

CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, May 12, 2014

CASE NUMBER: C15-2014-0063

Jeff Jack
Michael Von Ohlen
Ricardo De Camps
Bryan King
Fred McGhee
Melissa Hawthorne
Sallie Burchett

APPLICANT: Jeff Moore

OWNER: Alejandra Fredes

ADDRESS: 6900 GAUR DR

VARIANCE REQUESTED: The applicant has requested variances from Section 25-2-492 (D) of the Site Development Regulations to:

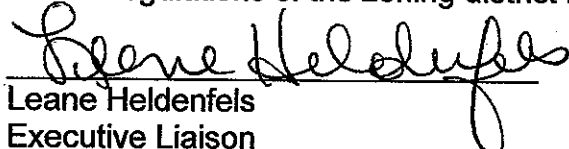
increase the maximum building coverage from 40% to 40.95% (38.57 existing);
and increase the maximum impervious coverage from 45% to 46.84% (existing);
and decrease the side yard setback from 5 feet to 1 foot 11 inches
in order to erect a patio enclosure over an existing, partially covered concrete patio in an "I-SF-2", Interim – Family Residence zoning district.

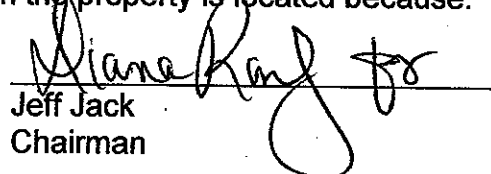
BOARD'S DECISION: POSTPONED TO JUNE 9, 2014

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Leane Heldenfels
Executive Liaison


Jeff Jack
Chairman

CIRCLE C HOMEOWNERS ASSOCIATION, INC.
7817 LA CROSSE BLVD.
AUSTIN, TEXAS 78739
512-288-8663
info@circlecranch.info

May 8, 2014

TO: Leane Heldenfels, City of Austin Planning and Development Review

FROM: Susan Hoover, on behalf of the Architectural Control Committee, Circle C Homeowners Association, Inc.

RE: **Case Number: C15-2014-0063, 6900 Gaur Drive**

Hearing Date: May 12, 2014

Please refer this communication to the Board of Adjustment.

1. The Circle C Homeowners Association has no position on the **impervious cover** request by this owner.
2. The Circle C Homeowners Association **objects to the side building line setback encroachment** on the following grounds:
 - a. There is no hardship that would require the owner to violate the five foot building line setback in order to construct the Patio Room.
 - b. For the CCHOA Architectural Control Committee, the owner submitted a drawing showing that the Patio Room was to be confined to adhere to the City of Austin building line setback (see attached).
 - c. The CCHOA works diligently to preserve the building line setbacks required by the City of Austin for all structures which are higher than the fence line between properties. The CCHOA has had numerous owners move their projects to adhere to the City's building line setbacks. All property owners in Circle C receive notification through our deed restrictions that the City requires the setbacks and property owners are expected to comply. In addition, neighboring property owners expect that the side building line setbacks will be adhere to.
 - d. By waiving the building line setback, the property next door could experience declining property values. This is true even if the existing owners do not have a problem with the encroachment.
 - e. The Architectural Control Committee of the Circle C Homeowners Association will not approve this project if it encroaches into the side building line setback—it will need to be a minimum of five feet from the neighboring property line.

We urge the Board of Adjustment to reject the request to build into the five foot side building line setback. Thank you for your time and attention to this matter.

ATTN: Leanne Heltenfels



C15-2014-0063

6900 GAUR DRIVE

ALEJANDRA FRENCH applying for a variance from the Board of Adjustment regarding Section _____ of the Land

Development Code. The variance would allow me the ability to

ADD A COVERED SUNROOM TO MY

EXISTING CONCRETE PAD.

By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
SPOKE WITH OWNER, MR. LUCK, WHO IS IN AGREEMENT WITH THE PROJECT	814 GAUR DRIVE	ALSO SPOKE WITH TENANT STEPHANIE GABION - IN AGREEMENT WITH PROJECT
HEATHER CORBETT	9116 Colberg	
Daniela Ortiz de Montellano	6821 GABION DRIVE	Daniela Ortiz de Montellano
ATTEMPTED TO NOTIFY 3 TIMES	6817 GABION DRIVE	RESIDENT UNAVAILABLE
Raechel Barnes	6809 Ackland Ct	Raechel Barnes
ATTEMPTED TO NOTIFY 3 TIMES	6812 AUCKLAND CT	RESIDENT UNAVAILABLE
Scott & KRIS JOHNSON	6904 GAUR DRIVE	Scott & KRIS JOHNSON

Heldenfels, Leane

From: Susan R Hoover ~~XXXXXXXXXXXX~~
Sent: Monday, May 12, 2014 9:21 AM
To: Heldenfels, Leane
Subject: Re: Case Number: C15-2014-0063, 6900 Gaur Drive

Hi Leane:

I just wanted to let you know that I spoke with Jeff Moore of Champion Windows regarding the 6900 Gaur Drive project. He told me that they were not planning to encroach into the side building setback with the patio room.

That was our objection; we do not have an objection to the impervious cover situation. They seem to have a patio slab poured that does encroach but he told me that they were only using 1/2 of the slab for the upright portion of the project and that part did not encroach. So, if the addition does not encroach, we are fine with the project.

Thanks again,
Susan Hoover
on behalf of the Circle C Homeowners Association

--
Susan R Hoover
shoover@fastmail.fm

On Thu, May 8, 2014, at 01:23 PM, Heldenfels, Leane wrote:

- > Hi Susan - I have received it and will get a copy to the Board in
- > their meeting day backup packet.
- > Thanks for sending it to us -
- > Leane Heldenfels
- > Board of Adjustment Liaison
- > City of Austin
- >

> -----Original Message-----

- > From: Susan R Hoover ~~XXXXXXXXXXXX~~
- > Sent: Thursday, May 08, 2014 12:08 PM
- > To: Heldenfels, Leane
- > Cc: Karen Hibpshman; ~~XXXXXXXXXXXX~~
- > Subject: Case Number: C15-2014-0063, 6900 Gaur Drive
- >

> Hi Leane:

- >
- > The Circle C Homeowners Association is objecting to the request to
- > violate the five foot building line setback for the owner's project at
- > 6900 Gaur Drive which is up for review by the Board of Adjustment on
- > May 12, 2014.
- >

- > We have attached a letter to the Board of Adjustment and additional
- > material regarding the owner's request. Please confirm that you have
- > received this and it will be included in the Board of Adjustment's

Heldenfels, Leane

From: Kellogg, Eben <Eben.Kellogg@austinenergy.com>
Sent: Friday, May 09, 2014 3:56 PM
To: Heldenfels, Leane; Ramirez, Diana
Subject: amendment to BOA decision

ALEJANDRA FREDES

I-7

C15-2014-0063

JEFF MOORE FOR

6900 GAUR DRIVE

OUTSIDE OF AUSTIN ENERGY'S SERVICE AREA – NO COMMENT

HI GUYS, JUST WANTED TO LET YOU KNOW I HAD PUT IN THE WRONG COMMENT FOR THIS ADDRESS, IT IS OUTSIDE OUR SERVICE BOUNDARY.

