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1631 | PALMA PLAZA | 78703



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REVISIONS:

1	
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PHASE:

PERMIT SET

DRAWING TITLE:

PROJECT INFO
SCHEDULES

A0.1

mfarchitecture

PROJECT TITLE

SEAL

SHEET INFORMATION

SHEET INDEX

A0.1 PROJECT INFO / SCHEDULES
S0.0 STRUCTURAL NOTES
S1.0 FOUNDATION PLAN
S2.1 FRAMING PLAN
S2.2 FRAMING PLAN
S2.3 FRAMING PLAN
S2.4 BRACED WALL PLAN
S2.5 BRACED WALL PLAN
S2.5 BRACED WALL PLAN
S3.0 FOUNDATION DETAILS
S3.1 FOUNDATION DETAILS
S3.2 FOUNDATION DETAILS
S4.0 FRAMING DETAILS
S4.1 FRAMING DETAILS
S4.2 FRAMING DETAILS

A1.0 EXISTING SURVEY
A1.1 EXISTING SITE PLAN
A1.2 PROPOSED SITE PLAN
A1.3 FLOOR PLAN LEVEL B
A1.4 FLOOR PLAN LEVEL 1
A1.5 FLOOR PLAN LEVEL 2
A1.6 REFLECTED CEILING PLAN LEVEL B
A1.7 REFLECTED CEILING PLAN LEVEL 1
A1.8 REFLECTED CEILING PLAN LEVEL 2
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
A2.3 EXTERIOR ELEVATIONS: M.I.L. SUITE
A4.1 SECTIONS
A4.2 SECTIONS: M.I.L. SUITE
A5.1 INTERIOR ELEVATIONS
A5.2 INTERIOR ELEVATIONS
A5.3 INTERIOR ELEVATIONS
A5.4 INTERIOR ELEVATIONS
A5.5 INTERIOR ELEVATIONS
A5.6 INTERIOR ELEVATIONS
A5.7 INTERIOR ELEVATIONS
A5.8 INTERIOR ELEVATIONS

GENERAL CONDITIONS

1. THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.

2. THE CONTRACTOR UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS, AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS, AND WILL BE EXPECTED TO COMPLY WITH THE SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.

3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL NOTES AND/OR ALL WORK ILLUSTRATED OR IMPLIED BY THE NOTES AND DRAWINGS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

GENERAL NOTES

1. THESE DRAWINGS ARE INTENDED TO COMPLIMENT A SEPARATE SPECIFICATION BOOKLET DATED AUGUST 08, 2013.

2. THESE CONSTRUCTION DOCUMENTS CONSIST OF ALL DOCUMENTS LISTED ON SHEET A0.1 AND THE INFORMATION ENCLOSED WITHIN.

3. CONTRACTOR SHALL VERIFY AND CORRELATE ALL DIMENSIONS ON THE JOB SITE. USE DIMENSIONS INDICATED. DO NOT SCALE DRAWINGS.

4. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPENCIES IN THE DRAWINGS, OR ACTUAL JOB CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORK AS INTENDED.

5. NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS.

6. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY STANDARDS, OSHA, AND THE BEST TRADE PRACTICES.

7. ALL INTERIOR SURFACES TO BE ½" GYPSUM WALL BOARD UNLESS OTHERWISE NOTED.

DOOR SCHEDULE									
LOCATION	KEY	QUANTITY	NOMINAL SIZE	TYPE	HEAD	JAMB	THRESHOLD	REMARKS	
EXTERIOR									
ENTRY	1	1	5'-0" X 8'-0"	PIVOT ENTRY DOOR	-	-	-		
GUEST BEDROOM	2	1	3'-0" X 8'-0"	FULL LITE GLASS DOOR	-	-	-		
BASEMENT LOUNGE	3	1	12'-0" X 8'-0"	FLEETWOOD NORWOOD 3000 SERIES	-	-	-	-	
LIVING ROOM	4	1	18'-0" X 9'-0"	FLEETWOOD NORWOOD 3000 SERIES		-			
M.I.L. SUITE	5	2	7'-5 1/2" X 8'-10 1/8"	FLEETWOOD NORWOOD 3000 SERIES					
GARAGE DOOR	6	1	18'-0" X 8'-0"		-		-		
INTERIOR									
BASEMENT STORAGE	7	1	3'-0" X 8'-0"	SWING DOOR					
BASEMENT CLOSET	8	1	3'-0" X 8'-0"	SWING DOOR					
GARAGE	9	1	3'-0" X 8'-0"	SWING DOOR					
BASEMENT BATH	10	1	3'-0" X 8'-0"	SWING DOOR					
GUEST BEDROOM	11	1	3'-0" X 8'-0"	SWING DOOR					
MASTER BATHROOM	12	1	3'-0" X 8'-0"	SWING DOOR					
MASTER BEDROOM	13	1	3'-0" X 8'-0"	SWING DOOR					
STAIR LOUNGE	14	1	4'-0" X 8'-0"	SWING DOOR					
BASEMENT KITCHEN	15	1	2'-10" X 8'-0"	SWING DOOR					
KIDS ROOM	16	2	2'-8" X 8'-0"	SWING DOOR					
MASTER BATH TOILET/ M.I.L.	17	2	2'-6" X 8'-0"	SWING DOOR					
DINING CLOSET	18	1	3'-0" X 7'-0"	SWING DOOR					
KIDS BATH TOILET	19	1	2'-6" X 7'-0"	SWING DOOR					
FORT	20	2	2'-0" X 4'-0"	SWING DOOR					
MASTER CLOSET	21	1	3'-8" X 8'-0"	POCKET SLIDING DOOR					
BASEMENT STAIR	22	1	3'-5" X 8'-0"	POCKET SLIDING DOOR					
POWDER ROOM / M.I.L. BATH	23	2	3'-0" X 8'-0"	POCKET SLIDING DOOR					
LAUNDRY	24	1	2'-6" X 8'-0"	POCKET SLIDING DOOR					
KIDS BATH	25	2	2'-6" X 7'-0"	POCKET SLIDING DOOR					
KIDS CLOSET	26	4	3'-4" X 6'-10"	SLIDING DOOR					

WINDOW SCHEDULE										
LOCATION	KEY	TYPE	ROUGH OPENING					DETAILS		
ROOM			WIDTH	HEIGHT	HEAD HT.	SILL HT	HEAD	JAMB	SILL	NOTES
DINING ROOM	A1	GERKIN/RHINO ALUM. FIXED/CASEMENT COMBO	5'-4"	6'-0"	8'-0"	2'-0"	-	-	-	1'-10" X 6'-0" CASEMENT & 3'-6" X 6'-0" FIXED MULLED TOGETHER
GUEST BEDROOM	A2	GERKIN/RHINO ALUM. FIXED/CASEMENT COMBO	5'-4"	6'-0"	8'-0"	2'-0"	-	-	-	1'-10" X 6'-0" CASEMENT & 3'-6" X 6'-0" FIXED MULLED TOGETHER
DOUBLE HEIGHT SPACE	B1	GERKIN/RHINO ALUM. FIXED	2'-0"	2'-0"	8'-8"	6'-8"	-	-	-	-
DOUBLE HEIGHT SPACE	B2	GERKIN/RHINO ALUM. FIXED	2'-0"	2'-0"	10'-8"	8'-6"				
DOUBLE HEIGHT SPACE	B3	GERKIN/RHINO ALUM. FIXED	2'-0"	2'-0"	15'-2"	13'-2"	-	-	-	-
DOUBLE HEIGHT SPACE	B4	GERKIN/RHINO ALUM. FIXED	2'-0"	2'-0"	19'-2"	17'-2"	-		-	-
MASTER BATHROOM	B5	GERKIN/RHINO ALUM. FIXED	2'-0"	2'-0"	8'-0"	6'-0"	-		-	-
MASTER BATHROOM	B6	GERKIN/RHINO ALUM. FIXED	2'-0"	2'-0"	8'-0"	6'-0"				
STAIR LOUNGE	C1	GERKIN/RHINO ALUM. CASEMENT	8'-0"	4'-6"	6'-0"	1'-6"				
GUEST BATH	D1	GERKIN/RHINO ALUM. FIXED	4'-0"	1'-6"	8'-0"	6'-6"	-		-	-
KIDS ROOM	E1	GERKIN/RHINO ALUM. CASEMENT	5'-0"	5'-6"	6'-6"	1'-0"				
KIDS ROOM	E2	GERKIN/RHINO ALUM. CASEMENT	5'-0"	5'-6"	6'-6"	1'-0"				
MASTER BATHROOM	F1	GERKIN/RHINO ALUM. FIXED	6'-0"	2'-0"	8'-0"	6'-0"	-	-	-	
DINING ROOM	G1	GERKIN/RHINO ALUM. FIXED	7'-6"	5'-0"	7'-0"	2'-0"	-		-	
KITCHEN	H1	GERKIN/RHINO ALUM. FIXED	7'-0"	4'-0"	7'-0"	3'-0"	-	-	-	-
LIVING ROOM	J1	GERKIN/RHINO ALUM. FIXED	7'-4"	3'-6"	5'-9"	2'-3"	-	-	-	-
MASTER BEDROOM	K1	GERKIN/RHINO ALUM. FIXED/CASEMENT COMBO	7'-6"	7'-0"	7'-0"	0'-0"	-	-	-	3'-10 5/8" X 2'-0" FIXED & 3'-10 5/8" X 5'-3 1/4" CASEMENT MULLED TOGETHER
MASTER BEDROOM	M1	GERKIN/RHINO ALUM. FIXED/CASEMENT COMBO	15'-6"	7'-0"	7'-0"	0'-0"				3'-10 5/8" X 2'-0" FIXED & 3'-10 5/8" X 5'-3 1/4" CASEMENT MULLED TOGETHER
BASEMENT KITCHEN	N1	GERKIN/RHINO ALUM. AWNING	8'-0"	2'-0"	8'-0"	6'-0"				
DOUBLE HEIGHT SPACE	P1	GERKIN/RHINO ALUM. FIXED	2'-0"	9'-0"	9'-0"	0'-0"			-	
DOUBLE HEIGHT SPACE	Q1	GERKIN/RHINO ALUM. FIXED	2'-0"	7'-0"	19'-2 1/4"	12'-2 1/4"	-	-	-	-
STAIR LEVEL 1	R1	GERKIN/RHINO ALUM. FIXED	2'-0"	3'-0"	3'-0"	0'-0"	-		-	
STAIR LEVEL 1	S1	GERKIN/RHINO ALUM. FIXED	2'-0"	4'-0"	10'-7 3/4"	6'-7 3/4"	-		-	
STAIR LEVEL 2	S2	GERKIN/RHINO ALUM. FIXED	2'-0"	4'-0"	7'-0"	3'-0"	-		-	
M.I.L. SUITE	T1	GERKIN/RHINO ALUM. FIXED/AWNING COMBO	3'-4"	8'-10 1/8"	8'-10 1/8"	0'-0"				3'-4" X 2'-0" AWNING & 3'-4" X 6'-8 1/8" FIXED MULLED TOGETHER
M.I.L. SUITE	T2	GERKIN/RHINO ALUM. FIXED/AWNING COMBO	3'-4"	8'-10 1/8"	8'-10 1/8"	0'-0"				3'-4" X 2'-0" AWNING & 3'-4" X 6'-8 1/8" FIXED MULLED TOGETHER
M.I.L. SUITE	T3	GERKIN/RHINO ALUM. FIXED/AWNING COMBO	3'-4"	8'-10 1/8"	8'-10 1/8"	0'-0"				3'-4" X 2'-0" AWNING & 3'-4" X 6'-8 1/8" FIXED MULLED TOGETHER
M.I.L. SUITE	T4	GERKIN/RHINO ALUM. FIXED/AWNING COMBO	3'-4"	8'-10 1/8"	8'-10 1/8"	0'-0"				3'-4" X 2'-0" AWNING & 3'-4" X 6'-8 1/8" FIXED MULLED TOGETHER

GENERAL

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO THOROUGHLY UNDERSTAND AND COMPLY WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS FOR THE PROJECT. ANY DEVIATION FROM THE CONTRACT DRAWINGS AND SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD. DEVIATIONS FROM THE CONTRACT DRAWINGS AND SPECIFICATIONS NOT APPROVED BY THE ENGINEER OF RECORD (INCLUDING, BUT NOT LIMITED TO, CONDUCTING ALL SPECIAL INSPECTIONS) WILL RESULT IN DENIAL OF A FINAL LETTER OF COMPLIANCE.

THESE GENERAL NOTES SHALL APPLY UNLESS SPECIFICALLY NOTED ON THE PLANS AND DETAILS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL COORDINATE ALL STRUCTURAL PLANS AND DETAILS WITH THE ARCHITECTURAL DRAWINGS BEFORE STARTING WORK. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. DESIGN, CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE.

THE STRUCTURAL SYSTEM OF THIS BUILDING IS DESIGNED TO PERFORM AS A COMPLETED UNIT. PRIOR TO COMPLETION OF THE STRUCTURE, STRUCTURAL COMPONENTS MAY BE UNSTABLE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY SHORING AND/OR BRACING AS REQUIRED FOR THE STABILITY OF THE INCOMPLETE STRUCTURE AND FOR THE SAFETY OF ALL ON-SITE PERSONNEL.

DESIGN CRITERIA

1. BUILDING CODE:		2012 INTERNATIONAL RESIDENTIAL CODE	
2. GRAVITY LOADS:			
A. DEAD LOADS			
1) ROOF		15 PSF	
3) SECOND FLOOR		20 PSF	
4) BALCONY		20 PSF	
B. LIVE LOADS			
1) ROOF		20 PSF MIN.	
2) FLOOR		40 PSF	
3) BALCONIES		60 PSF	
C. SNOW LOADS			
1) GROUND SNOW LOAD, Pg		5 PSF	
2) IMPORTANCE FACTOR, I		1.0	
3.LATERAL LOADS			
A. WIND LOADS			
1) WIND SPEED		115 MPH	
2) IMPORTANCE FACTOR, I		1.0	
3) EXPOSURE		B	
B. COMPONENTS AND CLADDING			
1) WALLS			
EFFECTIVE AREA (SQ. FT.)	TYPICAL (PSF)	CORNERS (PSF)	
10	25.9/-28.1	25.9/-34.7	
20	24.7/-26.9	24.7/-32.4	
50	23.2/-25.4	23.2/-29.3	
100	22.0/-24.2	22.0/-26.9	
500	19.3/-21.5	19.3/-21.5	
2) ROOFS			
EFFECTIVE AREA (SQ. FT.)	TYPICAL (PSF)	EDGES (PSF)	CORNERS (PSF)
10	10.5/-25.9	10.5/-43.5	10.5/-65.4
20	9.9/-25.2	9.9/-38.8	9.9/-54.2
50	9.0/-24.4	9.0/-32.7	9.0/-39.3
100	8.3/-23.7	8.3/-28.1	8.3/-28.1
C. DESIGN WIND PRESSURE MWFRS			
0-15 FT		19.2 PSF	
15-20 FT		18.2 PSF	
D. SEISMIC LOADS			
1) SEISMIC IMPORTANCE FACTOR			1.0
2) OCCUPANCY CATEGORY			II
3) MAPPED SPECTRAL RESPONSE ACCELERATIONS			
A) Ss		0.080g	
B) S1		0.032g	
4) SITE CLASS			D
5) SPECTRAL RESPONSE COEFFICIENTS			
A) Sps		0.053g	
B) Spt		0.021g	
6) SEISMIC DESIGN CATEGORY			A
7) BASIC SEISMIC-FORCE-RESISTING SYSTEM			
A) ORDINARY REINFORCED CONCRETE SHEAR WALLS			
B) DESIGN BASE SHEAR			4.9 KIPS
9) SEISMIC RESPONSE COEFFICIENT, Cs			0.01
10)RESPONSE MODIFICATION FACTOR, R			8
11)ANALYSIS PROCEDURE USED			
A) EQUIVALENT LATERAL FORCE			

FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL INVESTIGATION AND REPORT PREPARED BY ECS DATED MAY 10, 2013.

FOUNDATION NOTES

- FOR A DISTANCE OF 5'-0" OUTSIDE THE BUILDING LINE, REMOVE AT LEAST 12" OF TOP SOIL, VEGETATION (TREE STUMPS AND MAJOR ROOT SYSTEMS SHOULD BE COMPLETELY REMOVED), DEBRIS, ETC., AND ANY ADDITIONAL AMOUNT REQUIRED TO ENSURE THAT THE FINAL GRADING WILL PROVIDE A MINIMUM OF 12" OF SELECT FILL BELOW THE BOTTOM OF THE SLAB. REMOVAL OF SURFICAL SOIL CAN BE STOPPED IF LIMESTONE IS ENCOUNTERED. TERMINATE THE 5'-0" DISTANCE REQUIREMENT WHEN CRITICAL ROOT ZONES FALL WITHIN THIS AREA.
- REWORK AND COMPACT THE TOP 6" OF THE EXPOSED SUBGRADE TO 95% OF THE MAXIMUM DENSITY AT 2% TO 3% ABOVE OPTIMUM MOISTURE CONTENT, IN ACCORDANCE WITH ASTM METHOD D 698 USING A COMPACTIVE EFFORT OF 7.16 FT-LB./CU.IN.. DO NOT ALLOW THE EXPOSED SUBGRADE TO DRY OUT PRIOR TO PLACING THE STRUCTURAL FILL.

- FILL BACK TO REQUIRED GRADE WITH MATERIAL SELECTED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS BELOW. FILL SHOULD EXTEND AT LEAST 3'-0" BEYOND THE FOUNDATION PERIMETER AND SLOPE DOWN AT NOT MORE THAN ONE TO TWO SLOPE TO NATURAL SOIL EXCEPT AT DEEP BEAM CONDITIONS. 12" OF CLAY SOIL SHOULD BE PLACED OVER THE EXTENDED AREAS TO PREVENT WATER INFILTRATION INTO SELECT FILL.
- SELECT FILL, WHEN PROPERLY SLAKED AND TESTED BY STANDARD LABORATORY METHODS, SHALL MEET THE FOLLOWING REQUIREMENTS:

RETAINED ON 1-3/4" SCREEN	0%
RETAINED ON 1-1/2" SCREEN	0% - 15%
RETAINED ON 3/4" SCREEN	25% - 55%
RETAINED ON NO. 4 MESH SIEVE	30% - 75%
RETAINED ON NO. 40 MESH SIEVE	60% - 90%
MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A MINIMUM PLASTICITY INDEX OF 3 AND SHALL NOT HAVE A PLASTICITY INDEX OF GREATER THAN 18.	
MAXIMUM LIQUID LIMIT.....	35%
NOTE: SANDY LOAM OR ANY MATERIAL CONTAINING ANY ORGANIC MATTER IS NOT ACCEPTABLE SELECT FILL MATERIAL.	

- SAMPLES OF PROPOSED SELECT FILL SHALL BE FURNISHED TO THE TESTING LABORATORY 7 DAYS PRIOR TO INSTALLATION TO PERMIT TIME FOR SPECIFICATION COMPLIANCE INSPECTION AND APPROVAL.
- SELECT FILL SHALL BE COMPACTED IN THE FIELD IN LOOSE LIFTS NOT TO EXCEED 8" TO A MINIMUM OF 95% OF MAXIMUM LABORATORY DENSITY (FILL SHALL BE WITHIN 2% OF OPTIMUM MOISTURE CONTENT DURING COMPACTION) AS DETERMINED BY ASTM METHOD D 698 USING A COMPACTIVE EFFORT OF 7.16 FT.-LB./CU.IN.. FIELD DENSITIES SHALL BE CHECKED IN ACCORDANCE WITH ASTM D-2922.
- LABORATORY MOISTURE-DENSITY CURVE OR CURVES AS REQUIRED AND RESULTS OF AT LEAST 2 FIELD DENSITY CHECKS PER LIFT ARE TO BE SUBMITTED TO THE ARCHITECT OR ENGINEER.
- BEAM TRENCHES SHALL BE CUT DIRECTLY INTO COMPACTED FILL TO PLAN DIMENSIONS AND SACKING OF TRENCHES WILL BE PERMITTED FOR INSIDE OF PERIMETER BEAMS, IN CASE SACKING IS USED, DENSITY TESTING WILL NOT BE PERFORMED CLOSER THAN 4'-0" FROM THE INSIDE OF THE PERIMETER BEAM FACE.
- ALL FOUNDATION EXCAVATIONS SHALL BE EXTENDED TO FINAL GRADE AND THE FOOTINGS CONSTRUCTED AND POURED AS SOON AS POSSIBLE TO MINIMIZE POTENTIAL DAMAGE (DUE TO WETTING AND/OR DRYING) TO BEARING SOILS. FOUNDATION CONCRETE SHOULD NOT BE PLACED ON SOILS THAT HAVE BEEN DISTURBED BY RAINFALL OR SEEPAGE.

CONCRETE NOTES

- ALL CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) SPECIFICATION, ACI 301-05 AND THE BUILDING CODE REQUIREMENTS, ACI 318-08.
- ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE "ACI DETAILING MANUAL", PUBLICATION SP-66, LATEST EDITION, ACI 315, LATEST EDITION, AND ACI 315R, LATEST EDITION.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS:

ALL CONCRETE	3,000 PSI
MINIMUM CEMENT CONTENT	4.5 SACKS/CY
MAXIMUM WATER/CEMENT RATIO	0.55
SLUMP RANGE	2" MIN. - 5" MAX.

TYPE C OR F FLY ASH CAN BE SUBSTITUTED FOR CEMENT 20% TO 25% BY WEIGHT. CALCIUM CHLORIDE IS NOT ACCEPTABLE FOR USE IN MIX. FURNISH MIX DESIGNS FOR ALL CLASSES OF CONCRETE. RETAIN A QUALIFIED TESTING LABORATORY TO MAKE CONCRETE CYLINDERS AND PERFORM COMPRESSIVE TESTS. A MINIMUM OF THREE CYLINDERS SHALL BE TAKEN PER 50 CUBIC YARDS OF CONCRETE, WITH ONE TEST AT 7 DAYS AND TWO AT 28 DAYS. COARSE AND FINE AGGREGATES SHALL COME FROM SOURCES LISTED ON THE "CONCRETE RATED SOURCE QUALITY CATALOG" BY THE TEXAS DEPARTMENT OF TRANSPORTATION AS NON REACTIVE SOURCES PUBLISHED 1-21-11. SOURCES OF RIVER GRAVEL AND SAND SHALL HAVE NO MARCASITE OR IRON PYRITE PRESENT AT THE PRODUCTION FACILITY.
- REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.
- STANDARD PROTECTIVE COVER OF REINFORCING BARS UNLESS OTHERWISE NOTED SHALL BE:

SLABS ON GRADE (TOP)	2 IN.
GRADE BEAMS AND PIERS	
TOPS	1 1/2 IN.
SIDES	3 IN.
BOTTOMS	3 IN.
OTHER	1 1/2 IN.
- AT CORNERS AND "T" INTERSECTIONS OF ALL BEAMS EXTEND 4 CORNER BARS EQUAL TO THE SCHEDULED STEEL IN THE ADJACENT BEAMS 2'-0" EACH WAY, 2 BARS TOP AND 2 BARS BOTTOM. PROVIDE CORNER BARS AT ALL INTERMEDIATE REINFORCING BARS IN WALLS AND DEEP BEAMS.
- ALL ACCESSORIES SHALL BE IN ACCORDANCE WITH THE "ACI DETAILING MANUAL", PUBLICATION SP-66, LATEST EDITION, ACI 315, LATEST EDITION, AND ACI 315R, LATEST EDITION. PROVIDE CONCRETE BRICK CHAIRS AT ALL BEAMS AND SLABS TO SUPPORT REINFORCING STEEL AT A SPACING NOT TO EXCEED 4'-0" O.C. IN ANY DIRECTION.
- PROVIDE CONTROL JOINTS IN ALL SLABS AT A SPACING NOT TO EXCEED 15'-0" O.C. EACH WAY. JOINT DEPTH SHALL BE A MINIMUM OF 1/4 THE SLAB THICKNESS. IF JOINTS ARE SAW-CUT, THE CUTTING SHALL TAKE PLACE IMMEDIATELY AFTER FINISHING THE SLAB. JOINTS SHALL NOT BE LOCATED IN LINE WITH AND ABOVE GRADE BEAMS. COORDINATE LOCATION OF JOINTS WITH ARCHITECT.
- VERTICAL JOINTS IN FLOOR SLABS ARE TO BE SHOWN ON PLANS. NO HORIZONTAL JOINTS WILL BE PERMITTED IN SLABS OR BEAMS UNLESS NOTED OTHERWISE.
- INCLUDE AN ALLOWANCE FOR .5 TONS OF REINFORCING STEEL (ANY SIZE) TO BE USED AS DIRECTED IN THE FIELD FOR SPECIAL CONDITIONS (LABOR PLACING THE SAME TO BE INCLUDED). UPON COMPLETION OF THE PROJECT REBATE ANY AMOUNT REMAINING TO THE OWNER.

GENERAL NOTES

- LAP LENGTHS FOR BARS SCHEDULED AND DETAILED "CONT." SHALL BE:

FOR 3000 PSI CONCRETE	
#3 BARS - 22 INCHES	#7 BARS - 63 INCHES
#4 BARS - 29 INCHES	#8 BARS - 72 INCHES
#5 BARS - 36 INCHES	#9 BARS - 81 INCHES
#6 BARS - 43 INCHES	

LAP LENGTH FOR WELDED WIRE REINFORCEMENT SHALL BE EQUAL TO A DISTANCE OF TWO TIMES THE MESH SIZE OPENING.
- CONCRETE PLACED BY PUMPING SHALL MEET THE FOLLOWING REQUIREMENTS:
 - COARSE AGGREGATE SHALL BE GRADED FROM A MAXIMUM OF 1" DOWN.
 - MAXIMUM ALLOWABLE INCREASE IN CEMENT FACTOR SHALL BE 1/2 SACK PER CUBIC YARD OVER NORMAL MIX DESIGN.
 - MAXIMUM WATER CEMENT RATIO SHALL CONFORM TO NOTE 3 OF THIS SECTION. IF MORE WORKABILITY IS REQUIRED, AN ADMIXTURE MAY BE USED.
 - MAXIMUM WEIGHT RATIO OF FINE AGGREGATES TO COARSE AGGREGATES SHALL NOT EXCEED 2/3.
 - REFER TO ACI 301-05, SECTION 800, FOR OTHER PUMPING REQUIREMENTS.
- WELDING OR HEAT BENDING OF REINFORCING BARS SHALL NOT BE PERMITTED, UNLESS APPROVED BY THE ENGINEER.
- PROVIDE 3 - 3'-0" LONG #4 DIAGONAL REINFORCING BARS AT ALL REENTRANT CORNERS.
- DURING PLACEMENT OF CONCRETE, USE A TREMIE OR OTHER MEANS TO LIMIT FREE FALL OF CONCRETE TO 5'-0".
- PROVIDE 1/2" DIAMETER X 10" LONG HOT DIPPED GALVANIZED ANCHOR BOLTS AT 2'-0" O.C. IN THE FOUNDATION AT THE LOCATIONS OF ALL EXTERIOR WOOD FRAMED WALLS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE SECTION WITH 1 BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. BOLTS SHALL EXTEND A MINIMUM OF 7" INTO THE CONCRETE.
- EXTEND ALL GRADE BEAMS A MINIMUM OF 1'-6" BELOW EXISTING GRADE.
- CONCRETE SHALL BE CONTINUOUSLY CURED FOR A PERIOD OF 7 DAYS FOLLOWING PLACEMENT BY ANY OF THE FOLLOWING METHODS:
 - FOGGING WITH WATER
 - APPLYING AN APPROVED SPRAY ON CONCRETE CURING COMPOUND
 - COVERING WITH A POLY MEMBRANE
- PROVIDE STEGO WRAP 15 MIL. VAPOR BARRIER OR APPROVED EQUAL UNDER ALL CONCRETE SLABS AND GRADE BEAMS. VAPOR BARRIER SHALL CONFORM TO ASTM E 1745 CLASS A REQUIREMENTS. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND ASTM E 1643-98. DO NOT TEAR OR PUNCTURE VAPOR BARRIER.
- SHOP DRAWINGS SHALL BE PREPARED FOR ALL REINFORCING STEEL AND SUBMITTED FOR REVIEW BY THE ENGINEER. ENGINEER'S REVIEW WILL COVER BAR SIZES, AND GENERAL AGREEMENTS BUT NOT DIMENSIONS OR QUANTITIES. ENGINEERING DRAWINGS SHALL NOT BE REPRODUCED AND USED AS SHOP DRAWINGS. ANY REPRODUCED DRAWINGS WILL BE REJECTED AND RESUBMITTAL WILL BE REQUIRED.
- HOT WEATHER CONCRETE:

THE TEMPERATURE OF CONCRETE AS PLACED SHALL NOT EXCEED 90°F UNLESS OTHERWISE SPECIFIED OR PERMITTED. LOSS OF SLUMP, FLASH SET, OR COLD JOINTS DUE TO TEMPERATURE OF CONCRETE AS PLACED WILL NOT BE ACCEPTABLE. WHEN TEMPERATURE OF CONCRETE EXCEEDS 90°F, OBTAIN ACCEPTANCE, WHEN REQUIRED, OF PROPOSED PRECAUTIONARY MEASURES. WHEN TEMPERATURE OF STEEL REINFORCEMENT IS GREATER THAN 120°F, FOS STEEL REINFORCEMENT, EMBEDMENTS, SUBGRADE AND FORMS WITH WATER IMMEDIATELY BEFORE PLACING CONCRETE. REMOVE STANDING WATER BEFORE PLACING CONCRETE. REDUCE TIME BETWEEN PLACING AND START OF CURING BY AVOIDING DELAYS DURING CONSTRUCTION. IN THE EVENT OF ANY DELAY DURING CONSTRUCTION PROTECT CONCRETE WITH TEMPORARY COVERINGS, SUCH AS POLYETHYLENE SHEETING OR SPRAY APPLY AN EVAPORATION RETARDER IMMEDIATELY AFTER FINISHING TO MINIMIZE EVAPORATION, APPLY A SUITABLE CURING MATERIAL SUCH AS A CURING COMPOUND, WET BURLAP, OR CURING PAPER.
- PIPES AND/OR CONDUITS GREATER THAN 1" IN OUTSIDE DIAMETER MUST BE LOCATED BENEATH THE VAPOR BARRIER, BURIED WITHIN THE FILL MATERIAL.
- PIPE OR CONDUIT LOCATED WITHIN THE GRADE BEAM AND RUNNING PARALLEL TO THE LENGTH OF THE GRADE BEAM IS LIMITED TO ONE 2" MAX. DIAMETER PIPE OR CONDUIT AND SHALL BE LOCATED AT MID-DEPTH OF THE GRADE BEAM. THE PIPE OR CONDUIT MUST CLEAR THE REINFORCING STEEL BY 2" MIN.
- WHERE PIPES EXTEND VERTICALLY THROUGH GRADE BEAM, WIDEN GRADE BEAM BY A DISTANCE GREATER THAN OR EQUAL TO THE DIAMETER OF THE PIPE. PLACE HALF OF THE HORIZONTAL BEAM REINFORCING AT EACH SIDE OF THE PIPE. THE PIPE OF CONDUIT MUST CLEAR THE REINFORCING STEEL BY 2" MIN.

TIMBER NOTES

- UNLESS OTHERWISE NOTED, ALL STRUCTURAL FRAMING LUMBER SHALL BE CLEARLY MARKED NO. 2 K.D. PINE BY THE SOUTHERN PINE INSPECTION BUREAU (SPIB) WITH A MINIMUM Fb = 1050 PSI IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS). ALL WALL STUDS SHALL BE S-P-F LUMBER, NO. 2 OR BETTER. ALL STUDS SHALL BE CONTINUOUS - NO FINGER JOINTED STUDS WILL BE PERMITTED.
- SOLID 2" BLOCKING SHALL BE PROVIDED AT THE ENDS AND POINTS OF SUPPORT OF ALL WOOD JOISTS, RAFTERS, AND PURLINS, AND SHALL BE PLACED BETWEEN SUPPORTS IN ROWS NOT EXCEEDING 8'-0" O.C. MAX. VERTICALLY. END NAIL WITH 2-16d NAILS OR SIDE TOE NAIL WITH 2-16d NAILS. ALL BLOCKING SHALL BE SAME DEPTH AS MEMBERS BEING BLOCKED.
- ALL CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE FASTENING SCHEDULE (TABLE 2304.9.1).

