

CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, June 9, 2014

CASE NUMBER: C15-2014-0066

<input checked="" type="checkbox"/> Y	Jeff Jack
<input type="checkbox"/> N	Michael Von Ohlen
<input checked="" type="checkbox"/> Y	Ricardo De Camps
<input checked="" type="checkbox"/> Y	Bryan King 2 nd the Motion
<input type="checkbox"/> N	Fred McGhee
<input type="checkbox"/> N	Melissa Hawthorne
<input checked="" type="checkbox"/> Y	Will Schnier - Sallie Burchett (absent) Motion to Deny

APPLICANT: Christine Chun

OWNER: Christine Chun

ADDRESS: 57 ANTHONY ST

VARIANCE REQUESTED: The applicant has requested a variance to Section 25-2-492 (D) of the Site Development Standards to reduce the side setback from 5 feet to 1 foot in order to widen an existing carport by 3 feet (existing carport 8 feet 6 inches wide, expanding to 11 feet 6 inches wide) in an "SF-3- NP", Family Residence – Neighborhood Plan zoning district. (Holly)

BOARD'S DECISION: The public hearing was closed on Board Member Ricardo De Camps motion to Postpone to June 9, 2014, Board Member Melissa Hawthorne second on a 7-0 vote; **POSTPONED TO JUNE 9, 2014;** The public hearing was closed on Board Member Will Schnier motion to Deny, Board Member Bryan King second on a 4-3 vote (Board members Michael Von Ohlen, Stuart Hampton and Melissa Hawthorne nay); **DENIED.**

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Leane Heldenfels
Executive Liaison


Jeff Jack
Chairman

C1 -2014-0066

If you need assistance completing this application (general inquiries only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

Amended -
ROW

CASE # _____

**CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE**

WARNING: Filing of this appeal stops all affected construction activity.

**PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED
INFORMATION COMPLETED.**

STREET ADDRESS: 57 Anthony St. Austin, TX 78702

LEGAL DESCRIPTION: Subdivision - Driving Park Addition
South 40%

Lot(s) Lot 8 Block K Outlot 61 Division O

I/We Christine Chun on behalf of myself/ourselves as authorized agent for

Christine Chun affirm that on April 8, 2014,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

 ERECT X ATTACH COMPLETE REMODEL MAINTAIN

an extension to an existing carport to widen it from 8'6" to 11'6" (measured by the
concrete footing) and to widen the concrete driveway leading to the carport to 14'6".

This requires a 4' variance into a 5' side setback including a 1' roof overhang.

in a SF-3-NP district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:
The existing carport has a usable width of 8'2" due to support posts. Entry is off of the alleyway, and the carport is not wide enough to safely allow a small car to go in or out.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:
The carport is insufficiently designed, resulting in an unsafe structure. The car doors can't open while parked, and I have hit and damaged the car on the carport 3 times in 2 months.

(b) The hardship is not general to the area in which the property is located because:
There are many properties with functional 1 or 2 car carports or garages, some with entry off of the alley.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:
There are many properties with 1 or 2 car carports or garages in the area. There will still be two feet between the carport structure and the neighbor's fence.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:
-
-
-
-

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 57 Anthony St.

City, State & Zip Austin, TX 78702

Printed Christine Chun Phone (512) 665-2226 Date 4/8/2014

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 57 Anthony St.

City, State & Zip Austin, TX 78702

Printed Christine Chun Phone (512) 665-2226 Date 4/8/2014

April 8, 2014

Hello!

I am requesting a setback variance for the property at 57 Anthony St. The setback concerned is at the rear of my property, but it is a side setback for a normal lot.

I purchased the property last November from the builder as a newly constructed home, and quickly found after moving in that the carport was too narrow to be used easily or safely. The car must be positioned very carefully within the carport to allow the driver's side door to open enough to exit the car, and even then it is a very tight squeeze. In the first two months of residence, I hit and damaged the car against the carport three times. I have a rather small car (Honda Civic), so I imagine the carport is simply unusable as such for any larger vehicle.

The driveway leading up to the carport was also not built according to the plans, resulting in a 8'6" driveway when a 12' driveway was drawn. There is no concrete supporting the arc between the alleyway and the carport where the car must drive in order to reach the carport, resulting in the car "falling" into the yard when entering or exiting the carport. This can't be good for the vehicle, and it is creating a hole in the yard.

Though the carport is drawn and built to be 8'6" wide (which I understand to be the minimum required in the city of Austin), there are 4" cedar support posts which make the actual usable width 8'2" wide.

I am requesting a setback variance to be able to widen the carport and driveway 3 feet, taking it to 11'6" (usable width of 11'2"). Typical carport widths seem to range from 10' to 12'. This variance would leave 2 feet of open ground between the carport and the neighbor's fence. The additional one foot of the variance is to accommodate the 1' roof overhang.

I have spoken with both of my adjacent neighbors, and they are all right with my proposal to widen the carport. I have also spoken with the Holly Neighborhood Coalition about my situation, and they are initially also in support of the modifications. Though I attended their last meeting to discuss the issue, we ran out of time to go into my request in detail. I have submitted my application materials to the Coalition's board so that they might review the modifications in further detail.

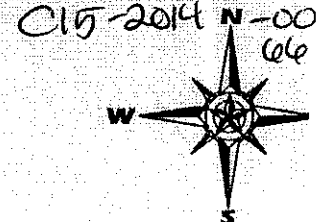
Thank you for taking the time to consider my request. I will look forward to speaking with you soon!

Sincerely,
Christine Chun

LEGEND

- CO - CLEANOUT
- EM - ELECTRIC METER
- WM - WATER METER
- STMH - STORM MANHOLE
- ST - STREET SIGN
- PP - POWER POLE
- P — - OVERHEAD POWER LINE
- O — - CHAINLINK FENCE
- W — - WOOD FENCE
- () - RECORD
- B.L. - BUILDING LINE
- L.C.E. "A" - LIMITED COMMON ELEMENT UNIT "A"
- L.C.E. "B" - LIMITED COMMON ELEMENT UNIT "B"
- ▲ - CONTROL MONUMENT

2101 HOLLY ST. CONDO DS CONDO PLAT



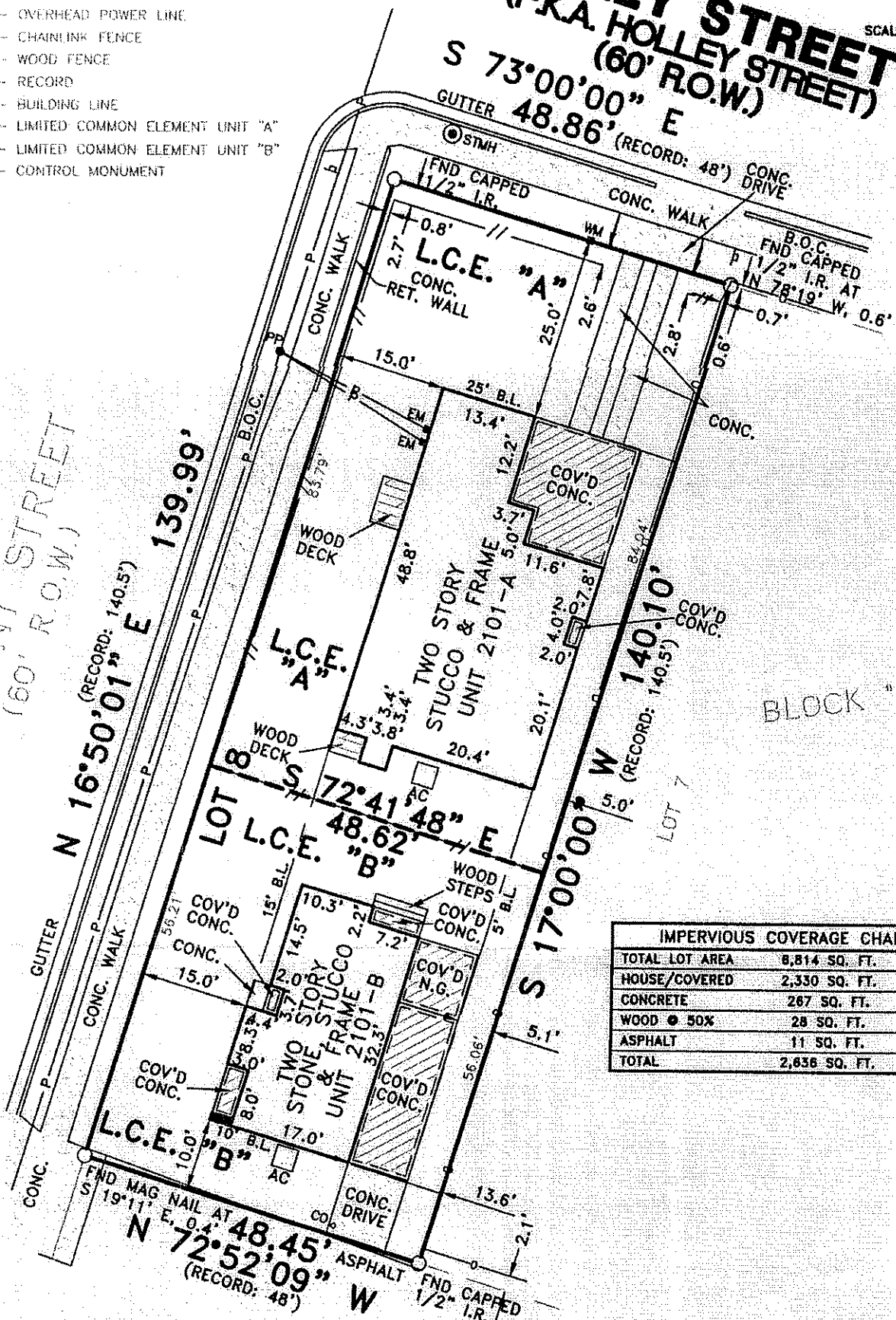
SCALE: 1" = 20'

HOLLY STREET (FKA. HOLLEY STREET) (60' R.O.W.)

S 73°00'00" E
48.86' (RECORD: 48')

ANTHONY STREET
(60' R.O.W.)

N 16°50'01" E
(RECORD: 140.5')
139.99'



BLOCK "K"

IMPERVIOUS COVERAGE CHART		
TOTAL LOT AREA	8,814 SQ. FT.	-
HOUSE/COVERED	2,330 SQ. FT.	34.2 %
CONCRETE	267 SQ. FT.	3.0 %
WOOD @ 50%	28 SQ. FT.	0.4 %
ASPHALT	11 SQ. FT.	0.2 %
TOTAL	2,636 SQ. FT.	38.7 %

I do hereby certify that this survey was this day made on the ground under my direct supervision and that this plat correctly represents the property legally described hereon (or on attached sheet). That the facts found at the time of this survey show the improvements and that there are no

ALLEY
(15' R.O.W.)

I, Luz Maria Vasquez,
 who lives at 2103 Holly St.

have reviewed the modifications to the carport requested at 57 Anthony Street, and I am fine with
 the setback variance required.

Luz Maria Vasquez printed name
Luz Maria Vasquez signature
4-7-2014 date

____ printed name
 ____ signature
 ____ date

I, Zac Martinsen,

who lives at 2101 Holly St.,

have reviewed the modifications to the carport requested at 57 Anthony Street, and I am fine with the setback variance required.

Zac Martinsen printed name

 signature

4/6/14 date

_____ printed name

_____ signature

_____ date

C15-2014-0066

SHEET INDEX:
A1.0 SITE PLAN
A2.0 FLOOR PLANS
A3.0 ELEC. PLANS
A4.0 ELEVATIONS
A5.0 BLDG SECTIONS
A6.0 ROOF PLAN/
WINDOW SCHEDULE
A7.0 INTERIOR ELEVATIONS

GENERAL NOTES:

1. On site work drawings, if a detail dimension is not given, consult the designer.
2. Contractor to find utility of site conditions, dimensions, grade elevations, and topography prior to start of construction.
3. In case of discrepancies or conflicts on the drawings, or between the drawings and the existing site conditions, the contractor is responsible for consulting the designer before proceeding with any work.
4. All dimensions are to face of structure unless otherwise noted.
5. All components, materials, assemblies and finishes to be constructed and installed per manufacturer's recommendations, code materials and approved building practices.
6. Engineering for foundations to be provided by local engineer.
7. All work shall be performed in accordance with all applicable codes, regulations, and standards having jurisdiction. If there are any questions or conflicts concerning compliance with such codes, regulations, or standards, the contractor is responsible for advising the architect before proceeding with any work.
8. Regulatory codes:
2008 International Energy Conservation Code
2008 International Building Code - Commercial Construction
2008 International Building Code - Residential Building
2008 International Plumbing Code
2008 International Fire Code
2008 Uniform Mechanical Code - Commercial
2008 Uniform Mechanical Code - Residential
2011 International Electrical Code - All electrical installation
2011 International Fire Code - All fire alarm and detection
9. Complete Plumbing, Electrical, and Mechanical systems shall be provided and installed by licensed subcontractors, and the design of these systems is not included in the scope of these drawings.
10. Foundation design and structural design is by others and is not included in the scope of these drawings. Floor joists and roof truss design is by others and is not included in the scope of these drawings.
11. Contractor shall obtain all necessary permits required by this jurisdiction, as required by law.
12. Contractor shall be responsible for protecting all areas beyond and within the construction limits.
13. Contractor shall construct the appropriate utility connections to locate all underground utilities before starting any excavation or digging work.
14. These drawings and all reports thereof submitted by designer are an indication of service and are the property of the designer. They may be used only for the project and may not be copied without the designer's approval.
15. Minimum one inch deep per foot to meet or exceed standards per IRC R310.1 Minimum one inch deep per foot to meet or exceed standards per IRC R310.1
16. Storm to meet IRC R310.1 (Min. clear depth 36")
17. Square footage calculations given are based on these construction drawings, not actual finished building. Architect is not responsible for any additions or changes to square footage that are made in the field during construction.
18. Grade lines shown on site plan drawings shall not be construed to represent actual finished grades. Field grades are to be established by the contractor to vary per grade of existing lot.
19. Contractor to verify setting and location of all structures and existing easements.
20. Prior to building for future grade to meet or exceed standards as required.
21. Do not encroach the lot or disturb natural site, to subcontractors.
Cover sheet contains data pertaining to all sheets.