Eben Kellogg
Austin Energy
Public Involvement | Real Estate Services
2500 Montopolis Drive
Austin, TX 78741
512.322.6050

CASE # C15-2014-0063
ROW # 111 22991
TAX ROLL# 04 16401914

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 6900 Gaur Drive, 78749

LEGAL DESCRIPTION: Subdivision - Circle C Ranch Phs A Sec 4

Lot(s) 15 Block M Outlot _____ Division _____

I/We Champion on behalf of myself/ourselves as authorized agent for
Alejandra Fredes affirm that on April 2, 2014,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

☒ ERECT ☐ ATTACH ☐ COMPLETE ☐ REMODEL ☐ MAINTAIN

12x13 Covered Patio Room on existing rear patio foundation.

in a SF-2 district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

Impervious coverage and building coverage calculations exceed the city of Austin's requirements.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

The home was built outside the City of Austin's building and impervious coverage requirements

when home was built.

- (b) The hardship is not general to the area in which the property is located because:

Home was built prior to the city of Austin annexing the portion of the county.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The room will be built on existing rear patio foundation.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

It is on the rear of the property.

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:


Simple addition built to code.

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

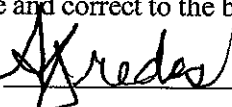
APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 9104 Cameron Rd, 100

City, State & Zip Austin, TX 78754

Printed Jeff Moore Phone 512-345-1953 Date 4/2/14




OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 6900 Gour DR

City, State & Zip Austin, TX 78749

Printed Alejandra Fredes Phone 512-660-5159 Date 4/2/14



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

CASE#: C15-2014-0063
Address: 6900 GAUR DRIVE



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 200'

LOT 23

S 51°37'23" E 71.34' (ACTUAL TYP.)
S 51°20'43" E 70.73' (RECORD TYP.)

**LOT 15
BLOCK "M"**

101.68'
101.83'

100.00'
99.95'

WOOD FENCE



SINGLE STORY
WOOD FRAME
BRICK VENEER

BEARING BASIS

N 32°10'57" E
N 32°35'02" E

S 38°39'17" W
S 38°39'17" W

15' BLDG. LINE PER PLAT

5' X 10' P.U.E. PER PLAT

5' X 10' P.U.E. PER PLAT

C1

L1

CONC. C & G

GAUR DRIVE

(50' ROW)

NOT AE POWER

AE APPROVED

MAR 17 2014

RLS 76-15

LINE NO.	BEARING & DISTANCE	
L1	ACTUAL	N 51°31'01" W 36.00'
	RECORD	N 51°20'43" W 35.17'
C1	ACTUAL	N 54°30'36" W C=23.91'
	RECORD	N 54°22'50" W C=23.83'

PROPERTY SUBJECT TO RESTRICTIVE COVENANTS RECORDED IN VOL. 94, PG. 93, PLAT RECORDS, VOL. 10585, PG. 110, VOL. 10627, PG. 771, VOL. 10729, PG. 1153, VOL. 10961, PG. 851, VOL. 11003, PG. 1060, VOL. 11134, PG. 1045, VOL. 11924, PG. 139, VOL. 12244, PG. 1855, VOL. 12265, PG. 471, VOL. 12403, PG. 495, VOL. 12515, PG. 236 AND VOL. 12515, PG. 241, REAL PROPERTY RECORDS.

CATV ESMNTS. RECORDED IN VOL. 11120, PG. 213 AND VOL. 11606, PG. 196, REAL PROPERTY RECORDS, ARE RESTRICTED TO WITHIN THE R.O.W.S & P.U.E.S SHOWN HEREON.

PLAT OF SURVEY

Survey No. **981340**

SCALE: 1" = 20'

-- 0801503

J Moore

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Existing Building Coverage (sq ft): 2527 % of lot size: 38.57Proposed Building Coverage (sq ft): 2683 % of lot size: 40.95**Site Development Information****Impervious Cover Information**

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Cover (sq ft): 3089 % of lot size: 46.84Proposed Impervious Cover (sq ft): same % of lot size: **Setbacks**Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513) Y ☒ NDoes any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y ☒ NIs front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) Y ☒ N**Height Information** (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)Building Height: 9 ft Number of Floors: 1**Parking** (LDC 25-6 Appendix A & 25-6-478)# of spaces required: 0 # of spaces provided: 0**Right-of-Way Information**Is a sidewalk required for the proposed construction? (LDC-6-353) Y ☒ N

*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y ☒ NWidth of approach (measured at property line): 0 ft Distance from intersection (for corner lots only): 0 ftAre storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y ☒ N**Area Description**

Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.

Building and Site Area

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
1 st floor conditioned area			
2 nd floor conditioned area	2049		2049
3 rd floor conditioned area			
Basement			
Covered Parking (garage or carport)			
Covered Patio, Deck or Porch	429		429
Balcony	49	156	205
Other			
Total Building Coverage			
Driveway			
Sidewalks	256		256
Uncovered Patio	30		30
Uncovered Wood Deck (counts at 50%)	208	-156	52
AC pads			
Other (Pool Coping, Retaining Walls)	27		27
Total Site Coverage			
Pool	3089		3089
Spa			

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 – phone
(512) 974-9112 – phone
(512) 974-9109 – fax
(512) 974-9779 – fax

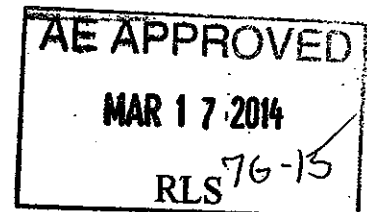


Austin Energy
Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only

Responsible Person for Service Request <u>Thomas Kille</u>		
Email <u>austin@getchampion.com</u>	Fax <u>512-345-1954</u>	Phone <u>512-345-1953</u>
<input type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Remodeling
Project Address <u>6900 Gaur Drive</u>		OR
Legal Description <u>Circle C Ranch Pks A Sec 4</u> Lot <u>15</u> Block <u>M</u>		
Who is your electrical provider? <input type="checkbox"/> AE <input checked="" type="checkbox"/> Other <u>PEC</u>		
<input type="checkbox"/> Overhead Service	<input type="checkbox"/> Underground Service	<input type="checkbox"/> Single-phase (1Ø) <input type="checkbox"/> Three-phase (3Ø)
Location of meter _____		
Number of existing meters on gutter _____ (show all existing meters on riser diagram)		
Expired permit # _____		
Comments <u>Addition of Sun room</u>		
NOT AE POWER		
ESPA Completed by (Signature & Print Name) _____		Date _____ Phone _____
Approved <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
AE Representative _____	Date _____	Phone _____