- ALL WOOD STUD WALLS SHALL BE FULL HEIGHT WITHOUT INTERMEDIATE PLATE LINE UNLESS DETAILED OTHERWISE.
- DECKING:

PLYWOOD DECKING - 1 1/8" FOR FLOORS, 19/32" FOR ROOFS, 15/32" FOR EXTERIOR SHEATHING, GRADE C-D, WITH EXTERIOR GLUE, USE 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES, 10d AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED. PROVIDE SOLID 2" BLOCKING AT ALL JOINTS IN PLYWOOD SHEAR WALLS. INSTALL PANELS WITH LONG DIMENSION PERPENDICULAR TO SUPPORTING MEMBER SPAN.

1 3/4" 16 GAGE STAPLES CAN BE USED IN LIEU OF NAILS FOR EXTERIOR SHEATHING. SPACE STAPLES AT 4" O.C. AT ALL SUPPORTED EDGES AND 8" O.C. AT ALL INTERMEDIATE SUPPORTS.

ORIENTED STRAND BOARD CAN BE USED IN LIEU OF PLYWOOD WITH THE OWNER'S AND ARCHITECT'S APPROVAL.

GLUE AND NAIL ALL FLOOR DECKING TO WOOD FLOOR FRAMING MEMBERS.
- ALL MEMBERS FRAMING INTO THE SIDE OF A HEADER, STEEL BEAM, HIP, VALLEY, RIDGE, TRUSS, GLUED-LAMINATED BEAM, OR ANY OTHER BEAMS SHALL BE ATTACHED USING METAL JOIST HANGERS (SIMPSON OR EQUAL).
- INCLUDE AN ALLOWANCE FOR 200 BOARD FEET OF LUMBER TO BE USED AS DIRECTED IN THE FIELD FOR SPECIAL CONDITIONS NOT COVERED BY NOTE OR DRAWING (LABOR FOR ERECTING SAME TO BE INCLUDED). UPON COMPLETION OF PROJECT REBATE TO OWNER ANY AMOUNT REMAINING.
- PROVIDE TRIPLE STUDS (OR CRIPPLES) AT EACH END OF ANY HEADER, BEAM, RIDGE, VALLEY, OR HIP SPANNING OVER 10'-0" UNLESS NOTED OTHERWISE. PROVIDE DOUBLE STUDS (OR CRIPPLES) AT EACH END OF ANY HEADER, BEAM, RIDGE, VALLEY, OR HIP SPANNING 5'-0" TO 10'-0" UNLESS NOTED OTHERWISE.
- IN EXTERIOR WALLS, PROVIDE DOUBLE FULL-HEIGHT STUDS AT BOTH EDGES OF FRAMED OPENINGS THAT ARE 4'-0" OR LARGER. PROVIDE TRIPLE FULL-HEIGHT STUDS IN OPENINGS THAT ARE 6'-0" OR LARGER. AT WINDOW OPENINGS, THE SILL PLATE SHOULD BE BUILT-UP TO MATCH THE STUDS AT BOTH ENDS OF THE OPENING.
- THE NEW GENERATION OF PRESSURE TREATED LUMBER PRODUCTS ARE HIGHLY CORROSIVE TO METAL CONNECTORS AND FASTENERS. ALL FASTENERS AND METAL CONNECTORS USED IN CONJUNCTION WITH THE NEW GENERATION OF PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED (MIN. G185 COATING) OR TYPE 304 OR 316 STAINLESS STEEL. THESE LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - ANCHOR BOLTS AT SOLE PLATE TO FOUNDATION
 - MUD SILL ANCHORS AT SOLE PLATE TO FOUNDATION
 - NAILS FROM SOLE PLATE TO WALL STUDS
 - NAILS AT EXTERIOR PLYWOOD SHEATHING TO SOLE PLATE
 - BOLTS AT LEDGER TO CONCRETE
 - JOIST TO TREATED LEDGER CONNECTIONS
 - ALL HANGERS ON TREATED JOISTS
 - PLYWOOD DECKING TO TREATED JOISTS
 - WOOD POSTS TO CONCRETE
 - NAILS AT FLOOR JOISTS AND RIM JOISTS TO SOLE PLATE
 - DECK BOARDS TO TREATED JOISTS

- IF PREFABRICATED TRUSSES ARE USED IN LIEU OF THE FRAMING SYSTEM SHOWN IN THESE DRAWINGS, THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS INCLUDING TRUSS LAYOUTS AND TRUSS DESIGN CALCULATIONS WITH SEAL OF REGISTERED ENGINEER IN STATE OF TEXAS FOR REVIEW. SHOP DRAWINGS SHALL ALSO INCLUDE SIZE AND LOCATION OF ALL REQUIRED BRACING MEMBERS (TEMPORARY AND PERMANENT) AND DETAILS OF ALL TRUSS TO TRUSS CONNECTIONS (EXAMPLE: HIP JACK TRUSS TO GIRDER TRUSS AND COMMON JACK TRUSSES TO GIRDER TRUSS). A REVIEW OF THE MODIFIED LOADING CONDITIONS ON THE FRAMING SYSTEM WILL BE REQUIRED. THIS REVIEW WILL BE CONSIDERED ADDITIONAL SERVICES AND WILL BE BILLED TO THE OWNER ON AN HOURLY BASIS.

PREFABRICATED WOOD TRUSSES

- FOR SIZE AND LOCATION OF OPENINGS REQUIRED IN TRUSS WEBS FOR DUCTS, MECHANICAL UNITS, OR OTHER, REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS..
- ALL FLOOR TRUSSES SHALL BE DESIGNED FOR A LIVE LOAD ACCORDING TO THE DESIGN CRITERIA OR TO THE LOADING DIAGRAMS SHOWN.
- TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, AND CALCULATIONS SEALED AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, FOR REVIEW. SHOP DRAWINGS SHALL INCLUDE SIZE AND LOCATION OF ALL REQUIRED BRACING MEMBERS (TEMPORARY AND PERMANENT) AND DETAILS OF ALL TRUSS TO TRUSS CONNECTIONS (EXAMPLE: HIP JACK TRUSS TO GIRDER TRUSS AND COMMON JACK TRUSSES TO GIRDER TRUSS).
- TRUSS MANUFACTURER SHALL PROVIDE A COPY OF "BUILDING COMPONENT SAFETY INFORMATION (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" TO TRUSS ERECTOR.
- ALL ROOF TRUSSES TO BE ATTACHED TO SUPPORTING WALLS WITH SIMPSON H10A HURRICANE TIES. INSTALL TIES ON THE SHEATHED SIDE OF THE WALL.
- CONTRACTOR TO PROVIDE AN ALLOWANCE FOR HOLDOWNS AT GIRDER TRUSSES. FINAL HOLDOWNS WILL BE DESIGNED UPON COMPLETION OF ENGINEER'S REVIEW OF TRUSS SUBMITTALS.

LAMINATED VENEER LUMBER (LVL)

- ALL LVL'S SHALL BE FABRICATED TO STANDARDS SET FORTH IN THE INTERNATIONAL CODE COUNCIL EVALUATION SERVICE (ICC-ES) REPORT NO. ESR-1387 AND SHALL PROVIDE MINIMUM ALLOWABLE DESIGN VALUES OF 2600 PSI IN BENDING, 285 PSI IN HORIZONTAL SHEAR PERPENDICULAR TO THE GLUE LINE AND 1,900,000 PSI IN MODULUS OF ELASTICITY.

STRUCTURAL STEEL NOTES

- ALL STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO THE ASTM SPECIFICATION A992 (Fy = 50 KSI) UNLESS OTHERWISE SHOWN OR NOTED.
- ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM SPECIFICATION A500 GRADE B (Fy = 46 KSI).
- ALL STRUCTURAL STEEL PLATES AND ANGLES SHALL CONFORM TO ASTM A36 (Fy = 36 KSI).
- ALL STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC).
- ALL STRUCTURAL BOLTS SHALL CONFORM TO ASTM A325 UNLESS OTHERWISE SHOWN OR NOTED. FURNISH HARDENED WASHERS AT ALL BOLTED CONNECTIONS, INCLUDING ANCHOR BOLTS.
- REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR VERIFICATION OF ALL BOLTS, BLOCKING ANCHORS, ETC., FOR THE ANCHORAGE OF THEIR RESPECTIVE ITEMS.
- ALL BEAMS AND COLUMNS SHALL BE FULL LENGTH WITHOUT SPLICES UNLESS OTHERWISE INDICATED ON PLANS.
- ALL SHOP AND FIELD WELDS SHALL BE MADE BY WELDERS WHO HAVE BEEN QUALIFIED AND CERTIFIED TO MAKE THE REQUIRED WELDS IN ACCORDANCE WITH THE LATEST AMERICAN WELDING SOCIETY (AWS) STANDARD AWS D1.1. ELECTRODES WHICH PRODUCE A MINIMUM 70 KSI TENSILE STRENGTH WELD SHALL BE USED.
- LINTELS OVER OPENINGS IN EXTERIOR WALLS UP TO 10'-0" NOT OTHERWISE COVERED SHALL BE ONE 6 X 4 X 3/8 ANGLE FOR EACH 4" OF MASONRY.
- ERECTION CONNECTORS SHALL BE PROVIDED IN ORDER TO PROPERLY ALIGN STRUCTURAL STEEL MEMBERS SO THAT THEY ARE TRUE AND PLUMB WHEN WELDS ARE MADE.
- SHOP DRAWINGS SHALL BE PREPARED FOR ALL STRUCTURAL STEEL AND SUBMITTED FOR REVIEW BY THE ENGINEER. ENGINEER'S REVIEW WILL COVER MEMBER SIZES, STRENGTH OF CONNECTIONS AND GENERAL ARRANGEMENTS BUT NOT DIMENSIONS OR QUANTITIES. ENGINEERING DRAWINGS SHALL NOT BE REPRODUCED AND USED AS SHOP DRAWINGS. ANY REPRODUCED DRAWINGS WILL BE REJECTED AND RESUBMITTAL WILL BE REQUIRED.
- SHOP DRAWINGS SHALL BE PREPARED FOR ALL MISCELLANEOUS STEEL ITEMS INCLUDING STAIRS AND HANDRAILS FOR REVIEW BY THE ARCHITECT AND ENGINEER. CALCULATIONS SHALL BE SUBMITTED SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS.
- ALL COMPLETE PENETRATION WELDS, BOTH SHOP AND FIELD, SHALL BE MADE UNDER THE OBSERVATION OF AN AWS CERTIFIED WELDING INSPECTOR.
- THE FABRICATOR SHALL SUPPLY BACK UP PLATES AND EXTENSION TABS FOR ALL COMPLETE PENETRATION WELDS.
- ALL COMPLETE PENETRATION WELDS SHALL BE X-RAYED BY AN AWS CERTIFIED WELDING INSPECTOR. ANY WELDS FOUND TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.

STATE OF TEXAS

104797

WILLIAM W. SMITH

REGISTERED PROFESSIONAL ENGINEER

3-13-14

SMITH STRUCTURAL ENGINEERS

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HANCOCK RESIDENCE

AUSTIN, TEXAS

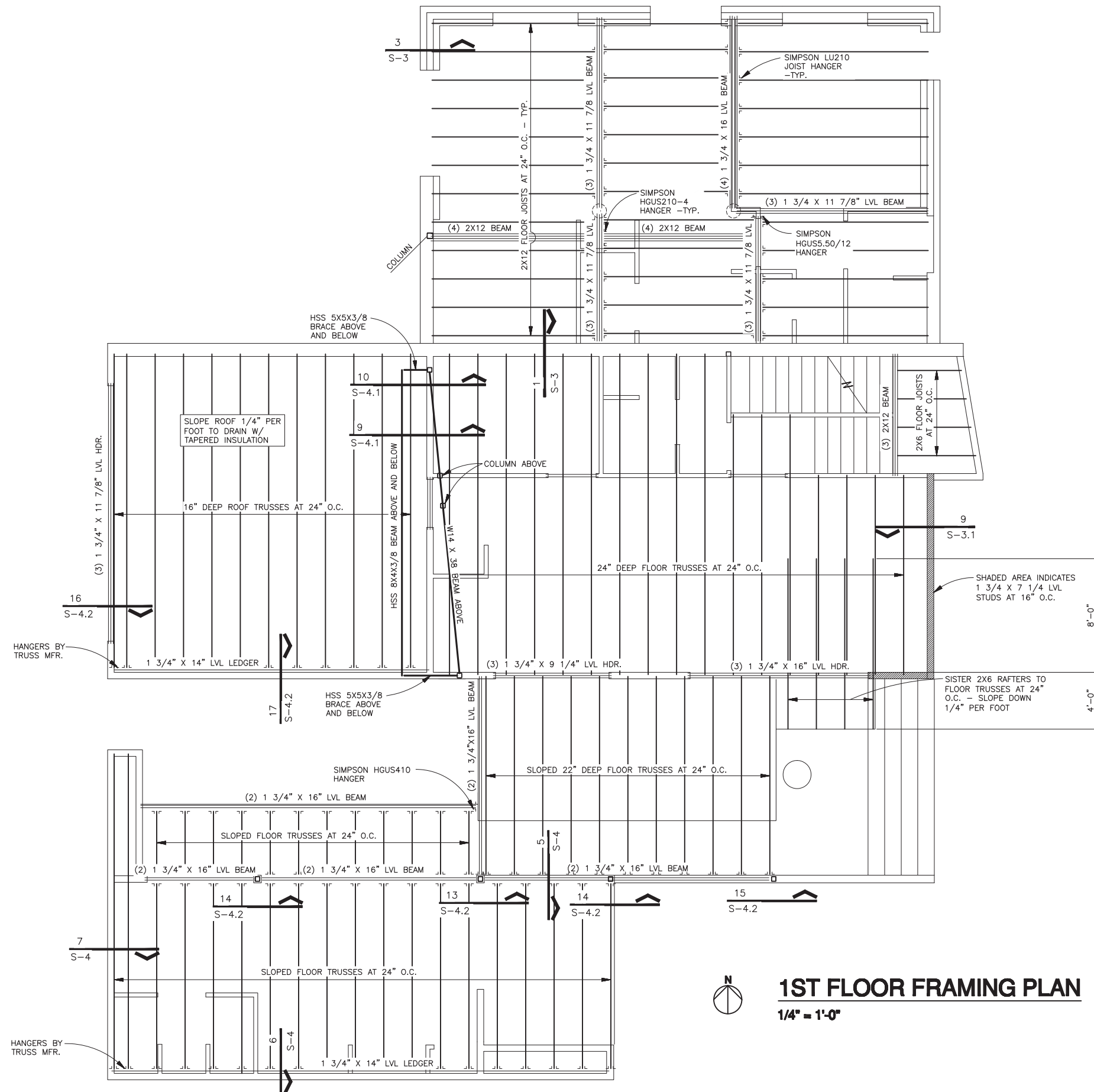
1631 PALMA PLAZA

DATE	3-13-14
PROJECT NUMBER	13099
REVISIONS	

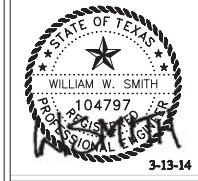
GENERAL NOTES

S-0

1 OF 13



- NOTES:
1. ALL EXTERIOR HEADERS AND BEAMS SHALL BE (3) 2X6'S UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR HEADERS AND BEAMS SHALL BE (2) 2X6'S UNLESS NOTED OTHERWISE.
 3. REF. S-1 FOR COLUMN SIZES
 4. BOLT ALL 4-PLY MEMBERS TOGETHER WITH 1/2" DIA. THRU BOLTS STAGGERED AT 24" O.C.



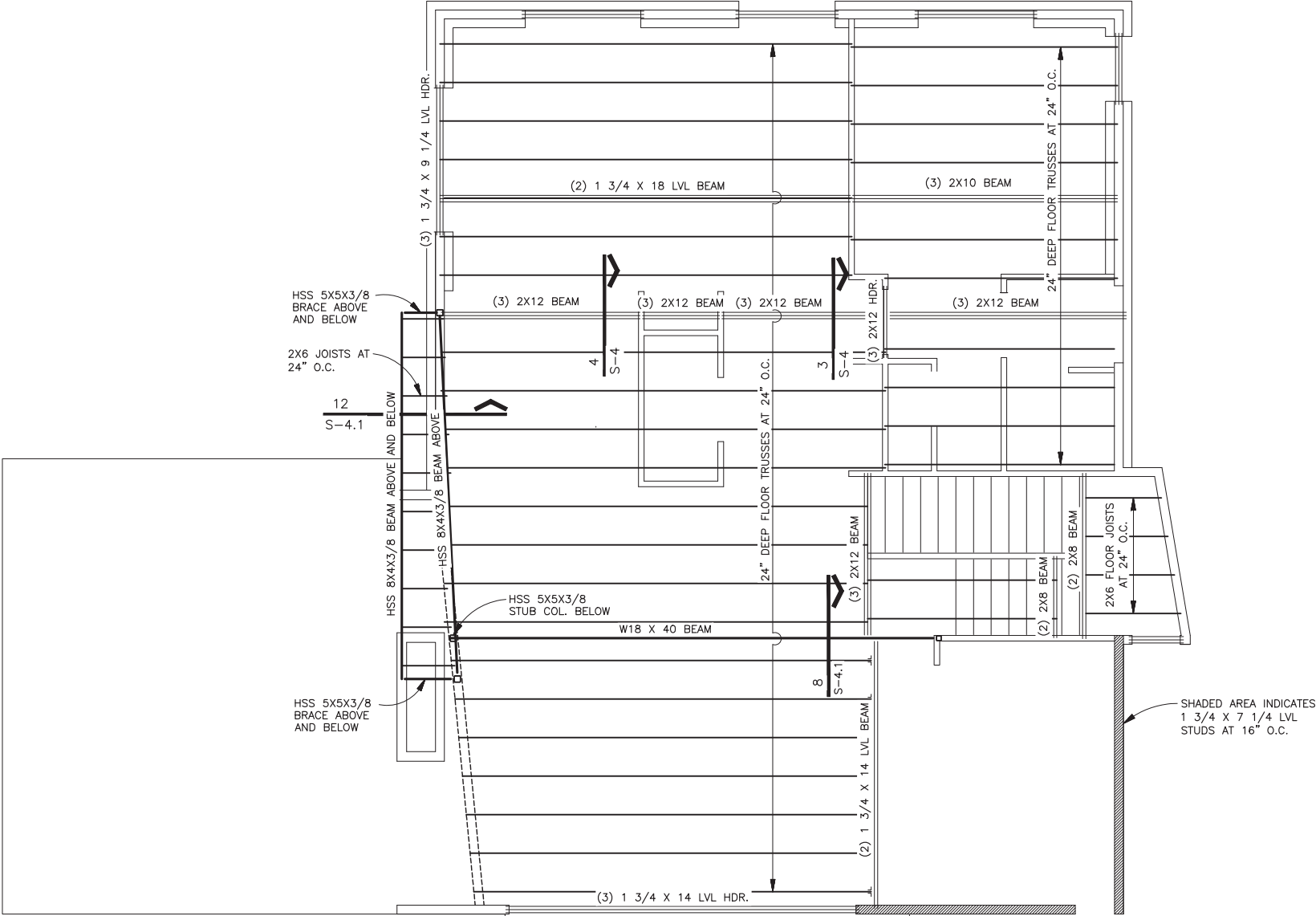
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PROJECT NUMBER	13049
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FRAMING PLAN
S-2.1
3 OF 13

1ST FLOOR FRAMING PLAN
1/4" = 1'-0"



2ND FLOOR FRAMING PLAN
1/4" = 1'-0"

- NOTES:**
1. ALL EXTERIOR HEADERS AND BEAMS SHALL BE (3) 2X6'S UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR HEADERS AND BEAMS SHALL BE (2) 2X6'S UNLESS NOTED OTHERWISE.



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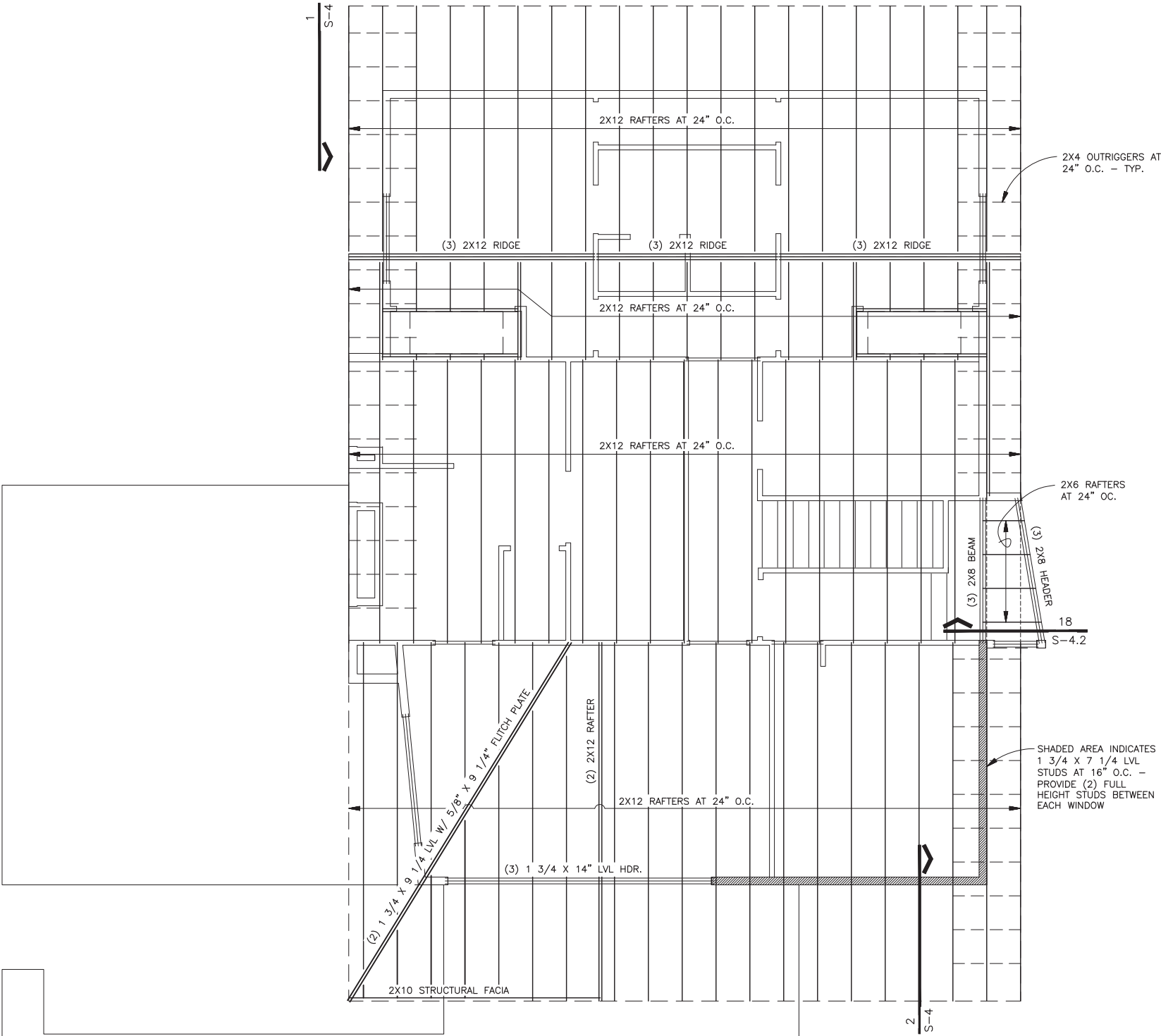
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DATE	3-13-14
PROJECT NUMBER	13059
REVISIONS	

FRAMING PLAN

S-2.2

4 OF 13



- NOTES:
1. ALL EXTERIOR HEADERS AND BEAMS SHALL BE (3) 2X6'S UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR HEADERS AND BEAMS SHALL BE (2) 2X6'S UNLESS NOTED OTHERWISE.



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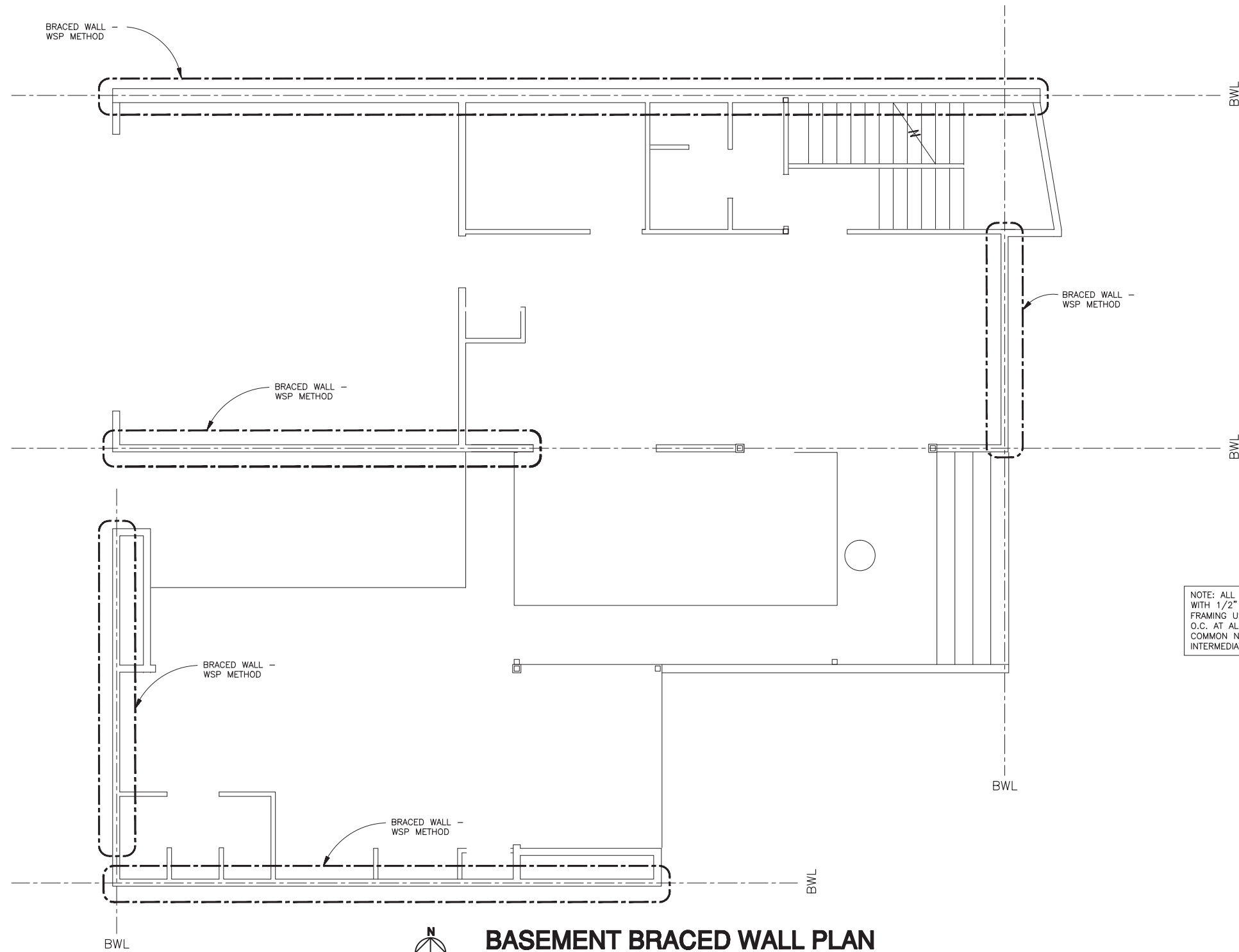
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1631 PALMA PLAZA
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DATE	3-13-14
PROJECT NUMBER	13059
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FRAMING PLAN

S-2.3

5 OF 13



BASEMENT BRACED WALL PLAN
1/4" = 1'-0"

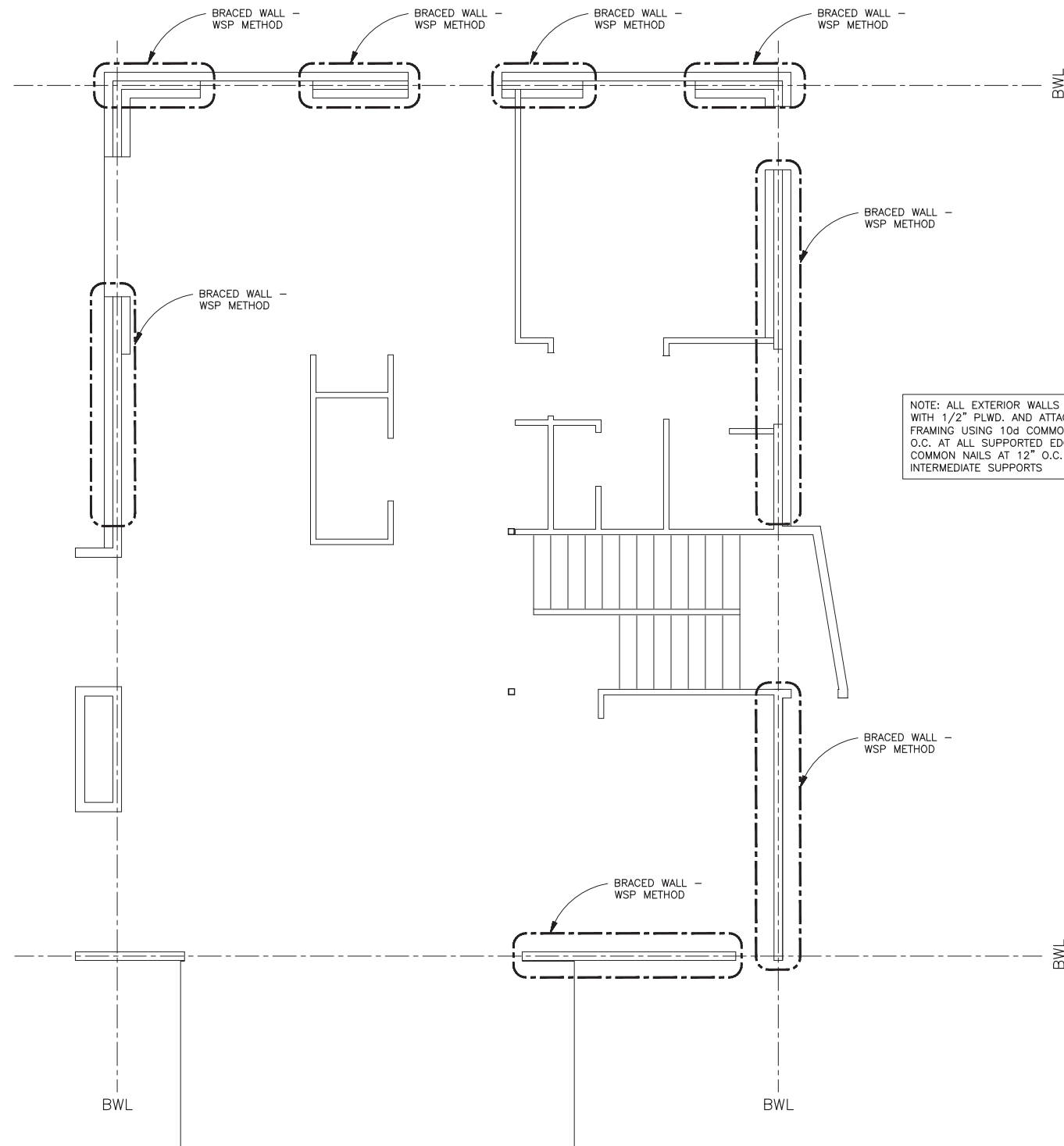


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PROJECT NUMBER	13059
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BRACED WALL PLAN
S-2.4
6 OF 13