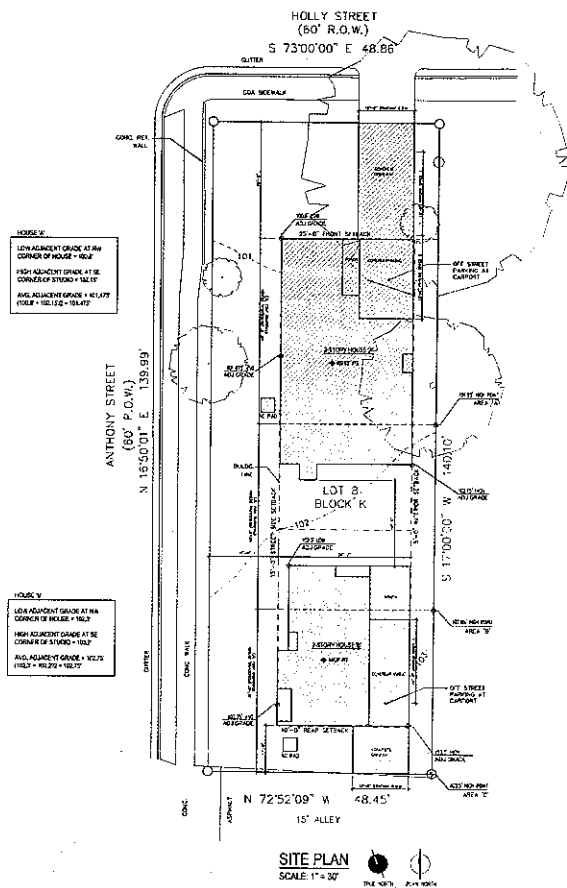
LOT SIZE: 6,744 sf

BUILDING AND SITE AREA			
AREA DESCRIPTION	HOUSE A' S' HOUSE B' S' TOTAL SF		
1ST FLOOR CONDITIONED AREA	1,145	596	1,741
2ND FLOOR CONDITIONED AREA			
BASEMENT			
COVERED PARKING	158	158	316
COVERED PATIO, DECK OR PORCH	54	146	200
BALCONY			
OTHER			
TOTAL BUILDING COVERAGE	1,357	940	2,297
DRIVEWAY	300	122	422
BIOWALKS			
UNCOVERED PATIO			
UNCOVERED WOOD DECK (50%)			
AC PAVES	9	9	18
OTHER (POOL, COPING ETC.)			
TOTAL SITE COVERAGE	1,646	1,071	2,717
POOL			
SPA			

2,777 sf 16,744 sf = 41% IMPERVIOUS COVER

GROSS FLOOR AREA			
AREA DESCRIPTION	HOUSE A' S' HOUSE B' S' EXEMPT TOTAL SF		
1ST FLOOR	1,145	596	1,741
2ND FLOOR	617	254	871
BASEMENT			
ATTIC			
GARAGE (ATTACHED)			
CARPORT (ATTACHED)	108	158	266
DETACHED			
ACCESSORY BLDG(S)			
TOTAL GROSS FLOOR AREA			2,612

2,612 sf 16,744 sf = 39 FAR/GFA



CONSTRUCTION SET
FOR SPEC HOUSE 'B'
57 ANTHONY ST.
AUSTIN, TX 78702



512-454-4600

Revision	No.	Date	By

Issue Date: 9/25/13
Scale: AS SHOWN

SITE PLAN
A1.0

SHEET INDEX:

- A1.0 SITE PLAN
- A2.0 FLOOR PLANS
- A3.0 ELEC. PLANS
- A4.0 ELEVATIONS
- A5.0 BLDG SECTIONS
- A6.0 ROOF PLAN/
- WINDOW SCHEDULE
- A7.0 INTERIOR ELEVATIONS

GENERAL NOTES:

1. Do not scale drawings. If a crucial dimension is not given, contact the designer.
2. Contractor to field verify all site conditions, dimensions, grade elevations, and topography prior to start of construction.
3. In case of discrepancies or conflicts on the drawings, or between the drawings and the existing site conditions, the contractor is responsible for contacting the designer before proceeding with any work.
4. All dimensions are to face of stud, unless noted otherwise.
5. All components, materials, assemblies and finishes to be constructed and installed per manufacturer's recommendations, code requirements and regulated building practices.
6. Engineering for foundation to be provided by local engineer.
7. All work shall be performed in accordance with all applicable codes, regulations, and standards having jurisdiction. If there are any questions or conflicts concerning compliance with such codes, regulations, or standards, the contractor is responsible for notifying the architect before proceeding with any work.
8. Applicable codes:
 - 2009 International Energy Conservation Code
 - 2009 International Building Code - Commercial Construction
 - 2009 International Residential Code - Residential Building
 - 2009 International Mechanical Code
 - 2009 Uniform Plumbing Code - Residential & Commercial Construction
 - 2009 Uniform Mechanical Code - Commercial
 - 2011 National Electrical Code - All electrical installations
9. Complete Plumbing, Electrical, and Mechanical systems shall be provided and installed by licensed subcontractors, and the design of those systems is not included in the scope of these drawings.
10. Foundation design and structural design is by others and is not included in the scope of these drawings. Floor truss and roof rafter design is by others and is not included in the scope of these drawings.
11. Contractor shall obtain all necessary permits related to this construction, as required by law.
12. Contractor shall be responsible for protecting all areas beyond and within the construction limits.
13. Contractor shall contact the appropriate utility companies to locate all underground utilities before starting any excavation or digging work.
14. These drawings and all copies thereof furnished by designer are an instrument of service and are the property of the designer. They may be used only for this project and

LOT SIZE: 6,744 sf

BUILDING AND SITE AREA				
AREA DESCRIPTION	HOUSE 'A' SF	HOUSE 'B' SF	HOUSE 'B'	TOTAL SF
1st FLOOR CONDITIONED AREA	1,145	586		1,741
2nd FLOOR CONDITIONED AREA				
3rd FLOOR CONDITIONED AREA				
BASEMENT				
COVERED PARKING	198	198		396
COVERED PATIO, DECK or PORCH	54	146		200
BALCONY				
OTHER				
TOTAL BUILDING COVERAGE	1,397	940		2,337
DRIVEWAY	300	122		422
SIDEWALKS				
UNCOVERED PATIO				
UNCOVERED WOOD DECK (50%)				
AC PATIOS	9	9		18
OTHER (POOL COPING ETC.)				
TOTAL SITE COVERAGE	1,646	1,071		2,717
POOL				
SPA				

2,777 sf / 6,744 sf = 41% IMPERVIOUS COVER

GROSS FLOOR AREA				
AREA DESCRIPTION	HOUSE 'A' SF	HOUSE 'B' SF	EXEMPT	TOTAL SF
1st FLOOR	1,145	586	X	1,741
2nd FLOOR	617	254		871
3rd FLOOR				
BASEMENT				
ATTIC				
GARAGE (ATTACHED)				
(DETACHED)				
CARPORT (ATTACHED)	198	198	396	0
(DETACHED)				
ACCESSORY BLDG(S)				
TOTAL GROSS FLOOR AREA				2,612

2,612 sf / 6,744 sf = .39 FAR/GFA

HOUSE 'A'
LOW ADJACENT GRADE AT NW
CORNER OF HOUSE = 100.7
HIGH ADJACENT GRADE AT SE
CORNER OF STUDIO = 102.15
(100.7 + 102.15) / 2 = 101.425

ANTHONY STREET

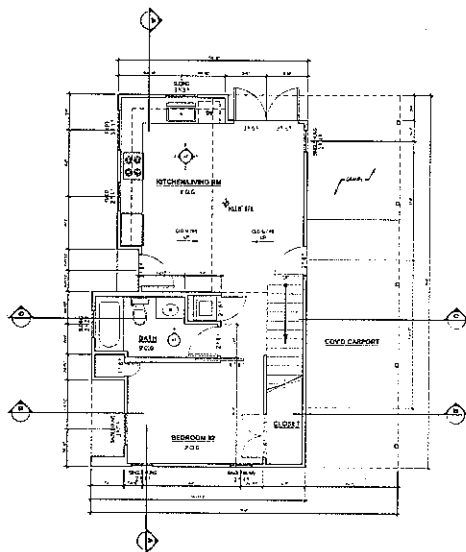
(60' P.O.W.)
N 16.50'01" E 139.99'

CONC. RET.
WALL

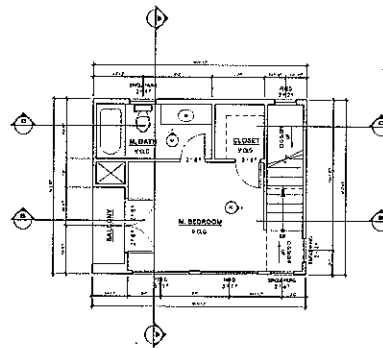
HOUSE 'B'

0900-H02-510

C15-204-0066



1st FLOOR PLAN
SCALE: 1/16" = 1'-0"



2ND FLOOR PLAN
SCALE: 1/16" = 1'-0"



CONSTRUCTION SET
FOR SPEC HOUSE 'B'
57 ANTHONY ST.
AUSTIN, TX 78702



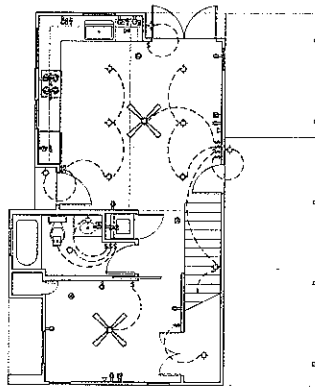
512-454-4600
www.austinfloorplans.com

Revisions		
No.	Date	By

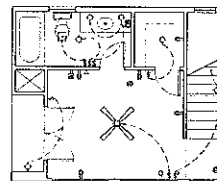
Issue Date: 5/21/25
Drawn: AEND/SP

FLOOR PLANS
A2.0

C15-2014-0066



1ST FLOOR ELEC. PLAN
SCALE: 1/4" = 1'-0"



2ND FLOOR ELEC. PLAN
SCALE: 1/4" = 1'-0"



512.796.7152
www.austinfloorplans.com

CONSTRUCTION SET
FOR SPEC HOUSE 'B'
57 ANTHONY ST.
AUSTIN, TX 78702



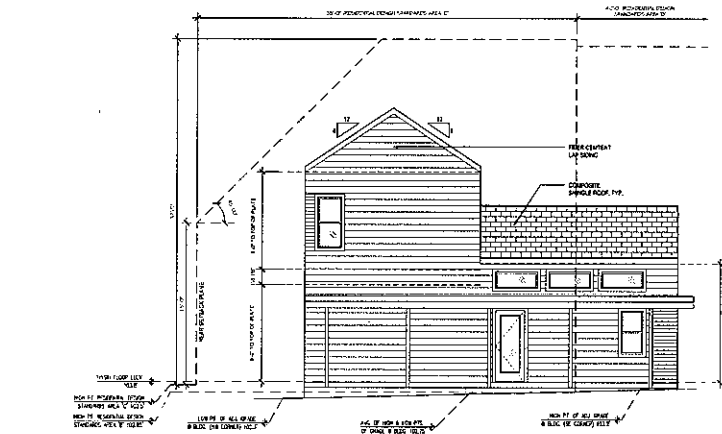
512-454-4600
austinfloorplans.com

Revisions	By	Date	Rev

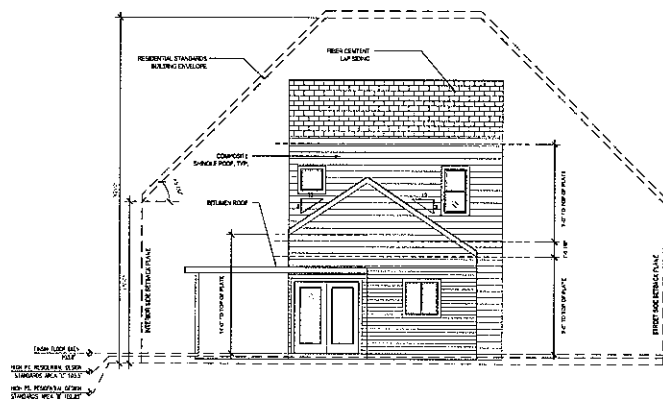
Issue Date: 5/21/17
Scale: AS SHOWN

ELECTRICAL
PLANS

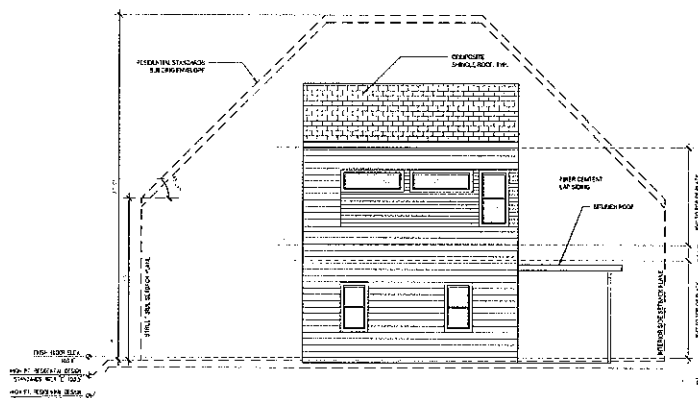
A3.0



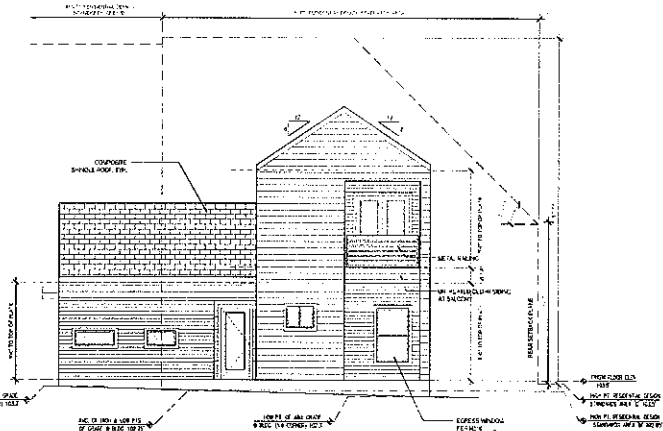
EAST ELEVATION
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"