Application expires 180 days after the date of approval
(Any change to the above information requires a new ESPA)



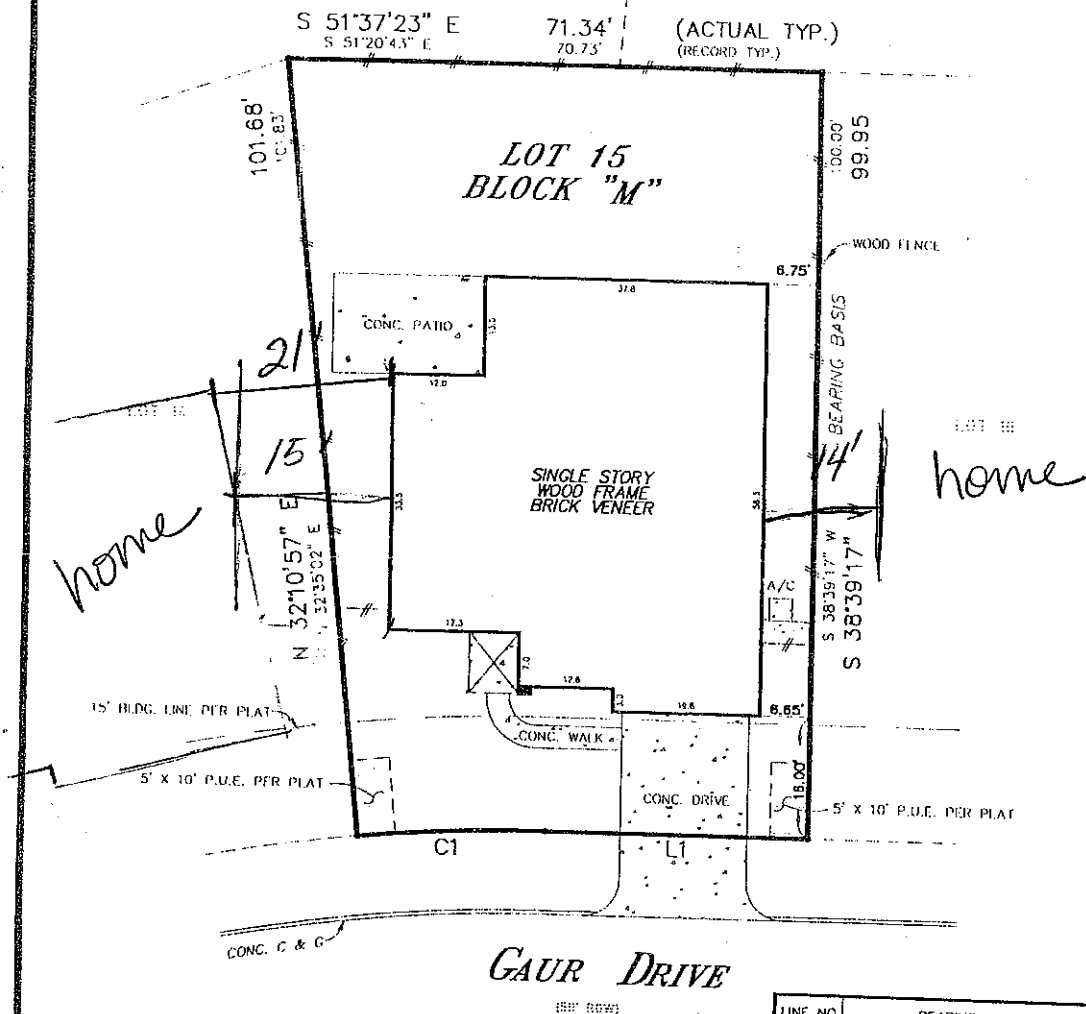
C19-2014-0063



CL5-2014-0063







LINE NO.	BEARING & DISTANCE		
	ACTUAL	BEARING	DISTANCE
L1	ACTUAL	N 51°31'01" W	36.00'
	RECORD	N 51°20'43" W	35.17'
C1	ACTUAL	N 54°30'36" W	C=23.91'
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PROPERTY SUBJECT TO RESTRICTIVE COVENANTS RECORDED IN VOL. 94, PG. 93, PLAT RECORDS, VOL. 10585, PG. 110, VOL. 10627, PG. 771, VOL. 10729, PG. 1153, VOL. 10961, PG. 851, VOL. 11003, PG. 1060, VOL. 11134, PG. 1045, VOL. 11924, PG. 139, VOL. 12244, PG. 1855, VOL. 12265, PG. 471, VOL. 12403, PG. 495, VOL. 12515, PG. 236 AND VOL. 12515, PG. 241, REAL PROPERTY RECORDS.

CATV FSMNTS. RECORDED IN VOL. 11120, PG. 213 AND VOL. 11606, PG. 196, REAL PROPERTY RECORDS, ARE RESTRICTED TO WITHIN THE R.O.W.S & P.U.E.S SHOWN HEREON.

PLAT OF SURVEY

Survey No. 981340 SCALE: 1" = 20' GF 9801593

Said lot is/is not in a special flood hazard area as identified by the Federal Emergency Management Agency on Community Panel No. 48453C 0300E & P/LR PLAT Dated: JUNE 16, 1993 (ZONL X)

LOT NO. 15 BLOCK NO. "M"