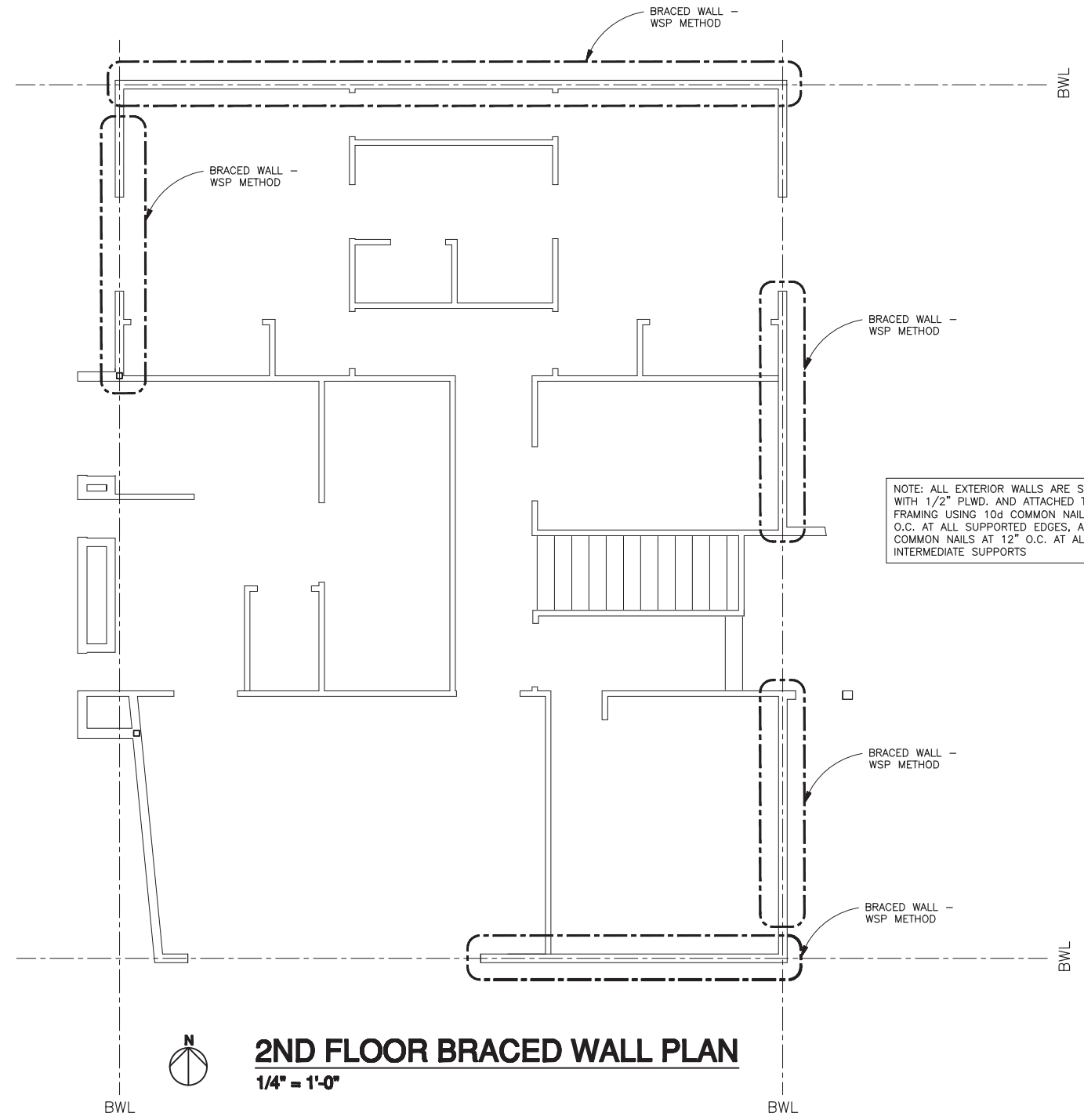
1ST FLOOR BRACED WALL PLAN
1/4" = 1'-0"



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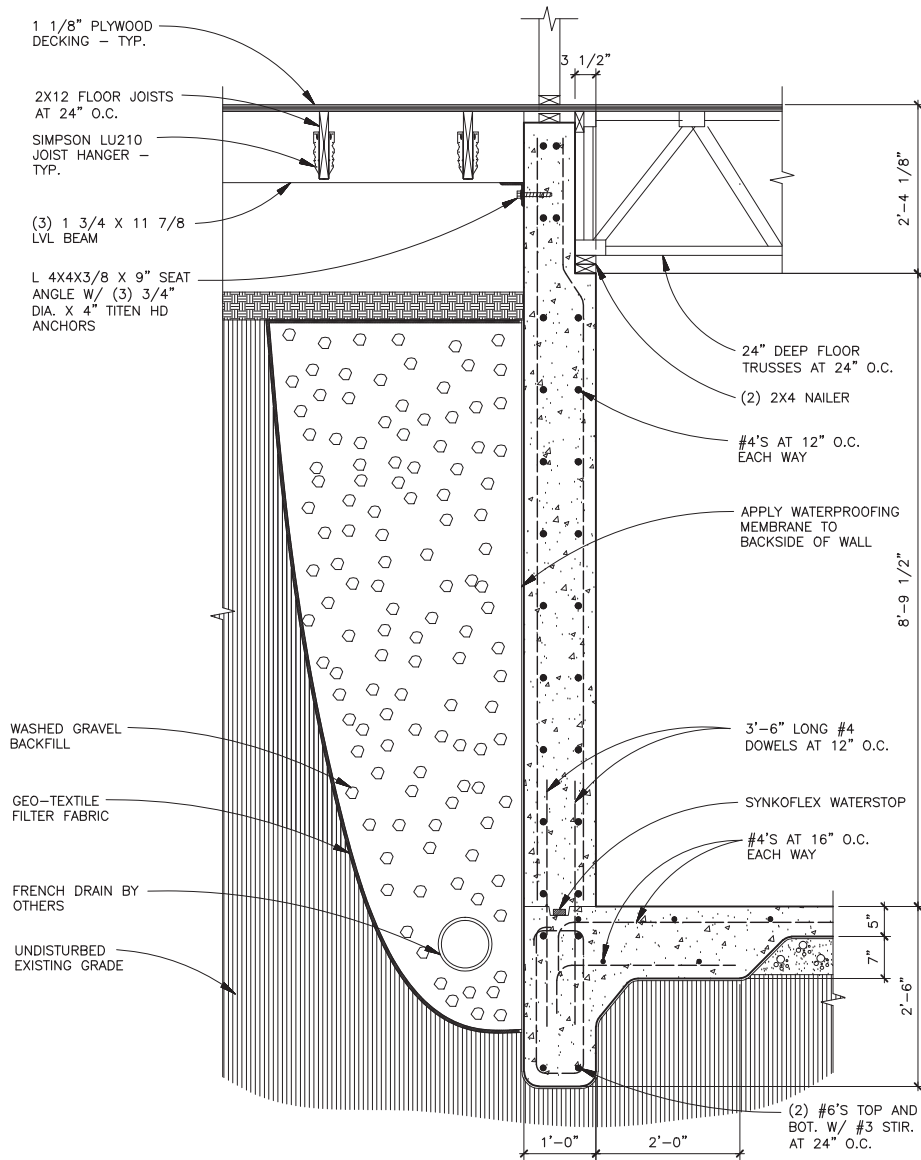
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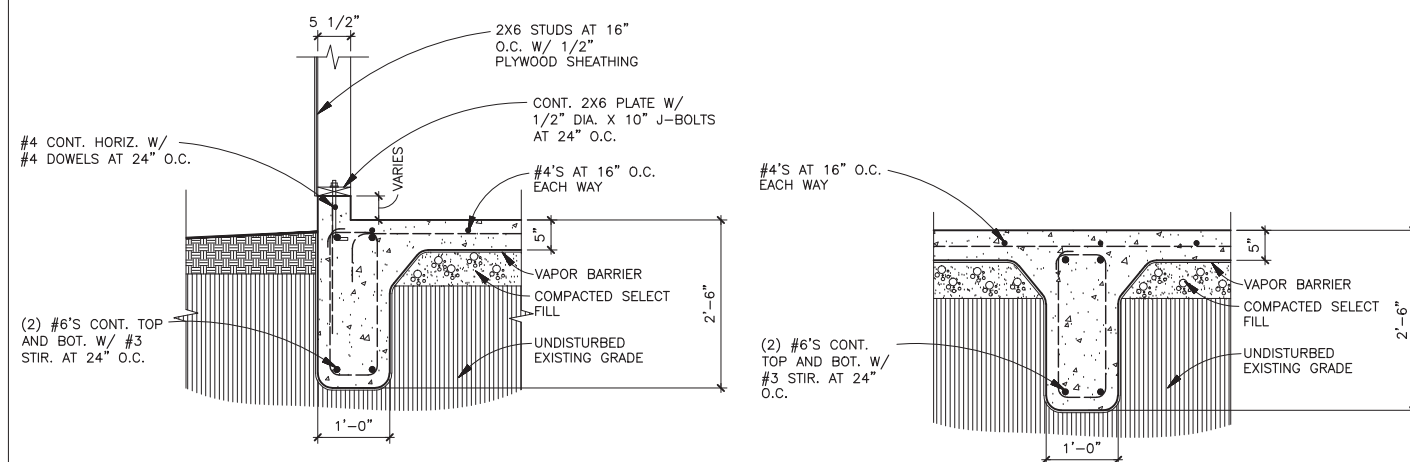
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PROJECT NUMBER	13059
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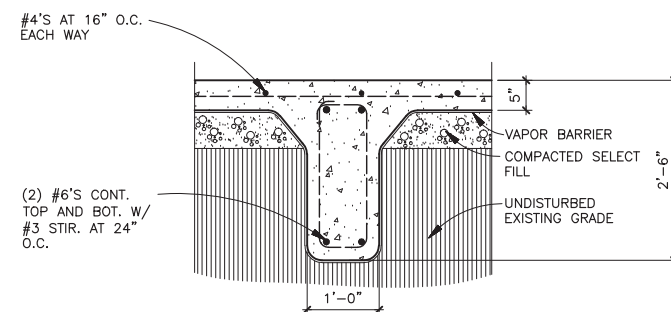
1. TYP. GARAGE DROP DETAIL

3/4" = 1'-0"



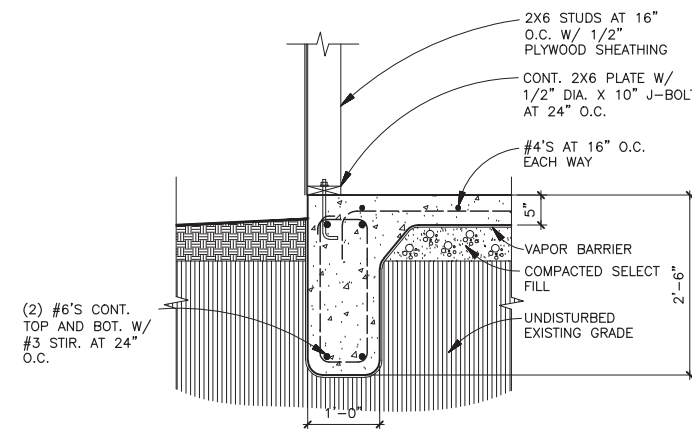
4. TYP. CURB AT GARAGE

3/4" = 1'-0"



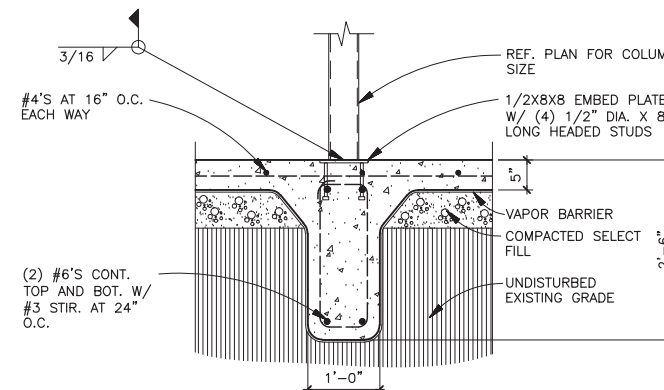
5. TYP. INTERIOR BEAM

3/4" = 1'-0"



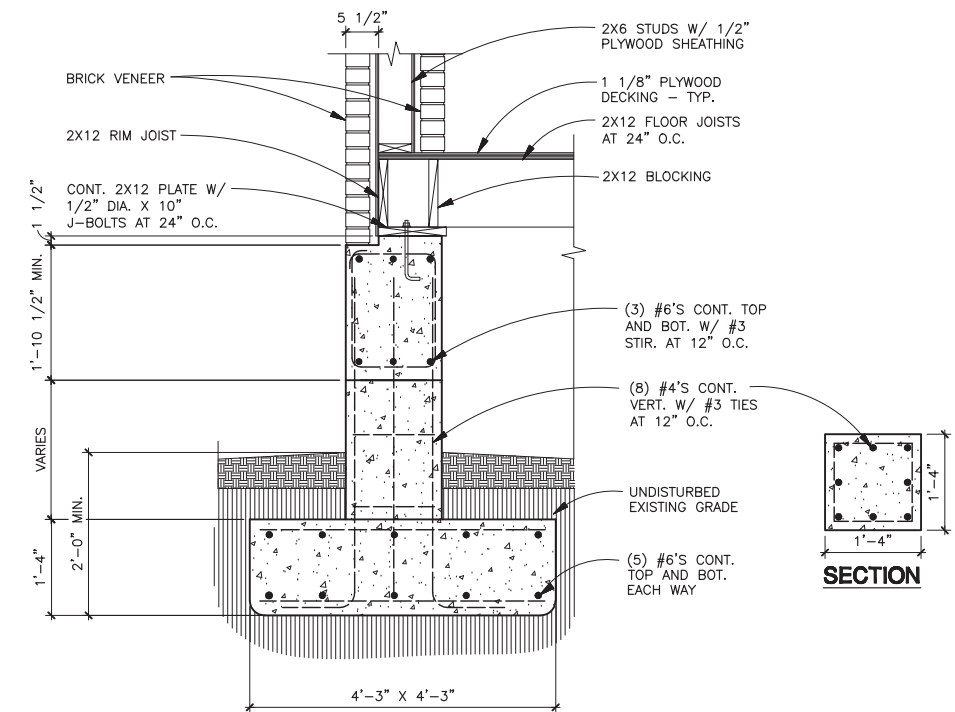
2. TYP. PERIMETER BEAM

3/4" = 1'-0"



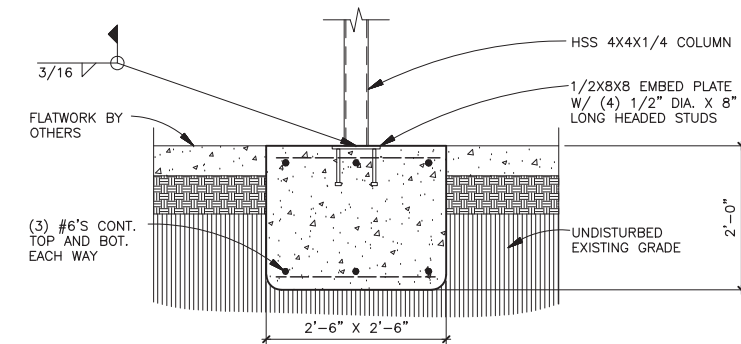
6. TYP. EMBED PLATE DETAIL

3/4" = 1'-0"



3. TYP. PERIMETER BEAM W/ LUG

3/4" = 1'-0"



7. 2'-6" SPREAD FOOTING

3/4" = 1'-0"



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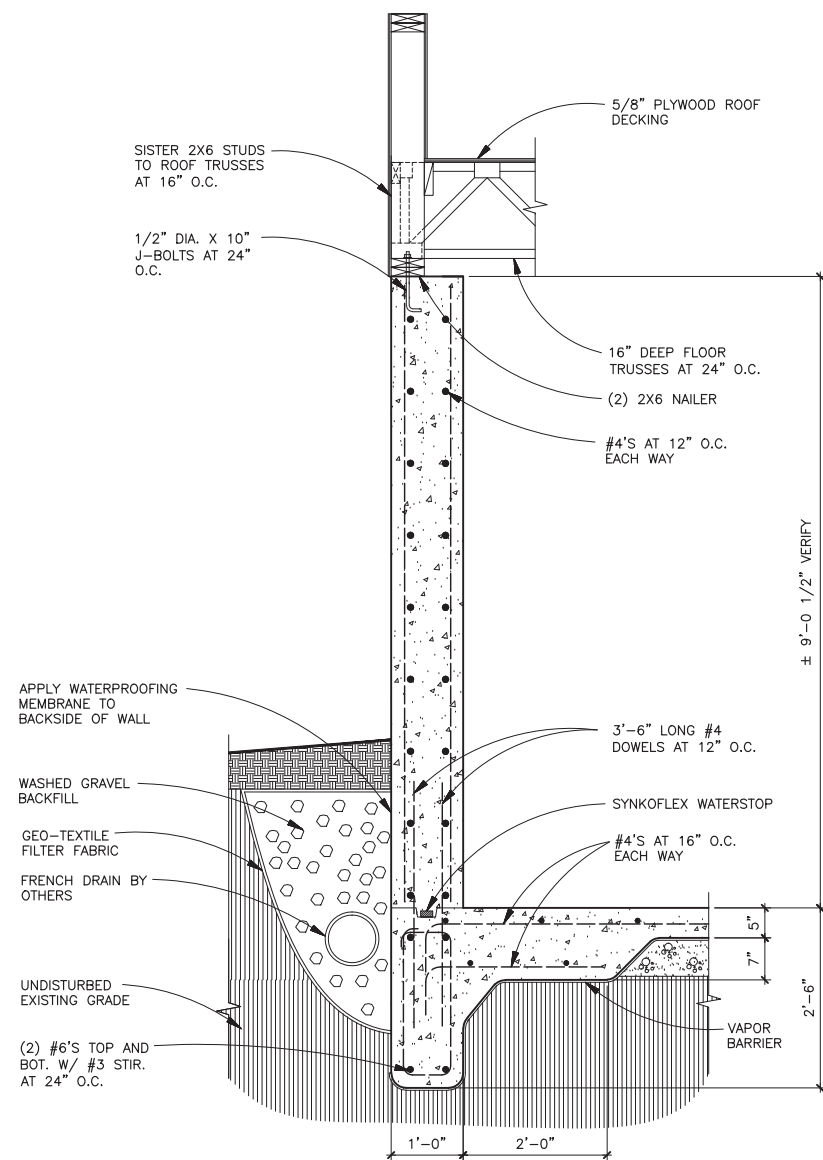
1631 PALMA PLAZA

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PROJECT NUMBER 13059
REVISIONS

FOUNDATION DETAILS

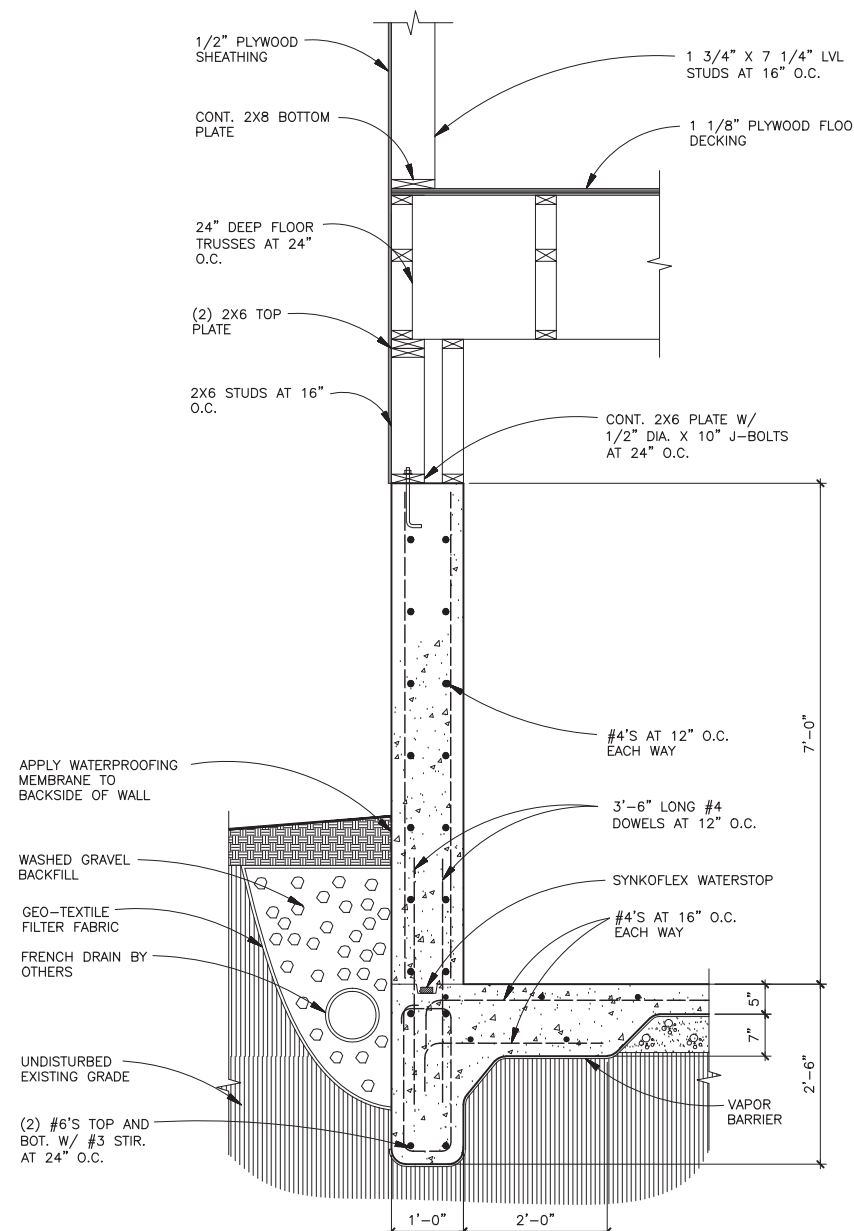
S-3

9 OF 13



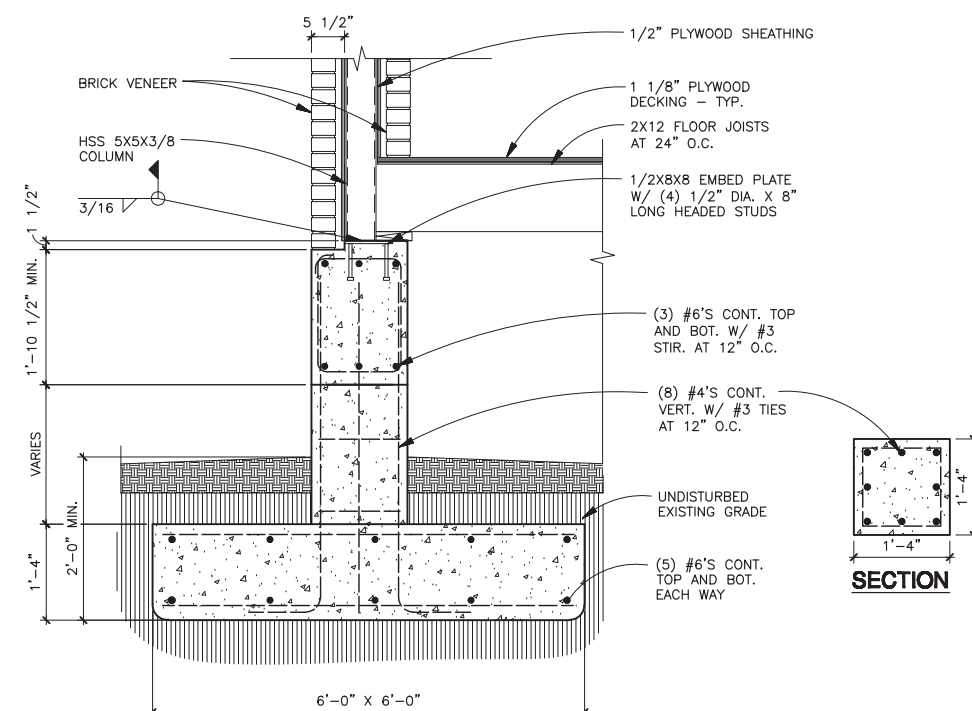
8. TYP. GARAGE PARAPET DETAIL

3/4" = 1'-0"



9. TYP. RETAINING WALL DETAIL

3/4" = 1'-0"



10. COLUMN / PERIMETER BEAM

3/4" = 1'-0"



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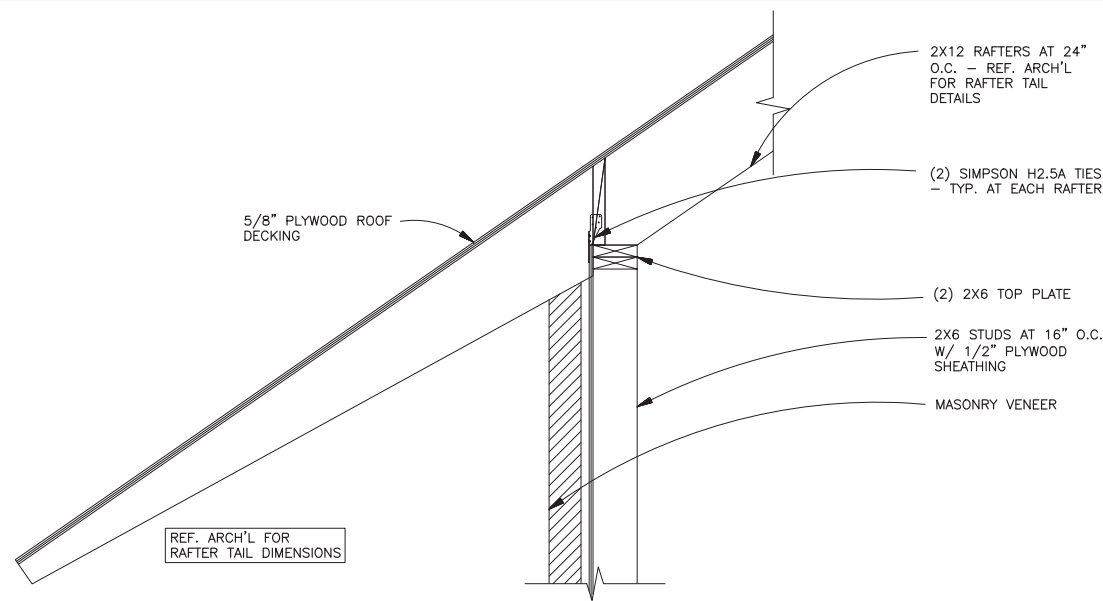
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PROJECT NUMBER	13059
REVISIONS	

FOUNDATION DETAILS

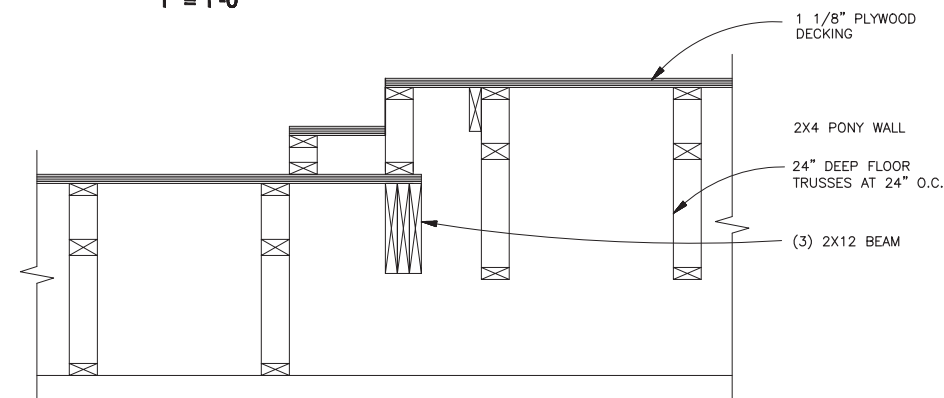
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10 OF 13



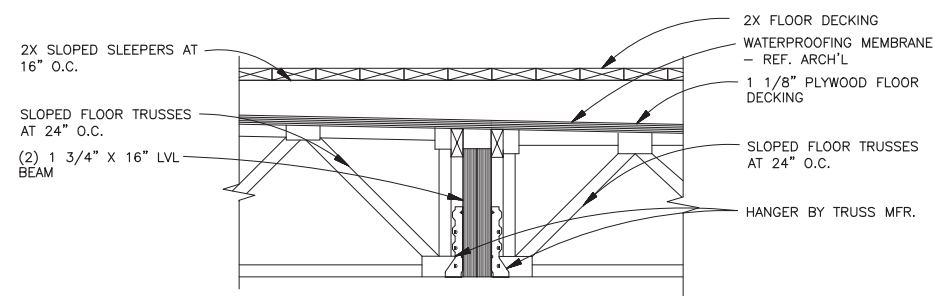
1. TYP. FRONT OVERHANG

1" = 1'-0"



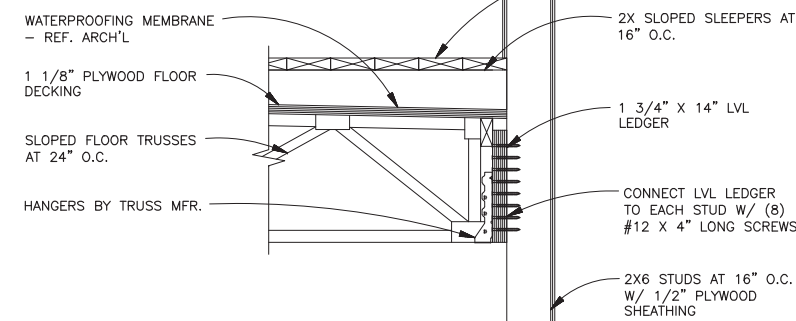
3. SECTION THRU 3RD LEVEL STAIRS

1" = 1'-0"



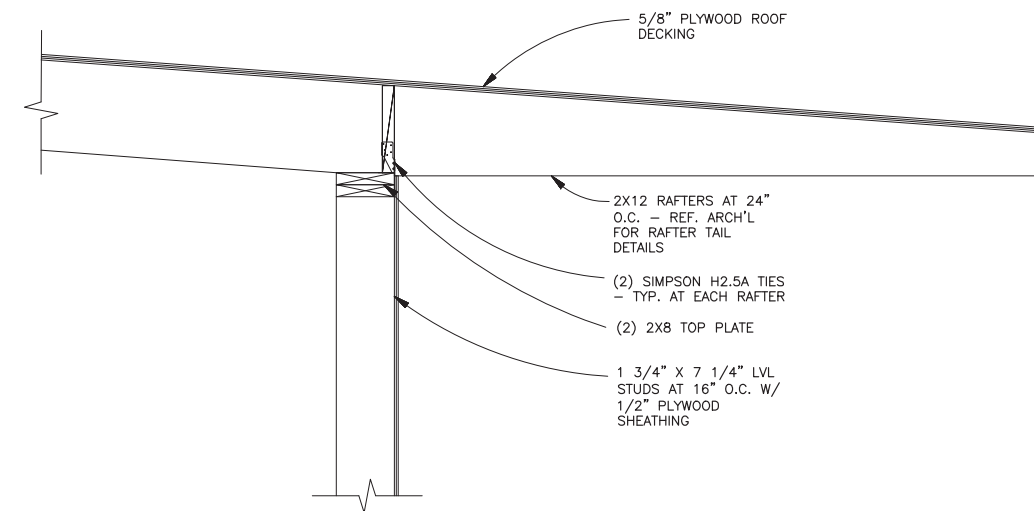
5. BALCONY / ROOF DECK TRANSITION

1" = 1'-0"



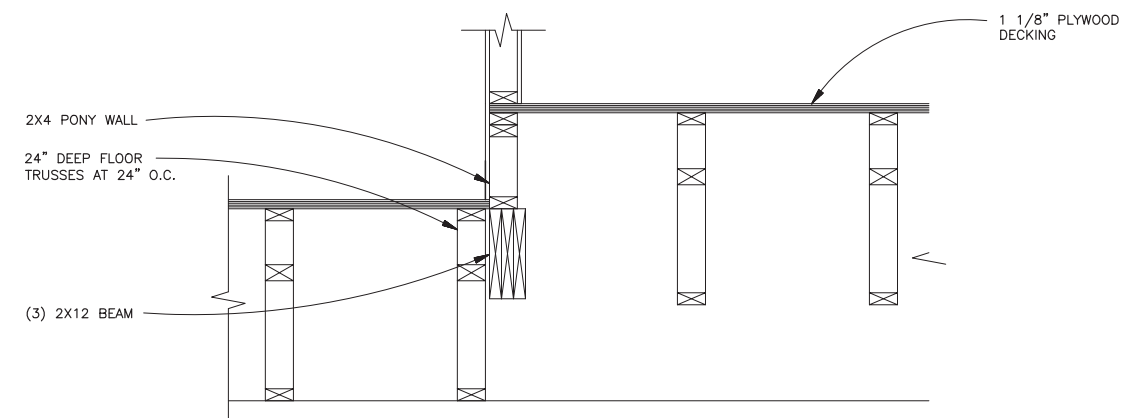
6. PARAPET / TRUSS CONN.