AUSTIN
FLOOR PLANS

512.756.7113
WWW.AUSTINFLOORPLANS.COM

CONSTRUCTION SET
FOR SPEC HOUSE 'B'
57 ANTHONY ST.
AUSTIN, TX 78702

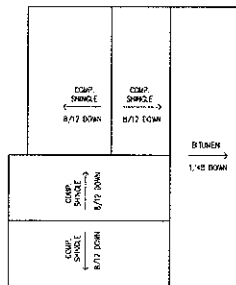


512-454-4600
austinfloorplans.com

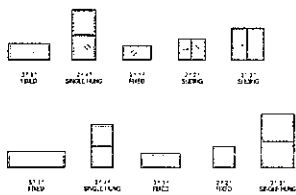
Revised	Date	By

ELEVATIONS
A4.0

C15-2014-0066



ROOF PLAN
SCALE: 3/16" = 1'-0"



WINDOW SCHEDULE



CONSTRUCTION SET
FOR SPEC HOUSE 'B'
57 ANTHONY ST.
AUSTIN, TX 78702



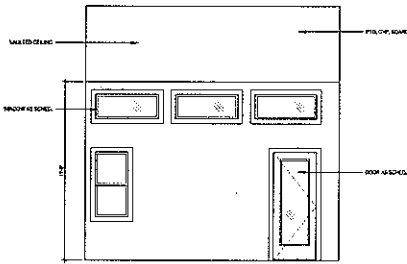
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austinfloorplans.com

Revised:
By Date Rev

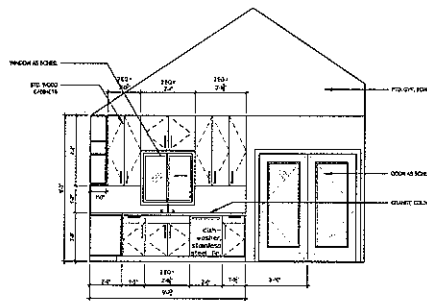
Issue Date: 5/26/17
Scale: AS SHOWN

ROOF PLANS/
WINDOW
SCHEDULES
A6.0

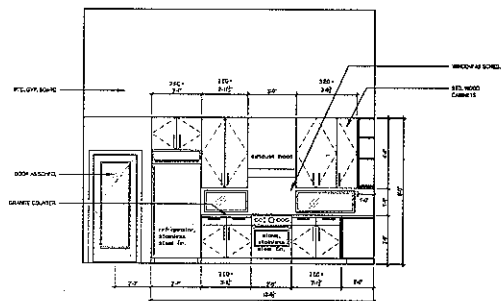
015-2014-0066



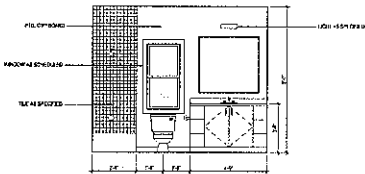
1 - INT. ELEVATION
SCALE: 3/8" = 1'-0"



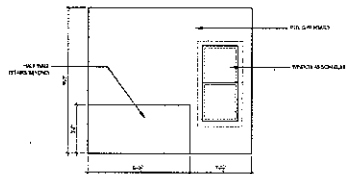
2 - INT. ELEVATION
SCALE: 3/8" = 1'-0"



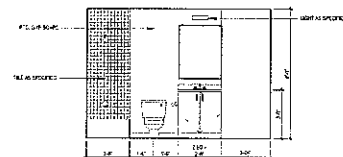
3 - INT. ELEVATION
SCALE: 3/8" = 1'-0"



4 - INT. ELEVATION
SCALE: 3/8" = 1'-0"



5 - INT. ELEVATION
SCALE: 3/8" = 1'-0"



6 - INT. ELEVATION
SCALE: 3/8" = 1'-0"



CONSTRUCTION SET
FOR SPEC HOUSE 'B'
57 ANTHONY ST.
AUSTIN, TX 78702



Revisions	No.	Date	By

INTERIOR
ELEVATIONS
A7.0

C19-2014-0066

Exhibits and supporting materials
for the carport variance request at

57 Anthony St.

78702

May 27, 2014

S 73°00'00" E 43.86

HOUSE "A"

LOW ADJACENT GRADE AT NW CORNER OF HOUSE = 100.2'

HIGH ADJACENT GRADE AT SE CORNER OF STUDIO = 102.15'

AVG. ADJACENT GRADE = 101.475'
(100.2' + 102.152' = 101.475')

HOUSE 27

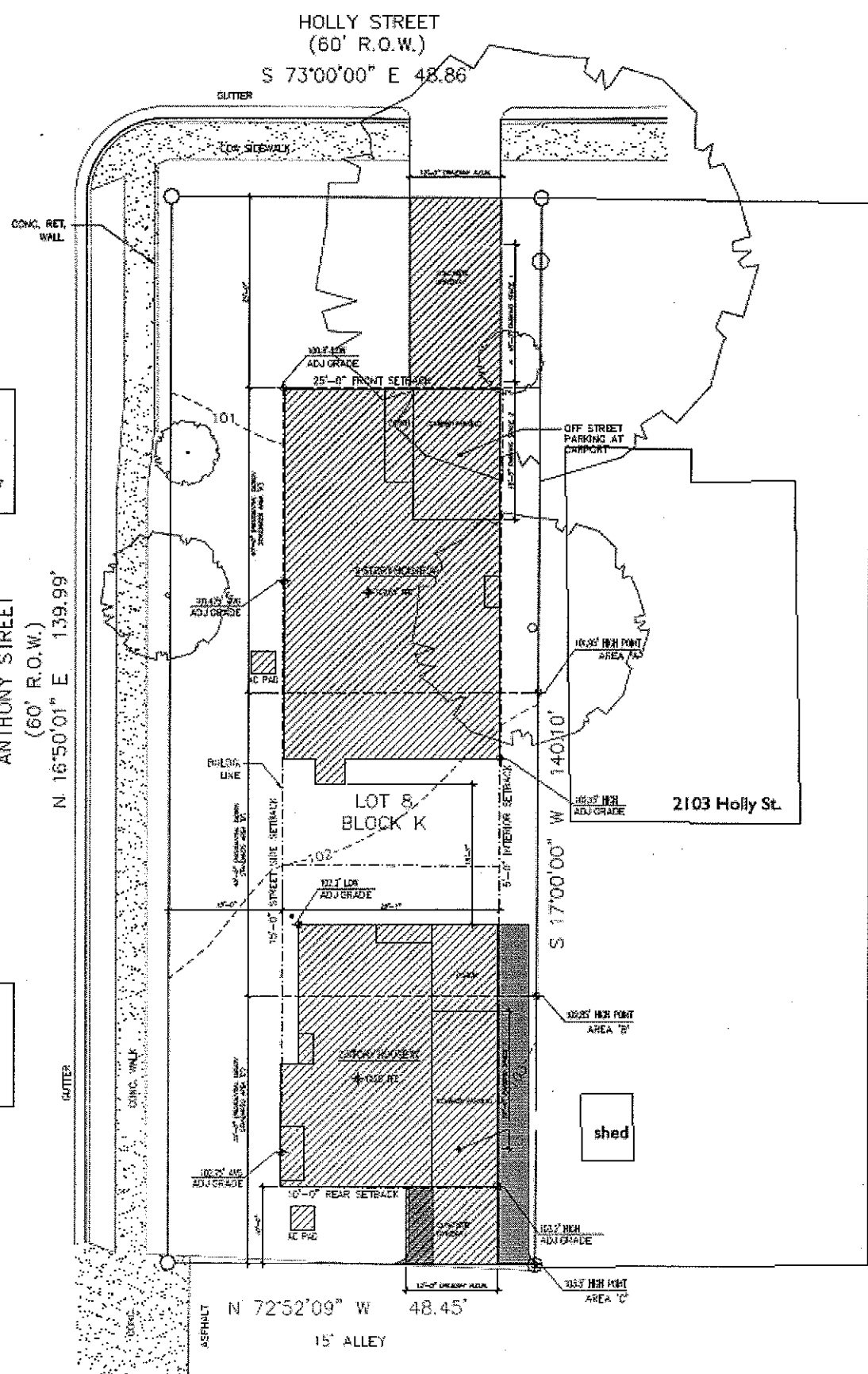
LOW ADJACENT GRADE AT NW CORNER OF HOUSE = 102.3'

HIGH ADJACENT GRADE AT SE CORNER OF STRIP = 102.2'

AVG. ADJACENT GRADE = 102.25'

102.3' + 102.25' = 102.25'

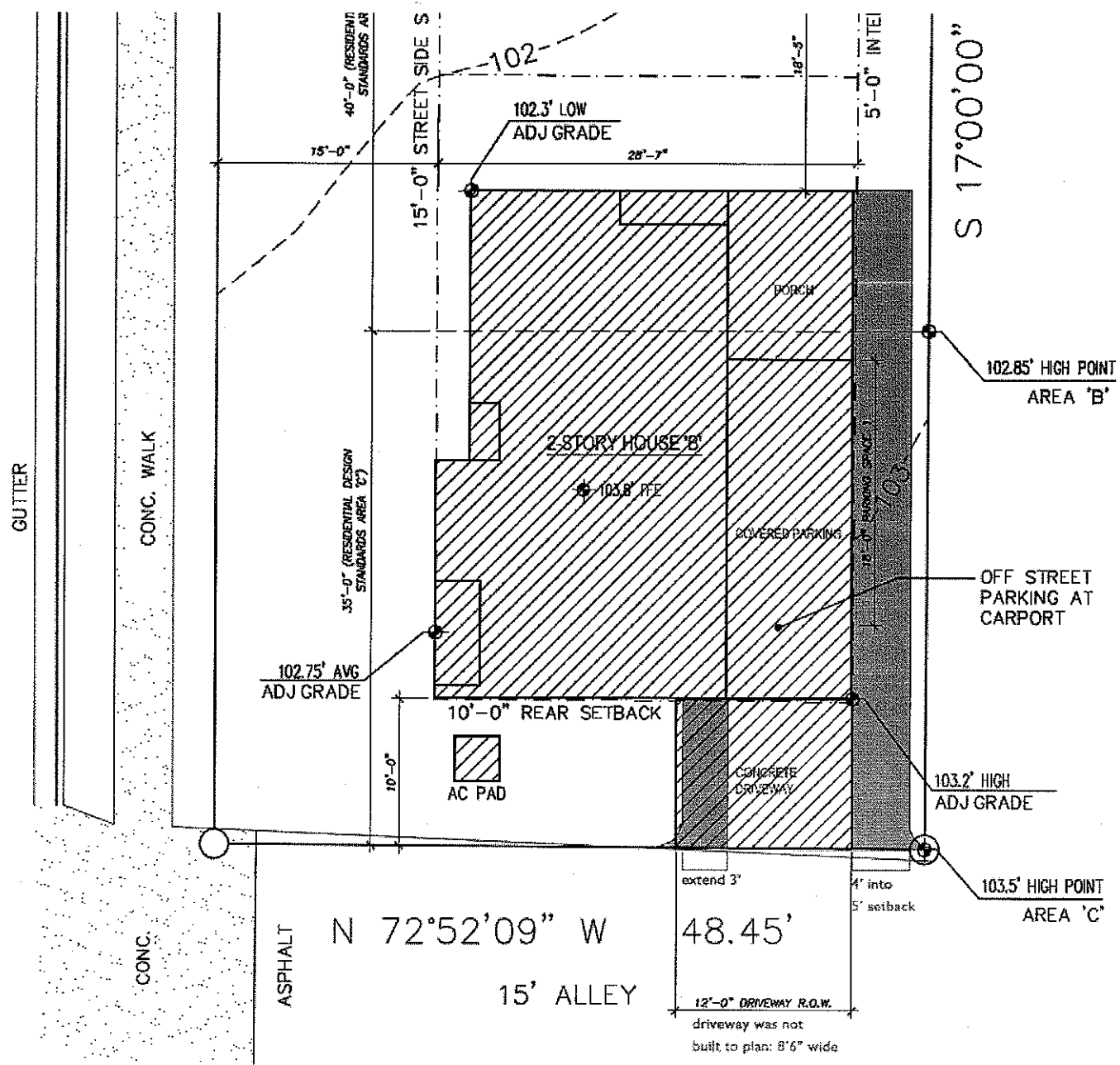
ANTHONY STREET
(60' R.O.W.)
N. 16°50'01" E 139.9



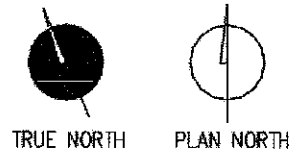
SITE PLAN
SCALE: 1" = 30'



Current, proposed, and adjacent structures. Proposed modifications in blue.



SITE PLAN
SCALE: 1" = 30'



Detail and measurements of the proposed changes.

Current carport photos.

This shows that the driver's side door cannot open comfortably while parked.