ADDITION OR SUBDIVISION CIRCLE C RANCH, PHASE A, SECTION FOUR, VOLUME 94, PAGE 93

STREET ADDRESS 6900 GAUR DRIVE CITY AUSTIN COUNTY TRAVIS

SURVEY FOR AMERICAN WESTERN MORTGAGE CO. REFERENCE L LYNN ARMENITROUT

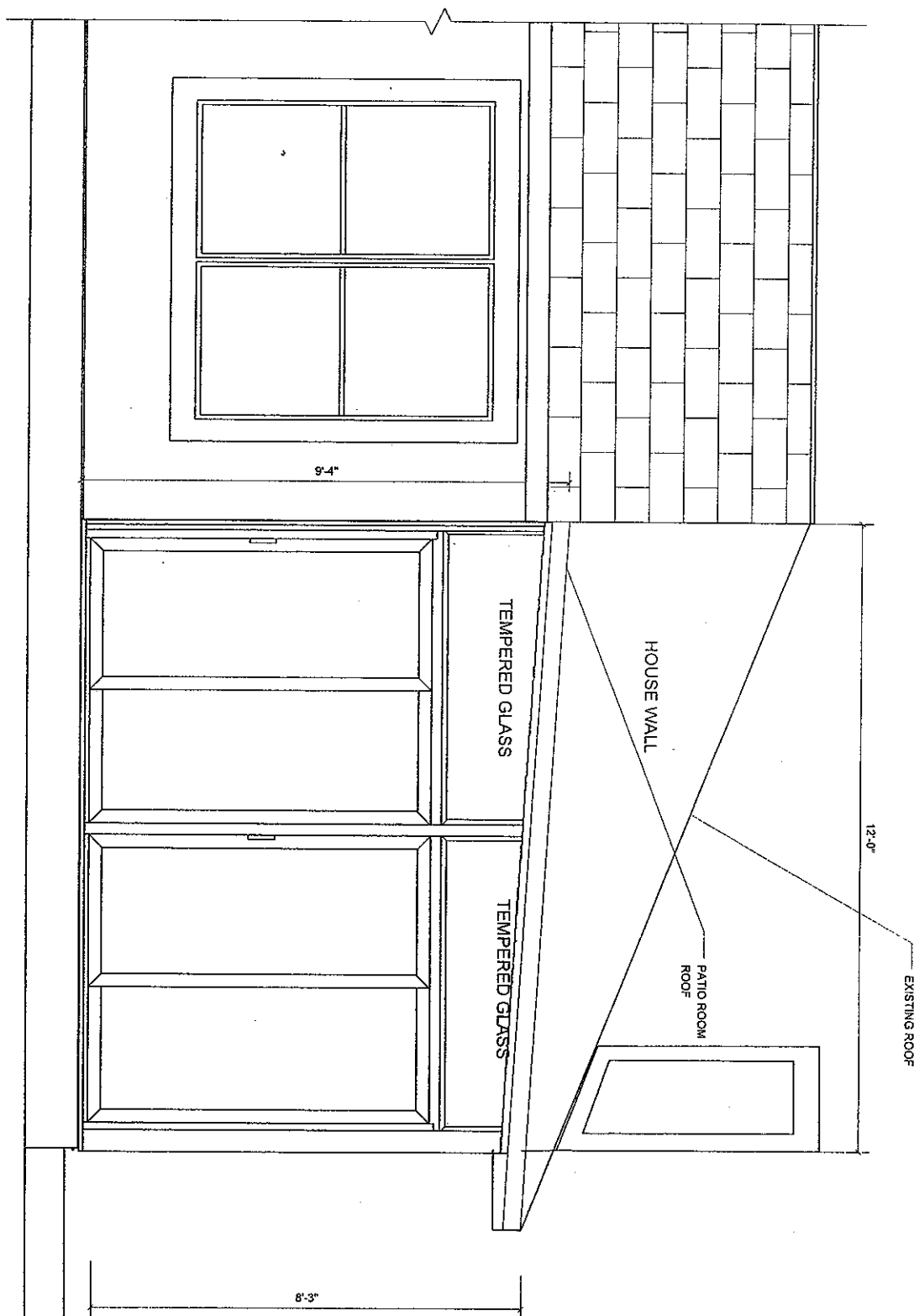
TO: LIONE & LEL, P.C. & CHICAGO TITLE INSURANCE COMPANY

STATE OF TEXAS, COUNTY OF TRAVIS

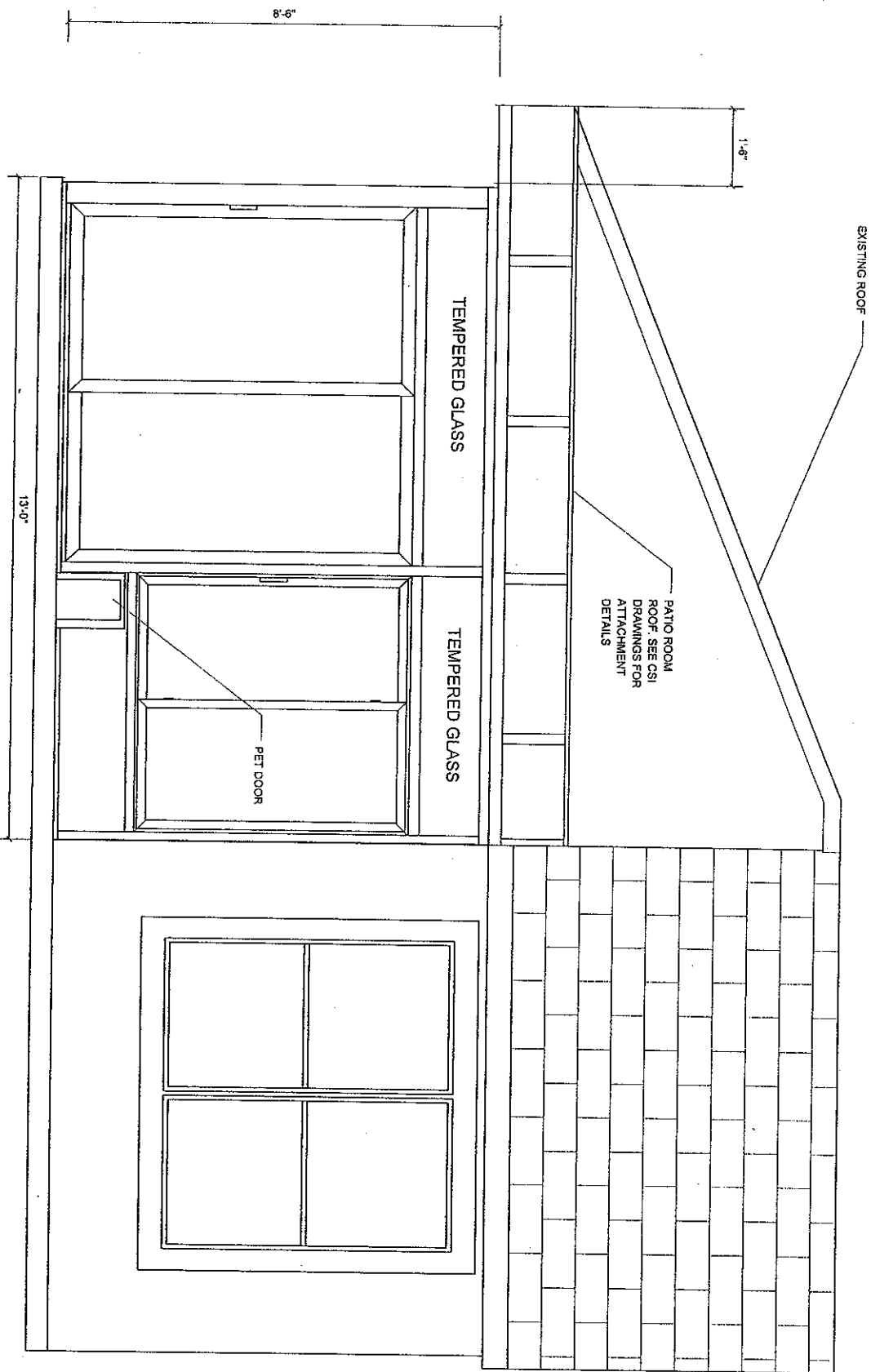
I HEREBY CERTIFY THAT THE ABOVE SURVEY WAS MADE THIS DAY ON THE GROUND AND IS TRUE AND CORRECT, AND THAT THERE ARE NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, ENCRoACHMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE EXCEPT AS SHOWN HEREON AND SAID PROPERTY HAS ACCESS TO A DEDICATED ROADWAY, EXCEPT AS SHOWN HEREON.