1" = 1'-0"



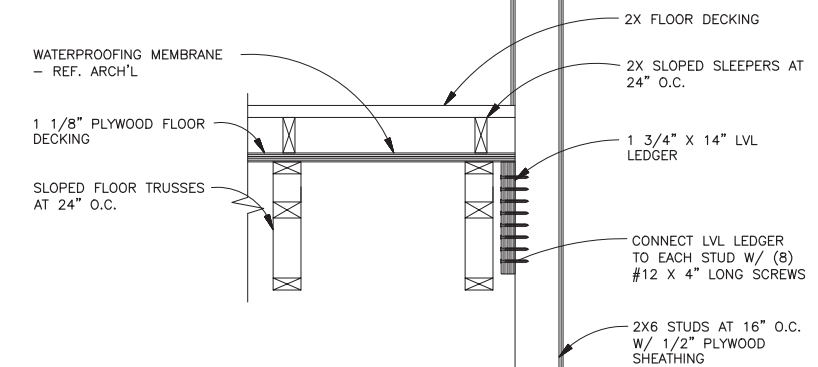
2. TYP. BACK OVERHANG

1" = 1'-0"



4. SECTION THRU 3RD LEVEL DROP

1" = 1'-0"



7. PARAPET / TRUSS CONN.

1" = 1'-0"



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1631 PALMA PLAZA

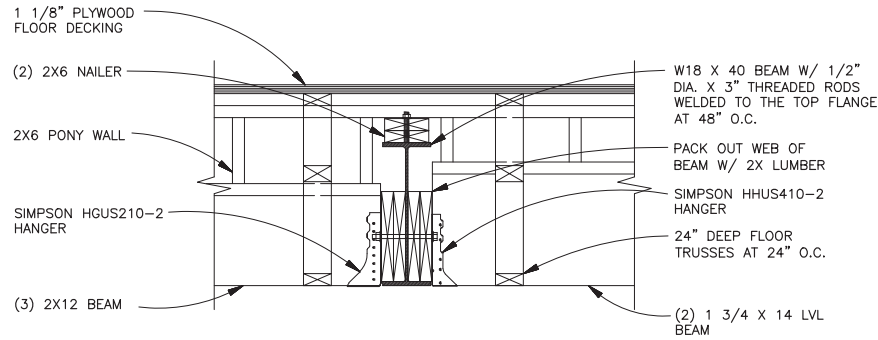
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FRAMING DETAILS

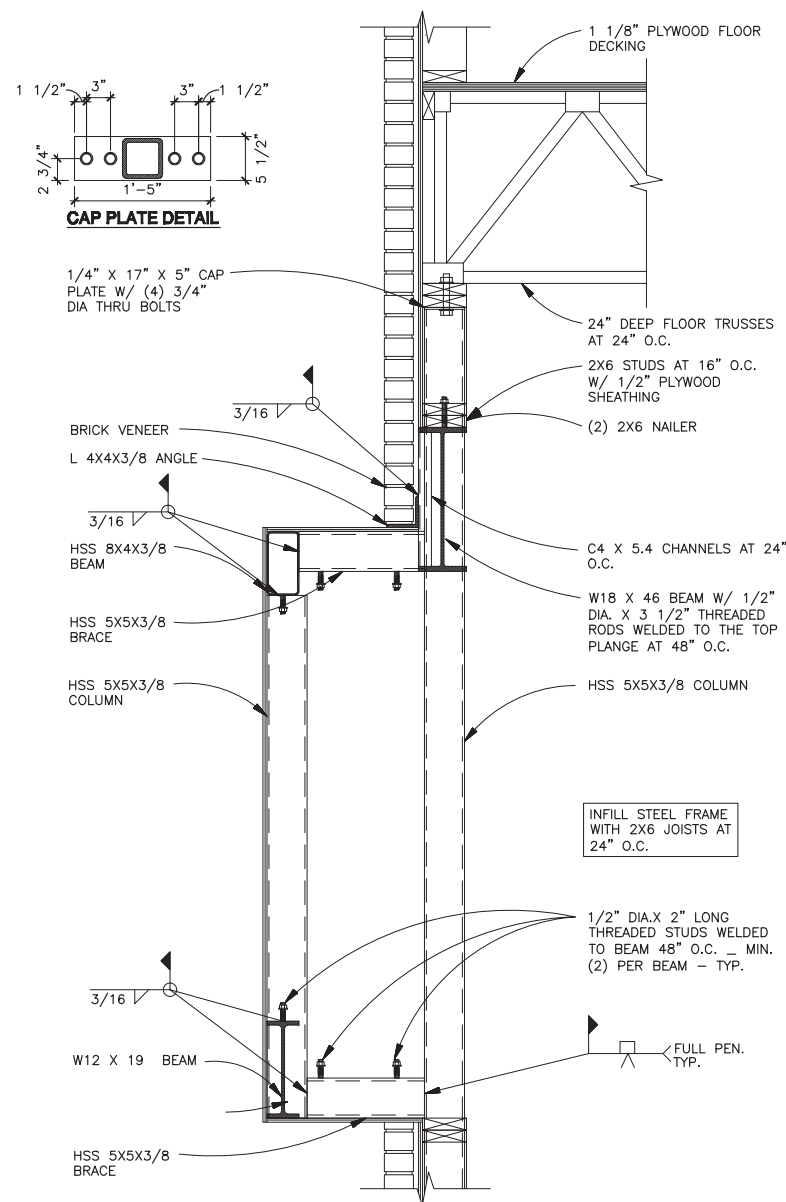
S-4

11 OF 13



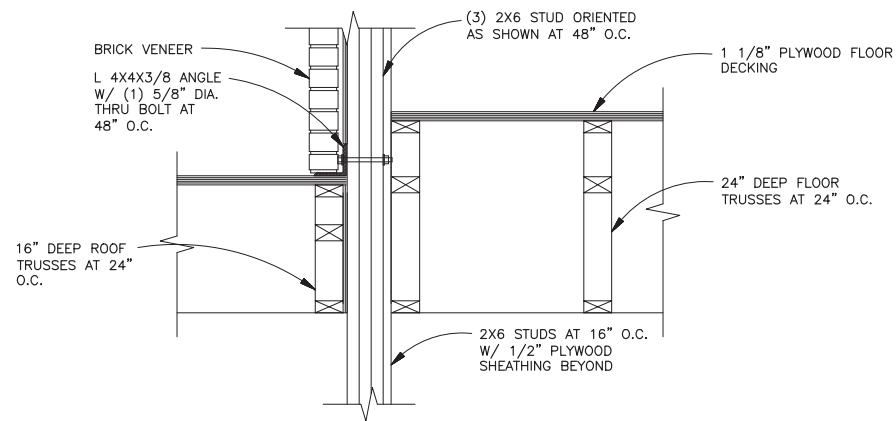
8. BEAM / BEAM CONNECTION

1" = 1'-0"



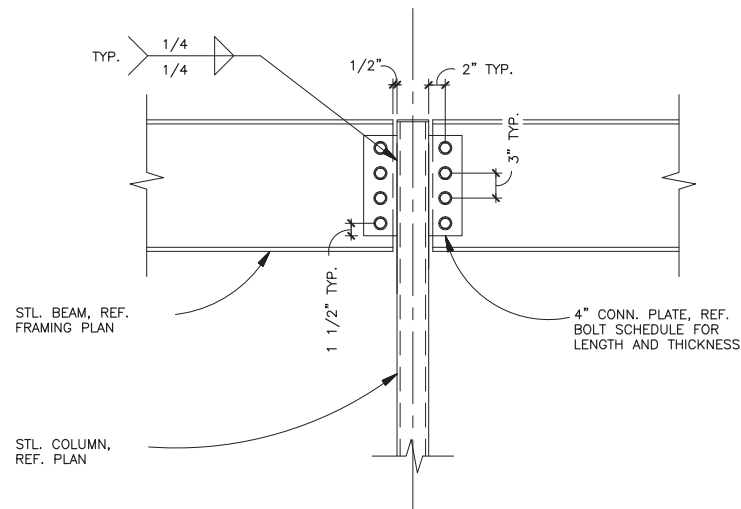
9. WALL PROJECTION

1" = 1'-0"



10. GARAGE ROOF / SECOND FLOOR

1" = 1'-0"

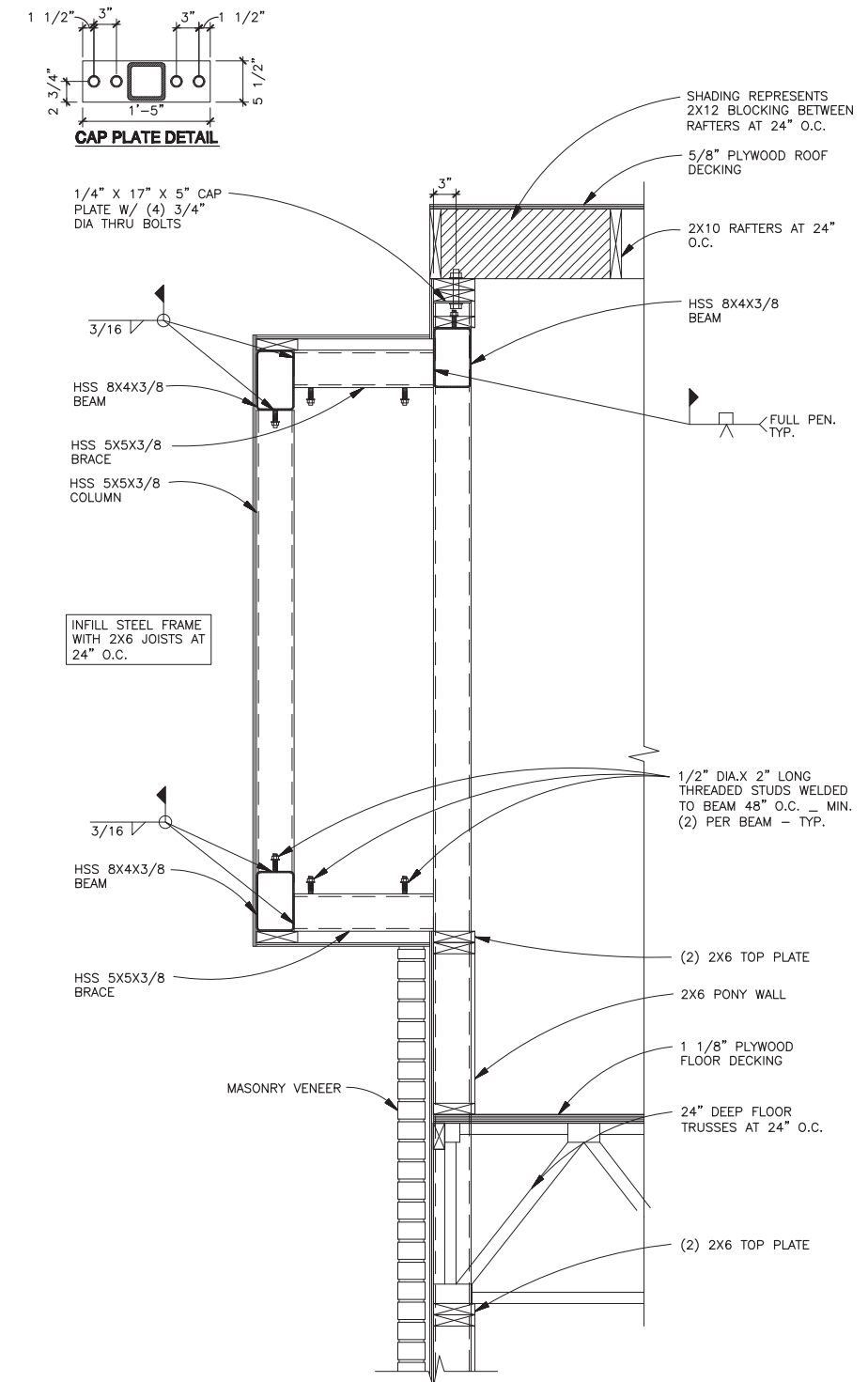


BOLTING SCHEDULE

BEAM	PLATE SIZE	NUMBER OF 3/4" DIA. A325 BOLTS
W10, W12	3/8" X 4" X 6"	2
W14	3/8" X 4" X 9"	3
W18	3/8" X 4" X 15"	5

11. BOLT SCHEDULE AND CONN.

N.T.S.



12. WALL PROJECTION DETAIL

1" = 1'-0"



**SMITH
STRUCTURAL
ENGINEERS**

9701 BRODIE LN., SUITE A-204 AUSTIN, TEXAS 78748
PHONE: 512-478-5281 FAX: 512-381-0127 REG. #F-3907

HANCOCK RESIDENCE

AUSTIN, TEXAS

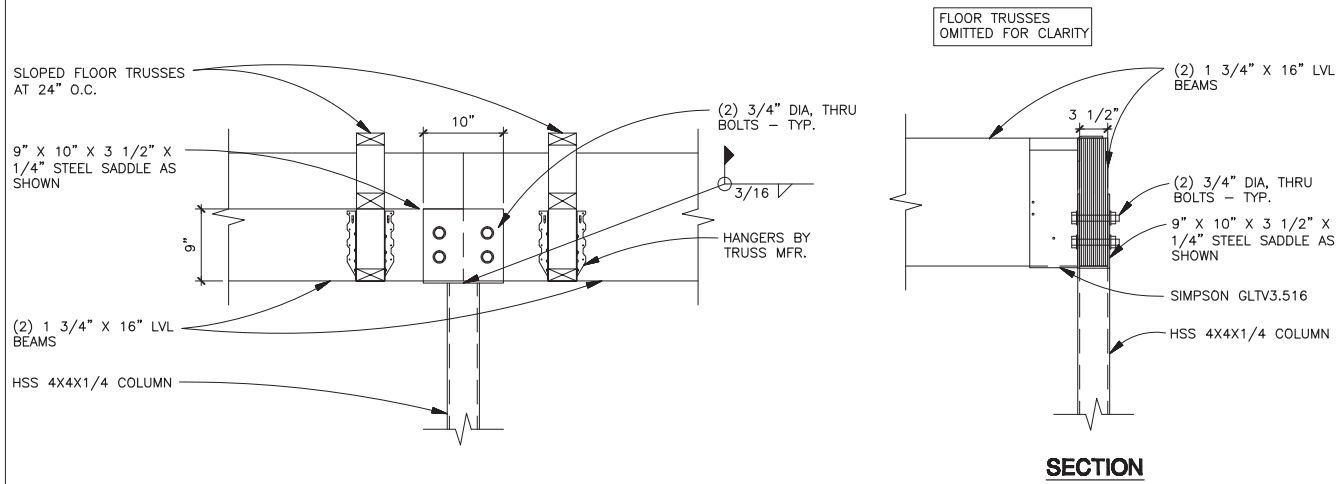
1631 PALMA PLAZA

DATE	3-13-14
PROJECT NUMBER	13059
REVISIONS	

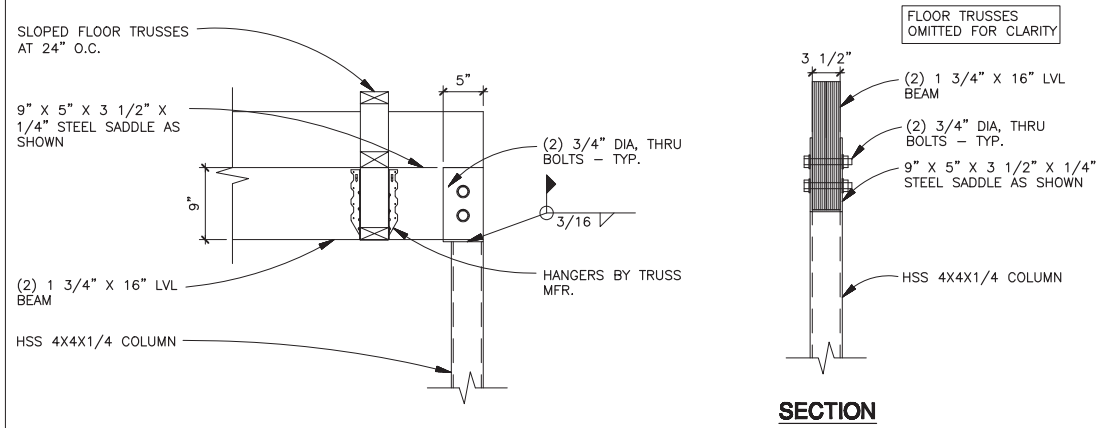
FRAMING DETAILS

S-4.1

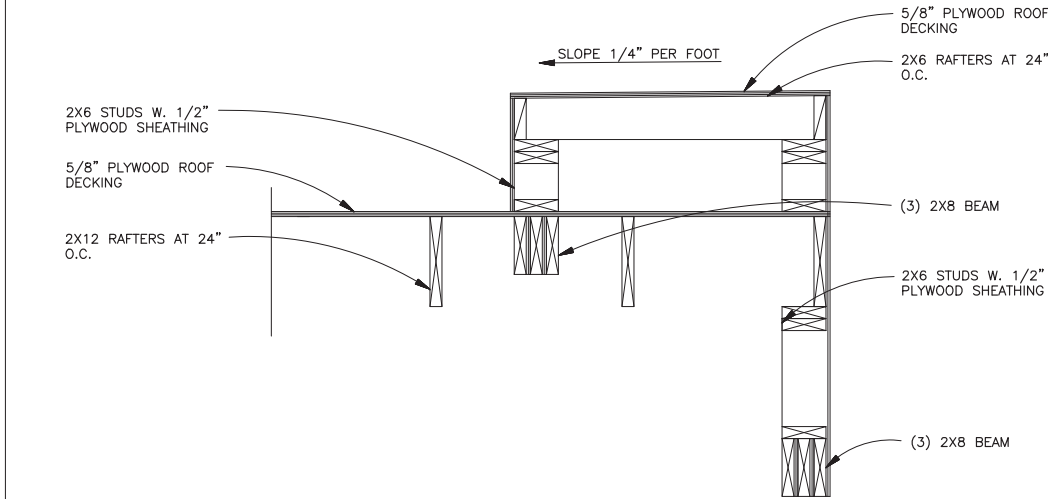
12 OF 13



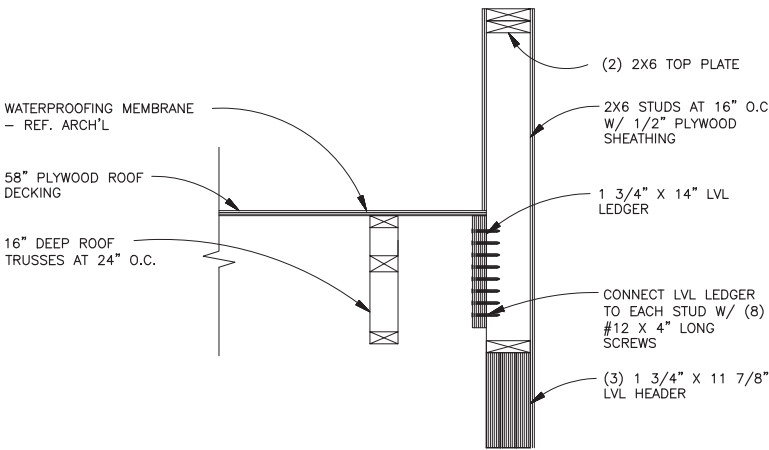
13. SADDLE AT M.I.L. SUITE
1" = 1'-0"



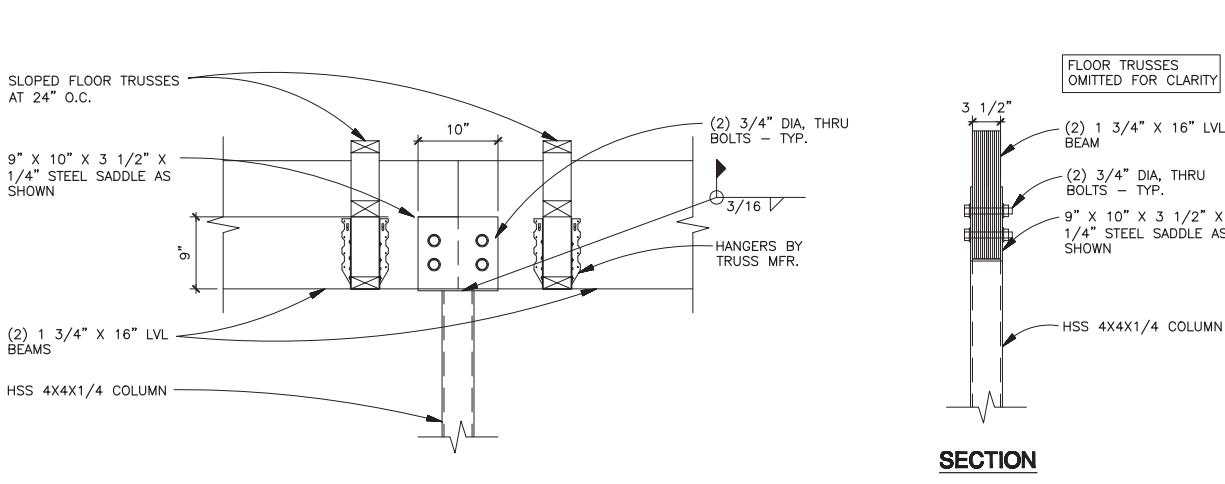
15. SADDLE AT M.I.L. SUITE
1" = 1'-0"



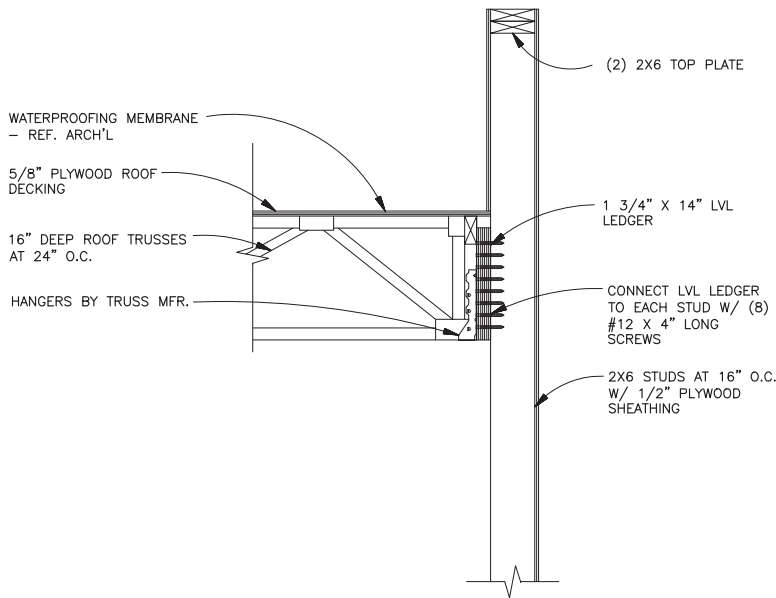
18. PARAPET AT STAIRS
1" = 1'-0"



16. PARAPET / TRUSS CONN.
1" = 1'-0"



14. SADDLE AT M.I.L. SUITE
1" = 1'-0"



17. GARAGE PARAPET / TRUSS CONN.
1" = 1'-0"

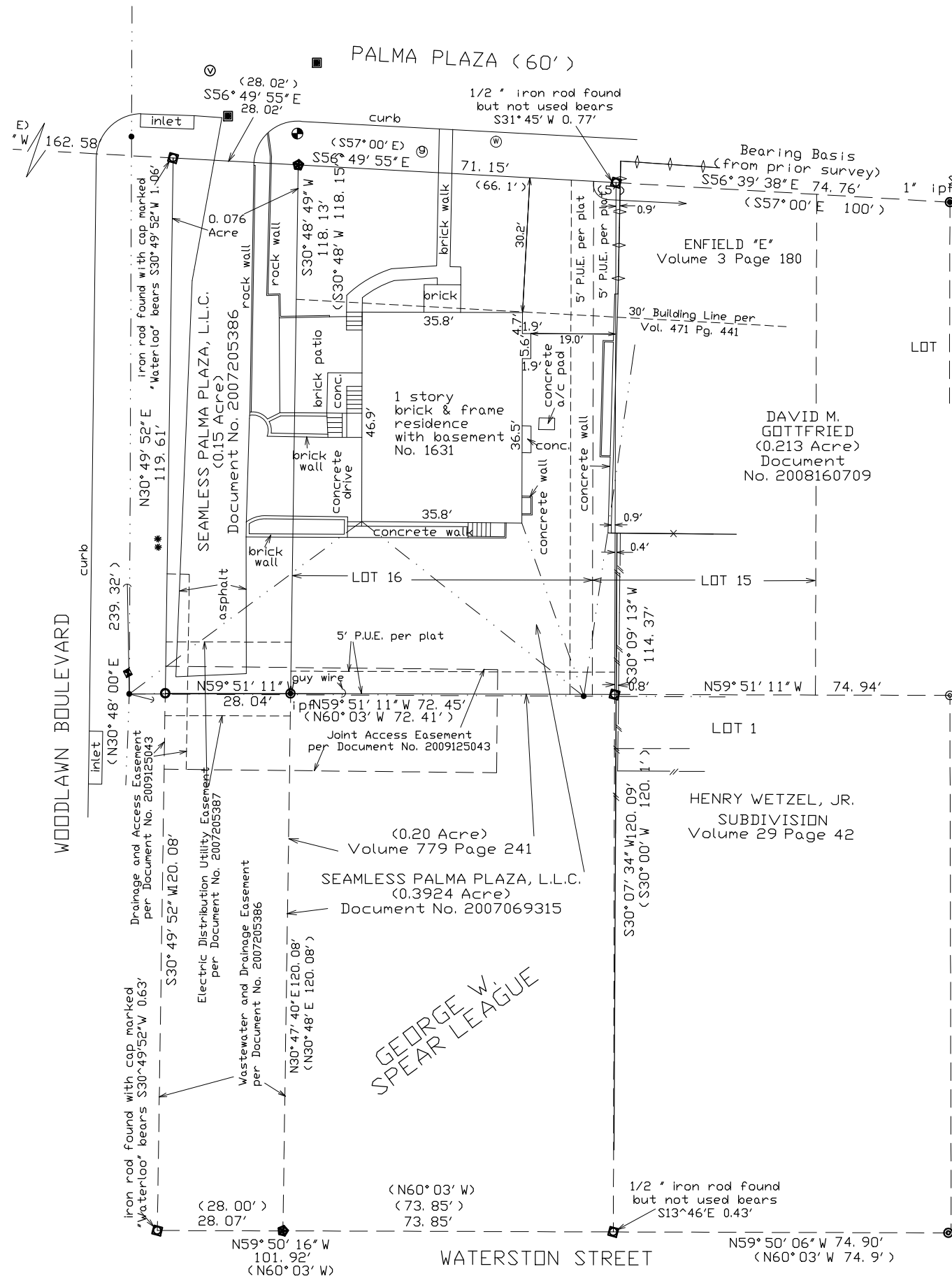


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HANCOCK RESIDENCE
AUSTIN, TEXAS
1631 PALMA PLAZA

DATE	3-13-14
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REVISIONS	

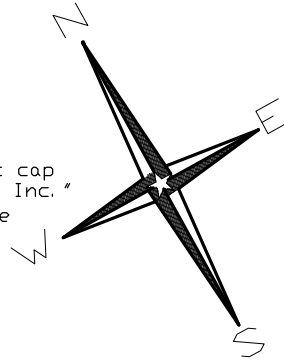
FRAMING DETAILS
S-4.2
13 OF 13



SCALE 1" = 20'

Legend

- ① 1/2" Iron Rod Found
- ipf ② 1/2" Iron Pipe Found
- ③ 1/2" Iron Rod Found with plastic cap imprinted with "Holt Carson Inc."
- ④ 060D Nail Set in Trunk of Dead Tree
- Sanitary Sewer Manhole
- ⊙ Water Valve
- ⊙ Water Meter
- ⊙ Fire Hydrant
- * Underground Trash Cans
- ◆ Telephone Pedestal
- ⊙ Gas Meter
- * Calculated Point
- x— Wire Fence
- //— Wood Board Fence
- |— Metal Fence
- Overhead Utility Line
- ← (Record Bearing and Distance)



SURVEY MAP OF

ALL OF LOT 16 AND THE WEST 5 FEET OF LOT 15, ENFIELD "E", A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3 PAGES 180-181 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS,

TOGETHER WITH 0.076 ACRE OF LAND OUT OF THAT PART OF WOODLAWN BOULEVARD VACATED BY ORDINANCE RECORDED IN DOCUMENT NO. 2007205385 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, WHICH WAS CONVEYED TO SEAMLESS PALMA PLAZA, L.L.C. BY DOCUMENT NO. 2007205386 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

LOCATED AT 1631 PALMA PLAZA. The 0.076 Acre tract is described by accompanying field note description.

NOTES:

- 1) Lot 16 and the west 5' of Lot 15 are subject to restrictions recorded in Volume 471 Page 441 of the Deed Records of Travis County, Texas.
- 2) These tracts are subject to restrictions recorded in Document No. 2007139046 and Document No. 2009125043 of the Official Public Records of Travis County, Texas.
- 3) The 0.076 Acre tract shown hereon is subject to a building setback requirement as described in Item 9 of the Restrictive Covenant recorded in Document No. 2007139046 of the Official Public Records of Travis County, Texas, as follows: "the structure(s) built on Woodlawn Property may encroach on the R.D.W. Property up to a maximum of 15 feet."
- 4) The 0.076 Acre tract is subject to building setback requirements as described in Item 10 of the Restrictive Covenant recorded in Document No. 2007139046 of the Official Public Records of Travis County, Texas, as follows: "the structure(s) built on the Woodlawn Property shall maintain a minimum 30 foot setback from the current curb line to the South on Waterston and the current curb line to the West on Woodlawn."
- 5) These tracts are subject to access limitations as described under Items 13, 14 and 15 of the Restrictive Covenant recorded in Document No. 2007139046 of the Official Public Records of Travis County, Texas, as follows: (Item 13) "no more than 1 driveway access for ingress and egress shall be permitted to the Woodlawn Property from Waterston Street"; (Item 14) "no more than 1 driveway access for ingress and egress shall be permitted to the Woodlawn Property and Palma Plaza Property from Woodlawn Avenue." (Item 15) "no access to the Palma Plaza Property shall be permitted in addition to the access currently provided."
- 6) "Tract 2" The easement granted to the City of Austin in Volume 948 Page 36 of the Deed Records of Travis County, Texas was released as described in Volume 3140 Page 783 of the Deed Records of Travis County, Texas.

GF No. 201202153

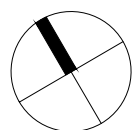
TD: David Hancock
Alliant National Title Insurance Company, Inc.
Heritage Title Company of Austin, Inc.

THE STATE OF TEXAS
THE COUNTY OF TRAVIS

The undersigned does hereby certify that a survey was this day made on the ground of the property legally described hereon and is accurate to the best of my abilities and that there are no boundary line conflicts, encroachments, shortages in area, overlapping of improvements, visible utility lines, or roads in place, except as shown hereon, and said property abuts a dedicated roadway. This property is within Zone X (areas determined to be outside of the 100 Year Flood Plain) according to the Federal Emergency Management Agency Flood Insurance Rate Map Panel No. 480624 0445 H, dated September 26, 2008. THIS the 19th day of JULY, A.D., 2012.