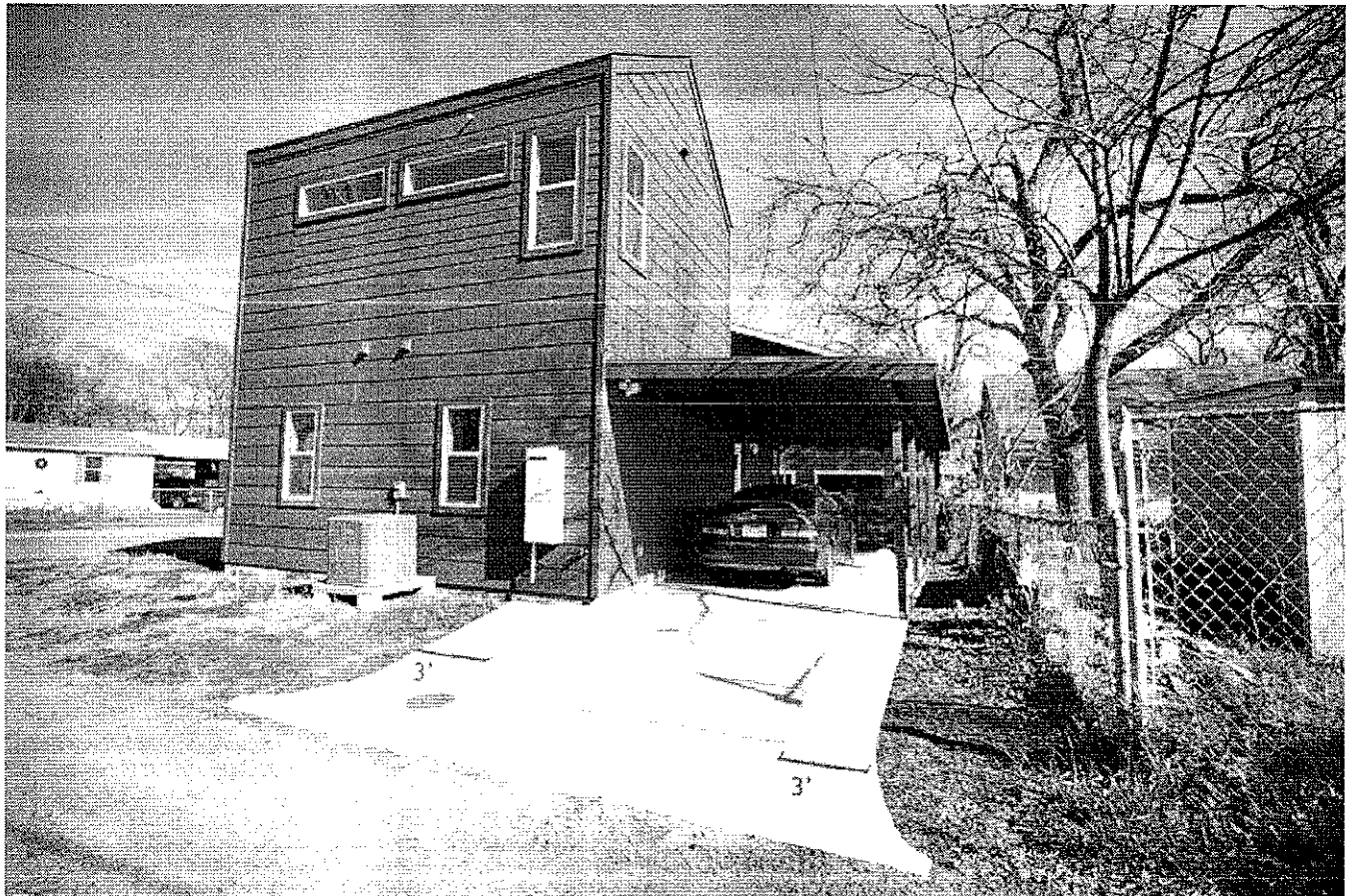


The driveway leading up to the carport does not have concrete bridging the alley and the carport, resulting in the car "falling" into the yard and creating a hole every time it enters or exits.





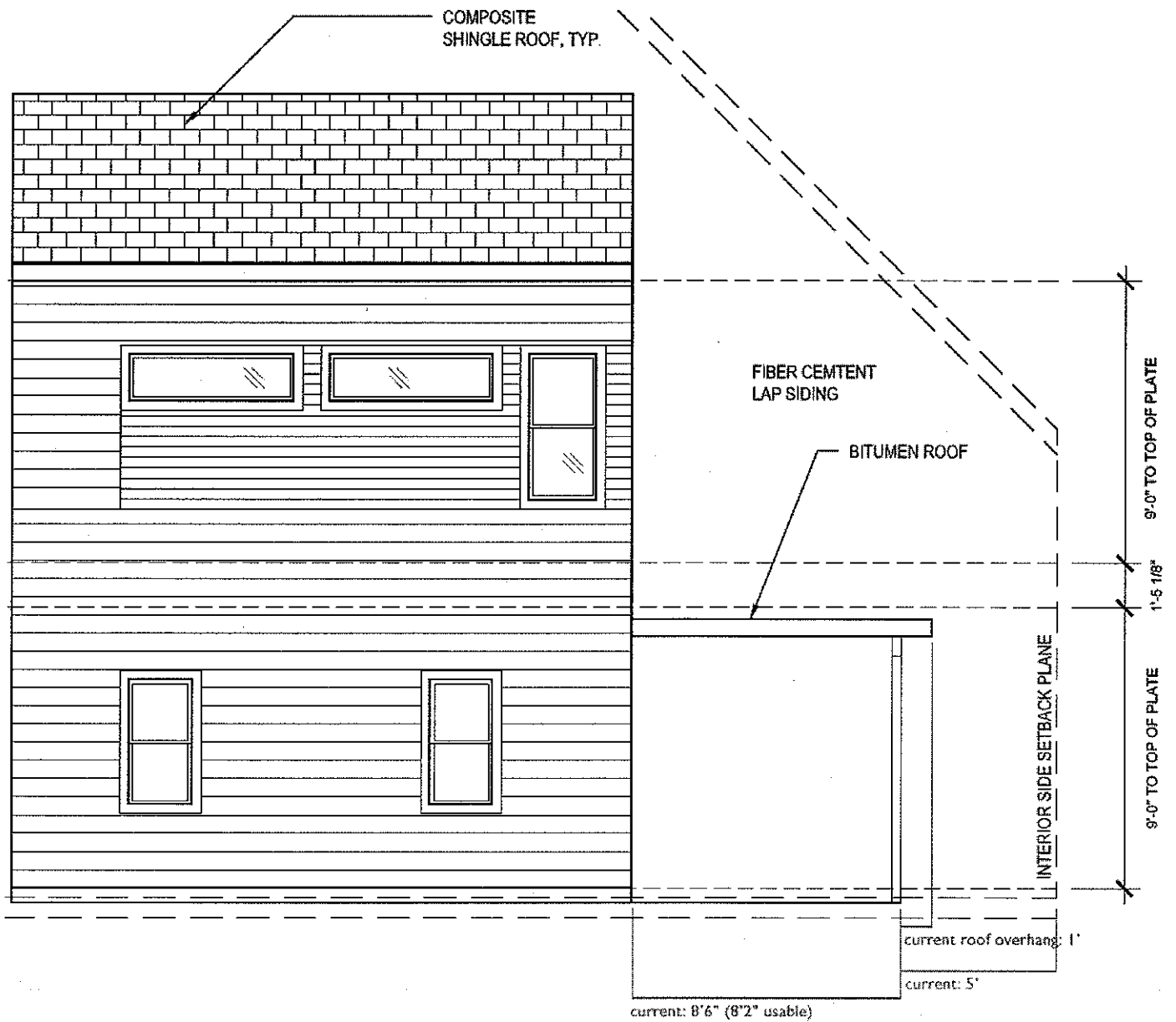
Current carport, with the concrete footing 5' from the fence at 2103 Holly St. (1' roof overhang.)



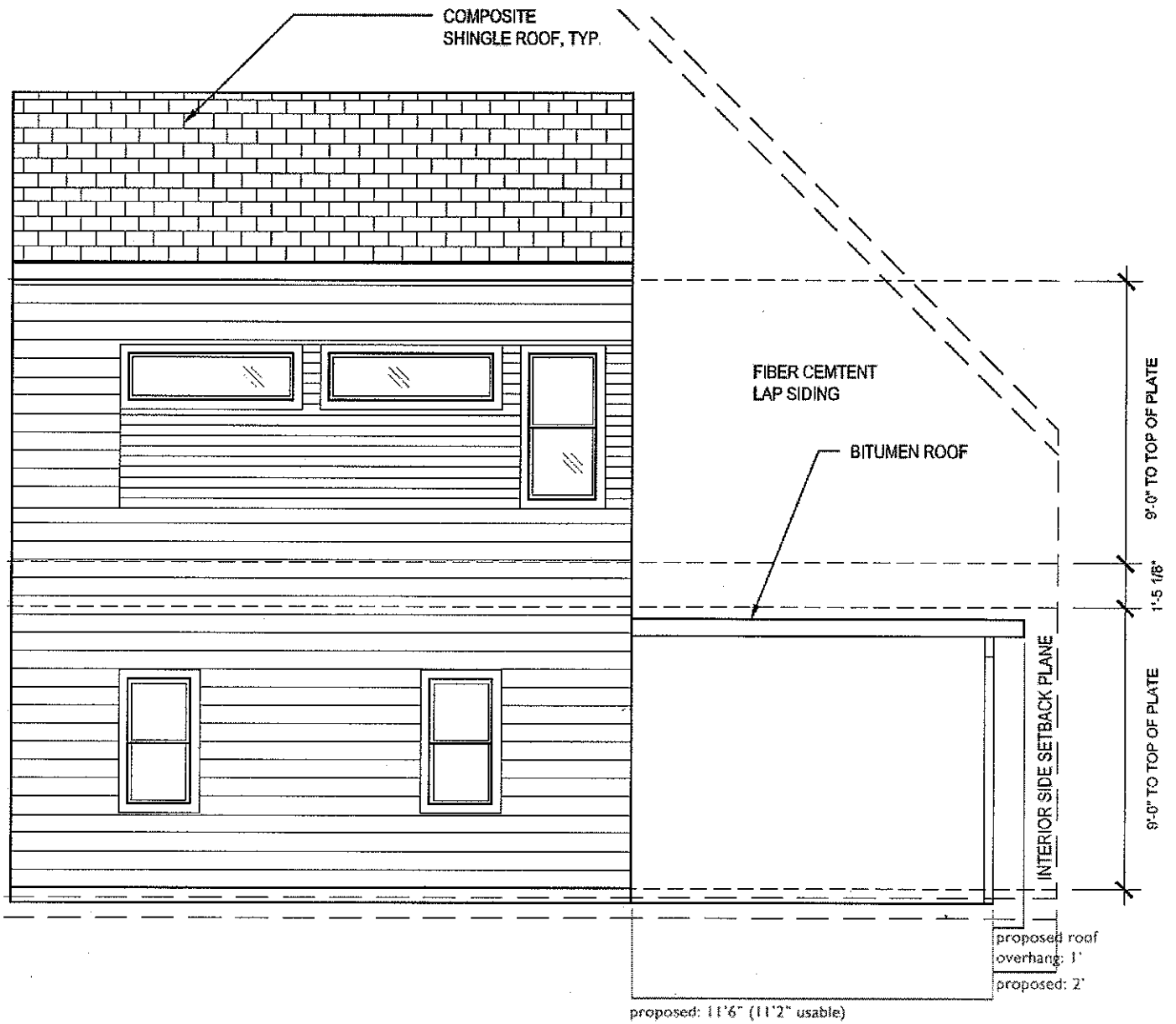
Proposed carport modifications, with concrete footing 2' from the fence. Roof 1' from fence.



View from the street. Since the carport is located behind the house with alley access, the proposed changes should not alter the character of the neighborhood.



Drawing of current carport dimensions.



Proposed carport dimensions.

IMPERVIOUS COVERAGE CHART		
TOTAL LOT AREA	6,814 SQ. FT.	—
HOUSE/COVERED	2,330 SQ. FT.	34.2 %
CONCRETE	267 SQ. FT.	3.9 %
WOOD @ 50%	28 SQ. FT.	0.4 %
ASPHALT	11 SQ. FT.	0.2 %
TOTAL	2,636 SQ. FT.	38.7 %

Current impervious cover calculations from survey at closing.
 $2,636 \text{ sf} / 6,814 \text{ sf} = 38.7\% \text{ impervious cover}$

Proposed modifications would add:

3 ft x 10 ft concrete on the left side = 30 sf

3 ft x 34.5 ft covered area on the right side = 103.5 sf

$(2,636 \text{ sf} + 133.5 \text{ sf}) / 6,814 \text{ sf} = 40.2\% \text{ impervious cover}$

The style and materials of the carport extension will resemble the style and materials of the existing carport as closely as possible.

The materials currently in use are:

#2 grade lumber

TPO membrane

bitumen roofing

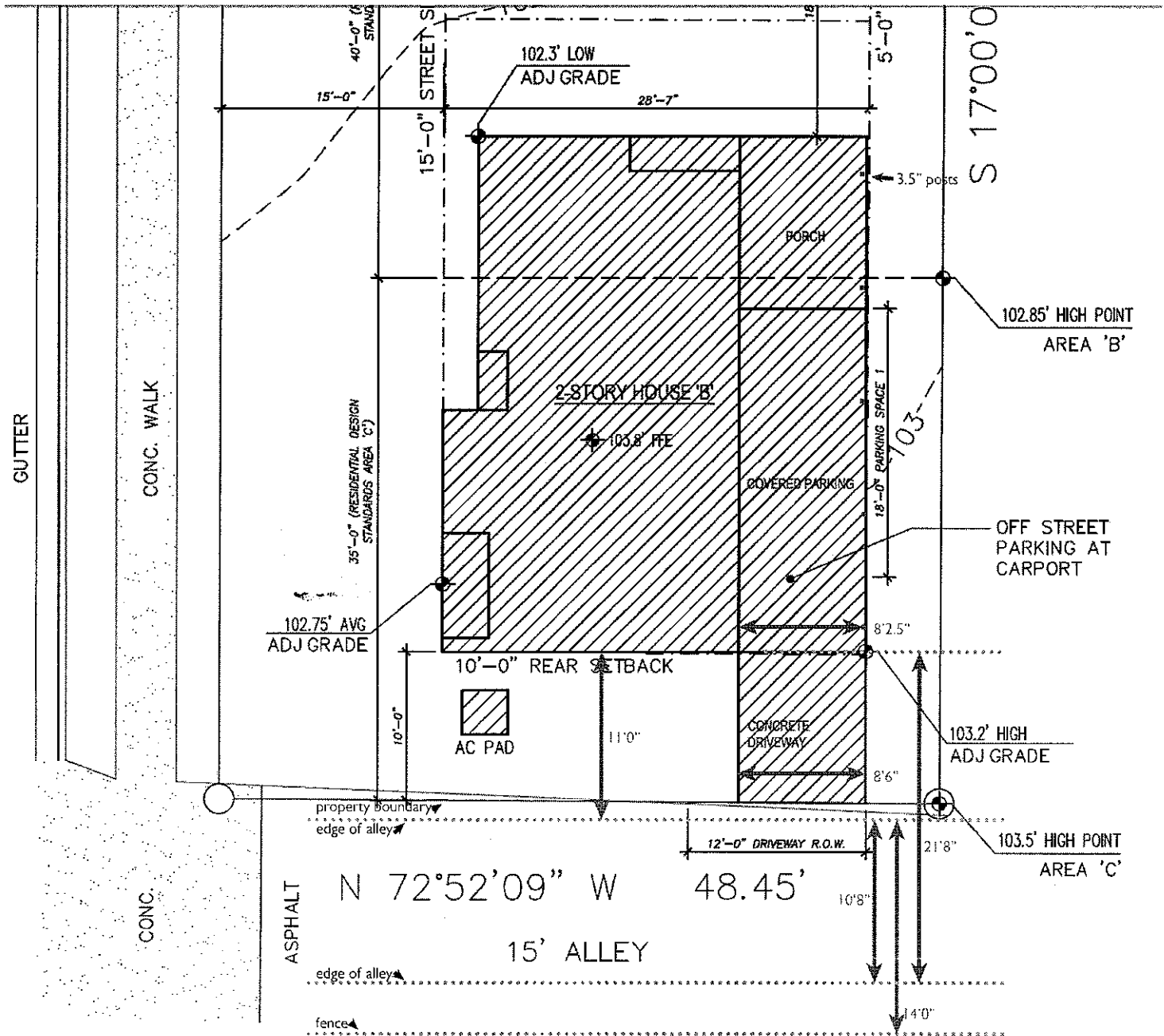
metal flashing

5/8" plywood sheathing

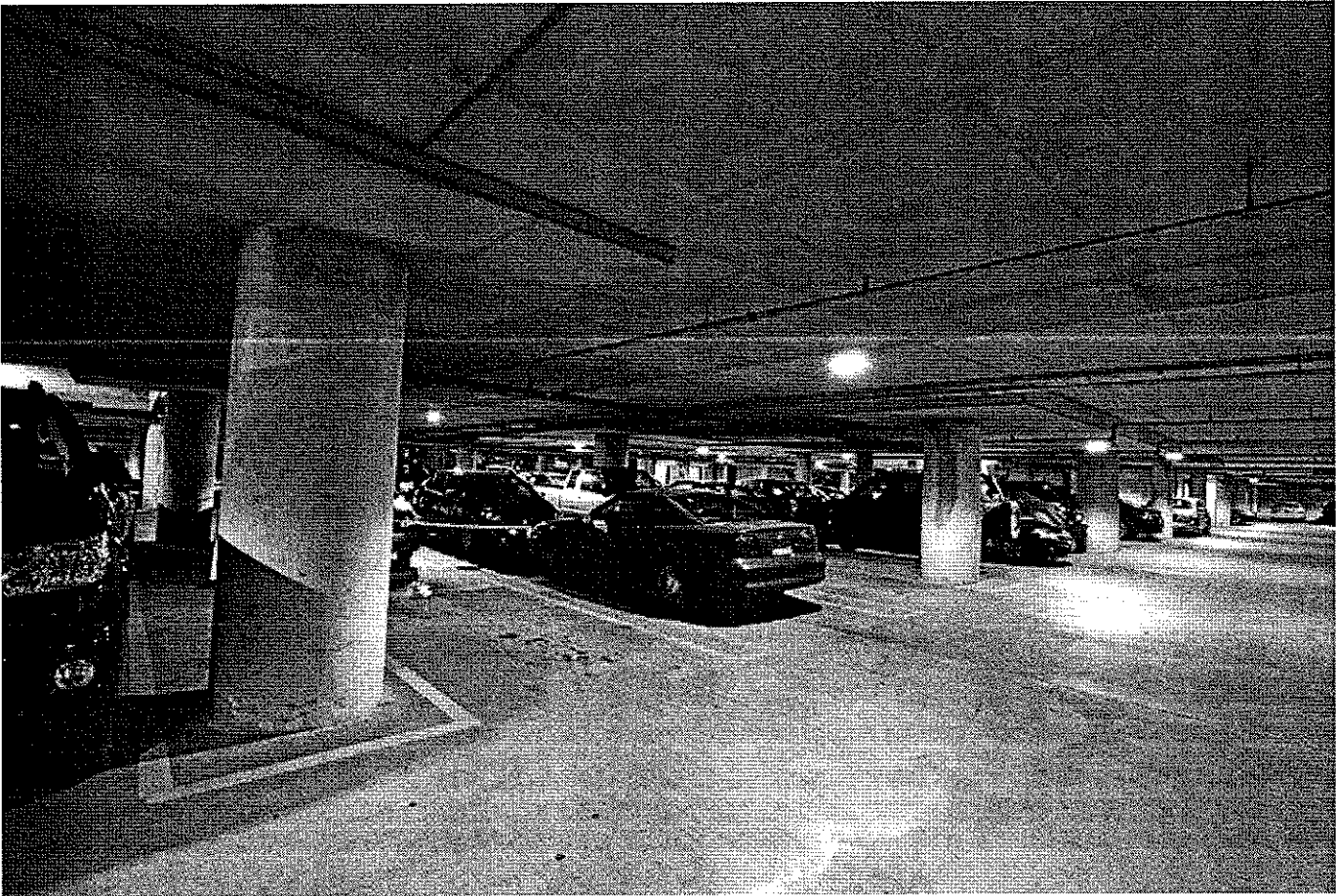
concrete foundation

cedar posts and beam support

A standard Ford F-150 is 8'1" wide including mirrors. The carport is 8'2.5" wide.



Measurements of carport and alley.



Photographs of the parking garage under city hall.





Photographs of the parking garage under city hall continued.

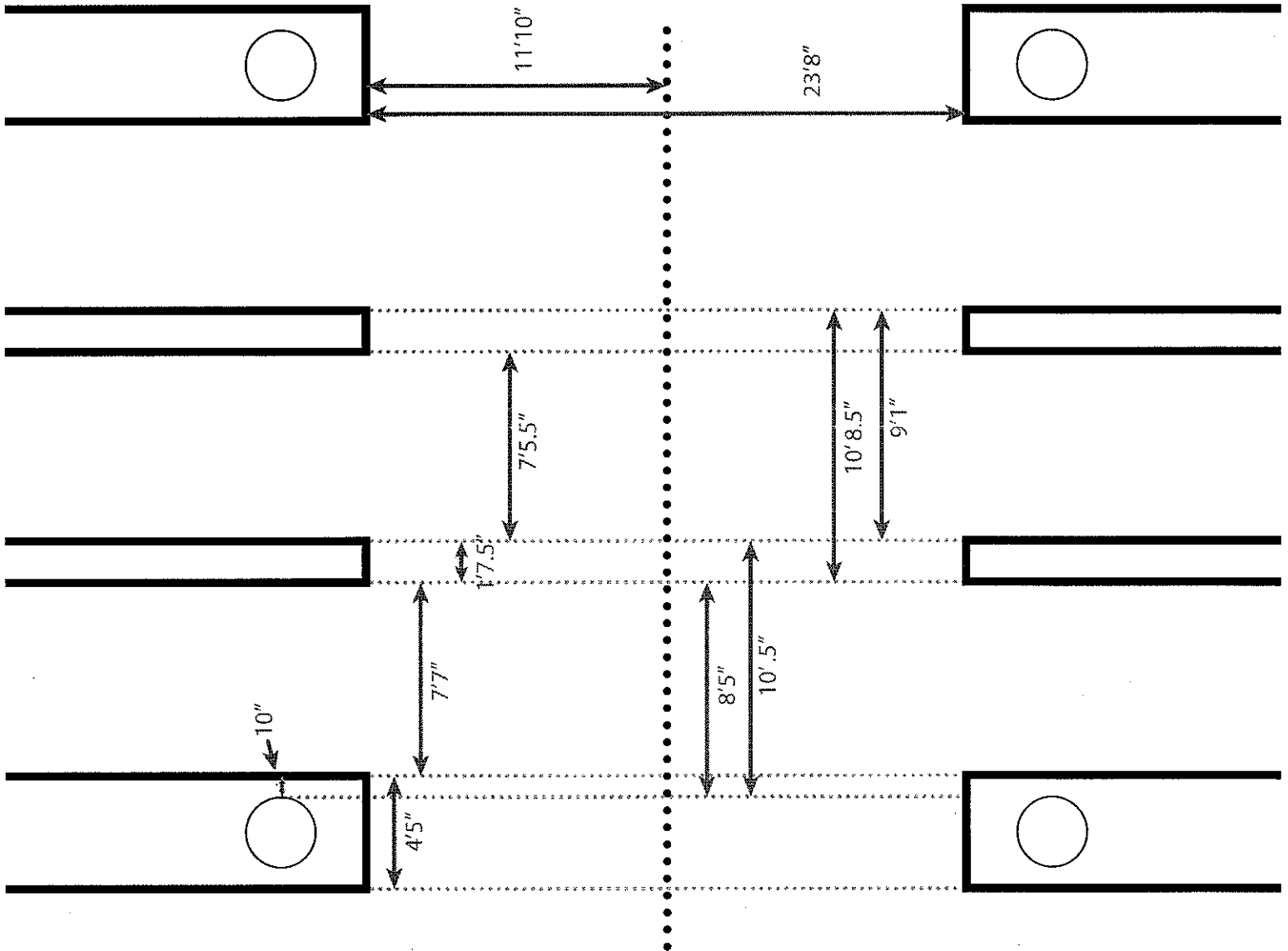
Austin City Hall Parking Garage Measurements

All painted lines are 4" wide

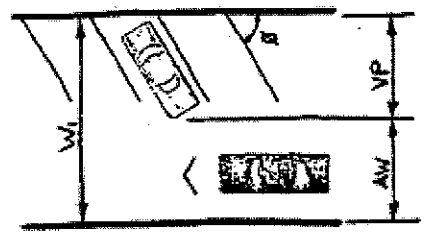
All measurements are between centerlines

Center lane safety circles are 4" diameter

There was generally 9"-18" (but sometimes zero and less than zero) clearance between the tires of a parked car and the edge of the painted line of a space (not centerline).



Angle θ	ONE-WAY FLOW W_1 MINIMUM BAY WIDTHS (feet)			
	8.0' Stall Width		9.0' Stall Widths	
	Short Term	Long Term	Short Term	Long Term
30°	24.0	25.0	26.5	25.0
35°	24.5	26.0	27.0	26.0
40°	25.5	26.5	28.0	26.5
45°	26.0	27.5	29.0	27.5
50°	26.5	28.0	29.5	28.0
55°	27.0	29.0	30.0	28.5
60°	28.0	31.5	32.0	30.0
65°	30.0	34.0	34.5	33.0
70°	32.0	36.5	37.0	35.0
75°	34.0	38.5	39.0	37.5
80°	36.0	41.0	41.5	39.5
85°	37.5	42.5	43.0	41.5
90°	39.0	44.5	45.0	43.5



The entire parking and maneuvering area is to be free of any obstructions.
No loading or unloading is to be done in said area.

Where C = clearance
 L = length of design vehicle
 W = width of design vehicle
 θ = angle of parking stall
 S = stall width

$W_1 = VP + AW$
 $VP = C + L \sin \theta + W \cos \theta$
 AW = aisle width computed using ENO foundation formulas & empirically adjusted.

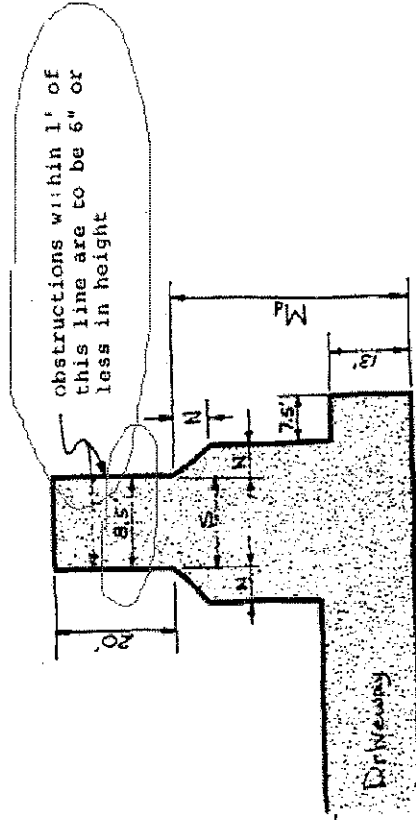
End stalls next to a vertical obstruction 6" or higher shall be 1' wider than otherwise required.