SNS ENGINEERING, INC.
12466 Los Indios Trail, Suite 101
Austin, Texas 78729
(512) 335-3944 * (512) 250-8685 (Fax) JM 269/50

Date: 07-15-98



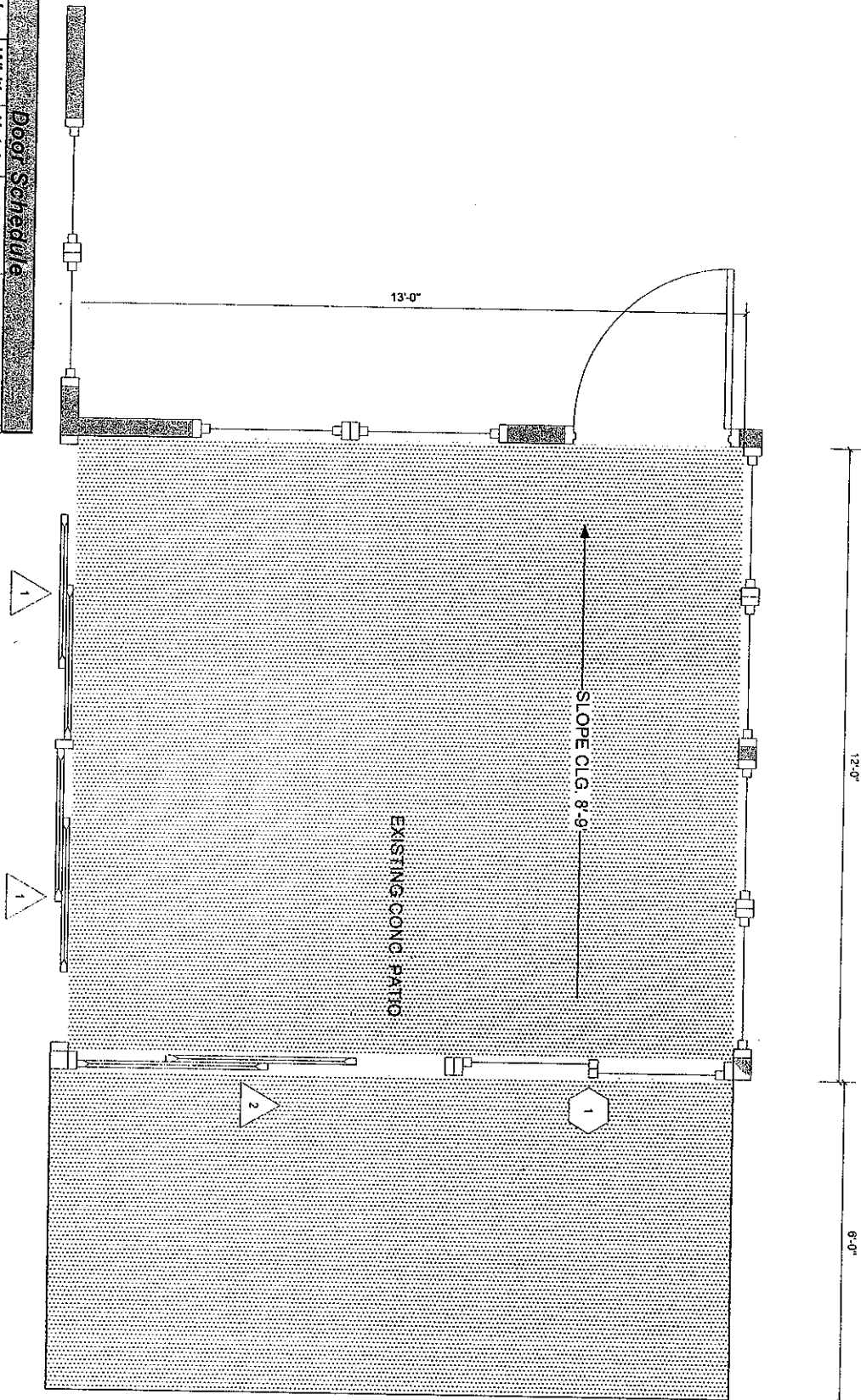
1	Over 75 Locations Nationally - Showroom & Service Locally			
	CHAMPION Windows • Sun Rooms • Home Exteriors			
6900 GAUR DR.	SIZE	FSCM NO	DWG NO	REV
LEFT ELEV.	SCALE	1/2" = 1'-0"	SHEET	1 OF 7



<h1 style="margin: 0;">2</h1>	Over 75 Locations Nationally - Showroom & Service Locally			
	<h2 style="margin: 0;">CHAMPION</h2>			
Windows • Sun Rooms • Home Exteriors				
6900 GAUR DR. FRONT ELEV.	SIZE	FSCM NO	DWG NO	REV
	SCALE	1/2" = 1'-0"	SHEET	2 OF 7

Door Schedule				
Number	Width	Height	Type	Panel Thickness
1	5 ft. 7 in.	80 in.	Single Sliding	1.5 in.
2	5 ft. 7 in.	80 in.	Single Sliding	1.5 in.
2	7 ft.	80 in.	Single Sliding	1.5 in.

Window Schedule			
Number	Width	Height	Type
1	5 ft. 4 in.	48 in.	Glider



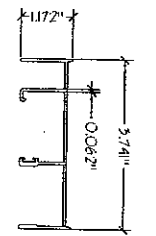
3	Over 75 Locations Nationally - Showroom & Service Locally			
	CHAMPION Windows • Sun Rooms • Home Exteriors			
6900 GAUR DRIVE	SIZE	FSCM NO	DWG NO	REV
FLOOR PLAN	SCALE	1/2" = 1'-0"	SHEET	4 OF 7

12'-6"

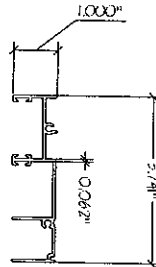
13'-6"

3X4" INSULATED ROOF
PANELS. SEE CES
DRAWINGS FOR
ATTACHMENT DETAILS

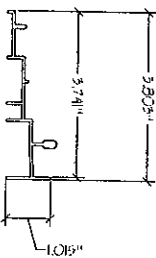
4	Over 75 Locations Nationally - Showroom & Service Locally			
	CHAMPION Windows • Sun Rooms • Home Exteriors			
FREDES	SIZE	FSCM NO	DWG NO	REV
ROOF	SCALE	1/2" = 1'-0"	SHEET	5 OF 7



