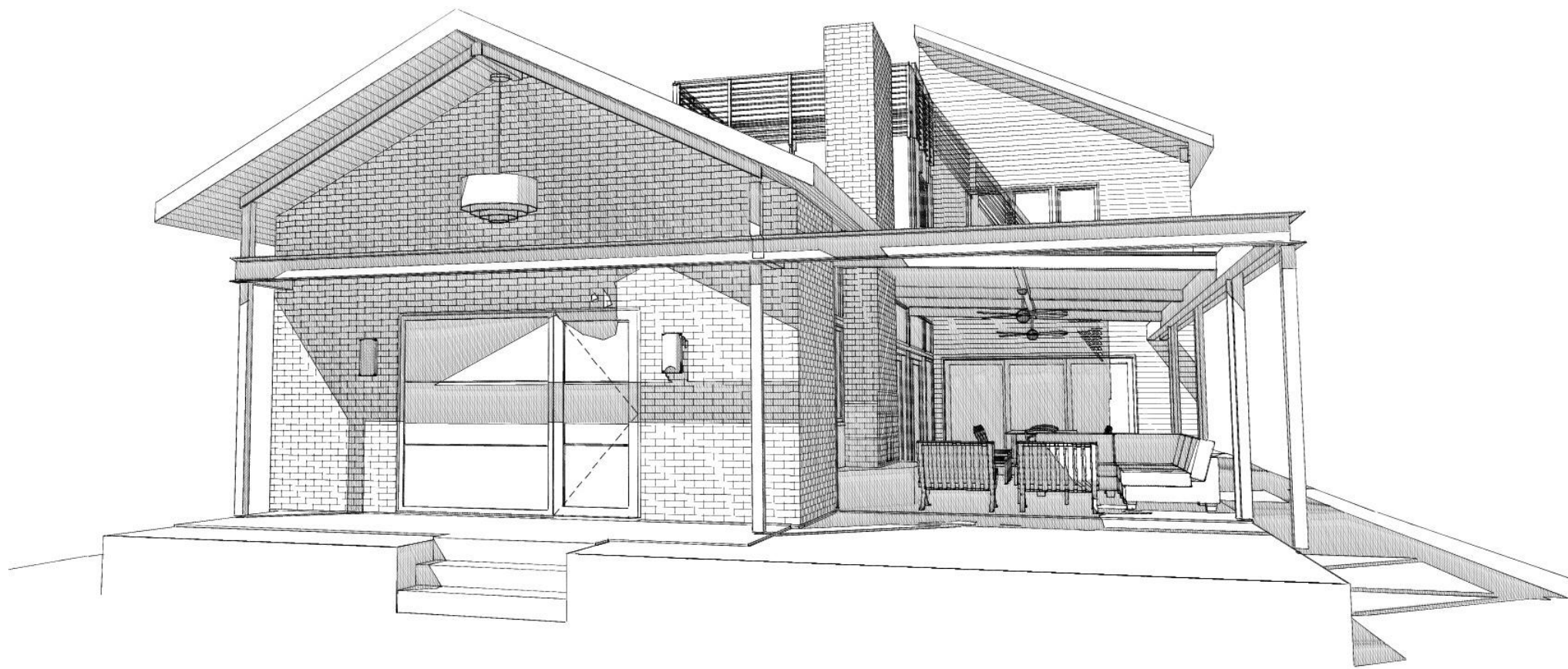


SHEET INDEX

ARCHITECTURAL

	COVER SHEET
A 000	GENERAL NOTES
A 001	PLOT PLAN
A 002	SUBCHAPTER F EXHIBITS
A 003	SUBCHAPTER F EXHIBITS
A 100	FLOOR PLAN-BASEMENT
A 101	FLOOR PLAN-LEVEL 1
A 102	FLOOR PLAN - LEVEL 2
A 103	ROOF PLAN
A 200	EXTERIOR ELEVATION
A 201	EXTERIOR ELEVATIONS



ELM STREET RESIDENCE
1006 ELM STREET
AUSTIN, TX 78703

© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14

PERMIT UPDATE #1

ISSUES

08.06.14 PERMIT SET



ELM STREET RESIDENCE : PERMIT UPDATE

CLIENTS

ROB CROWELL & MARK MOORE
1006 Elm Street
Austin, TX 78703

BUILDER

HOMES BY PARKER INC
P.O. Box 162942
Austin, TX 78716

ARCHITECT

SHILLINGTON ARCHITECTURE, LLC
1401 E. 7th Street
Austin, TX 78702

STRUCTURAL ENGINEER

STRUCTURES
1018 W. 11th Street, Suite 100
Austin, TX 78703

COVER SHEET

A 000

GENERAL NOTES

STANDARDS AND REGULATIONS

- 1. Applicable standards of construction industry and building codes have the same force and affect on performance of the work as if copied directly into contract documents. Contractor is responsible for compliance with all current versions of code and local amendments adopted by the City of Austin.
- 2. Shillington Architecture, LLC is firm specializing in architectural design, not engineering. Refer to Structural Engineering drawings for all framing and foundation members, sizing and detailing.
- 3. Shillington Architecture, LLC is not responsible for landscape design or site drainage.