COVERED PARKING

Case 1:

Single stall garages and carports with vertical restrictions on both sides of the stall. If the stall width is increased, a reduction in the backing maneuver requirements can be permitted as indicated in the following table:

REQUIRED MANEUVERING DEPTHS, M_d					
S	8.5	9.0	9.5	10.0	10.5
M_d	28.0	27.0	26.5	26.0	25.5
N	4.0	3.5	3.5	3.0	3.0
					11.0
					25.0
					2.5

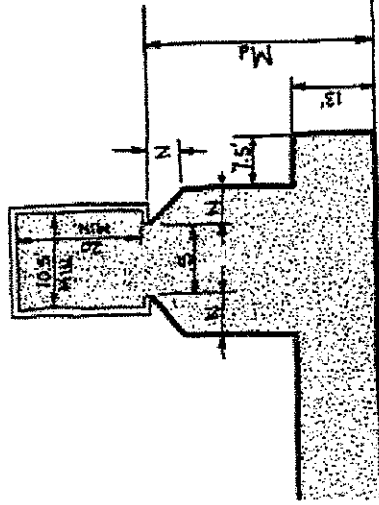


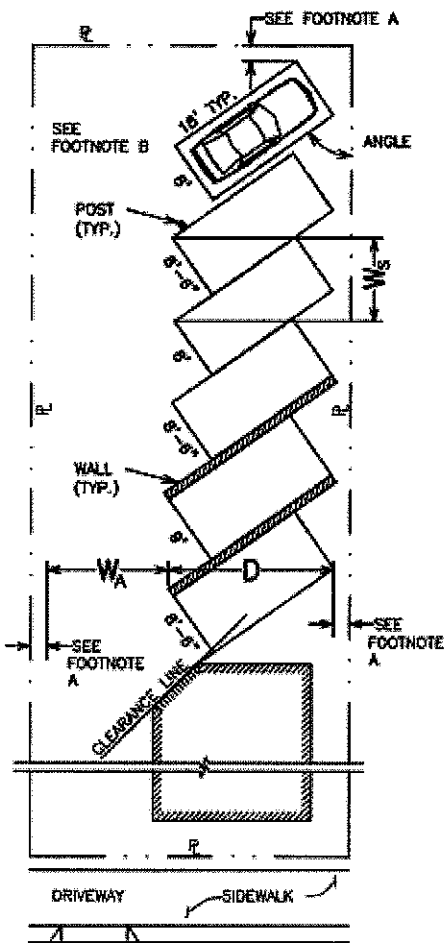
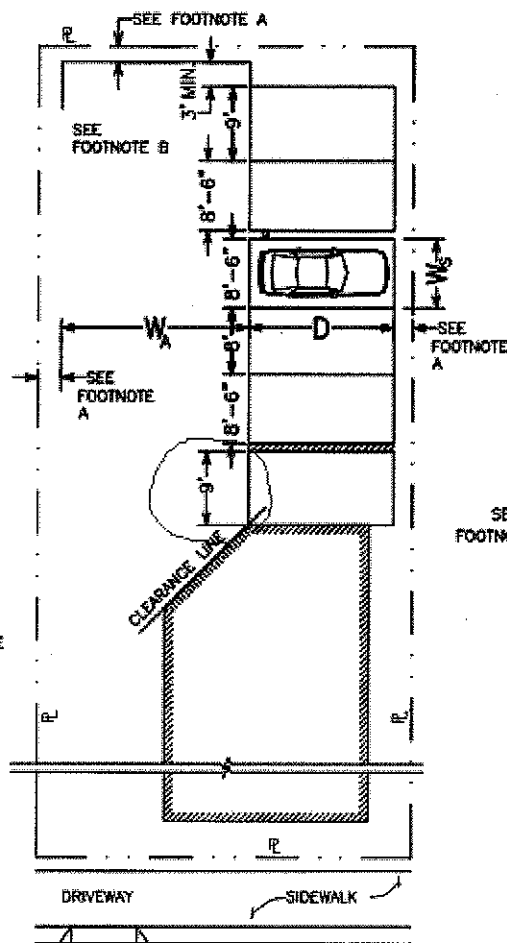
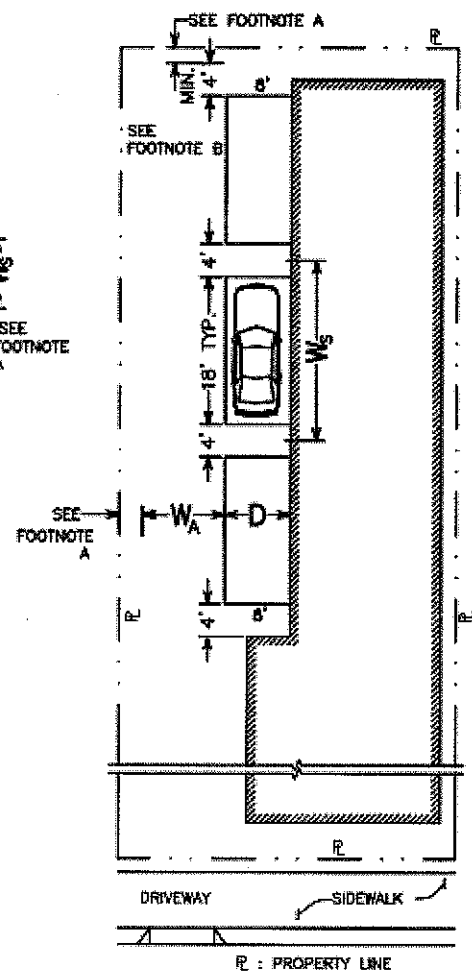
CARPORT

Paved area to be free of obstructions

The interior height of carports and garages is to be not less than 6'6". Where storage cabinets are provided a height of 4 feet is allowed within 4 feet of the rear of the structure.

GARAGE



ANGLE PARKING**90° PARKING****PARALLEL PARKING****Footnotes:**

- A. The Berkeley Municipal Code, Zoning Sections 23D.12.080, 23D.04.70, and 23E.28.080, requires various screening, buffering, or landscaping treatments dependent upon location of parking (side or rear), number of spaces, and whether property is commercial or residential.
- B. Vehicles backing up across the sidewalk to enter the street are restricted as follows: Commercial properties are not permitted to do so. Residential properties are permitted to do so under the guidelines presented in handout entitled **RESIDENTIAL DRIVEWAYS** (offered by Public Works, Transportation Division). Therefore, where required, on-site turn-arounds and appropriate driveway or parking aisle widths may need to be incorporated into the parking layout and driveway design.

General Notes:

1. Add .5 foot if the parking space is adjacent to walls, posts, columns, etc. Add 1.0 foot if adjacent to landscaping.
2. Vehicles are not permitted to maneuver, into or out of parking spaces, within the public right-of-way.

Angle of Parking	Depth of Stall (D)	Width of Aisle (W _A)	Width of Stall Parallel with Aisle (W _s)
Parallel	8'	12'	22.0'
30°	16'	12'	16.0'
45°	18'	12'	11.3'
60°	19.6'	18'	9.2'
75°	19.5'	21'	8.3'
90°	18'	24'	8.0'

BASIC PARKING REQUIREMENTS

rev: Oct 09, 2013

G:\CM-TRANSP\01-Development reviews\00PROCESS\Guidelines\Basic Parking Requirements.pdf

Public Works Transportation Division
City of Berkeley

C15-2014-0066

www.roundrocktexas.gov

www.roundrocktexas.gov/docs/tr_09.pdf

Apps Faux Pearl Leaf Leav... fridge Flask Principal Fla... Hooded Swim Cove... Other bookmarks

C. Maneuvering areas for loading facilities shall not conflict with parking spaces or with the maneuvering areas for parking spaces. Public right-of-way shall not be used for maneuvering. All maneuvering shall be contained on-site.

D. Rear-loading freight docks are greatly preferred to side-loading docks. For such rear-loading docks, truck circulation patterns and dock positions should be designed for left-side, back-in maneuvers to allow for better driver visibility (see Figure 9-7, in Section 9.8.0 of this Manual). The apron space should be adequate to allow the truck to back and pull-out in one (1) maneuver. Where semitractor/trailer combinations are expected, the critical maneuvering and circulation areas shall be designed to accommodate trucks with a WB-50 design.

E. Service stations, convenience stores and other outlets where fuel is dispensed must provide an adequate maneuvering and unloading area for fuel delivery vehicles. Such facilities or areas shall be designed to enable trucks to deliver fuel without interfering with on-site parking, queuing areas, internal circulation or driveway access.

**TABLE 9-1
PARKING LOT CRITERIA**

A Angle of Parking (degrees)	B Width of stall (ft)	C Depth of stall 90° to aisle (ft)	D Width of aisle (ft)		E Width of stall parallel to aisle (ft)	F Module Width (ft)	
			One Way	Two Way		One Way	Two Way
Standard Parking Spaces							
30	8.5	16.9	12.5	26	17.0	47	62
30	9.0	17.3	12.5	26	18.0	47	61
30	9.5	17.8	12.5	26	19.0	48	61
30	10.0	18.3	12.5	25	20.0	49	62
45	8.5	17.5	13.0	28	12.0	48	63
45	9.0	17.5	12.5	36	12.7	48	61
45	9.5	17.5	12.5	25	13.4	48	60
45	10.0	17.5	12.5	25	14.1	48	60
60	8.5	19.0	18.0	-	9.8	56	-
60	9.0	19.0	16.0	-	10.4	54	-
60	9.5	19.0	15.0	-	11.0	53	-
60	10.0	19.0	15.0	-	11.6	53	-
75	8.5	19.5	23.0	-	8.8	64	-
75	9.0	19.5	23.0	-	9.3	62	-
75	9.5	19.5	22.0	-	9.8	61	-
75	10.0	19.5	22.0	-	10.3	61	-
90	8.5	18.5	-	28	8.5	-	65
90	9.0	18.5	-	28	9.0	-	63
90	9.5	18.5	-	25	9.5	-	62
90	10.0	18.5	-	25	10.0	-	62

9-6

**MEMORANDUM**

TO: Erica Eichert, Residential Review
Watershed Protection and Development Review Department

FROM: Joe Almazan, Land Use Review
Watershed Protection and Development Review Department

DATE: January 24, 2007

SUBJECT: Dimensions for Residential Parking

When reviewing the parking layout for single-family residential or duplex residential use, the required parking space dimensions must be 8.5 feet for stall width and 17.0 feet for stall length. The parking must be located entirely inside the property and shall not encroach into the driveway apron and public right-of-way.

Where parking is not located in the front street yard, a turning and maneuvering area must be provided to ensure there is adequate clearance for a vehicle to maneuver into or out of a parking space. The minimum clearance area must be 24 feet. Generally, this situation will occur where parking is located in the rear of the property or where parking is located off an existing alley.

No other variations in parking design should be approved without consultation with a transportation reviewer.

If you have any questions or need additional information, please do not hesitate to call me at 974-2674.

Joe R. Almazan

Watershed Protection and Development Review Department

cc: Emily Barron, WPDR
Amy Link, WPDR
Amber Mitchell, WPDR
Sangeeta Jain, WPDR

CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, May 12, 2014

CASE NUMBER: C15-2014-0066

☐ Y ☐ Jeff Jack
☐ Y ☐ Michael Von Ohlen
☐ Y ☐ Ricardo De Camps **Motion to PP to June 9, 2014**
☐ Y ☐ Bryan King
☐ Y ☐ Fred McGhee
☐ Y ☐ Melissa Hawthorne **2nd the Motion**
☐ Y ☐ Sallie Burchett

APPLICANT: Christine Chun

OWNER: Christine Chun

ADDRESS: 57 ANTHONY ST

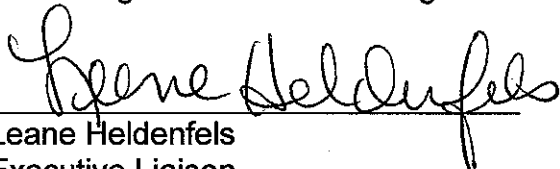
VARIANCE REQUESTED: The applicant has requested a variance to Section 25-2-492 (D) of the Site Development Standards to reduce the side setback from 5 feet to 1 foot in order to widen an existing carport by 3 feet (existing carport 8 feet 6 inches wide, expanding to 11 feet 6 inches wide) in an "SF-3- NP", Family Residence – Neighborhood Plan zoning district. (Holly)

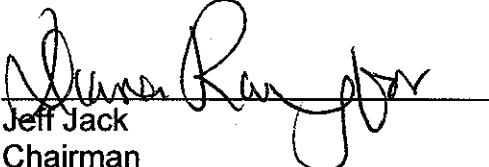
BOARD'S DECISION: The public hearing was closed on Board Member Ricardo De Camps motion to Postpone to June 9, 2014, Board Member Melissa Hawthorne second on a 7-0 vote; **POSTPONED TO JUNE 9, 2014.**

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Leane Heldenfels
Executive Liaison


Jeff Jack
Chairman

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
 - appearing and speaking for the record at the public hearing;
- and:
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
 - is the record owner of property within 500 feet of the subject property or proposed development; or
 - is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 10 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, visit our web site: www.austintexas.gov/development.

Written comments must be submitted to the contact person listed on the notice before or at a public hearing. Your comments should include the name of the board or commission, or Council; the scheduled date of the public hearing; the Case Number; and the contact person listed on the notice.

Case Number: C15-2014-0066, 57 Anthony

Contact: Susan Walker, 512-974-2202, leanc.heldentfels@ausinttexas.gov

Public Hearing: Board of Adjustment, May 12th, 2014

Alex H. Miller

Your Name (please print)

☐ I am in favor
☒ ~~BT~~ object

Your address(es) affected by this application

Clerk of the Court
 Signature _____
 Date 10 May 14

Daytime Telephone: 976 4747

Comments: These people are really pressuring
their tech. (Builder) They come in
demanding huge money reduction
every day right. We have in ending
to reduce with 20% to 1%.
The 5th being in place but they would
of year, the should have build
that have smelt in that side. All over
they have want to be faster & etc.

Note: Any responses received will become part of the record of this case which is open to the public for review.

If you use this form to comment, it may be returned to:

City of Austin-Planning & Development Review Department/ 1st Floor

Leane Heldenfels

P. O. Box 1088

Austin, TX 78767-1088

Or fax to (512) 974-2934

Or scan and email to leane.heldenfels@austintexas.gov

PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak **FOR** or **AGAINST** the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

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- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
- appearing and speaking for the record at the public hearing; and:
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
- is the record owner of property within 500 feet of the subject property or proposed development; or
- is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

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Case Number: C15-2014-0066, 57 Anthony

Contact: Susan Walker, 512-974-2202, leane.heldenfels@austintexas.gov

Public Hearing: Board of Adjustment, May 12th, 2014

Your Name (Please print)

Roger Treviño

☒ I am in favor
☐ I object

Your address(es) affected by this application

2202 Haskell St

Roger M Treviño 5/16/14
Signature Date

Daytime Telephone: (512) 810-4493

Comments:

Note: Any responses received will become part of the record of this case which is open to the public for review.

If you use this form to comment, it may be returned to:

City of Austin-Planning & Development Review Department/ 1st Floor
Leane Heldenfels

P. O. Box 1088

Austin, TX 78767-1088

Or fax to (512)974-2934

Or scan and email to leane.heldenfels@austintexas.gov

If you need assistance completing this application (general inquiries only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

ROW

CASE # C15-2014-0066
111 23071

Tax Roll # 0200080301, 81501

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 57 Anthony St. Austin, TX 78702

LEGAL DESCRIPTION: Subdivision – Driving Park Addition
South 40%

Lot(s) Lot 8 Block K Outlot 61 Division O

I/We Christine Chun on behalf of myself/ourselves as authorized agent for

Christine Chun affirm that on April 8, 2014,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

 ERECT X ATTACH COMPLETE REMODEL MAINTAIN

an extension to an existing carport to widen it from 8'6" to 11'6" (measured by the
concrete footing) and to widen the concrete driveway leading to the carport to 14'6".