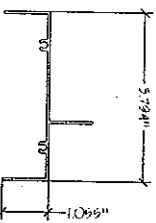
1 WINDOW/DOOR FRAME HEAD



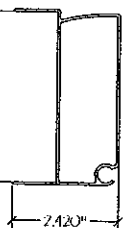
2 WINDOW/DOOR FRAME JAMB



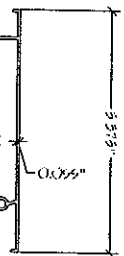
3 WINDOW/DOOR FRAME SILL



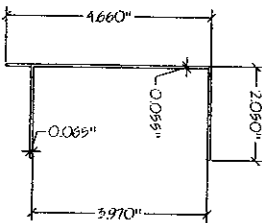
4 TRANSOM FRAME



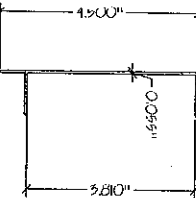
5 HEADER BASE



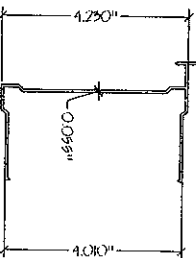
6 HEADER POST



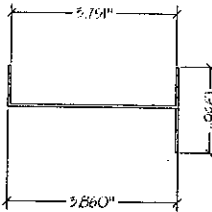
7 4" EXPANDER



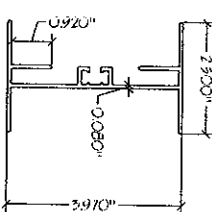
8 4" F-CHANNEL



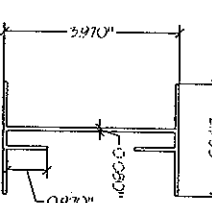
9 4" HANGER BASE



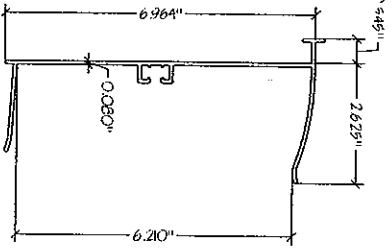
10 4" SILL EXTENSION



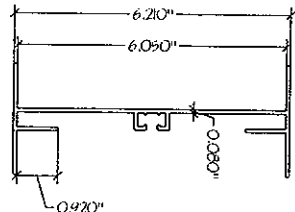
11 4" L-SECTION TERM



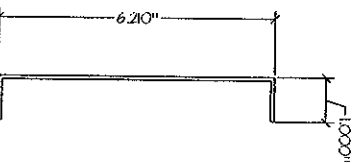
