocktexas.gov/docs/tr\_09.pdf

Apps Faux Pearl Leaf Leav... fndge Flask Principal Fla... Hooded Swim Cove... Other bookmarks

C. Maneuvering areas for loading facilities shall not conflict with parking spaces or with the maneuvering areas for parking spaces. Public right-of-way shall not be used for maneuvering. All maneuvering shall be contained on-site.

D. Rear-loading freight docks are greatly preferred to side-loading docks. For such rear-loading docks, truck circulation patterns and dock positions should be designed for left-side, back-in maneuvers to allow for better driver visibility (see Figure 9-7, in Section 9.8.0 of this Manual). The apron space should be adequate to allow the truck to back and pull-out in one (1) maneuver. Where semitractor/trailer combinations are expected, the critical maneuvering and circulation areas shall be designed to accommodate trucks with a WB-50 design.

E. Service stations, convenience stores and other outlets where fuel is dispensed must provide an adequate maneuvering and unloading area for fuel delivery vehicles. Such facilities or areas shall be designed to enable trucks to deliver fuel without interfering with on-site parking, queuing areas, internal circulation or driveway access.

**TABLE 9-1  
PARKING LOT CRITERIA**

A Angle of Parking (degrees)	B Width of stall (ft)	C Depth of stall 90° to aisle (ft)	D Width of aisle (ft)		E Width of stall parallel to aisle (ft)	F Module Width (ft)	
			One Way	Two Way		One Way	Two Way
<b>Standard Parking Spaces</b>							
30	8.5	16.9	12.5	28	17.0	47	62
30	9.0	17.3	12.5	26	18.0	47	61
30	9.5	17.8	12.5	25	19.0	48	61
30	10.0	18.3	12.5	25	20.0	49	62
45	8.5	17.5	13.0	28	12.0	48	63
45	9.0	17.5	12.6	36	12.7	48	61
45	9.5	17.5	12.6	25	13.4	48	60
45	10.0	17.5	12.5	25	14.1	48	60
60	8.5	19.0	18.0	-	9.8	56	-
60	9.0	19.0	16.0	-	10.4	54	-
60	9.5	19.0	15.0	-	11.0	53	-
60	10.0	19.0	15.0	-	11.6	53	-
75	8.5	19.5	25.0	-	8.8	64	-
75	9.0	19.5	23.0	-	9.3	62	-
75	9.5	19.5	22.0	-	9.8	61	-
75	10.0	19.5	22.0	-	10.3	61	-
90	8.5	18.5	-	28	8.5	-	65
90	9.0	18.5	-	28	9.0	-	63
90	9.5	18.5	-	25	9.5	-	62
90	10.0	18.5	-	25	10.0	-	62

9-6

**MEMORANDUM**

**TO:** Erica Eichert, Residential Review  
Watershed Protection and Development Review Department

**FROM:** Joe Almazan, Land Use Review  
Watershed Protection and Development Review Department

**DATE:** January 24, 2007

**SUBJECT:** Dimensions for Residential Parking

When reviewing the parking layout for single-family residential or duplex residential use, the required parking space dimensions must be 8.5 feet for stall width and 17.0 feet for stall length. The parking must be located entirely inside the property and shall not encroach into the driveway apron and public right-of-way.

Where parking is not located in the front street yard, a turning and maneuvering area must be provided to ensure there is adequate clearance for a vehicle to maneuver into or out of a parking space. The minimum clearance area must be 24 feet. Generally, this situation will occur where parking is located in the rear of the property or where parking is located off an existing alley.

No other variations in parking design should be approved without consultation with a transportation reviewer.

If you have any questions or need additional information, please do not hesitate to call me at 974-2674.

Joe R. Almazan

Watershed Protection and Development Review Department

cc: Emily Barron, WPDR  
Amy Link, WPDR  
Amber Mitchell, WPDR  
Sangeeta Jain, WPDR