This requires a 4' variance into a 5' side setback including a 1' roof overhang.

in a SF-3-NP (Holly) district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:
unsafe
The existing carport has a ~~usable~~ width of 8'2" due to support posts. Entry is off of the alleyway, and the carport is not wide enough to safely allow a small car to go in or out.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:
The carport is insufficiently designed, resulting in an unsafe structure. The car doors can't open while parked, and I have hit and damaged the car on the carport 3 times in 2 months.

(b) The hardship is not general to the area in which the property is located because:
There are many properties with functional 1 or 2 car carports or garages, some with entry off of the alley.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:
There are many properties with 1 or 2 car carports or garages in the area. There will still be two feet between the carport structure and the neighbor's fence.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 57 Anthony St.

City, State & Zip Austin, TX 78702

Printed Christine Chun Phone (512) 665-2226 Date 4/8/2014

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 57 Anthony St.

City, State & Zip Austin, TX 78702

Printed Christine Chun Phone (512) 665-2226 Date 4/8/2014



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

CASE#: C15-2014-0066
Address: 57 ANTHONY ST



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 167'

April 8, 2014

Hello!

I am requesting a setback variance for the property at 57 Anthony St. The setback concerned is at the rear of my property, but it is a side setback for a normal lot.

I purchased the property last November from the builder as a newly constructed home, and quickly found after moving in that the carport was too narrow to be used easily or safely. The car must be positioned very carefully within the carport to allow the driver's side door to open enough to exit the car, and even then it is a very tight squeeze. In the first two months of residence, I hit and damaged the car against the carport three times. I have a rather small car (Honda Civic), so I imagine the carport is simply unusable as such for any larger vehicle.

The driveway leading up to the carport was also not built according to the plans, resulting in a 8'6" driveway when a 12' driveway was drawn. There is no concrete supporting the arc between the alleyway and the carport where the car must drive in order to reach the carport, resulting in the car "falling" into the yard when entering or exiting the carport. This can't be good for the vehicle, and it is creating a hole in the yard.

Though the carport is drawn and built to be 8'6" wide (which I understand to be the minimum required in the city of Austin), there are 4" cedar support posts which make the actual usable width 8'2" wide.

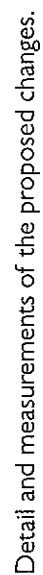
I am requesting a setback variance to be able to widen the carport and driveway 3 feet, taking it to 11'6" (usable width of 11'2"). Typical carport widths seem to range from 10' to 12'. This variance would leave 2 feet of open ground between the carport and the neighbor's fence. The additional one foot of the variance is to accommodate the 1' roof overhang.

I have spoken with both of my adjacent neighbors, and they are all right with my proposal to widen the carport. I have also spoken with the Holly Neighborhood Coalition about my situation, and they are initially also in support of the modifications. Though I attended their last meeting to discuss the issue, we ran out of time to go into my request in detail. I have submitted my application materials to the Coalition's board so that they might review the modifications in further detail.

Thank you for taking the time to consider my request. I will look forward to speaking with you soon!

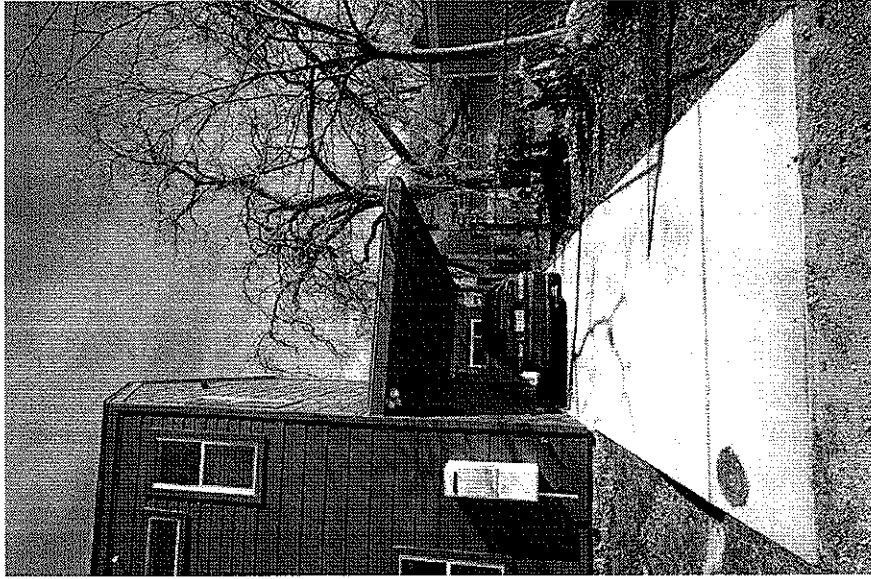
Sincerely,
Christine Chun



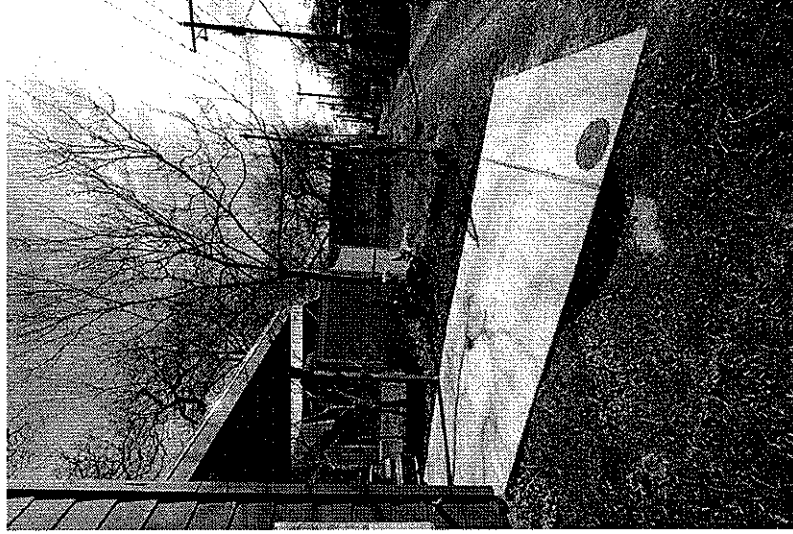


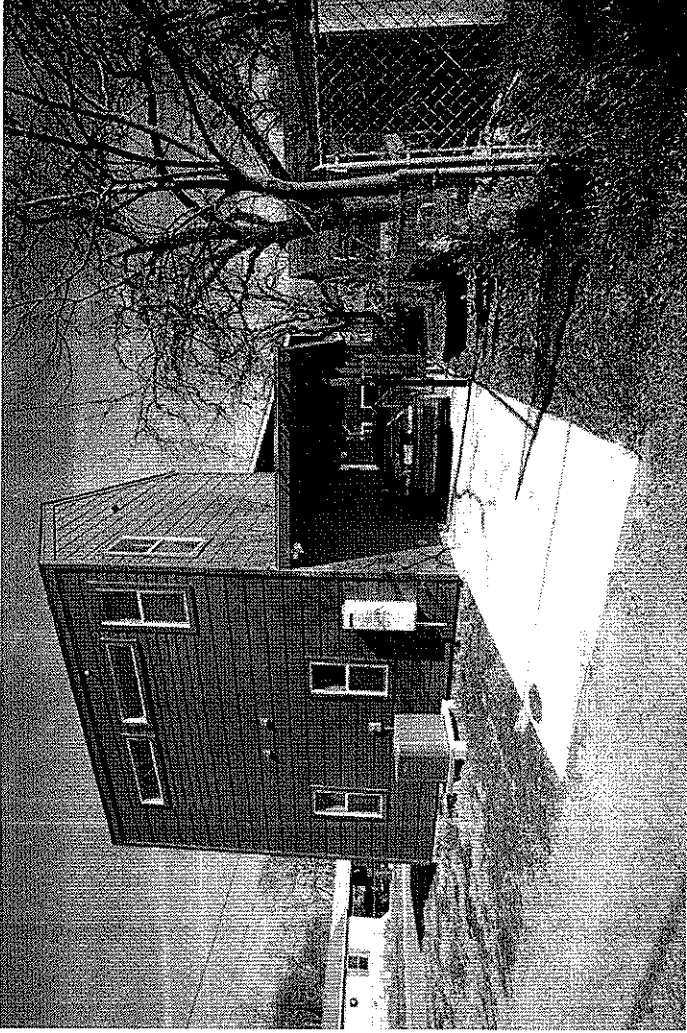
Current carport photos.

This shows that the driver's side door cannot open comfortably while parked.

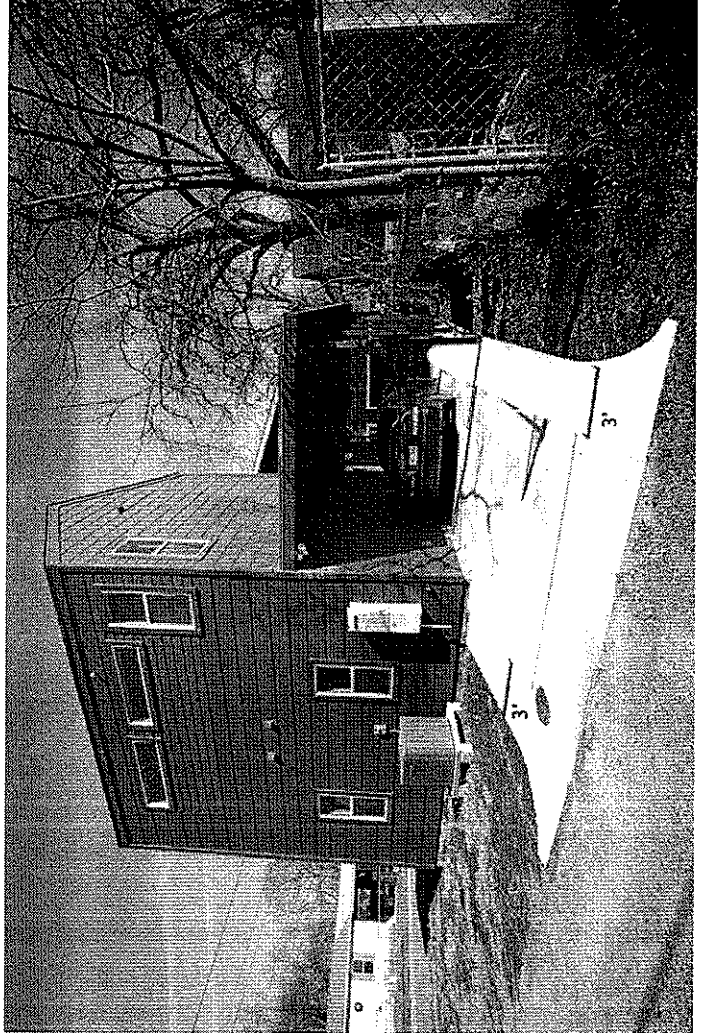


The driveway leading up to the carport does not have concrete bridging the alley and the carport, resulting in the car "falling" into the yard and creating a hole every time it enters or exits.