12 4" NON-TERM L-SECTION



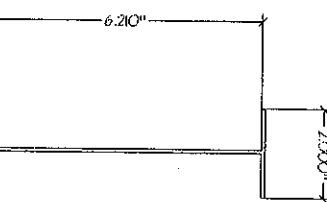
13 6" HANGER BASE



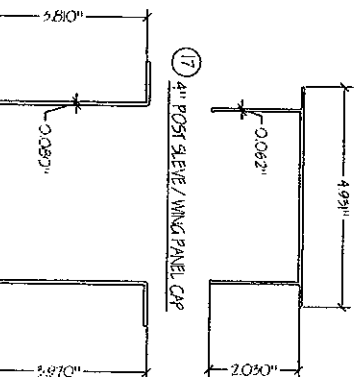
14 6" L-BEAM



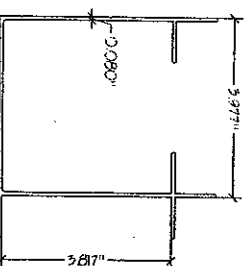
15 6" F-CHANNEL



16 6" SILL



17 4" POST SLEEVE / WING PANEL CAP



18 4" POST SLEEVE

DATE: 1/25/2011	SCALE: NTS	DRAWN BY: M.G.	REV:	DATE:
SHEET: 1 OF 5				

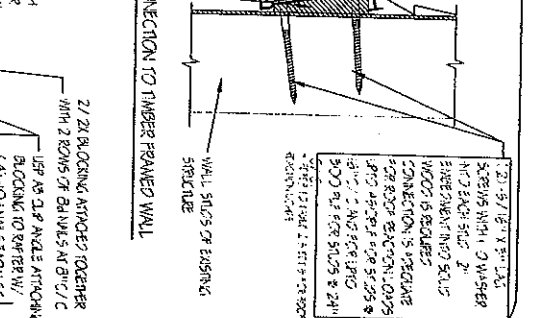
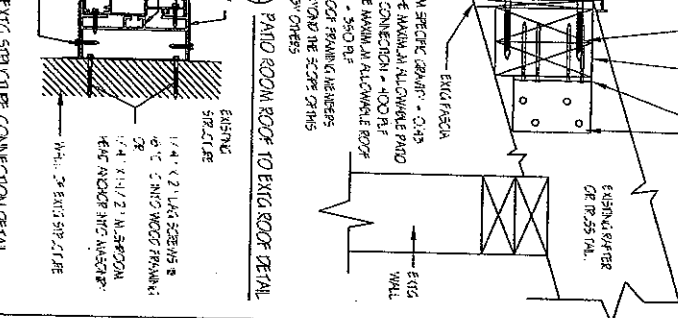
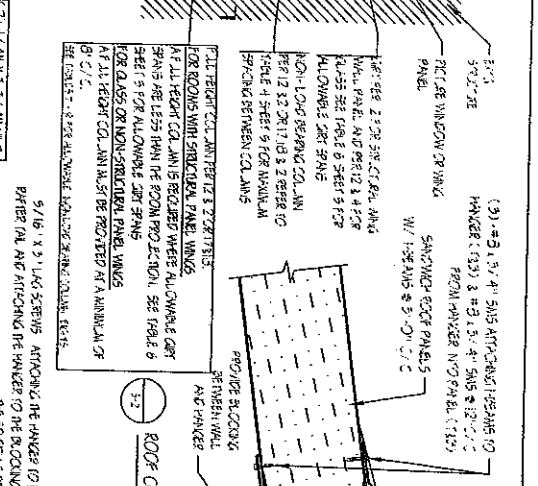
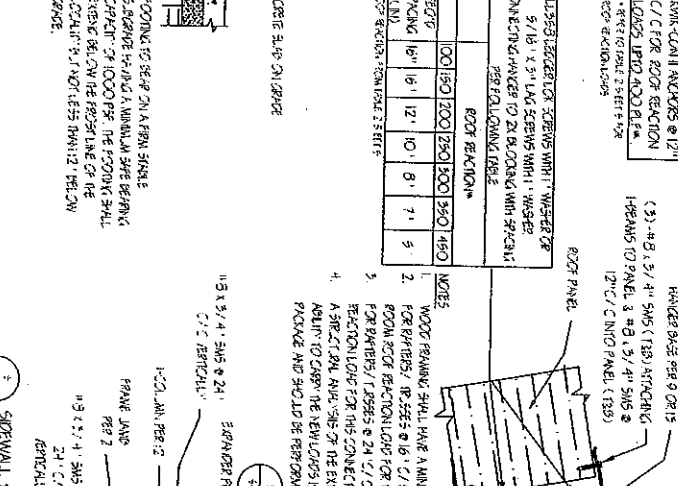
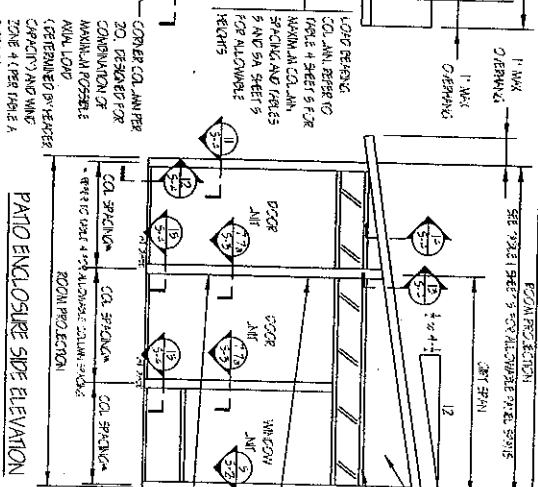
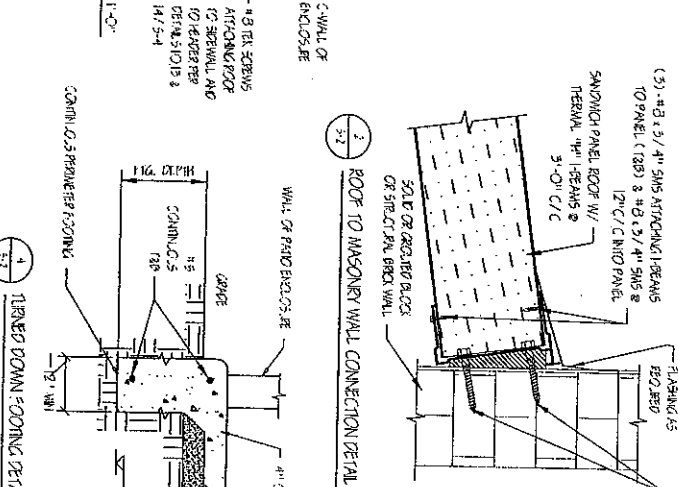
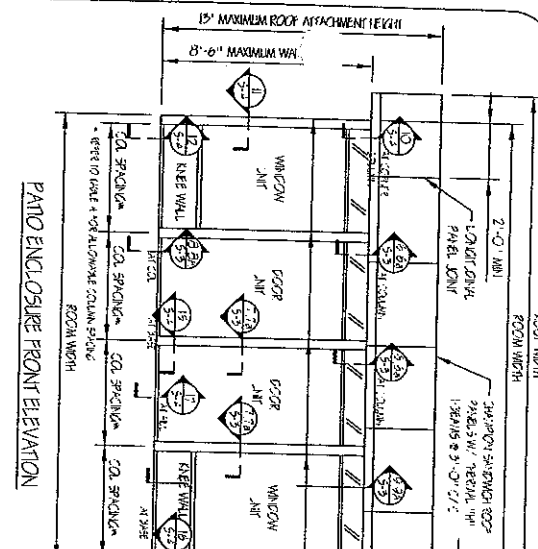
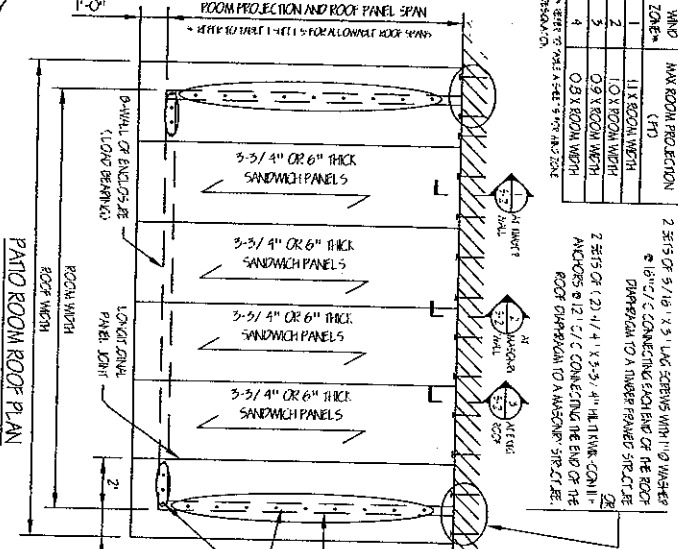
CHAMPION WINDOWS AND PATIO ROOMS
4" Wall System with Studio Style Roof