DRAWINGS

- 1. Numerical dimensions shall take precedence over scaled dimensions. All dimensions are to face of studs or stone masonry unless otherwise shown or noted.
- 2. If instructions or drawings are inconsistent, unclear or if a piece of information is omitted, the Architect shall be contacted for clarification.
- 3. The Contractor is responsible for making sure there is a current Builder's Set is on the job site premises at all times when any work is being performed as well as a notebook containing change orders and addendums as they are issued.
- 4. Architect shall be held harmless for any variances to these drawings and specifications without written notification of changes.
- 5. All mechanical, electrical, and plumbing indicated on drawings is simply to aid contractor on general locations. The contractor is responsible for electrical, plumbing and mechanical sizing, and shall adhere to their respective codes.
- 6. This plan and the designs contained herein are the property of Shillington Architecture, LLC and may not be reproduced, all or in part, without prior written consent.
- 7. The Contractor is solely responsible for selection and installation of all material and product specifications.

SITE

- 1. The Contractor is responsible for examining the site, verifying all dimensions and grade of existing and new work prior to construction. The Contractor shall be responsible for the accurate placement of the building on site.
- 2. The Contractor shall be responsible for the final location of all utilities and services per local code requirements.
- 3. Driveway and apron are to meet current City of Austin codes.
- 4. Contractor shall install new sidewalk as required by code, or opt to pay fee as allowed by City of Austin.

CONSTRUCTION

- 1. The Contractor is responsible for obtaining all permits.
- 2. The Contractor and all subcontractors shall observe all local, state, and national governing codes and ordinances and shall seek in a timely fashion all permits, inspections, and approvals required for the work.
- 3. All work and materials are to comply in every respect with the latest requirements of all applicable city, county, and state codes, local regulations and the direction of the building inspector.
- 4. Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8" thick, solid or honeycomb core steel doors not less than 1 3/8" thick, or 20 minute fire-rated doors. The garage shall be separated from the residence and its attic area with gyp. board as required by code.
- 5. No construction is allowed over easements unless cleared in writing by controlling agency.
- 6. Electrical-ground fault circuit interrupters (GFI) required on all exterior outlets, all kitchen counter outlets, all bathroom outlets, inclusive of those serving spa tubs, all garage outlets except those serving dedicated space equipment, and all outlets at wet bars. Exterior outlets to be provided as required by code.
- 7. Porches, balconies or raised floor surfaces located more than 30" above the floor or grade below shall have guardrails as required by code.
- 8. Approved numbers or addresses shall be provided for all buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background and shall be a minimum of 4" in height.
- 9. Smoke alarms shall be installed in accordance with all applicable codes.
- 10. Enclosed accessible space under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with gypsum board as required by code. One-hour rated gypsum board shall be installed under stairs.
- 11. Ceiling heights for habitable rooms, hallways, corridors, bathrooms, toilet rooms and basements shall comply with all applicable codes.
- 12. Bathtub and shower floors, and walls above bathtubs with installed showerheads and in shower compartments shall be finished with a non-absorbent surface. Water-resistant gypsum backing board may be utilized as allowed by code. All cut or exposed edges shall be sealed as recommended by the manufacturer.
- 13. Escape/rescue window from sleeping areas shall be provided in accordance with applicable codes.
- 14. Roof overhangs shall not extend into any utility easements.
- 15. The Contractor shall be responsible for a complete and proper waterproofing of the project.
- 16. The Contractor shall provide tree protection as required by the City of Austin and be fully responsible for compliance with recommendations and requirements of City of Austin Arborist.

ELM STREET RESIDENCE

1006 ELM STREET
AUSTIN, TX 78703

© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14

PERMIT UPDATE #1

ISSUES	
08.06.14	PERMIT SET



GENERAL NOTES

PROPERTY INFORMATION	DEVELOPMENT LIMITS	FAR CALCULATIONS	IMPERVIOUS COVER CALCULATIONS
ADDRESS 1006 ELM ST. AUSTIN, TX 78703	SUBJECT TO RDCC REQUIREMENTS LOT AREA (TCAD): 6,672.59 sq ft MAX GROSS SF (.4 FAR): 2,669.04 sq ft MAX IMP. COVER (.45): 3,003.67 sq ft	AREA CALCULATIONS LEVEL 1 CONDITIONED: 1,752 sf LEVEL 2 CONDITIONED: 914 sf ATTACHED CARPORT: 444 sf BASEMENT: 1,230 sf SUBTOTAL: 4,344 sf CARPORT EXEMPTION: -444 sf BASEMENT EXEMPT: -1,230 sf TOTAL FAR: 2,666 sf (39.9%)	BUILDING & SITE COVERAGE i. First Floor Conditioned: 1,752 sf ii. Second Floor Conditioned: 914 sf iii. Third Floor Conditioned: 0 sf iv. Basement: 1,230 sf v. Attached Covered Parking (carport): 444 sf viii. Covered Patio/Porch (416 sf + 56 sf): 472 sf x. Uncovered Roof Decks (141 sf + 337 sf): 478 sf TOTAL BUILDING AREA (TBA) 5,290 sf TOTAL BUILDING COVERAGE (TBC) 2,668 sf (39.9%) (TBA-ii,iii,iv and x) xi. Driveway runners 124 sf xv. AC Pads 18 sf xvi. Other: Uncovered entry steps 75 sf TOTAL SITE COVERAGE 2,885 sf (43.2%)
LEGAL DESCRIPTION: LOT 17 BLK 5 OLT 4 DIV Z SHELLEY HEIGHTS 2			
ZONING: SF-3-NP (OLD WEST AUSTIN NEIGHBORHOOD GROUP) HISTORIC STATUS: WEST LINE HISTORIC DISTRICT NON-CONTRIBUTING STRUCTURE			