BY: Anne Thayer
Registered Professional Land Surveyor No. 5850
HOLT CARSON, INC.
1904 Fortview Road Austin, Texas 78704
(512)-442-0990

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1

EXISTING SURVEY

1 : 30

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TEL : 512 610 4771

www.mfarchitecture.com

PROJECT TITLE

HANCOCK RESIDENCE

1631 | PALMA PLAZA | 78703



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DATE:

03.17.14

PHASE:

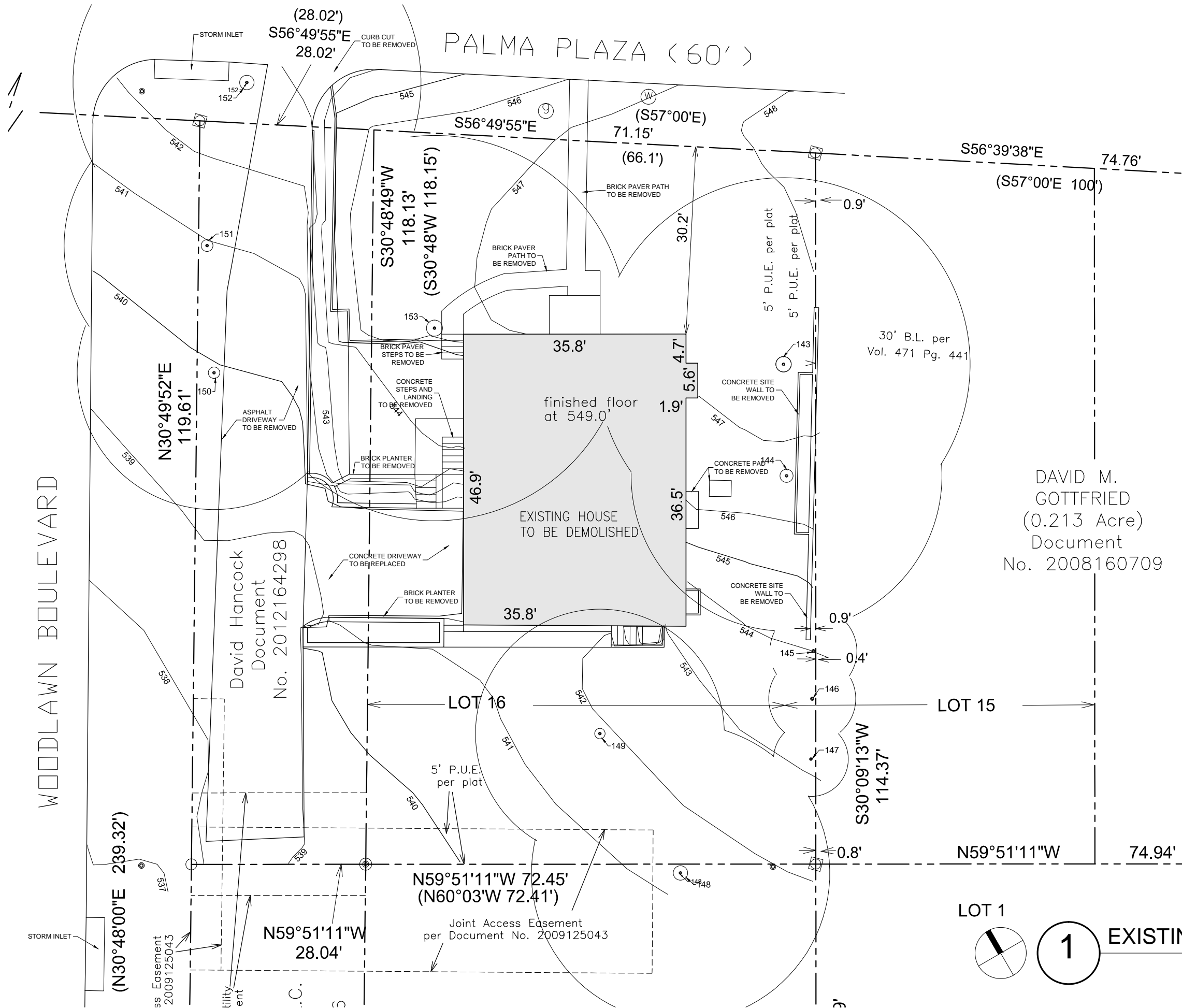
PERMIT SET

DRAWING TITLE:

EXISTING
SURVEY

A1.0

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LEGAL ADDRESS:

LOT 16 & W 5FT OF LOT
15 ENFIELD E & VAC
ROW (0.076A)

DRAWING KEY

PROPERTY LINE	---
SETBACKS	- - - - -
EASEMENTS	- . - . - . -

TREE SURVEY KEY	
TREE TAG	DESCRIPTION
143	30" POST OAK
144	25" POST OAK
145	7" HACKBERRY
146	7" HACKBERRY
147	6" HACKBERRY
148	24" POST OAK (DEAD)
149	20" POST OAK
150	22" POST OAK
151	23" POST OAK
152	28" POST OAK
153	31" POST OAK

DAVID M.
GOTTFRIED
(0.213 Acre)
Document
No. 2008160709



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DRAWING TITLE:

EXISTING
SITE PLAN

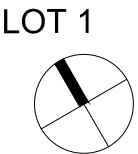
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SHEET INFORMATION

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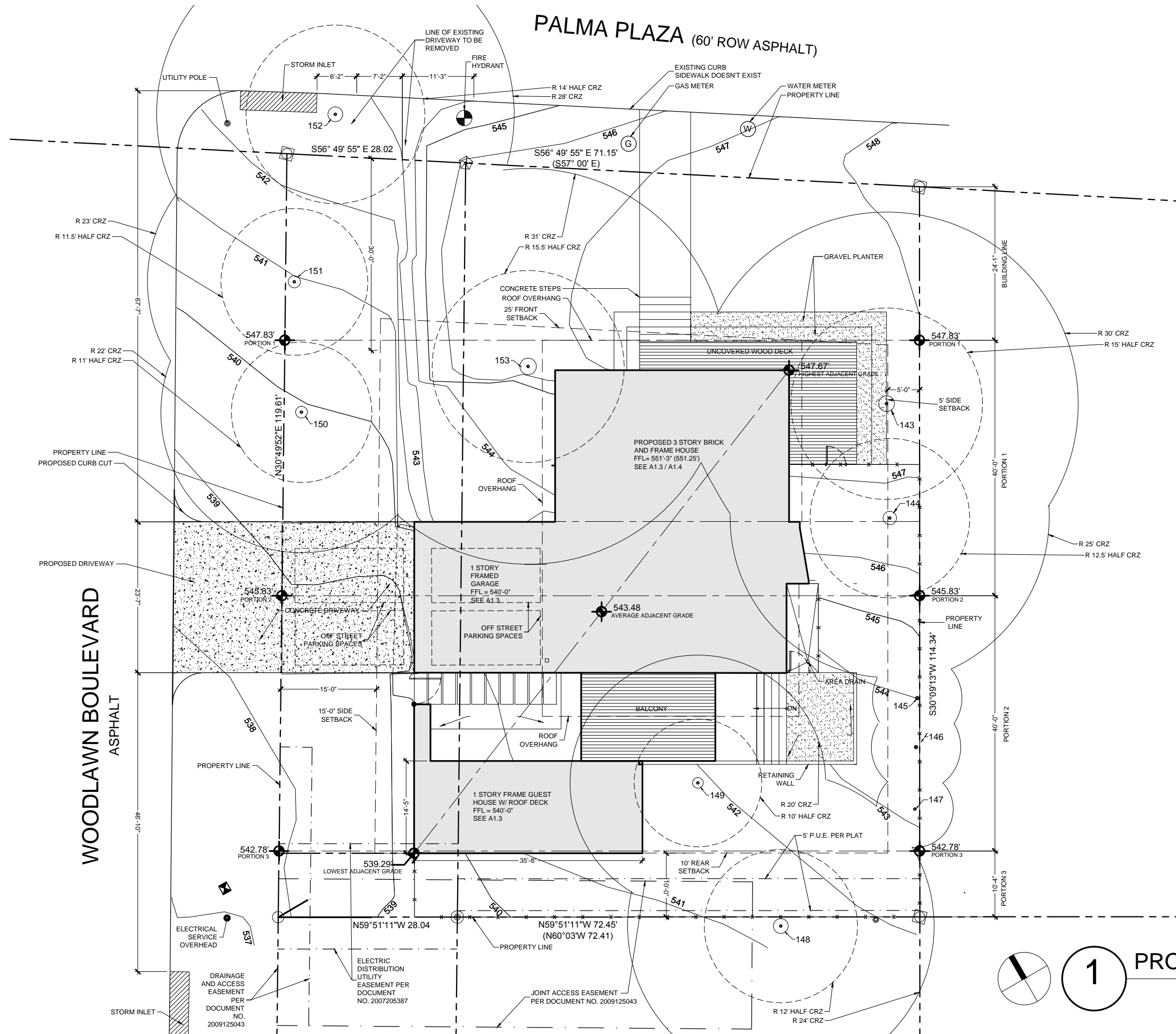
PROJECT TITLE



1

EXISTING SITE PLAN

1/16"=1'-0"



LEGAL ADDRESS:

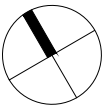
LOT 16 & W 5FT OF LOT
15 ENFIELD E & VAC
ROW (0.076A)

DRAWING KEY

PROPERTY LINE	---
SETBACKS	- - - -
EASEMENTS	- . - . - .

TREE SURVEY KEY

TREE TAG	DESCRIPTION
143	30" POST OAK
144	25" POST OAK
145	7" HACKBERRY
146	7" HACKBERRY
147	6" HACKBERRY
148	24" POST OAK (DEAD)
149	20" POST OAK
150	22" POST OAK
151	23" POST OAK
152	28" POST OAK
153	31" POST OAK



1

PROPOSED SITE PLAN

1/16"=1'-0"

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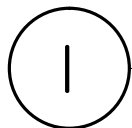
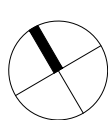
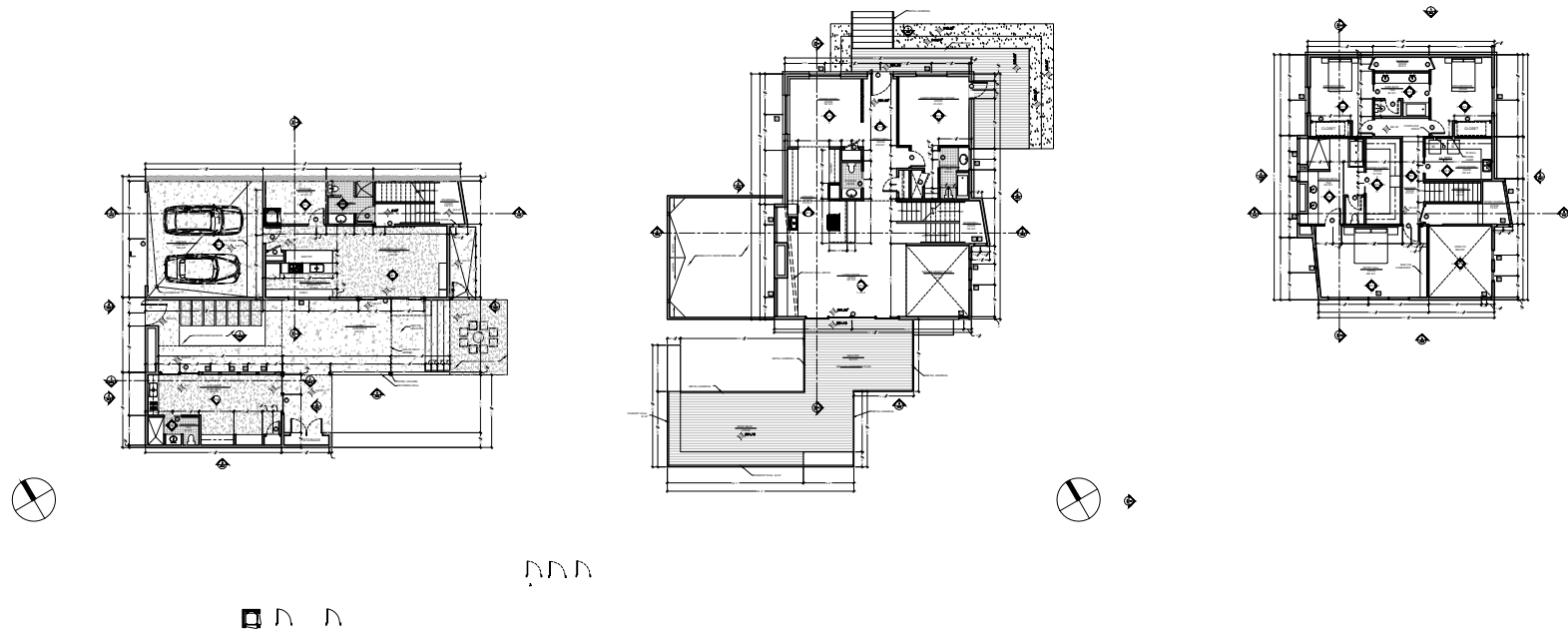
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DRAWING TITLE:

**PROPOSED
SITE PLAN**

A1.2

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FLOOR PLAN: LEVEL B

1/8"=1'-0"

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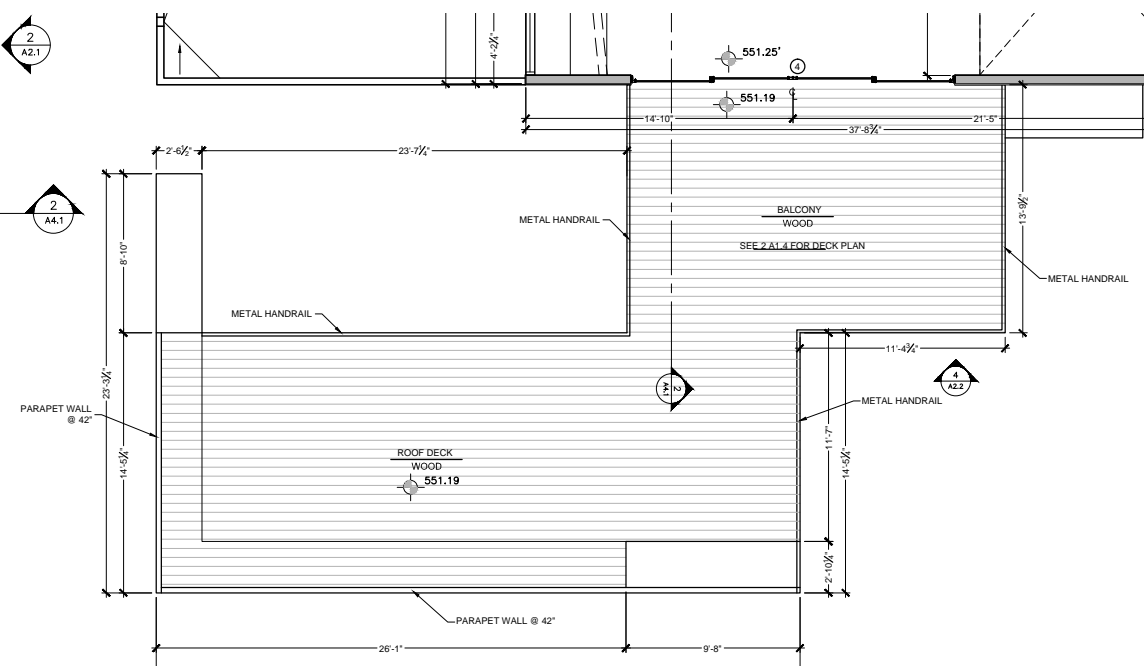
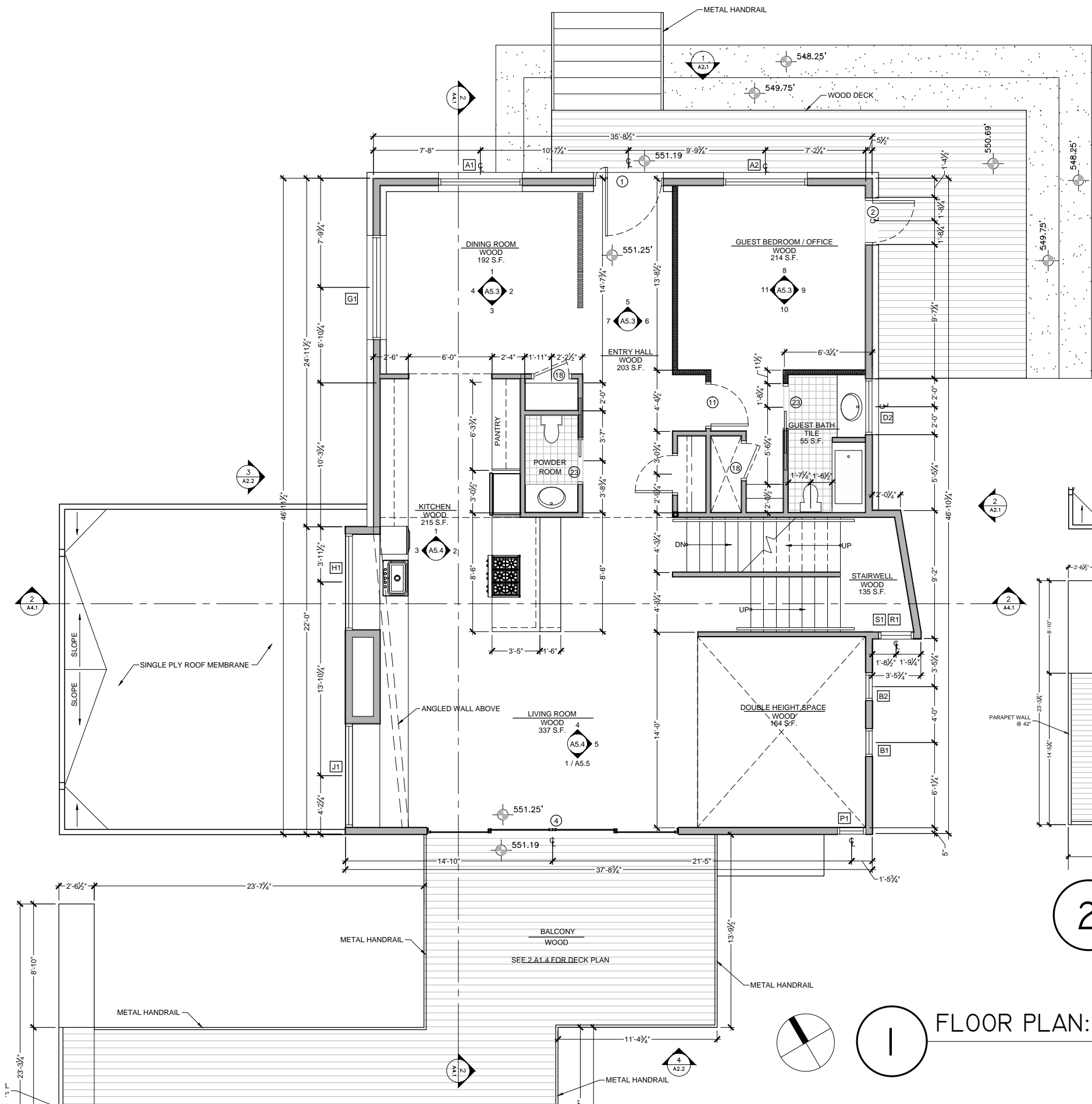
DRAWING TITLE:

**FLOOR PLAN
LEVEL B**

SHEET INFORMATION

A1.3

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2

DECK PLAN: LEVEL 1

1/8" = 1'-0"

1

FLOOR PLAN: LEVEL 1

1/8" = 1'-0"

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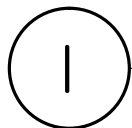
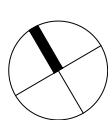
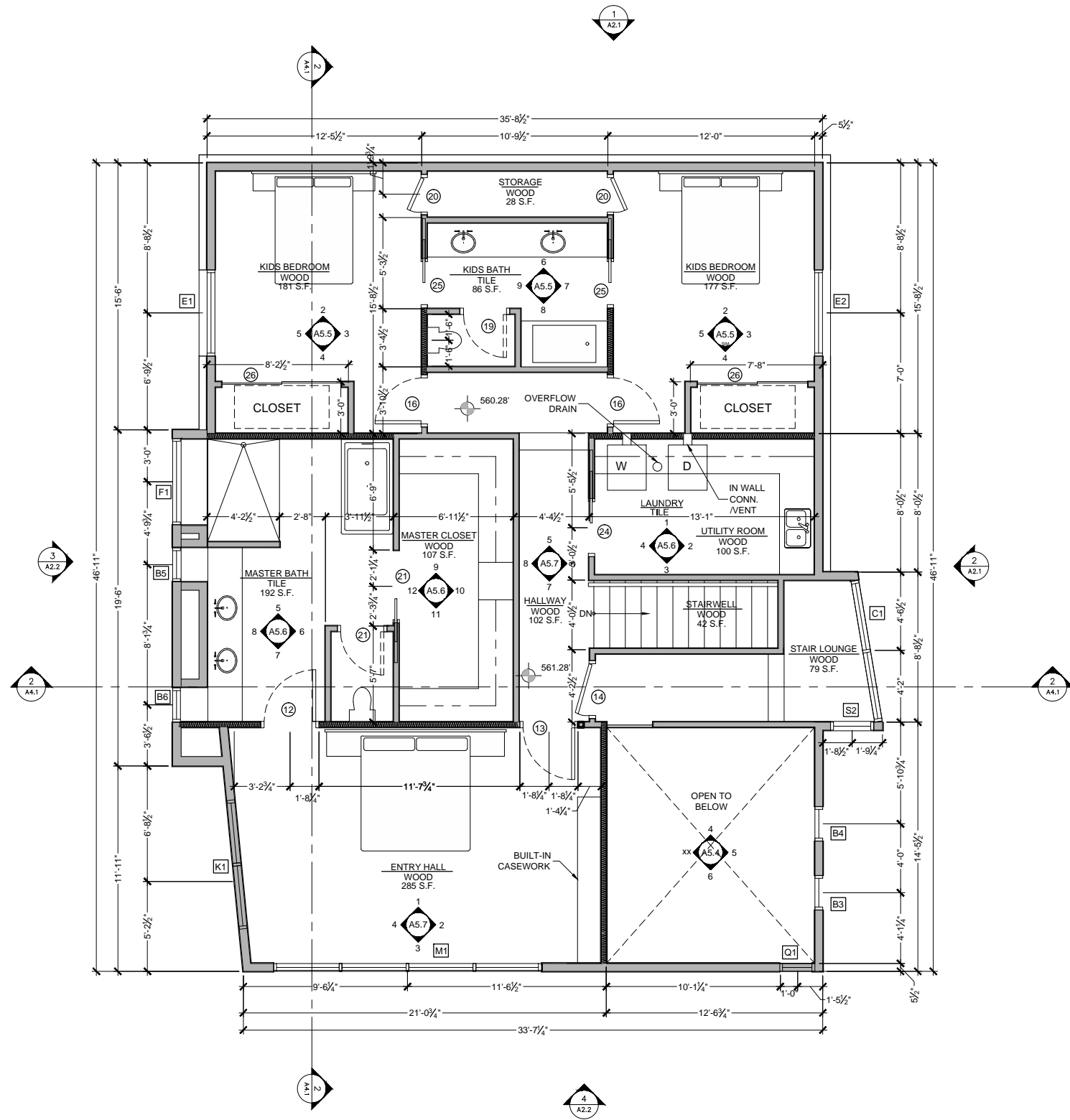
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DRAWING TITLE:
**FLOOR PLAN
LEVEL 1**

A1.4
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FLOOR PLAN: LEVEL 2

1/8"=1'-0"

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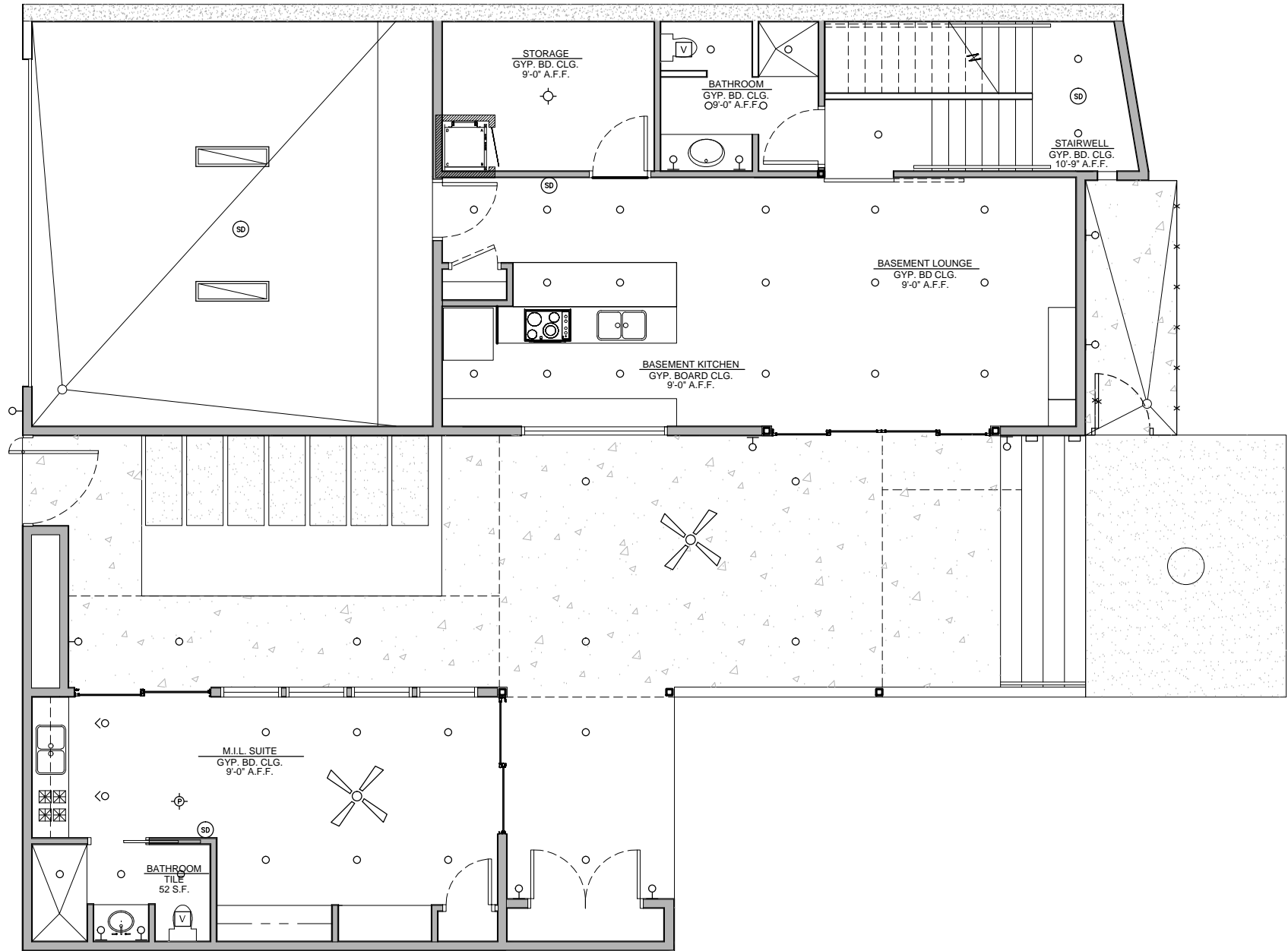
DRAWING TITLE:

FLOOR PLAN
LEVEL 2

SHEET INFORMATION

A1.5

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 REFLECTED CEILING PLAN: LEVEL B
1/8"=1'-0"

GENERAL NOTES

1. CEILING HEIGHTS ARE BASED OFF OF F.F. ELEVLS.
2. PROVIDE CIRCUIT FOR GRINDER PUMP

LEGEND

	DUPLEX RECEPTACLE OUTLET
	FLOOR DUPLEX OUTLET
	TELEPHONE OUTLET
	TELEPHONE/DATA OUTLET
	CABLE TELEVISION OUTLET
	GAS OUTLET
	REMOTE KEY PAD
	SINGLE-POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	DOOR SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	LANDSCAPE SWITCH
	4" RECESSED DOWNLIGHT FIXTURE
	3" RECESSED DOWNLIGHT FIXTURE
	RECESSED WALL WASHER FIXTURE
	RECESSED AIMABLE LIGHT FIXTURE
	IN-CABINET RECESSED LIGHT
	CEILING PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	UNDERCOUNTER LIGHT
	FLUORESCENT CEILING FIXTURE
	RECESSED CEILING FLUORESCENT FIXTURE
	DIRECTIONAL LIGHTING
	STEP LIGHT
	THERMOSTAT
	GARBAGE DISPOSAL
	SMOKE DETECTOR
	CEILING MOUNTED FAN
	CEILING SUPPLY/RETURN REGISTER
	SLOT AIR DIFFUSER WALL SUPPLY/RETURN REGISTER
	SLOT AIR DIFFUSER SUPPLY/RETURN
	VENT FAN
	AIR HANDLER
	GARAGE DOOR
	THERMOSTAT
	EXT. ADJUST. SPIKE
	EXT. PATH LIGHT

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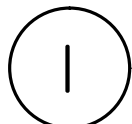
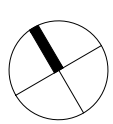
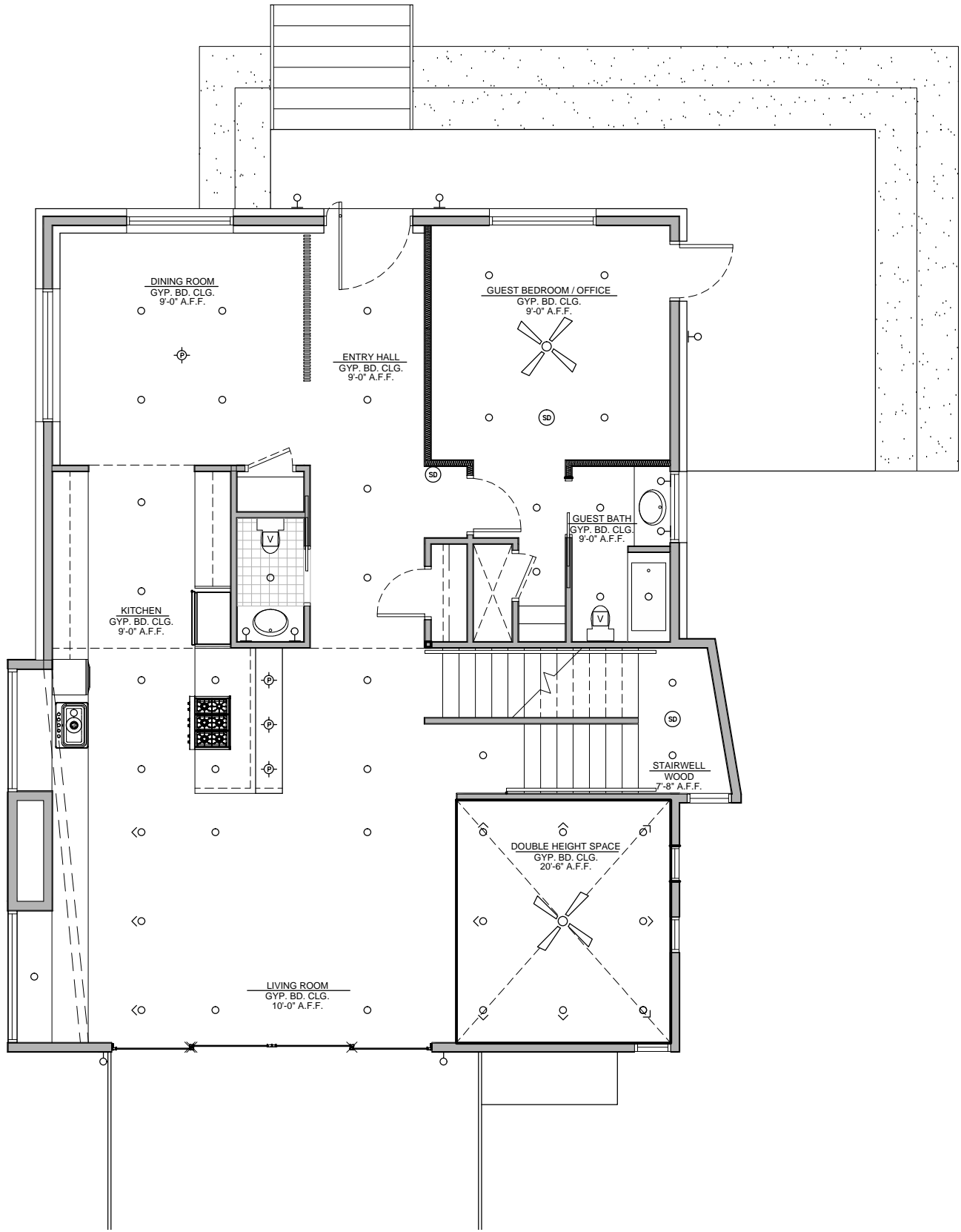
RCP