SECTION DETAILS

CES

CHAMPION ENCLOSURE SUPPLIERS

12111 CHAMPION WAY, CINCINNATI, OH 45241

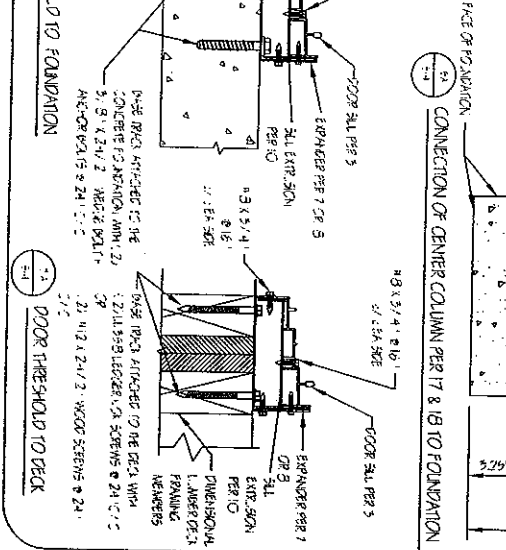
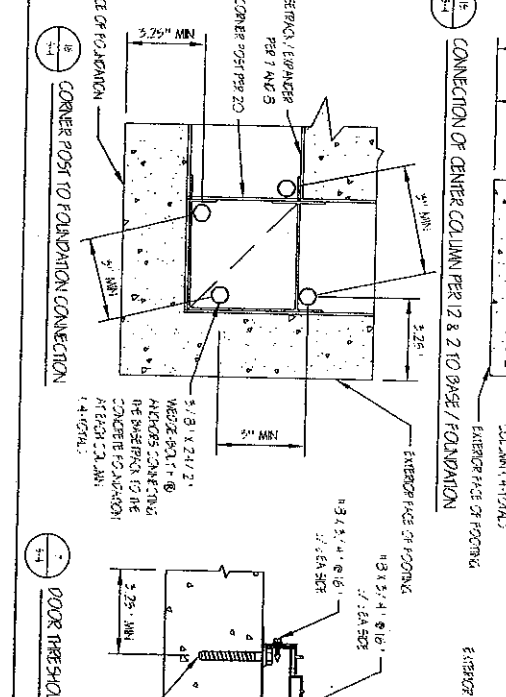
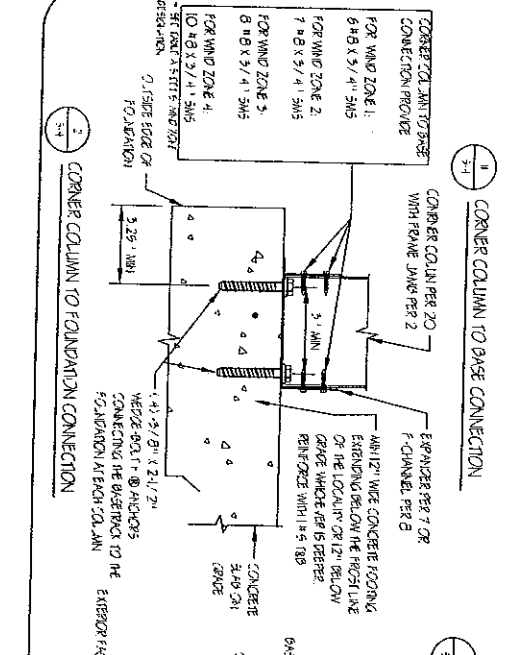
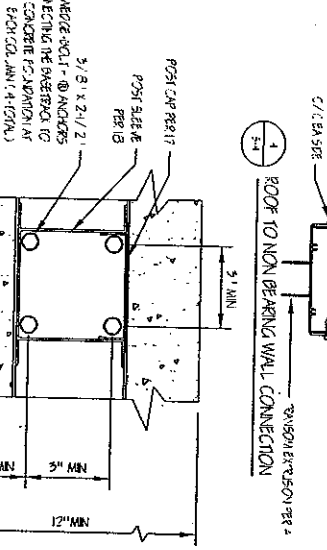
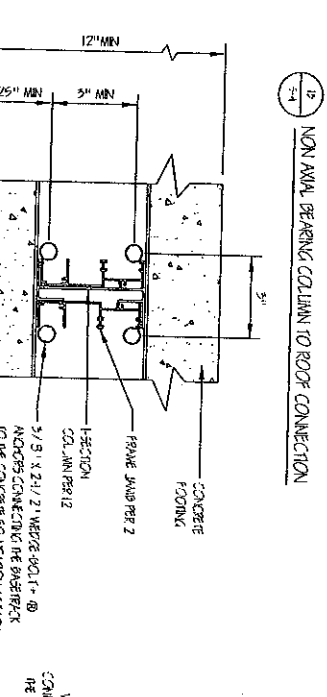
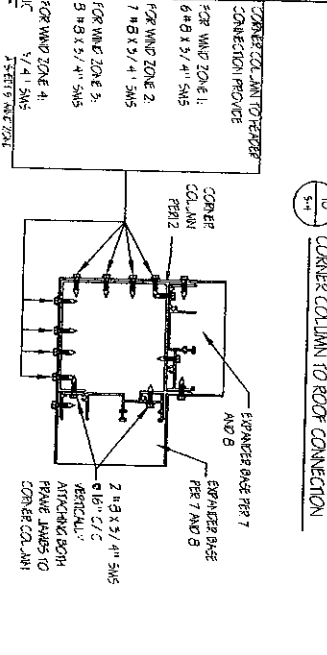
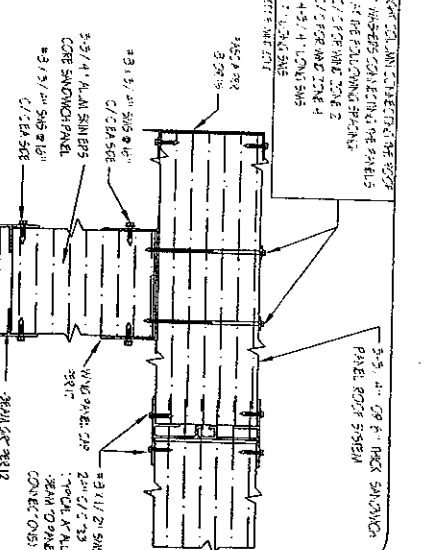
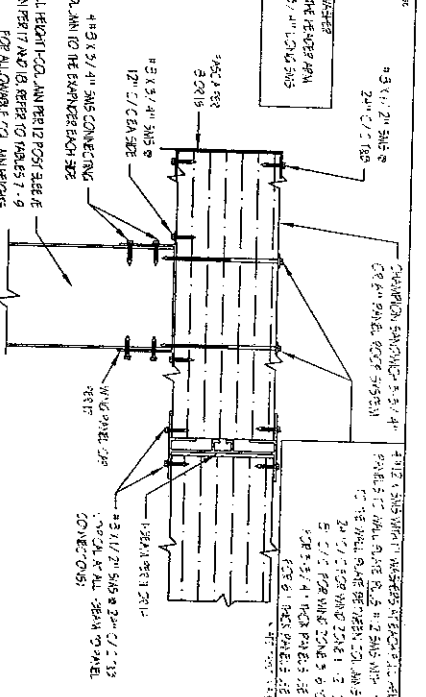
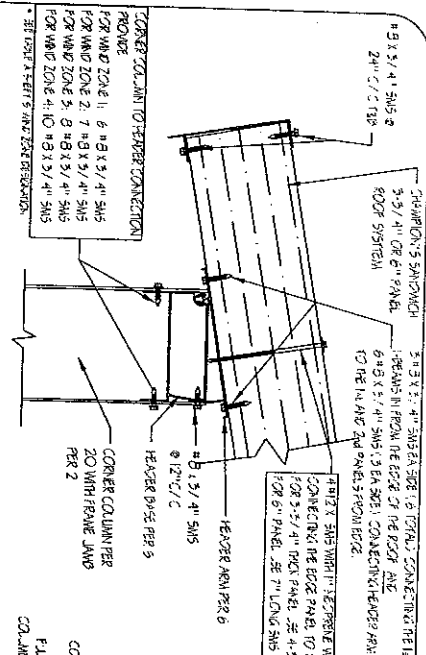


DATE:	1/25/2011
SCALE:	1/2" = 1'-0"
DRAWN BY:	MJG
REV:	
DATE:	

CHAMPION WINDOWS AND PATIO ROOM
4" Wall System with Studio Style Roof

ELEVATION AND SECTION DETAILS

CES
CHAMPION ENCLOSURE SUPPLIERS
12111 CHAMPION WAY, CINCINNATI, OH 45241



CES
CHAMPION ENCLOSURE SUPPLIES
12111 CHAMPION WAY, CINCINNATI, OH 45241

CHAMPION WINDOWS AND PATIO ROOM
4" Wall System with Studio Style Roof

SECTION DETAILS

DATE: 1/25/2011

SCALE: NTS

Drawn by: MAG

REV: DATE:

SHEET 4 OF 5