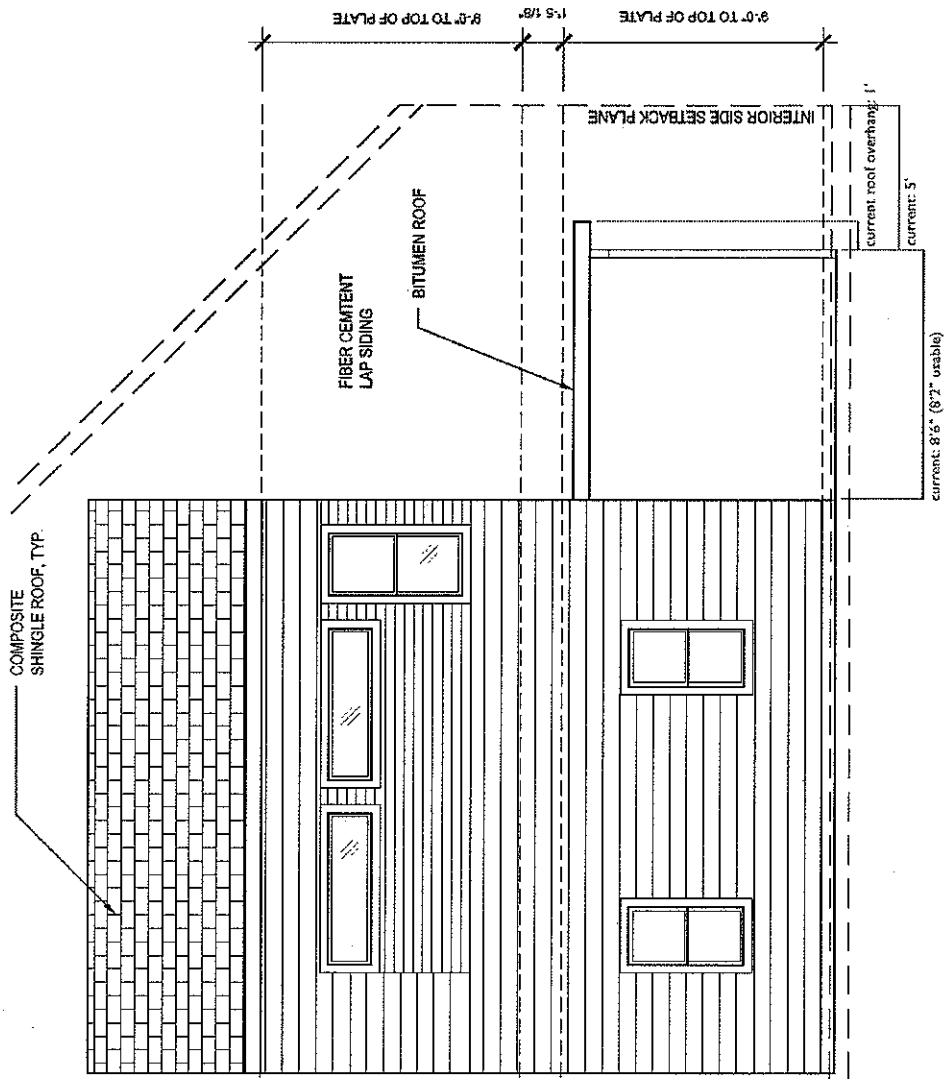




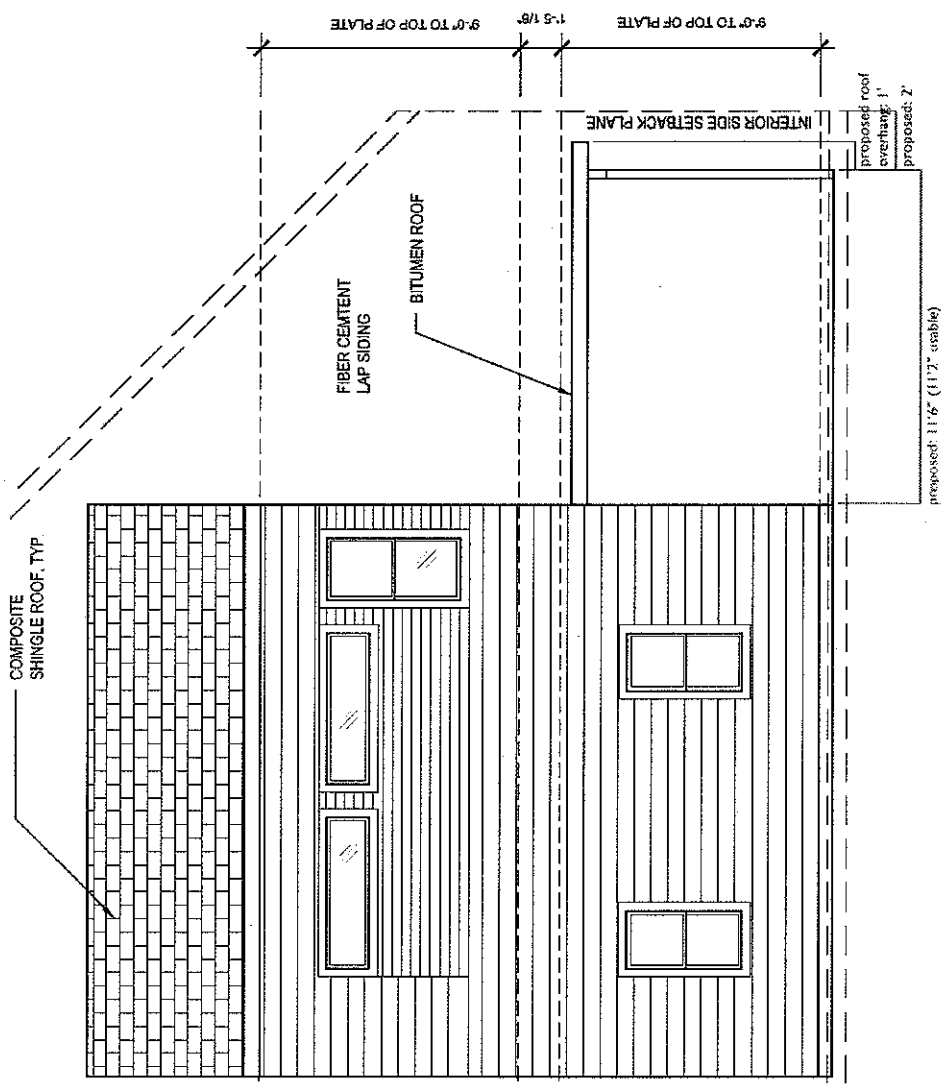
Current carport, with the concrete footing 5' from the fence at 2103 Holly St. (1' roof overhang.)



Proposed carport modifications, with concrete footing 2' from the fence. Roof 1' from fence.



Drawing of current carport dimensions.



Proposed carport dimensions.

LOT SIZE: 6,744 sf

BUILDING AND SITE AREA				
AREA DESCRIPTION	HOUSE 'A'	HOUSE 'B'	HOUSE 'B'	TOTAL SF
1st FLOOR CONDITIONED AREA	1,145	596		1,741
2nd FLOOR CONDITIONED AREA				
3rd FLOOR CONDITIONED AREA				
BASEMENT				
COVERED PARKING	198	198		396
COVERED PATIO, DECK or PORCH	54	146		200
BALCONY				
OTHER				
TOTAL BUILDING COVERAGE	1,397	940		2,337
DRIVEWAY	300	122		422
SIDEWALKS				
UNCOVERED PATIO				
UNCOVERED WOOD DECK (50%)				
A/C PADS	9	9		18
OTHER (POOL COPING ETC.)				
TOTAL SITE COVERAGE	1,646	1,071		2,717
POOL				
SPA				

2,777 sf / 6,744 sf = 41% IMPERVIOUS COVER

GROSS FLOOR AREA				
AREA DESCRIPTION	HOUSE 'A'	HOUSE 'B'	EXEMPT	TOTAL SF
1st FLOOR	1,145	596		1,741
2nd FLOOR	617	254		871
3rd FLOOR				
BASEMENT				
ATTIC				
GARAGE (ATTACHED)				
(DETACHED)				
CARPORT	198	198	396	0
(DETACHED)				
ACCESSORY BLDG(S)				
TOTAL GROSS FLOOR AREA				2,612

2,612 sf / 6,744 sf = .39 FAR/GFA

Current impervious cover calculations.

2,777 sf / 6,744 sf = 41% impervious cover

Proposed modifications would add:

3 ft x 10 ft concrete on the left side = 30 sf

3 ft x 33 ft concrete on the right side = 99 sf

(2,777 sf + 129 sf) / 6,744 sf = 43.1% impervious cover

The style and materials of the carport extension will resemble the style and materials of the existing carport as closely as possible.

The materials currently in use are:

- #2 grade lumber
- TPO membrane
- bitumen roofing
- metal flashing
- 5/8" plywood sheathing
- concrete foundation
- cedar posts and beam support



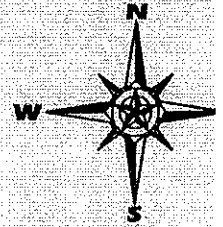
View from the street. Since the carport is located behind the house with alley access, the proposed changes should not alter the character of the neighborhood.

15-2014-0066

LEGEND

- CO - CLEANOUT
- EM - ELECTRIC METER
- WM - WATER METER
- STMH - STORM MANHOLE
- PP - POWER POLE
- P - OVERHEAD POWER LINE
- CH - CHAINLINK FENCE
- WF - WOOD FENCE
- () - RECORD
- B.L. - BUILDING LINE
- L.C.E. "A" - LIMITED COMMON ELEMENT UNIT "A"
- L.C.E. "B" - LIMITED COMMON ELEMENT UNIT "B"
- CM - CONTROL MONUMENT

2101 HOLLY ST. CONDOS CONDO PLAT



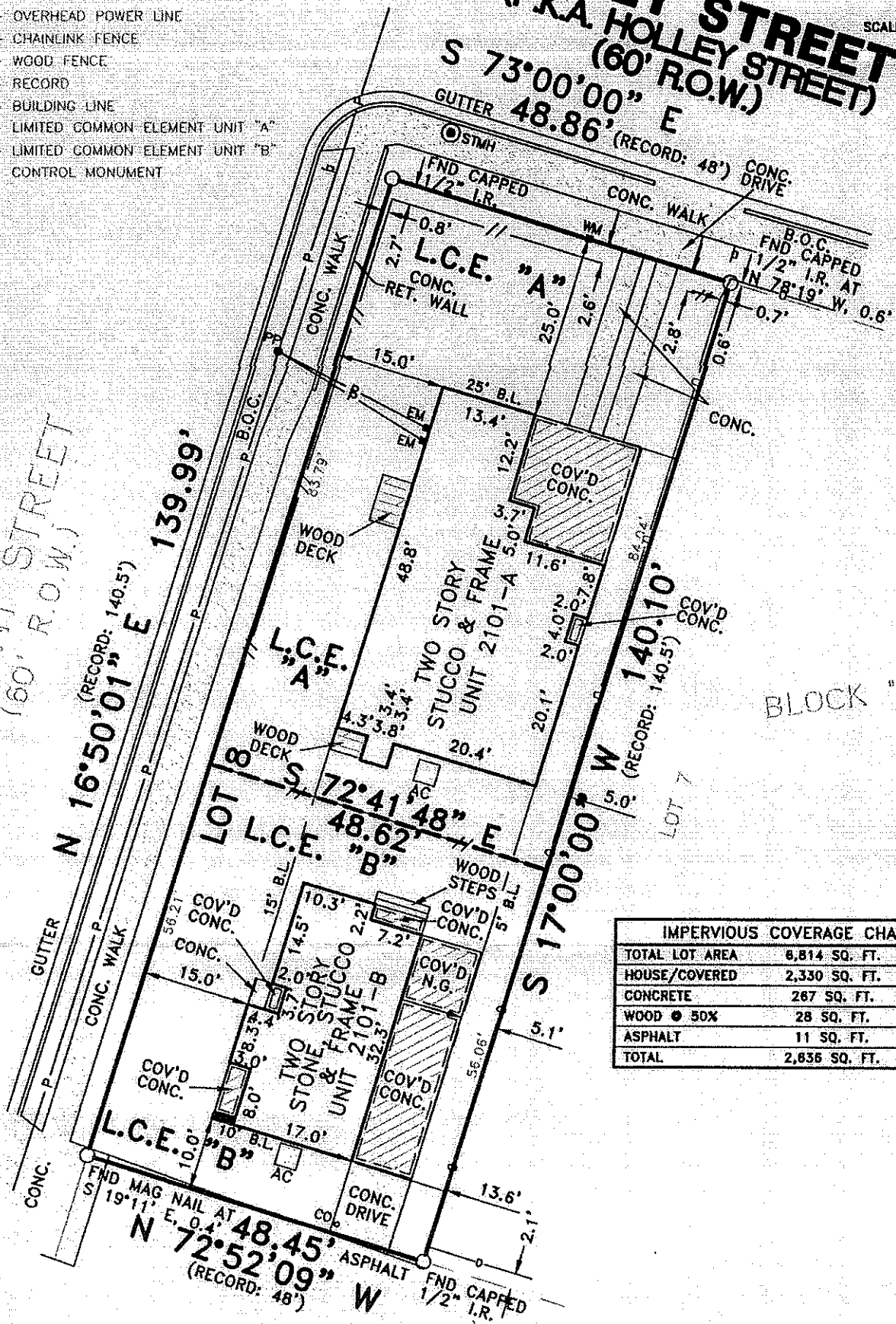
SCALE: 1" = 20'

HOLLY STREET
(FKA. HOLLEY STREET)
(60' R.O.W.)

S 73°00'00" E
48.86' (RECORD: 48')

ANTHONY STREET
(60' R.O.W.)

N 16°50'01" E (RECORD: 140.5')
139.99'



BLOCK "K"

IMPERVIOUS COVERAGE CHART			
TOTAL LOT AREA	8,814 SQ. FT.	-	
HOUSE/COVERED	2,330 SQ. FT.	34.2 %	
CONCRETE	267 SQ. FT.	3.9 %	
WOOD @ 50%	28 SQ. FT.	0.4 %	
ASPHALT	11 SQ. FT.	0.2 %	
TOTAL	2,836 SQ. FT.	38.7 %	

Home

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Holly

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Austin Police

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Inbox / Hello!

Conversation between you and Franny Zarate

Christine Chun
Hello Franny.

2h ago

I've tried contacting you several times via email and by phone over the past two weeks, and have not been able to get a hold of you regarding the setback variance I spoke about at the last neighborhood Coalition meeting.

The schedules have become rather urgent, and I would really like to be able to know if I will be able to move forward with this application, which requires a letter from the neighborhood association.

If you could please contact me so that I can do what is necessary for all of you, I would appreciate it greatly.

As I've mentioned, this is a matter of property (and psychological) safety, so if you could please respond promptly, that would be amazing.

Thank you again for your time.
Christine



Franny Zarate

Hi Christine! It sounds like you didn't get a message I sent this week?? Anyway, the HNC approves your request. We won't be able to provide a letter from the group but you have our support. I will request our support is noted in our meeting minutes posted on our website.

30m ago

Thank you



Franny Zarate

Is a letter absolutely needed? I may be able to sign something on behalf tomorrow morning?

36m ago



Christine Chun
Hello Franny.

Just now

Thank you so much for your response! I also just got off the phone with Elizabeth. I did not receive any message from you, I'm sorry that I missed it.

Thank you for your word of support. The Board of Adjustment does specifically ask for a letter

I RMT 2012 # 092 .44

LEGEND

- CO - CLEANOUT
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- PP - STREET SIGN
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2101 HOLLY ST. CONDOS CONDO PLAT



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CONCRETE	287 SQ. FT.	3.0 %
WOOD @ 50%	28 SQ. FT.	0.4 %
ASPHALT	11 SQ. FT.	0.2 %
TOTAL	2,638 SQ. FT.	38.7 %

I do hereby certify that this survey was this day made on the ground under my direct supervision and that this plat correctly represents the property legally described hereon (or an attached sheet). That the facts found at the time of this survey show the improvements and that there are no encroachments apparent on the ground, except as shown.

Michael Turner

10/8/13



EXHIBIT 'E'

10/03/13
DRAWN BY: MDL
JOB NO.: 25288
SHEET 1 OF 1



Windrose Land Services, Austin
4120 Commercial Center Dr.
Suite 300

Austin, Texas 78744

TEL (512) 326-2100 FAX (512) 326-2770

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BOUNDARY DECISION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY THIS FIRM, DATED 01/30/13.

LOT 8, BLOCK "K"
DRIVING PARK ADDITION
OUTLOT 37, 38, 39, 49, 50, 60 AND 61
DIVISION O
VOL. 2, PG. 206D, T.C.P.R.
TRAVIS COUNTY, TEXAS