LEVEL B

SHEET INFORMATION

A1.6

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REFLECTED CEILING PLAN: LEVEL 1

1/8"=1'-0"

GENERAL NOTES

1. CEILING HEIGHTS ARE BASED OFF OF F.F. ELEVLS.
2. PROVIDE CIRCUIT FOR GRINDER PUMP

LEGEND

- DUPLEX RECEPTACLE OUTLET
- FLOOR DUPLEX OUTLET
- TELEPHONE OUTLET
- TELEPHONE/DATA OUTLET
- CABLE TELEVISION OUTLET
- GAS OUTLET
- REMOTE KEY PAD
- SINGLE-POLE SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DOOR SWITCH
- DIMMER SWITCH
- MOTION SENSOR SWITCH
- LANDSCAPE SWITCH
- 4" RECESSED DOWNLIGHT FIXTURE
- 3" RECESSED DOWNLIGHT FIXTURE
- RECESSED WALL WASHER FIXTURE
- RECESSED AIMABLE LIGHT FIXTURE
- IN-CABINET RECESSED LIGHT
- CEILING PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- UNDERCOUNTER LIGHT
- FLUORESCENT CEILING FIXTURE
- RECESSED CEILING FLUORESCENT FIXTURE
- DIRECTIONAL LIGHTING
- STEP LIGHT
- THERMOSTAT
- GARBAGE DISPOSAL
- SMOKE DETECTOR
- CEILING MOUNTED FAN
- CEILING SUPPLY/RETURN REGISTER
- SLOT AIR DIFFUSER WALL SUPPLY/RETURN REGISTER
- SLOT AIR DIFFUSER SUPPLY/RETURN
- VENT FAN
- AIR HANDLER
- GARAGE DOOR
- THERMOSTAT
- EXT. ADJUST. SPIKE
- EXT. PATH LIGHT

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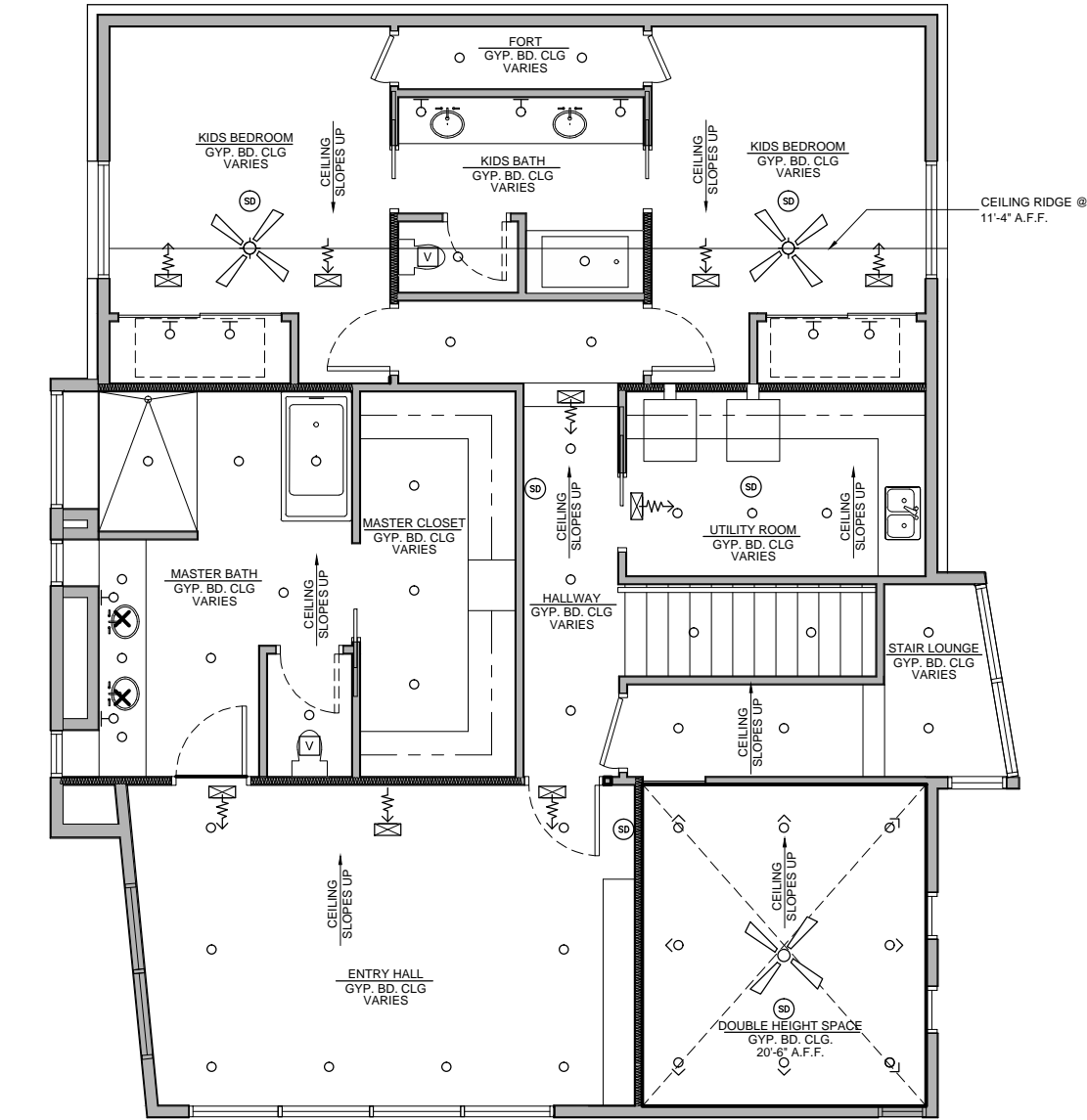
RCP

LEVEL 1

SHEET INFORMATION

A1.7

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GENERAL NOTES

1. CEILING HEIGHTS ARE BASED OFF OF F.F. ELEV.
2. PROVIDE CIRCUIT FOR GRINDER PUMP

LEGEND

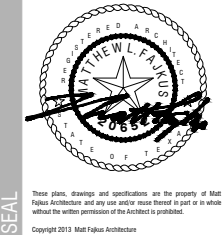
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	FLOOR DUPLEX OUTLET
	TELEPHONE OUTLET
	TELEPHONE/DATA OUTLET
	CABLE TELEVISION OUTLET
	GAS OUTLET
	REMOTE KEY PAD
	SINGLE-POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	DOOR SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	LANDSCAPE SWITCH
	4" RECESSED DOWNLIGHT FIXTURE
	3" RECESSED DOWNLIGHT FIXTURE
	RECESSED WALL WASHER FIXTURE
	RECESSED AIMABLE LIGHT FIXTURE
	IN-CABINET RECESSED LIGHT
	CEILING PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	UNDERCOUNTER LIGHT
	FLUORESCENT CEILING FIXTURE
	RECESSED CEILING FLUORESCENT FIXTURE
	DIRECTIONAL LIGHTING
	STEP LIGHT
	THERMOSTAT
	GARBAGE DISPOSAL
	SMOKE DETECTOR
	CEILING MOUNTED FAN
	CEILING SUPPLY/RETURN REGISTER
	SLOT AIR DIFFUSER WALL SUPPLY/RETURN REGISTER
	SLOT AIR DIFFUSER SUPPLY/RETURN
	VENT FAN
	AIR HANDLER
	GARAGE DOOR
	THERMOSTAT
	EXT. ADJUST. SPIKE
	EXT. PATH LIGHT

  REFLECTED CEILING PLAN: LEVEL 2
1/8"=1'-0"

PROJECT TITLE

HANCOCK RESIDENCE

1631 | PALMA PLAZA | 78703



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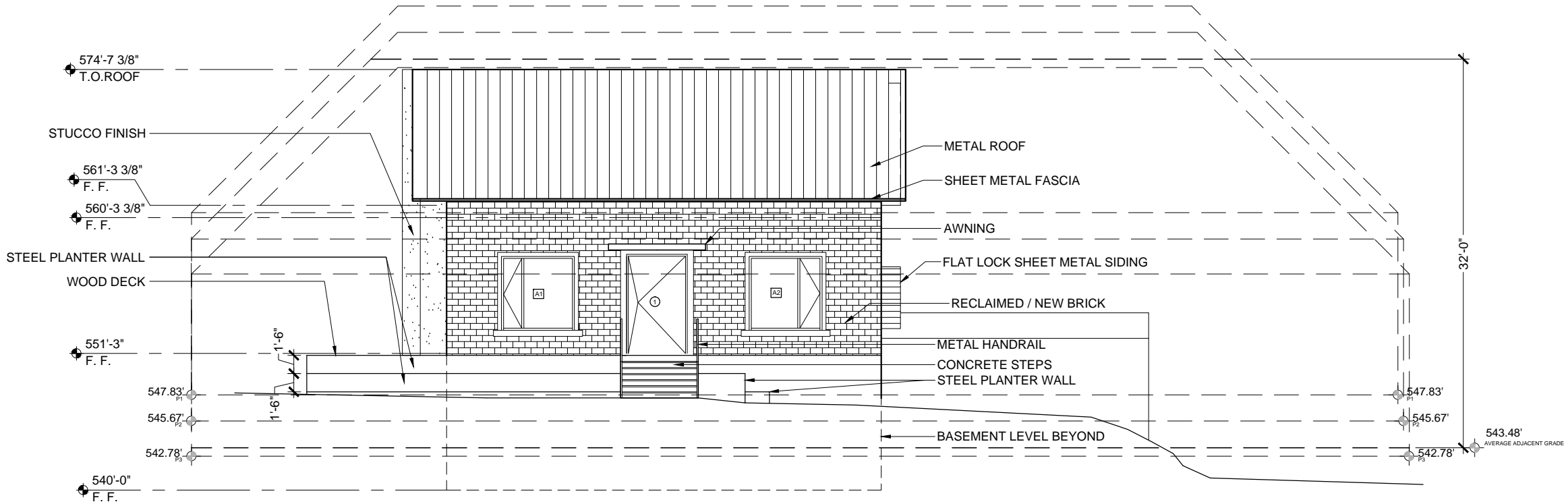
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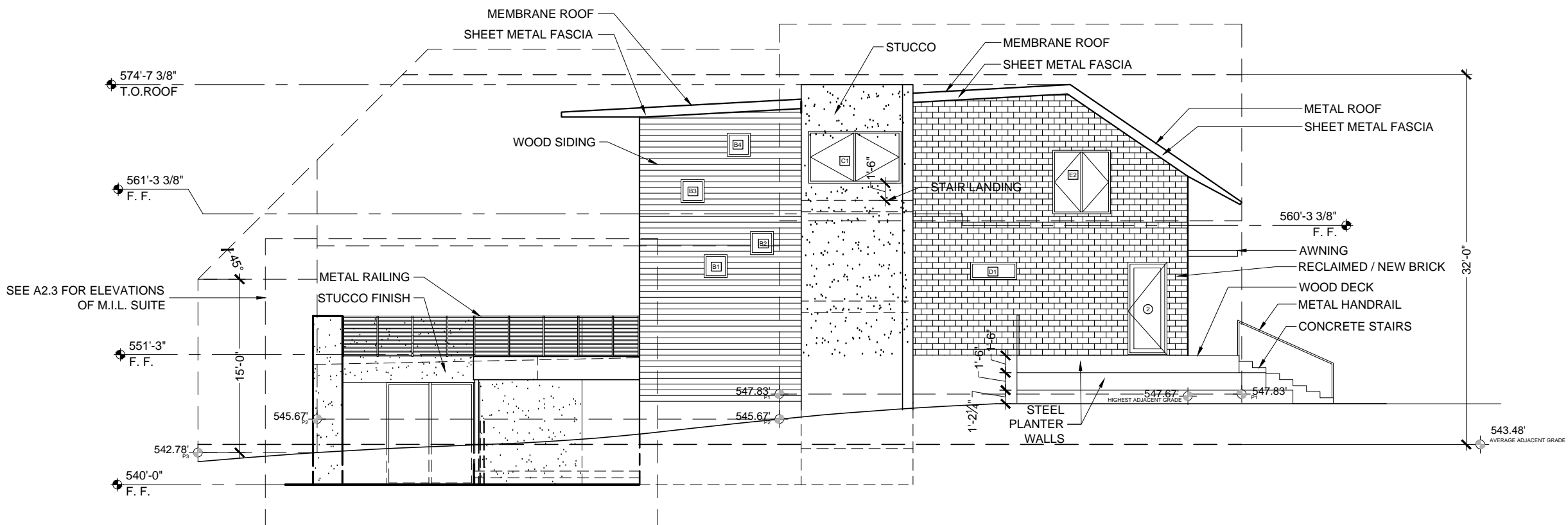
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DRAWING TITLE:
**RCP
LEVEL 2**



1 NORTH ELEVATION



2 EAST ELEVATION



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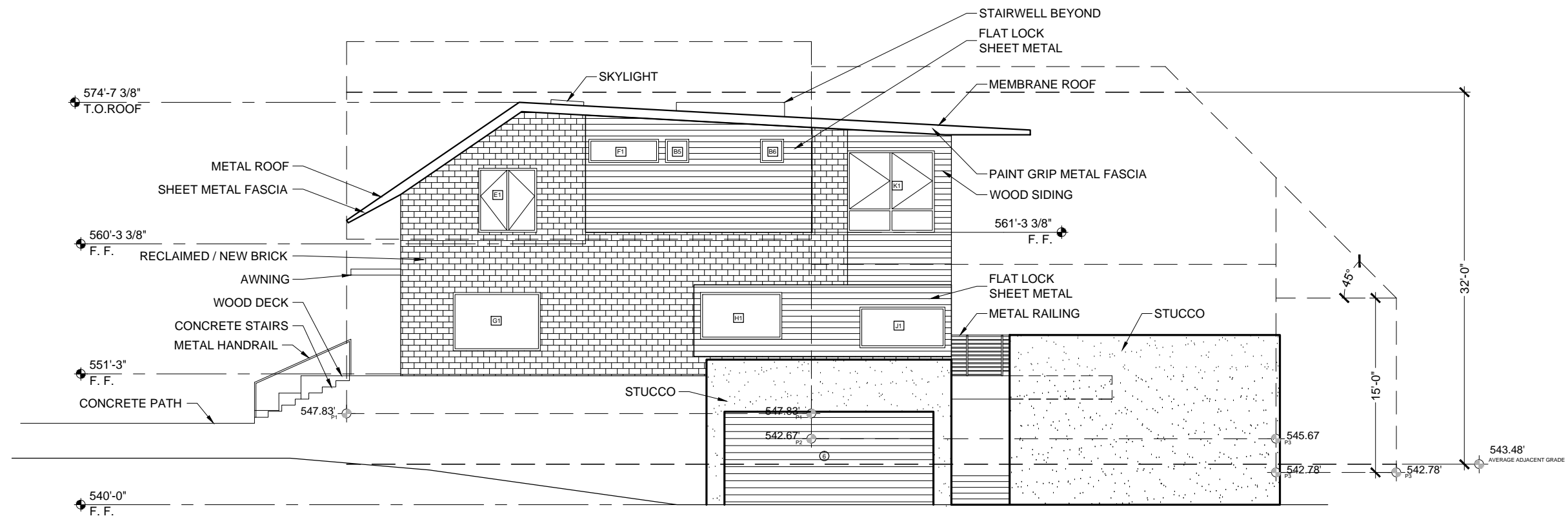


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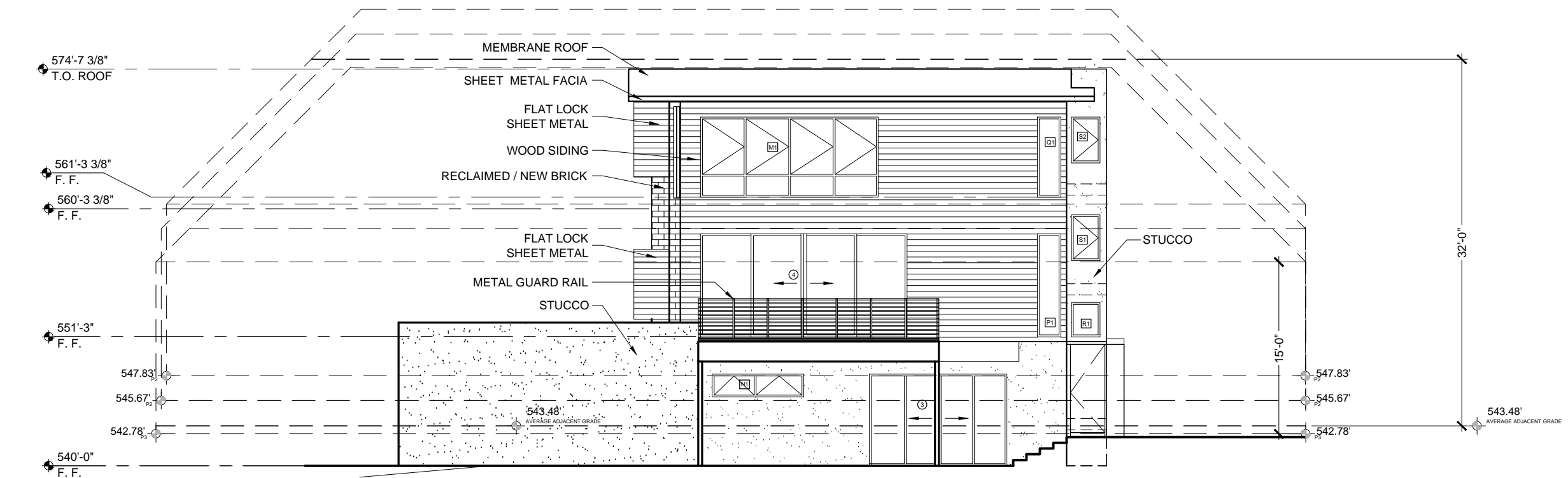
REVISIONS:

PROJECT NUMBER:
1214
DATE:
03.17.14
PHASE:
PERMIT SET
DRAWING TITLE:
ELEVATIONS

A2.1
mf architecture



3 WEST ELEVATION



4 SOUTH ELEVATION



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REVISIONS:

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PROJECT NUMBER:

1214

DATE:

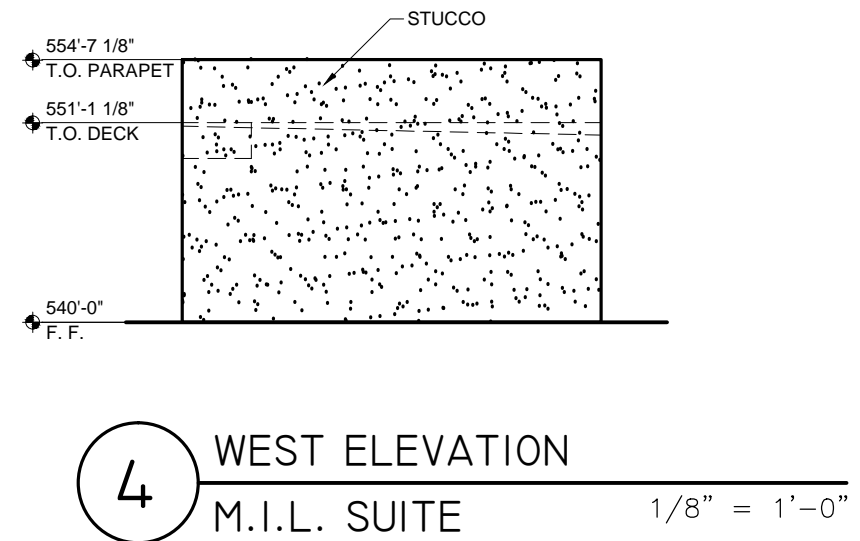
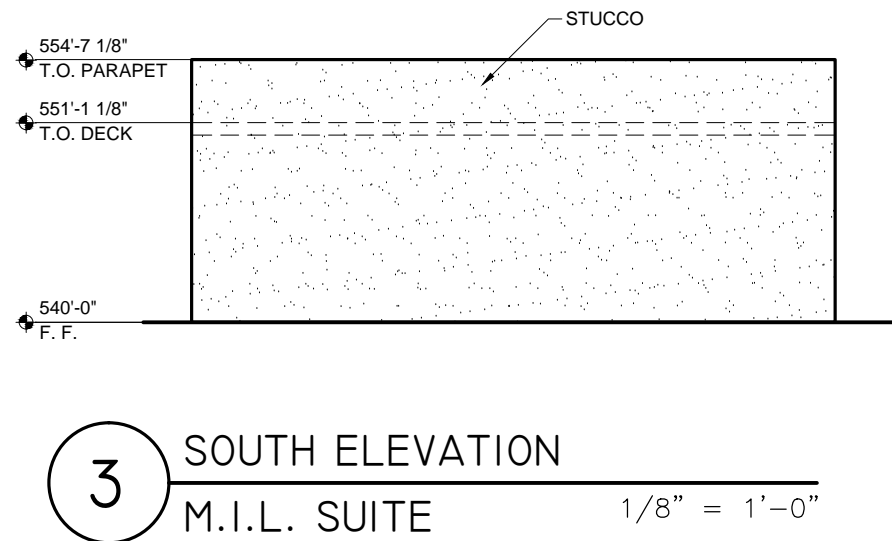
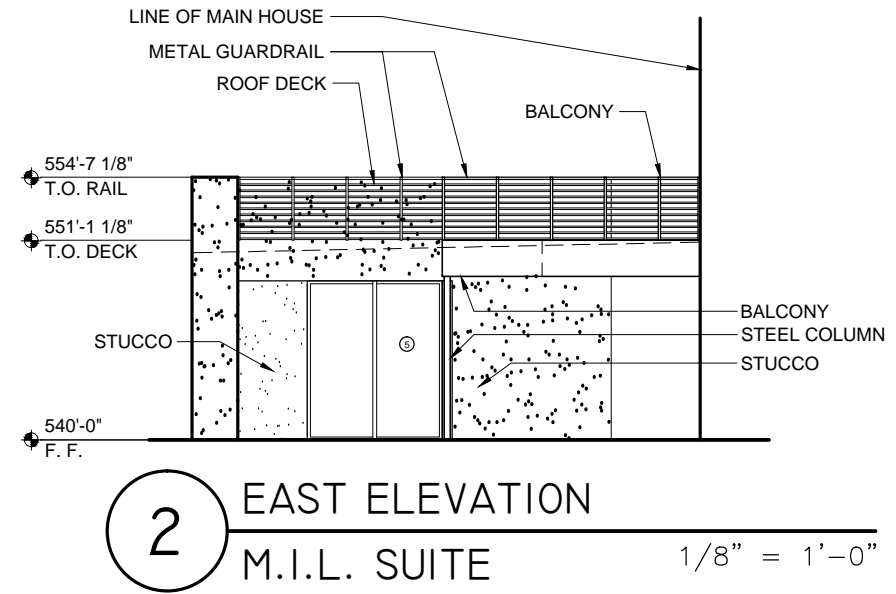
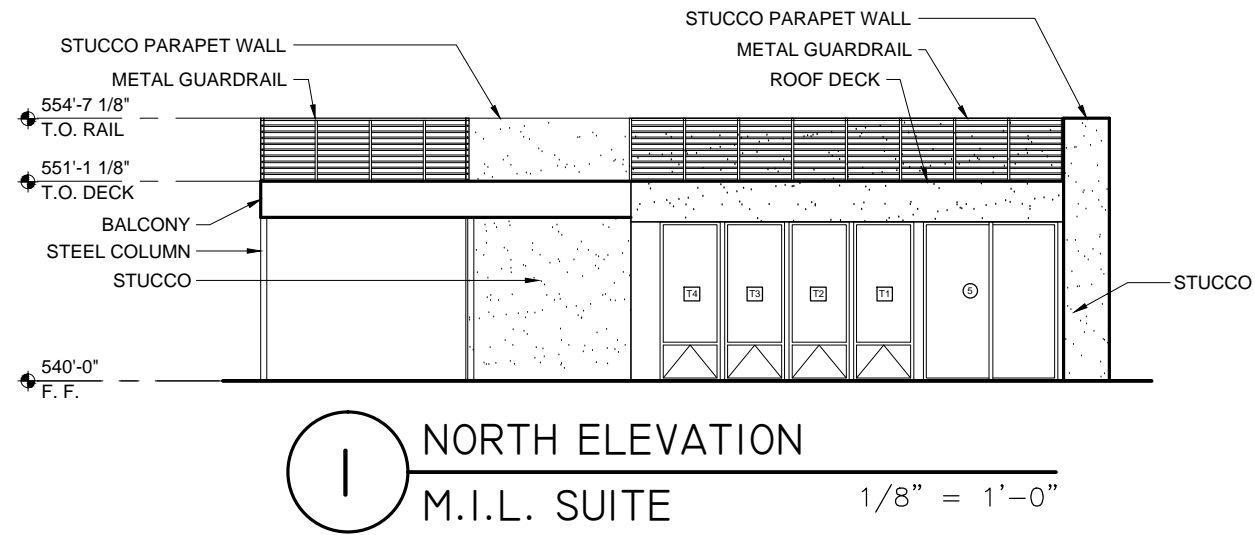
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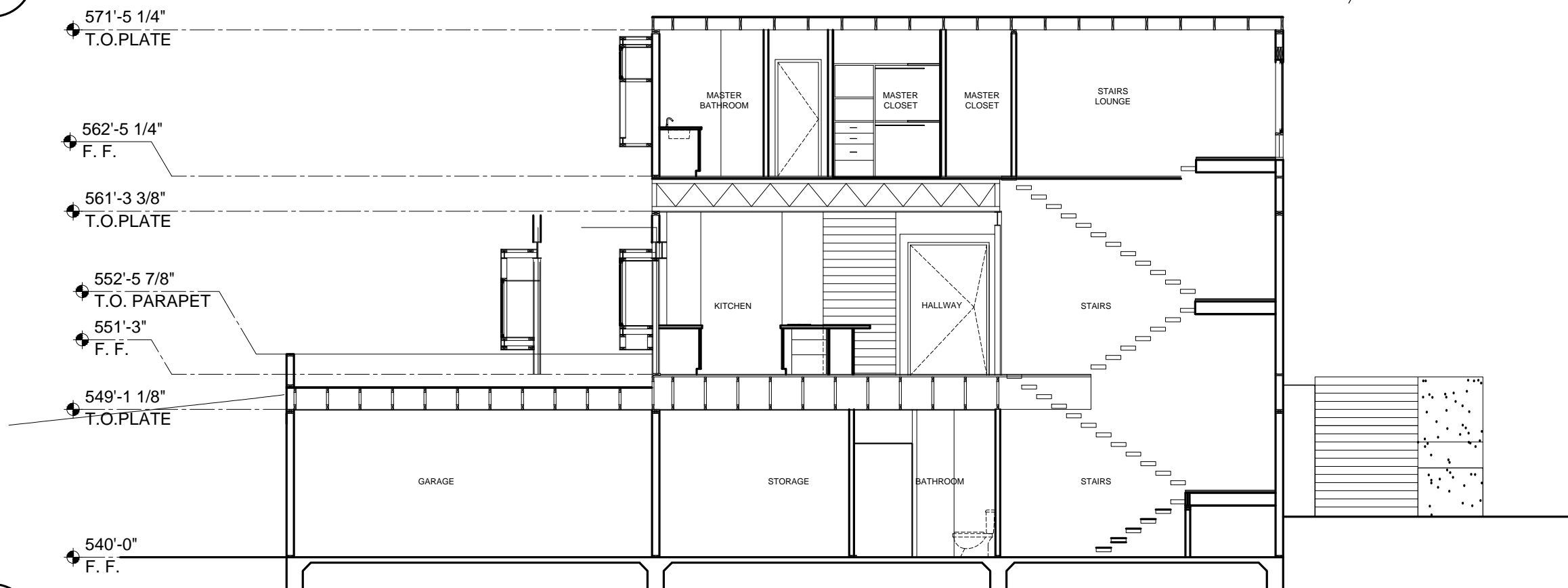
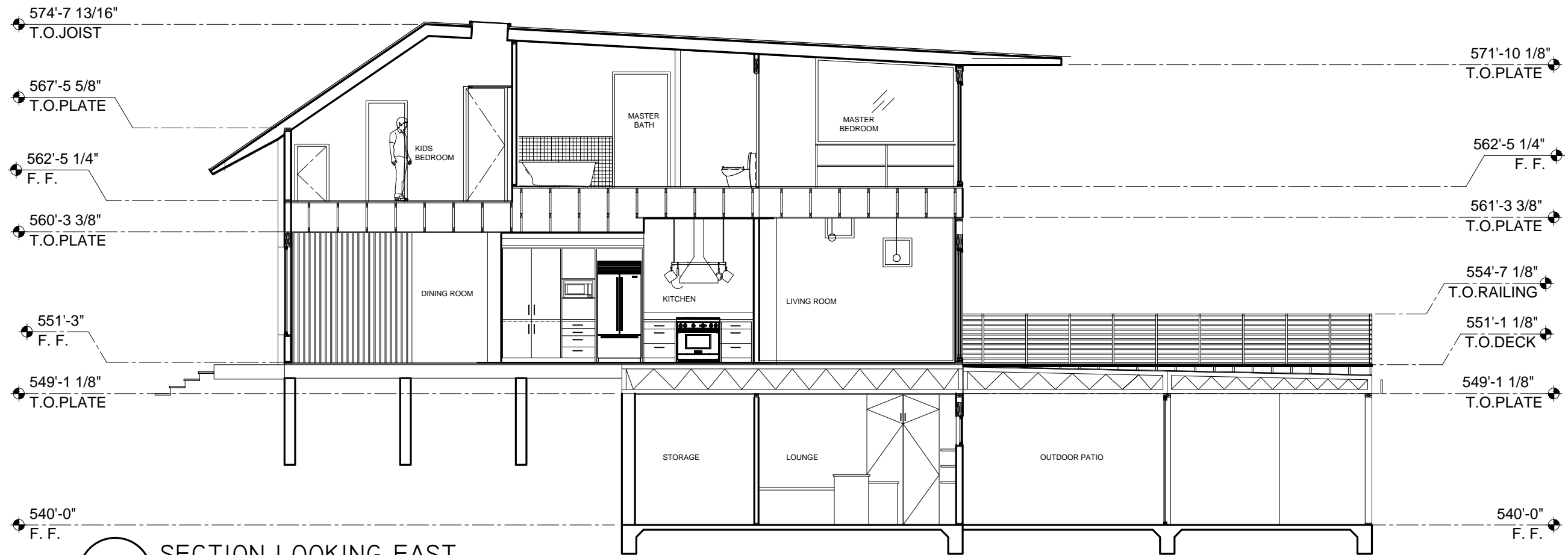
ELEVATIONS



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PROJECT NUMBER:
1214
DATE:
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PHASE:
PERMIT SET
DRAWING TITLE:
**M.I.L. SUITE
ELEVATIONS**



MATT FAUKUS ARCHITECTURE, LLC



611 South Congress Ave.
Suite 225
Austin, TX 78704
TEL : 512 610 4771

www.mfarchitecture.com

PROJECT TITLE
HANCOCK RESIDENCE
1631 | PALMA PLAZA | 78703

NOT FOR CONSTRUCTION

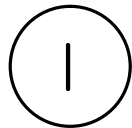


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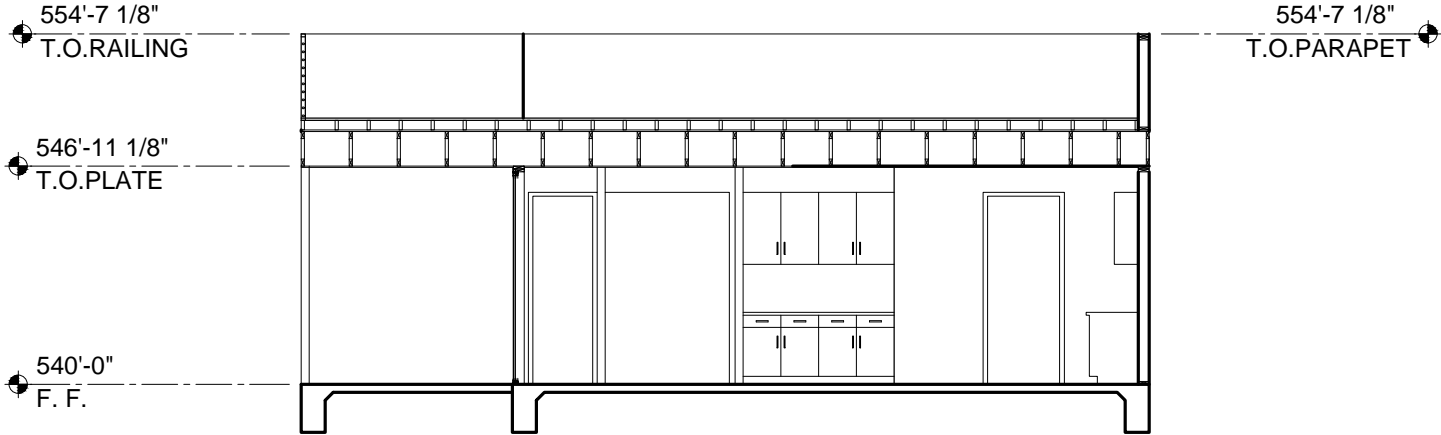
REVISIONS:

PROJECT NUMBER:
1214
DATE:
01.03.14
PHASE:
PERMIT SET
DRAWING TITLE:
Sections

A4.1
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M.I.L. SUITE SECTION LOOKING SOUTH



1/8"=1'-0"

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1214

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PHASE:

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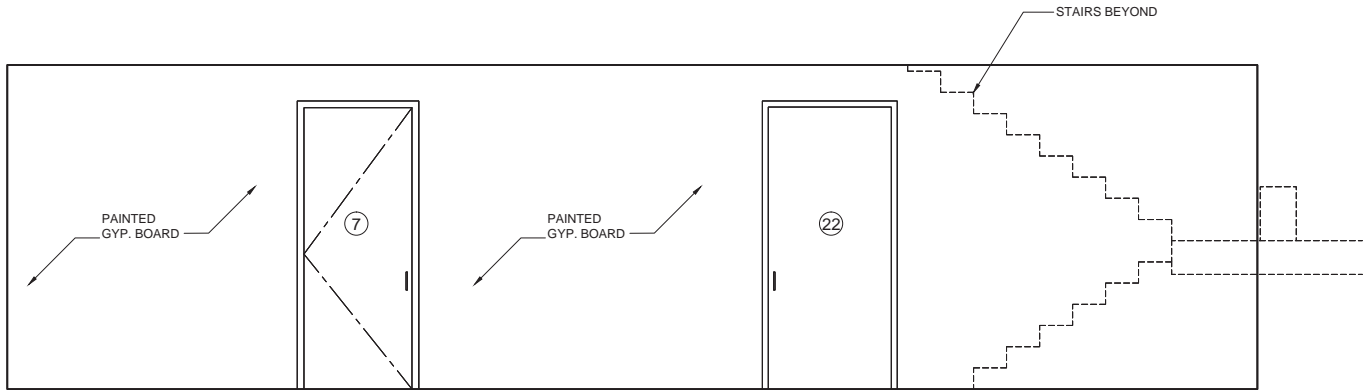
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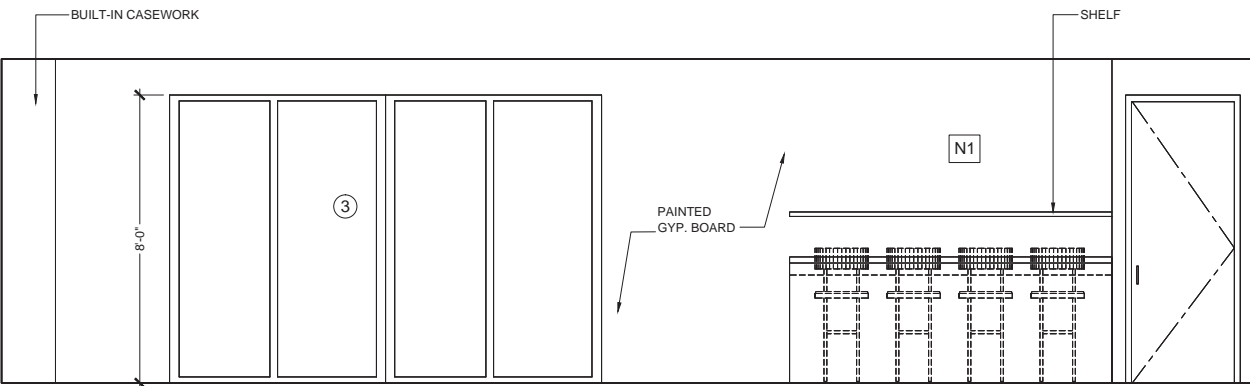
SHEET INFORMATION

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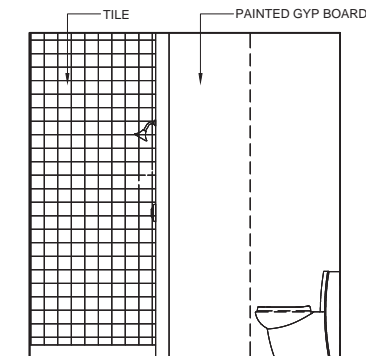
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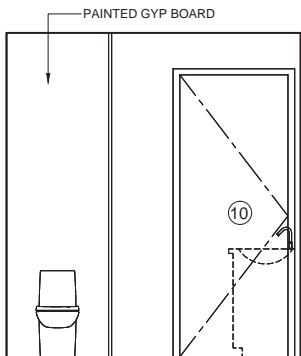
1 MEDIA ROOM
FACING NORTH
3/8"=1'-0"



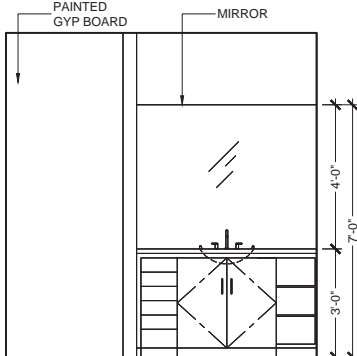
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FACING SOUTH
3/8"=1'-0"



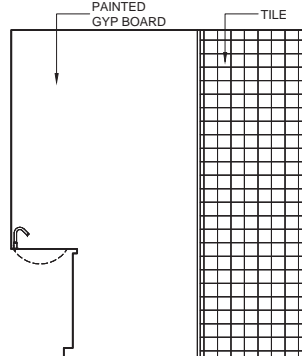
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3/8"=1'-0"



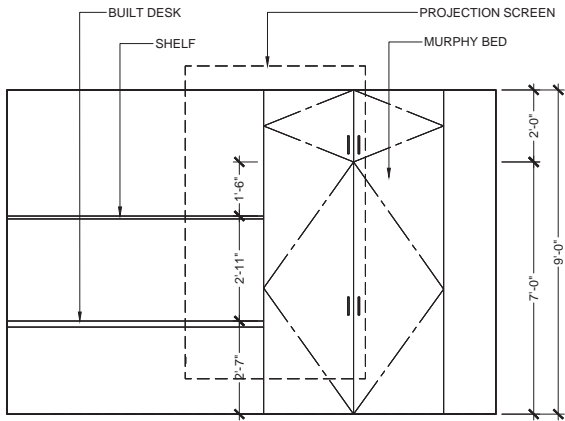
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FACING WEST
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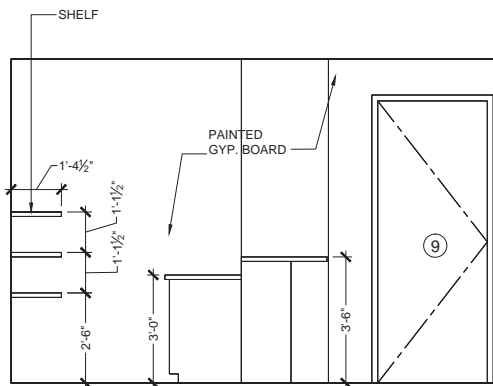
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3/8"=1'-0"



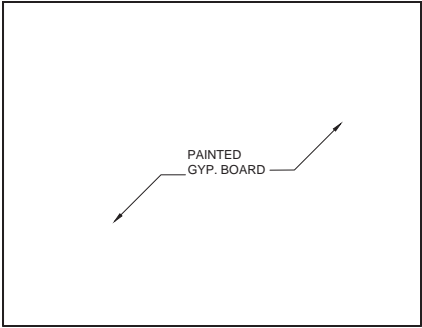
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FACING EAST
3/8"=1'-0"



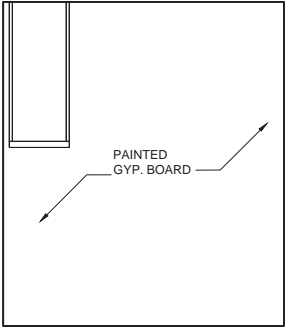
2 MEDIA ROOM
FACING WEST
3/8"=1'-0"



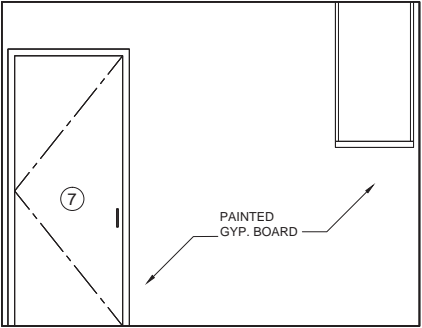
4 MEDIA ROOM
FACING EAST
3/8"=1'-0"



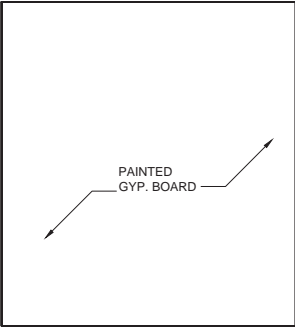
1 BASEMENT STORAGE
FACING NORTH 3/8"=1'-0"



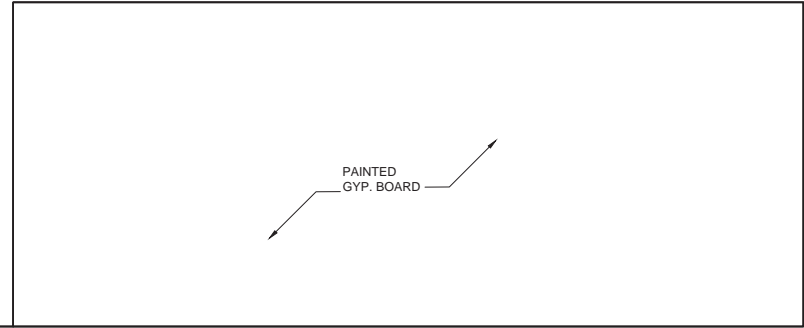
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FACING WEST 3/8"=1'-0"



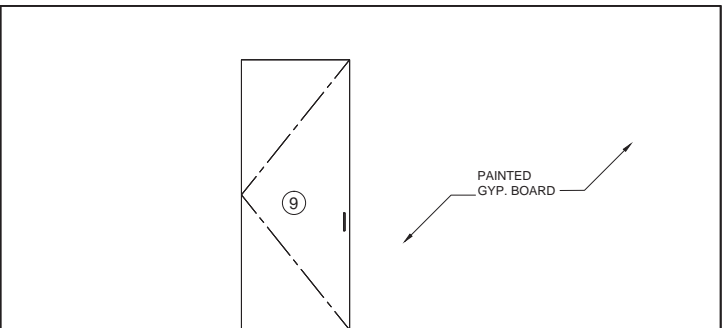
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FACING SOUTH 3/8"=1'-0"



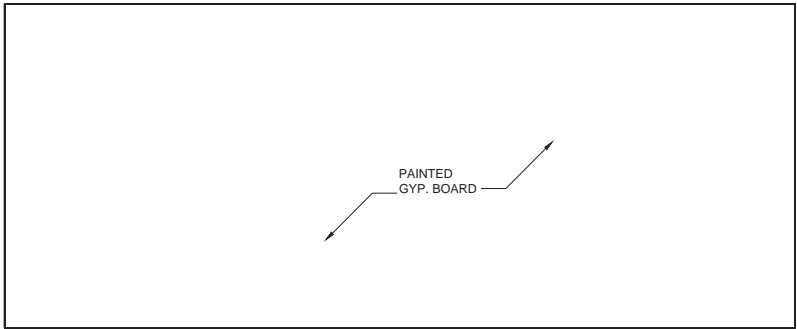
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FACING EAST 3/8"=1'-0"



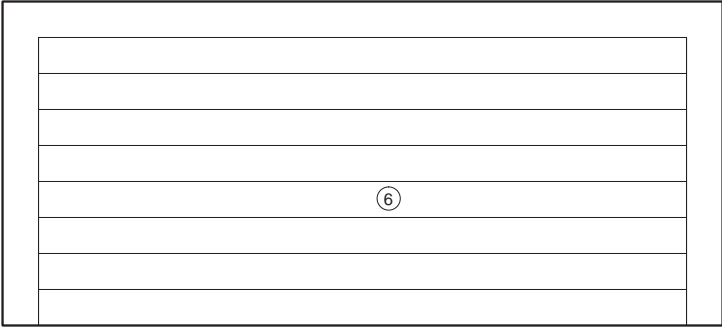
5 MOTHER-IN-LAW SUITE
FACING NORTH 3/8"=1'-0"



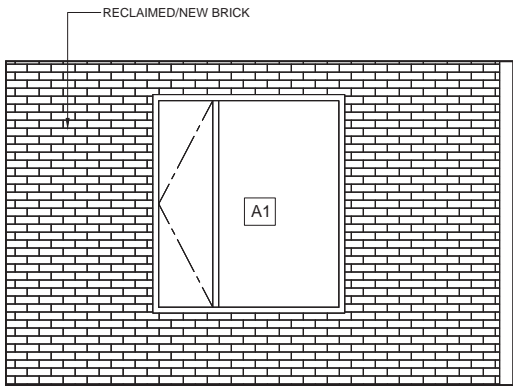
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FACING WEST 3/8"=1'-0"



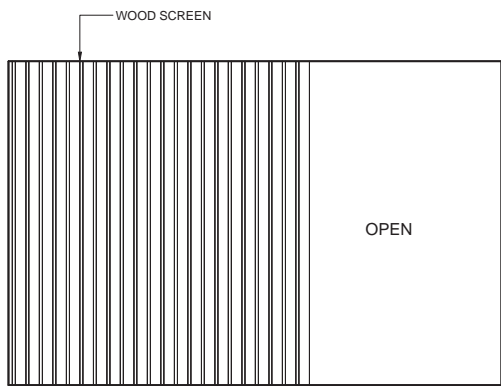
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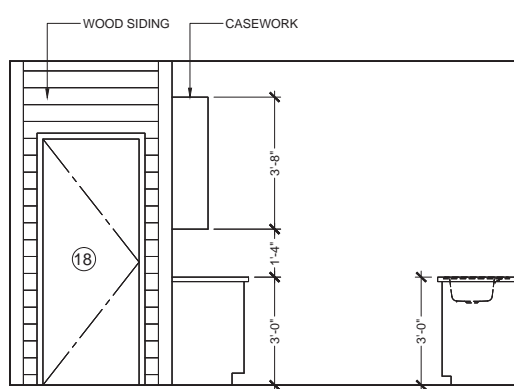
8 MOTHER-IN-LAW SUITE
FACING EAST 3/8"=1'-0"



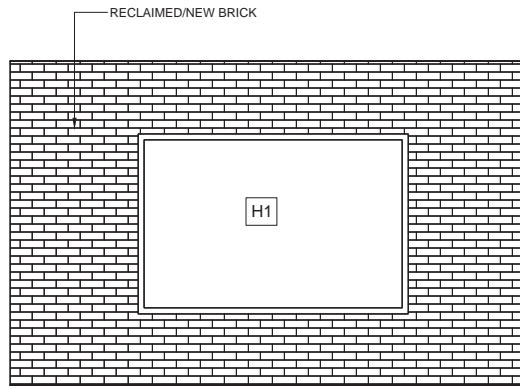
1 DINING ROOM
FACING NORTH $\frac{3}{8}"=1'-0"$



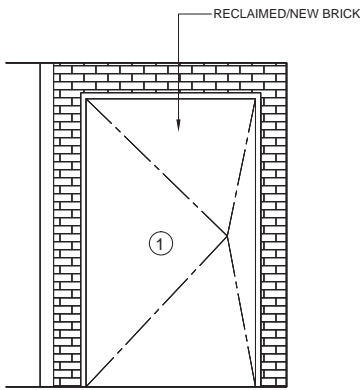
2 DINING ROOM: WOOD SCREEN
FACING EAST $\frac{3}{8}"=1'-0"$



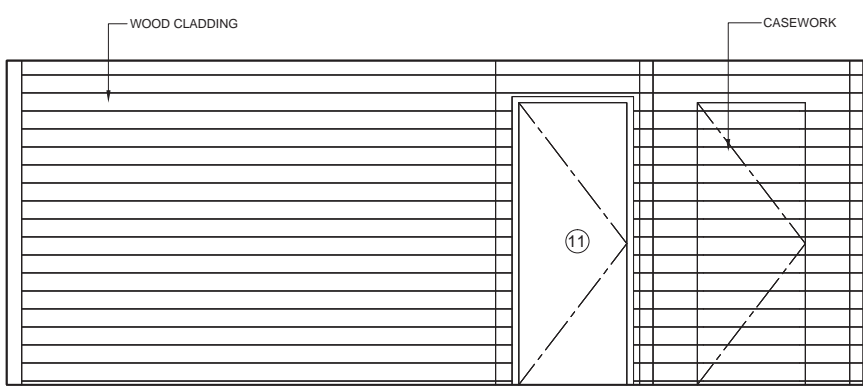
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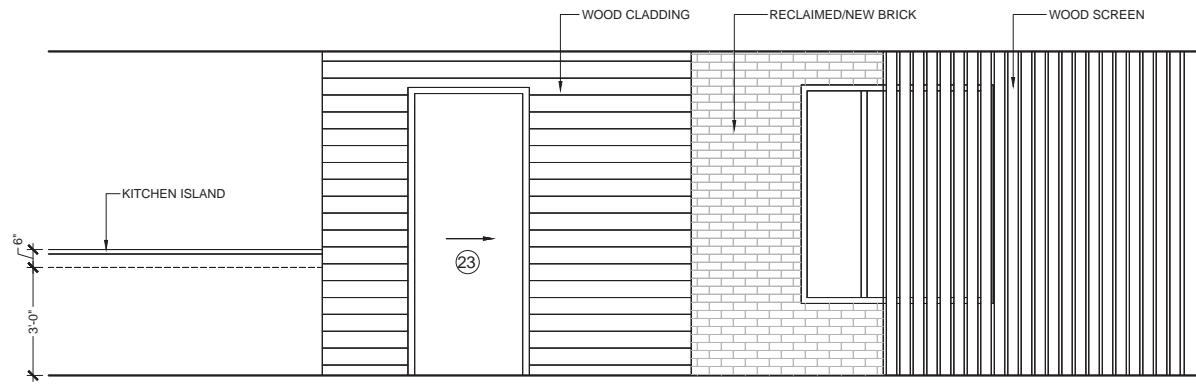
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FACING WEST $\frac{3}{8}"=1'-0"$



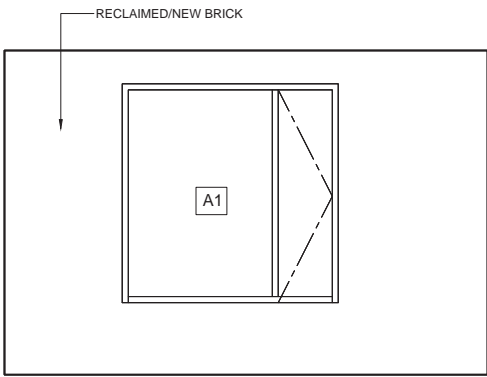
5 ENTRY HALL
FACING NORTH $\frac{3}{8}"=1'-0"$



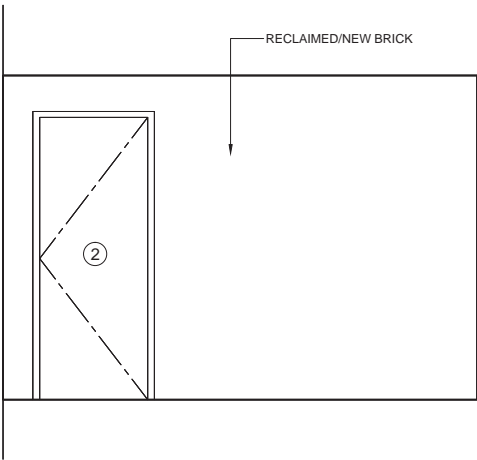
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FACING EAST $\frac{3}{8}"=1'-0"$



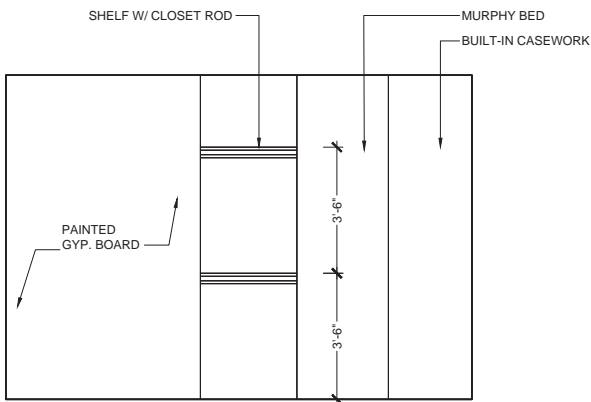
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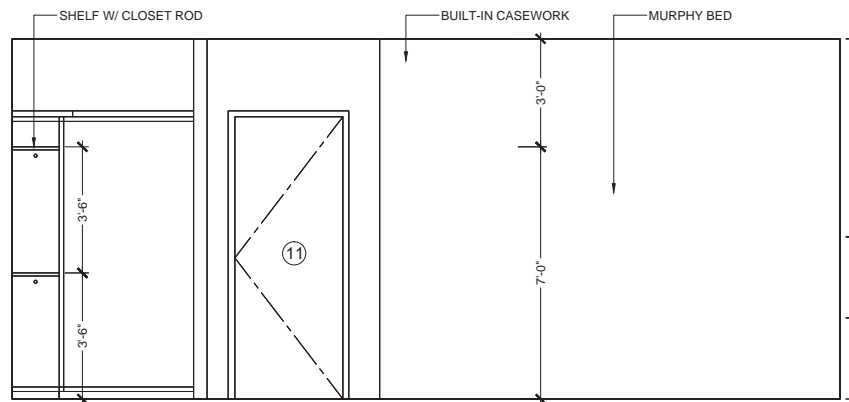
8 GUEST BEDROOM /STUDY
FACING NORTH $\frac{3}{8}"=1'-0"$



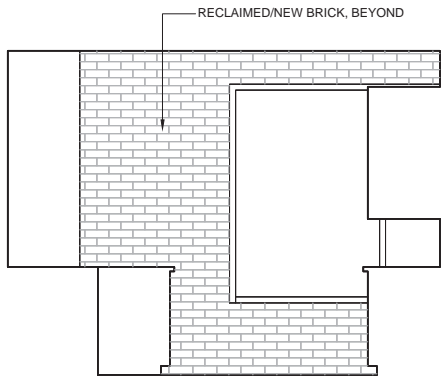
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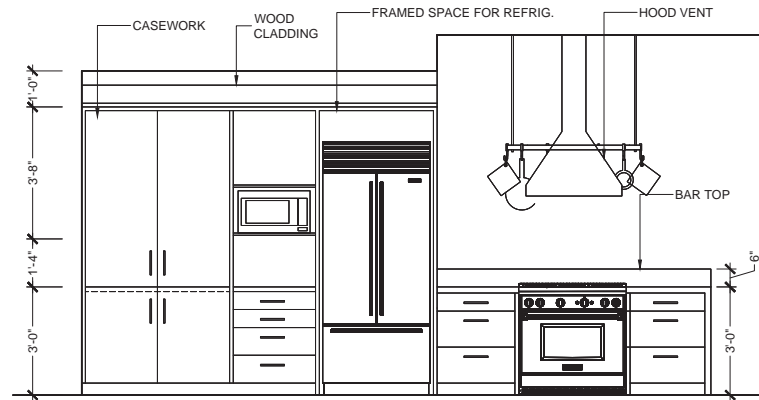
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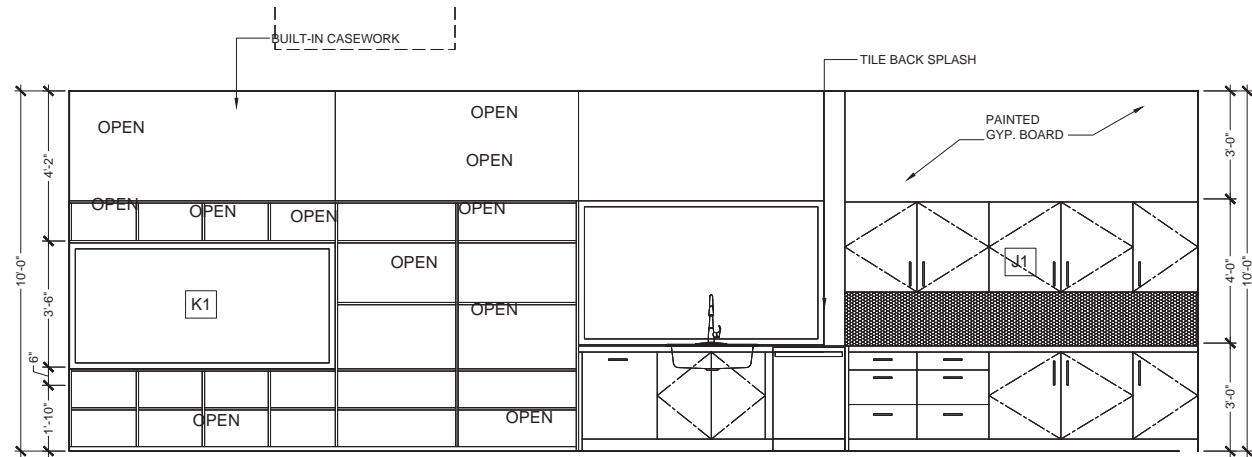
11 GUEST BEDROOM /STUDY
FACING WEST $\frac{3}{8}"=1'-0"$



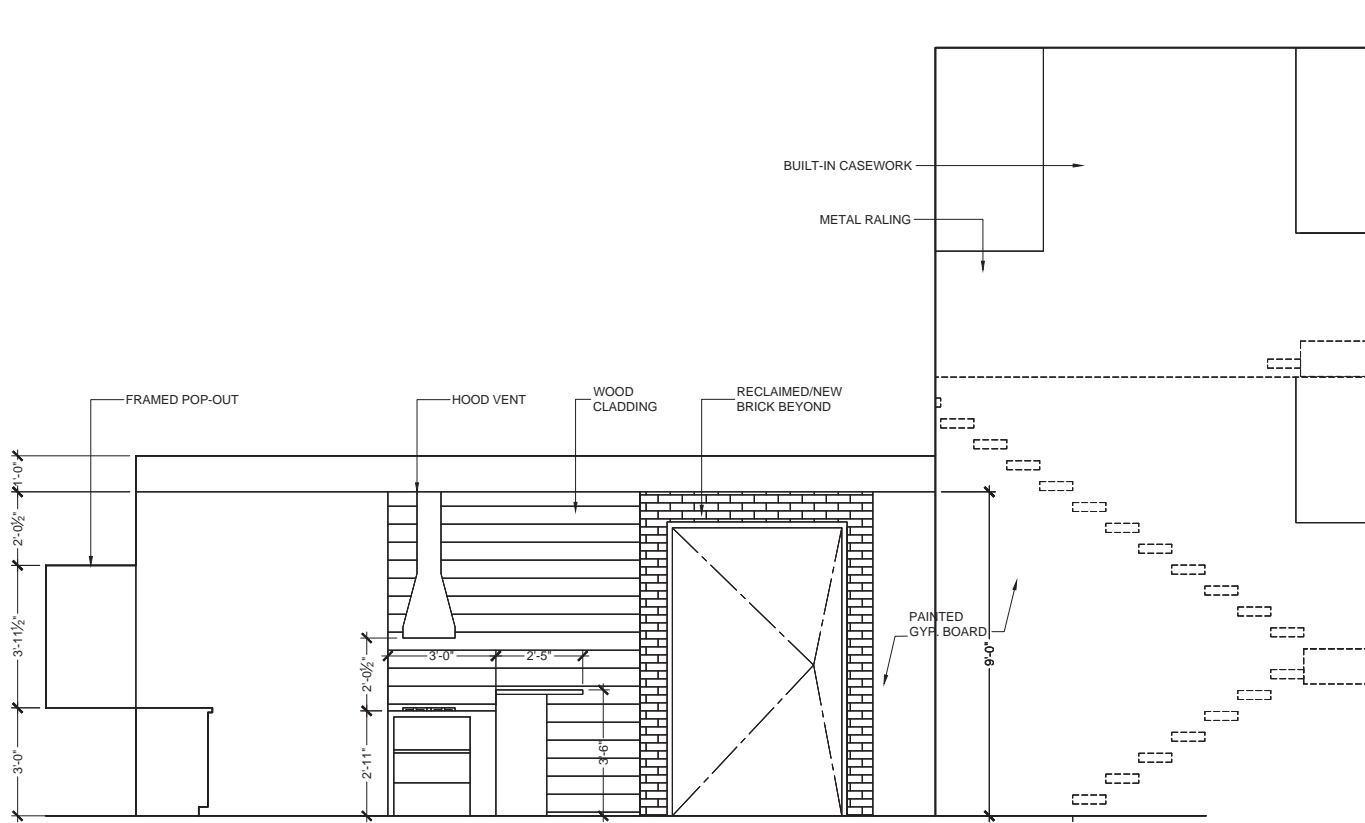
1 KITCHEN
FACING NORTH
3/8"=1'-0"



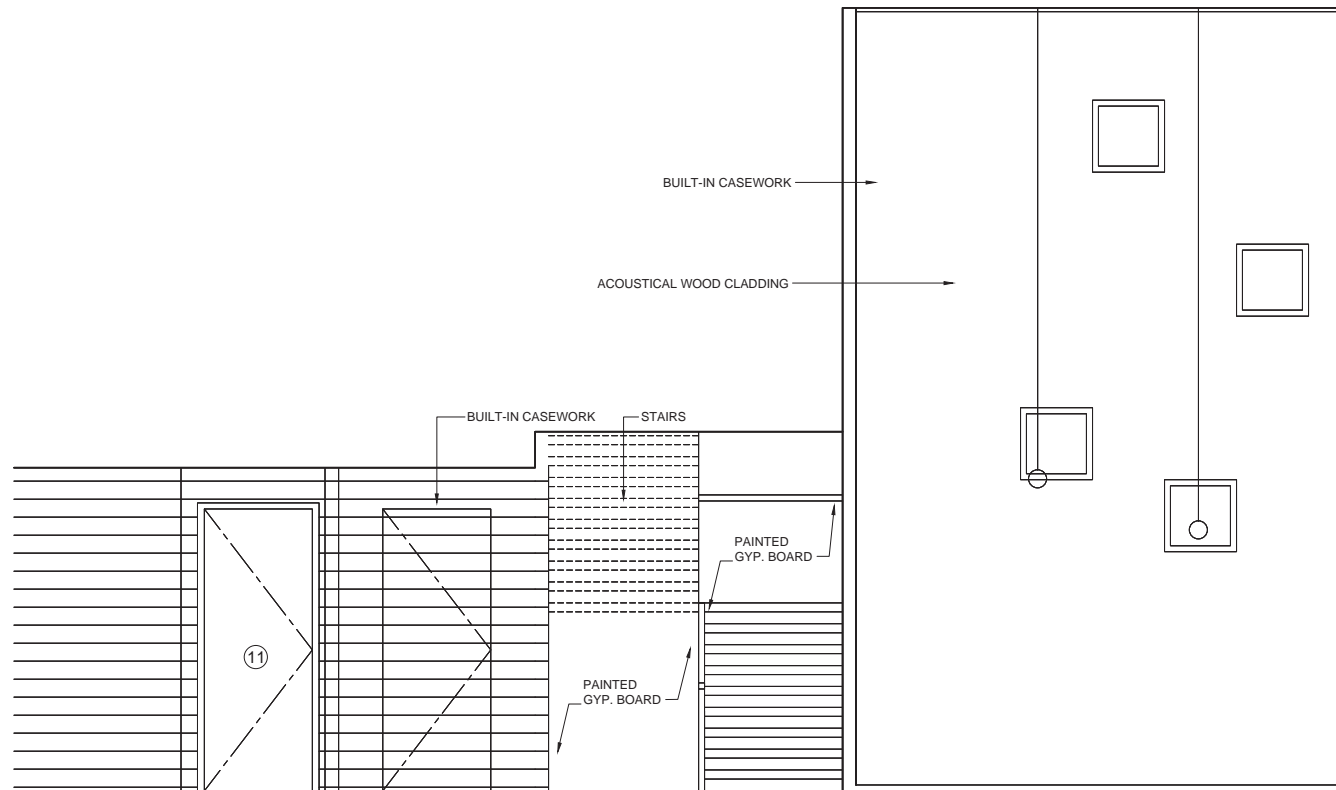
2 KITCHEN
FACING EAST
3/8"=1'-0"



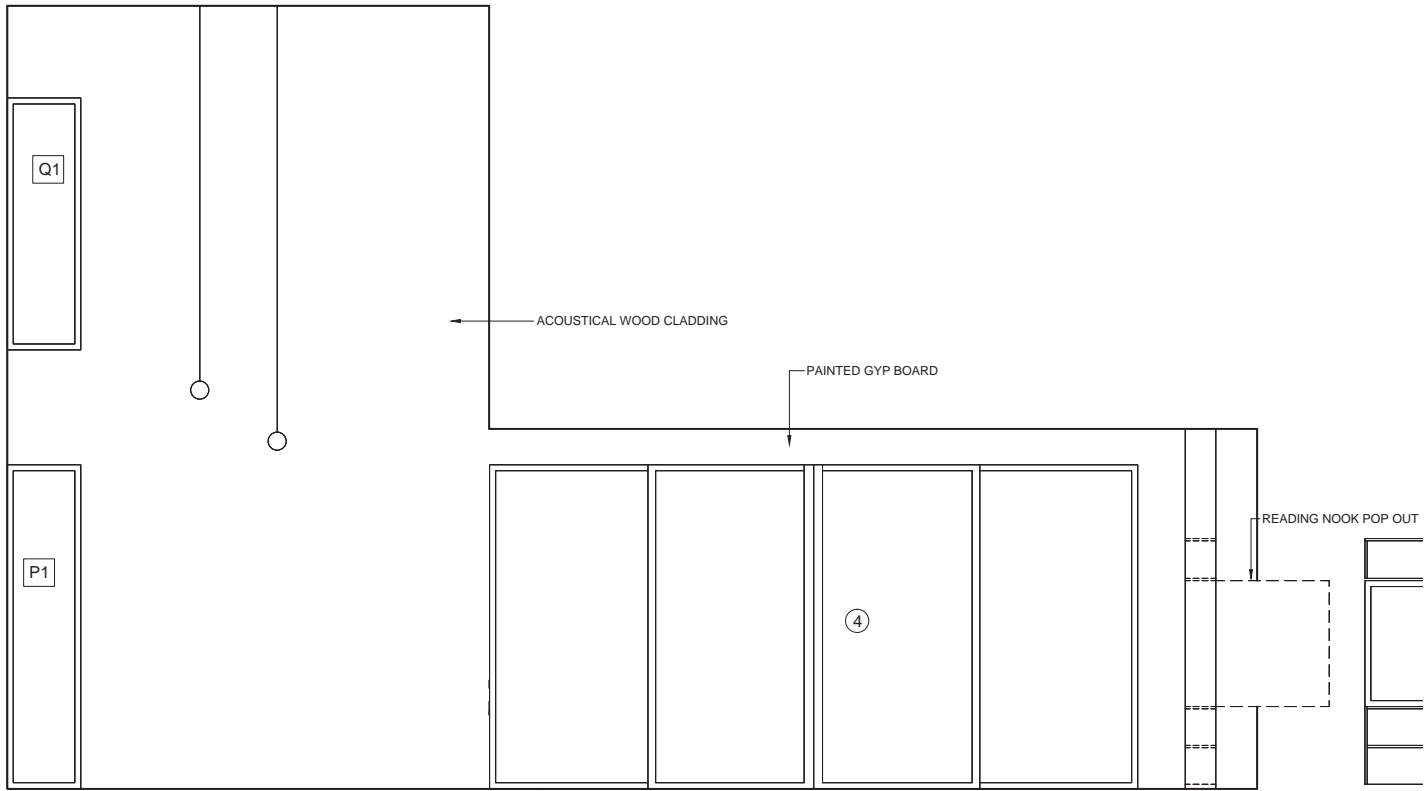
3 KITCHEN, LIVING ROOM
FACING EAST
3/8"=1'-0"



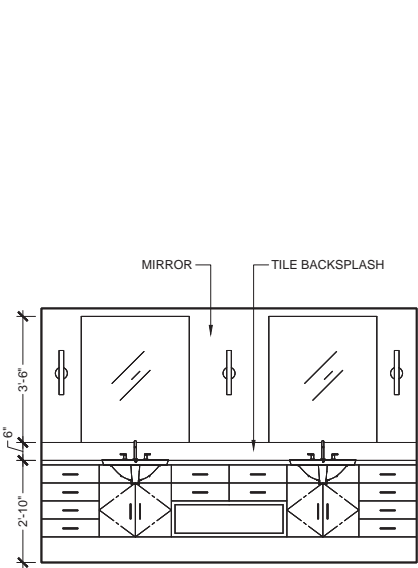
4 KITCHEN, DOUBLE HEIGHT SPACE
FACING NORTH
3/8"=1'-0"



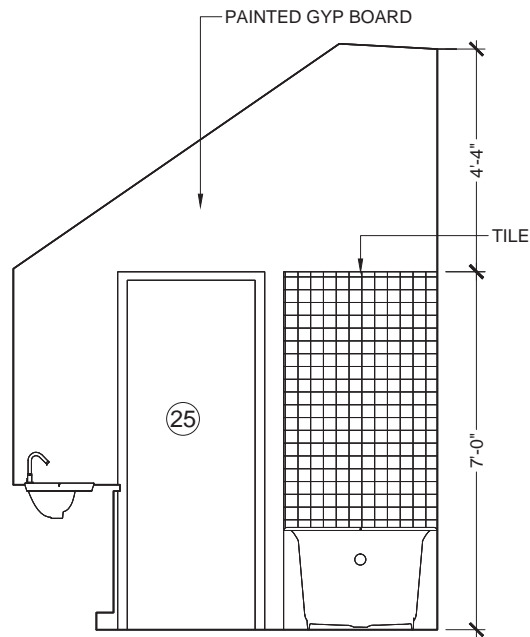
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FACING EAST
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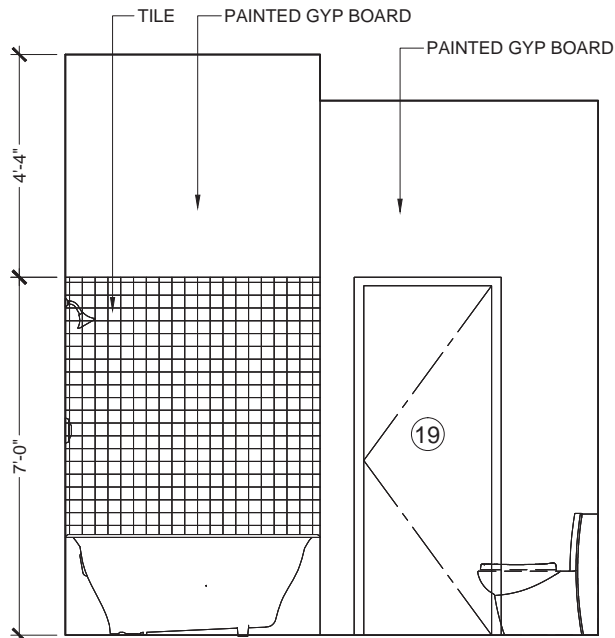
1 LIVING ROOM / DOUBLE HEIGHT SPACE
FACING SOUTH $\frac{3}{8}''=1'-0''$



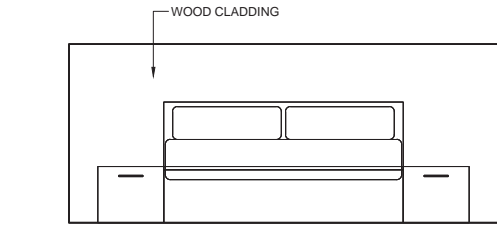
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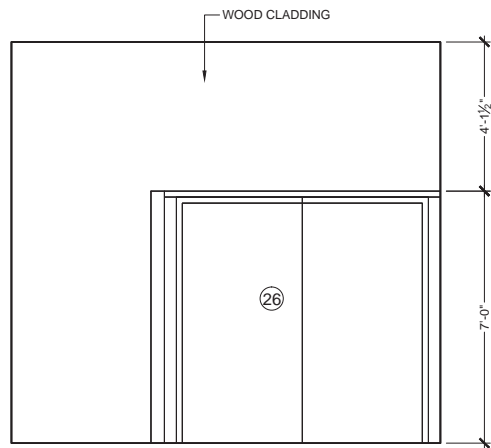
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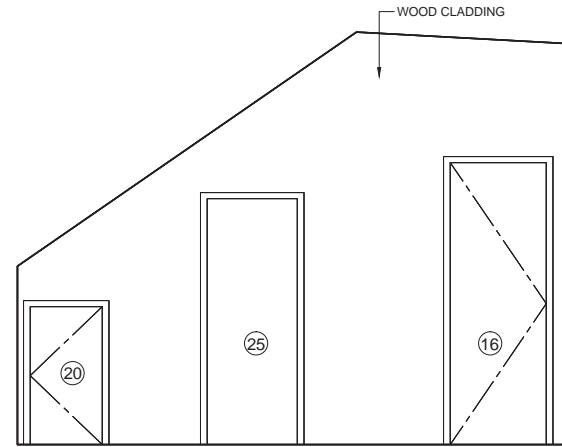
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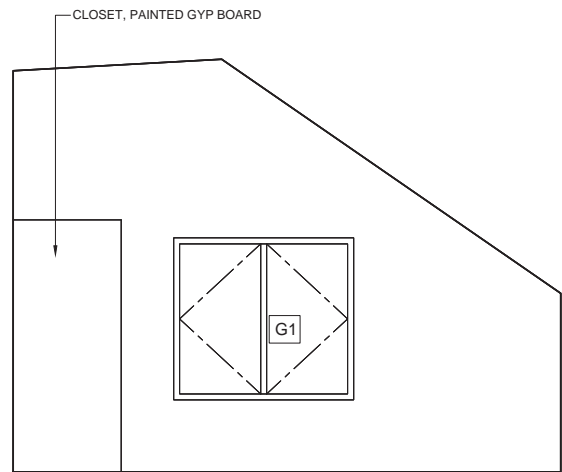
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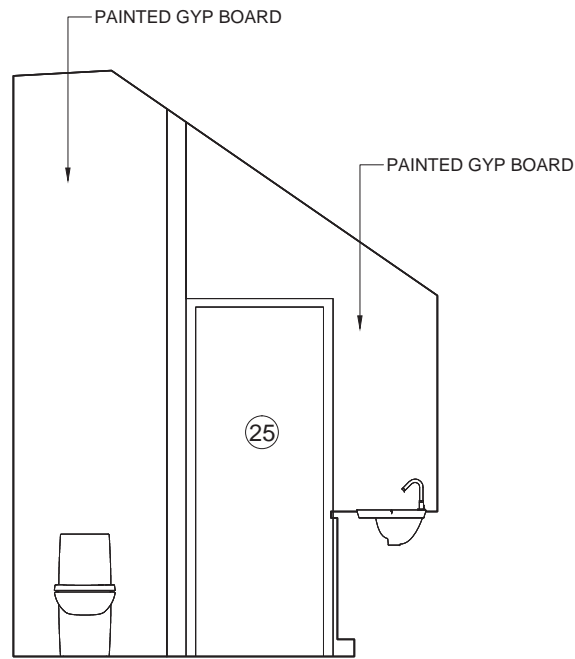
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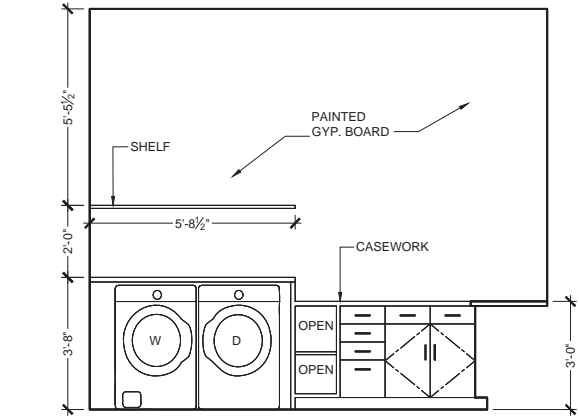
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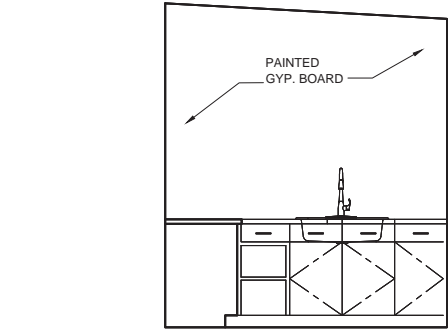
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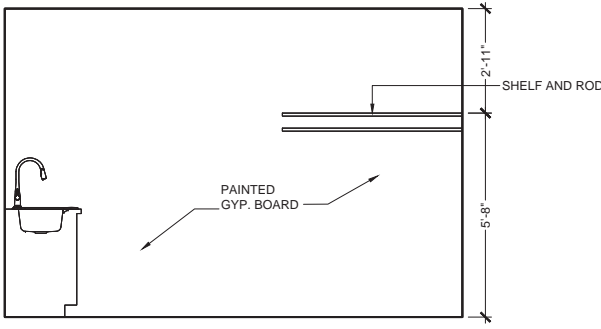
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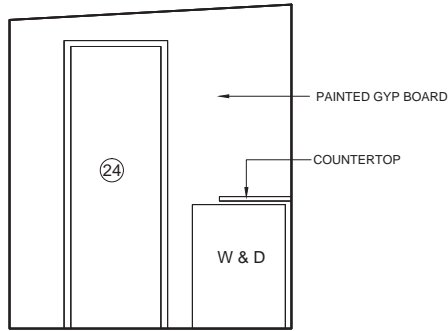
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FACING NORTH 3/8"=1'-0"



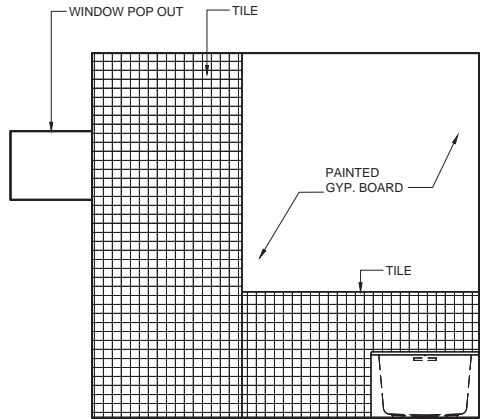
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FACING EAST 3/8"=1'-0"



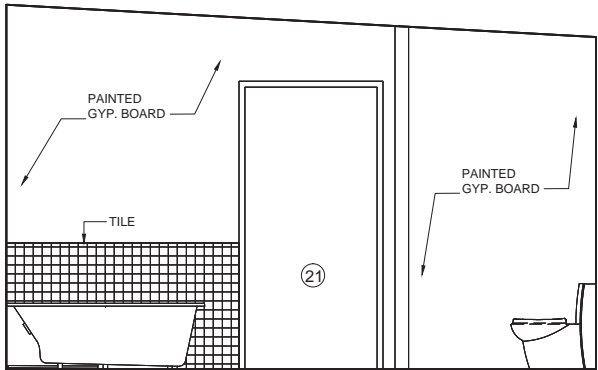
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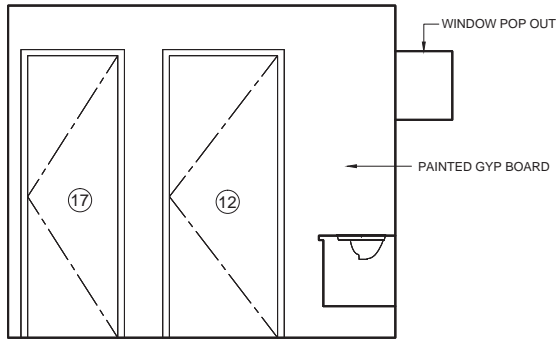
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FACING WEST 3/8"=1'-0"



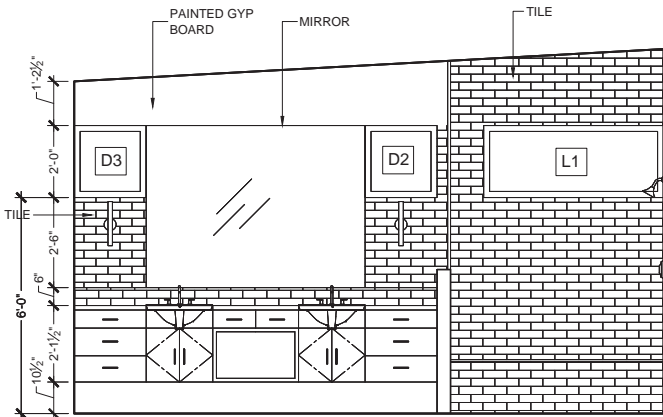
5 MASTER BATH
FACING NORTH 3/8"=1'-0"



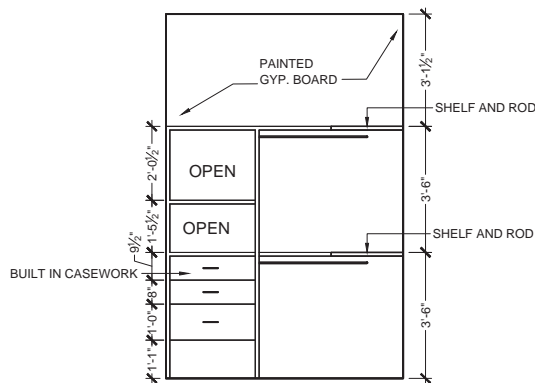
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FACING EAST 3/8"=1'-0"



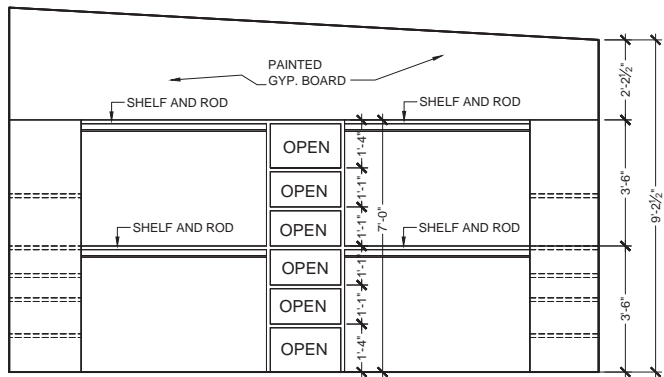
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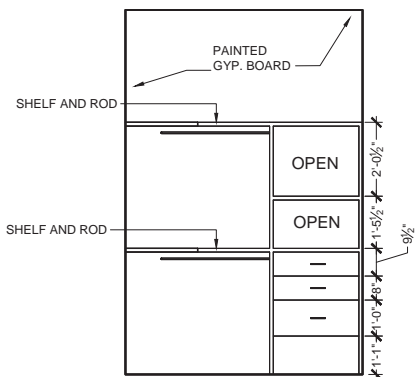
8 MASTER BATH
FACING SOUTH 3/8"=1'-0"



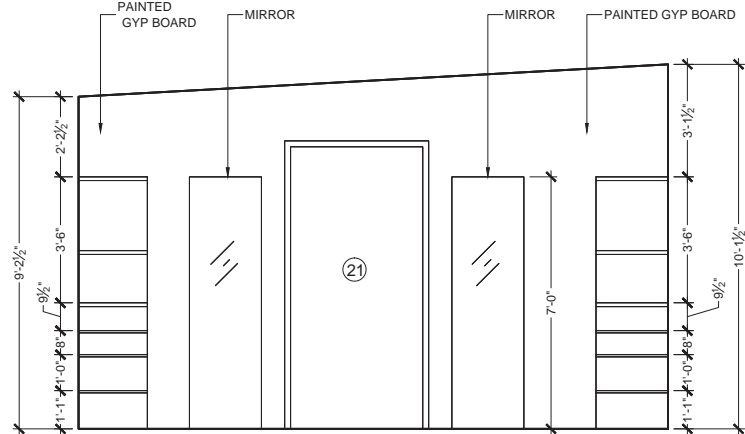
9 MASTER BEDROOM
FACING NORTH 3/8"=1'-0"



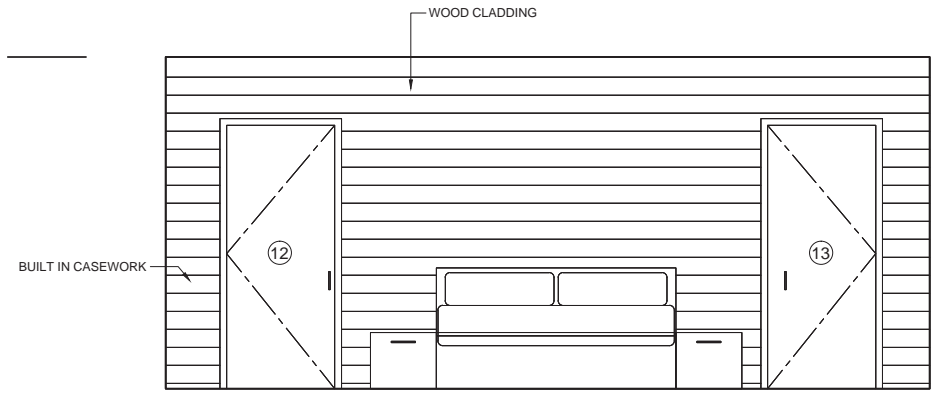
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FACING EAST 3/8"=1'-0"



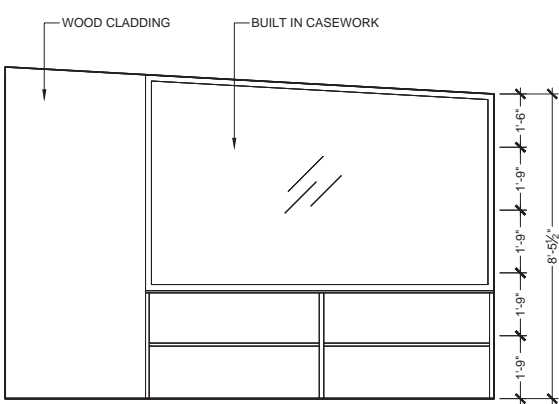
11 MASTER BEDROOM
FACING SOUTH 3/8"=1'-0"



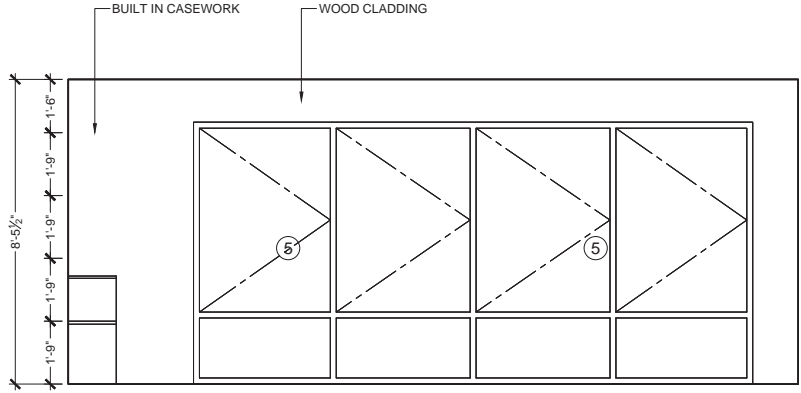
12 MASTER BEDROOM
FACING WEST 3/8"=1'-0"



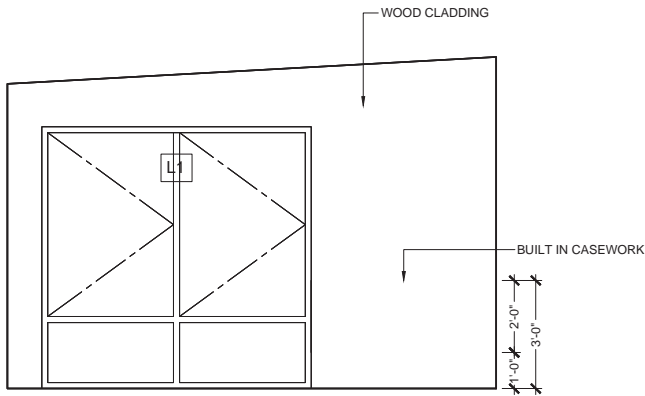
1 MASTER BEDROOM
FACING NORTH
3/8"=1'-0"



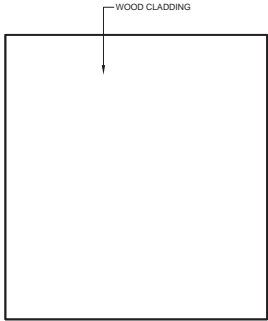
2 MASTER BEDROOM
FACING EAST
3/8"=1'-0"



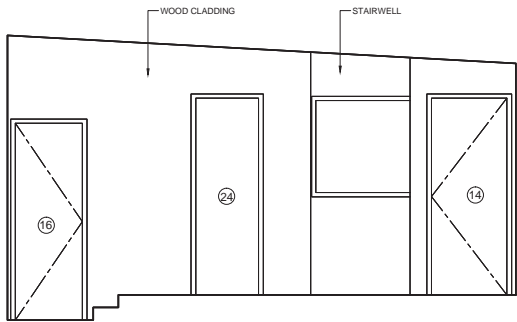
3 MASTER BEDROOM
FACING EAST
3/8"=1'-0"



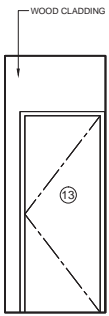
4 MASTER BEDROOM
FACING EAST
3/8"=1'-0"



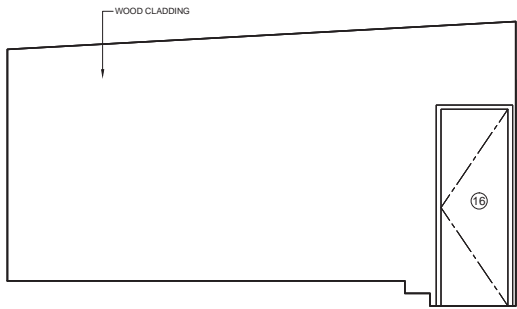
5 L2 HALLWAY
FACING NORTH
3/8"=1'-0"



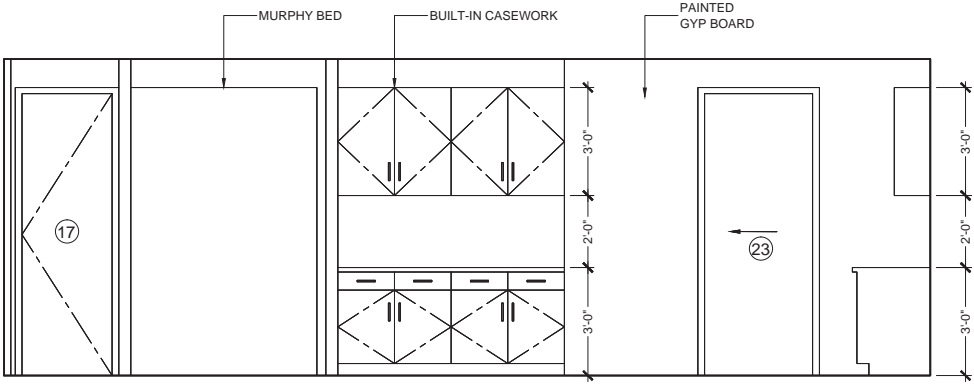
6 MASTER BEDROOM
FACING EAST
3/8"=1'-0"



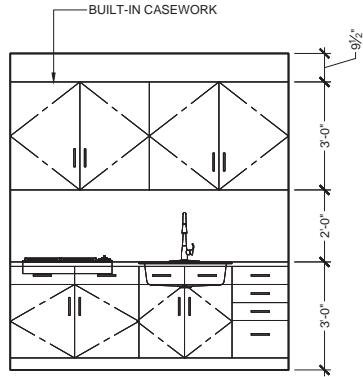
7 L2 HALLWAY
FACING SOUTH
3/8"=1'-0"



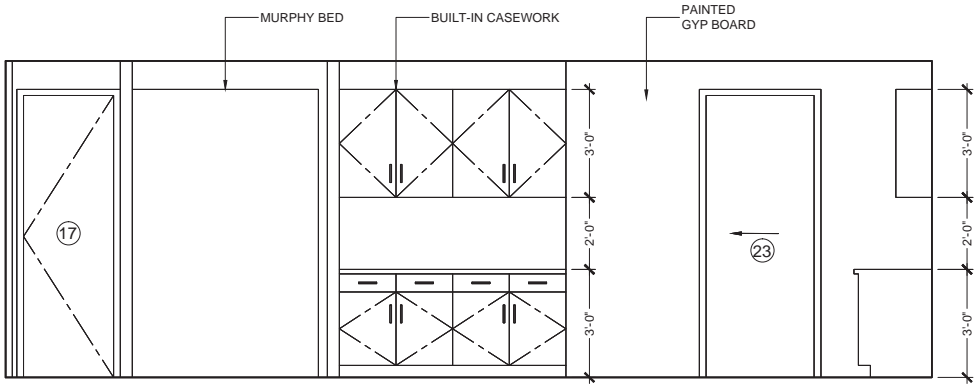
8 MASTER BEDROOM
WEST
3/8"=1'-0"



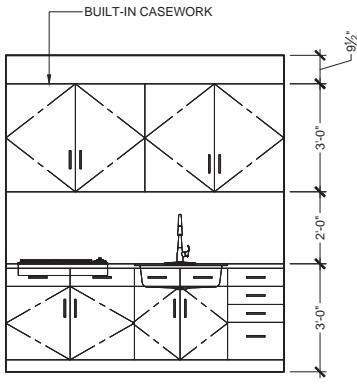
9 MOTHER IN LAW SUITE
FACING SOUTH
3/8"=1'-0"



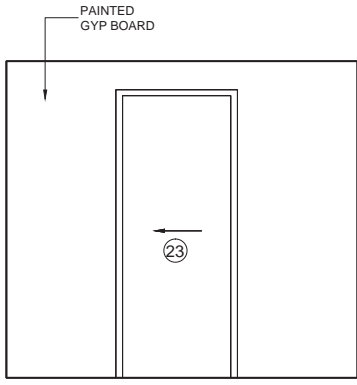
10 MOTHER IN LAW SUITE
FACING WEST
3/8"=1'-0"



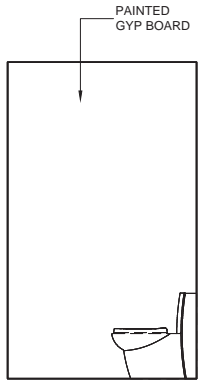
1 MOTHER IN LAW SUITE
FACING SOUTH
3/8"=1'-0"



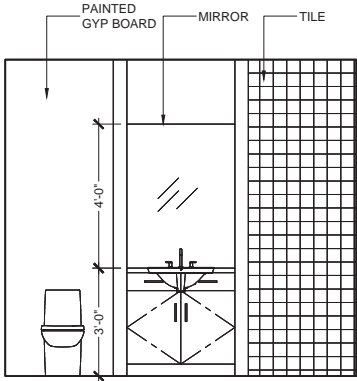
2 MOTHER IN LAW SUITE
FACING WEST
3/8"=1'-0"



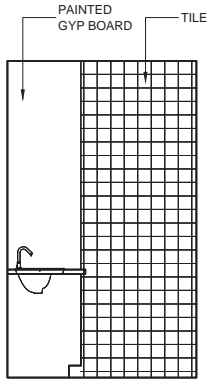
3 MOTHER IN LAW SUITE: BATHROOM
FACING WEST
3/8"=1'-0"



12 MOTHER IN LAW SUITE: BATHROOM
FACING WEST
3/8"=1'-0"



4 MOTHER IN LAW SUITE: BATHROOM
FACING WEST
3/8"=1'-0"



5 MOTHER IN LAW SUITE: BATHROOM
FACING WEST
3/8"=1'-0"