ELM STREET RESIDENCE

1006 ELM STREET
AUSTIN, TX 78703

© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14

PERMIT UPDATE #1

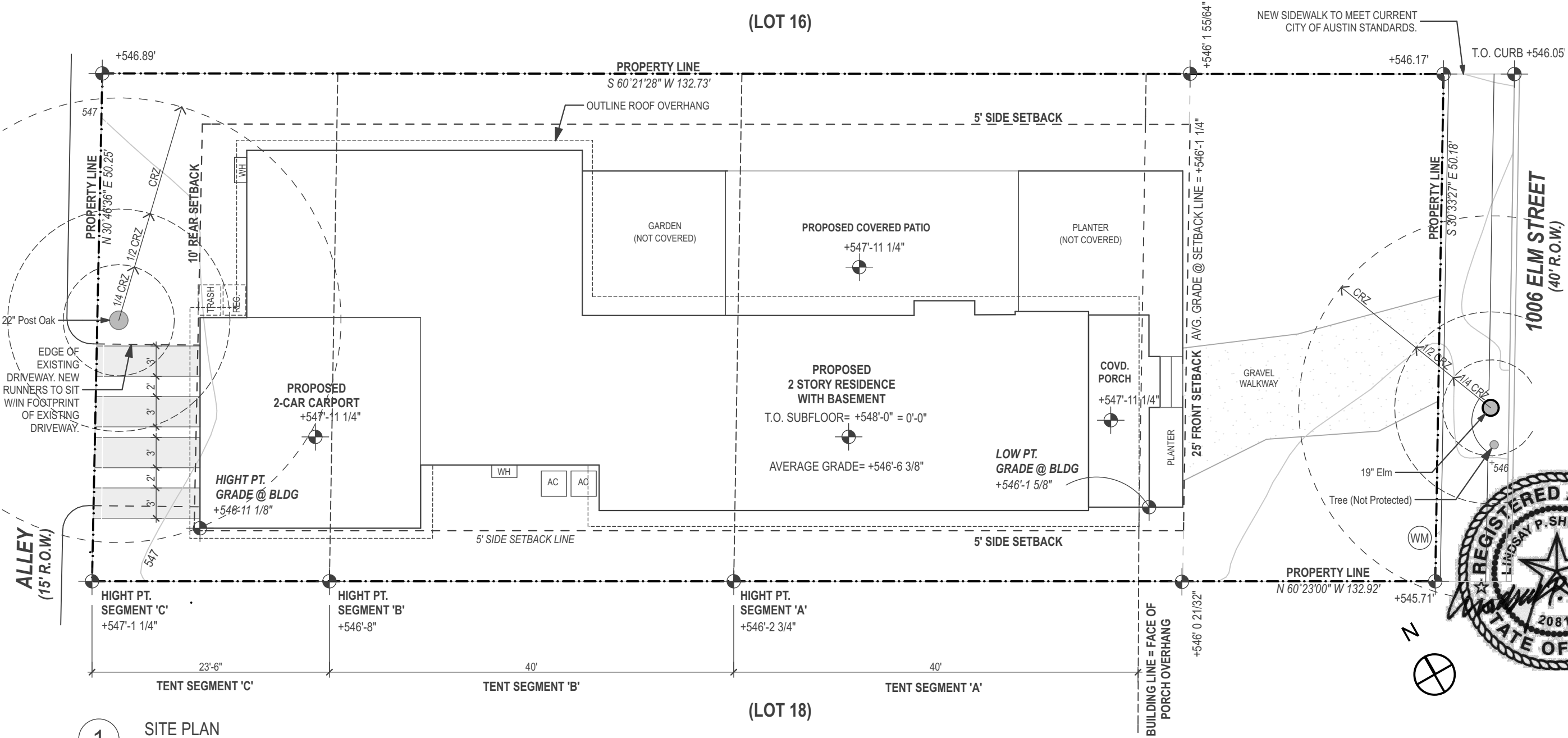
ISSUES

08.06.14 PERMIT SET

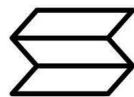
09.10.2014

PLOT PLAN

A 001



1 SITE PLAN
SCALE: 3/32" = 1'-0"



shillington
ARCHITECTURE LLC

1401 E. 7th ST. | AUSTIN, TX 78702
512.924.0231 | www.shillingtonarch.com

ELM STREET RESIDENCE

1006 ELM STREET
AUSTIN, TX 78703

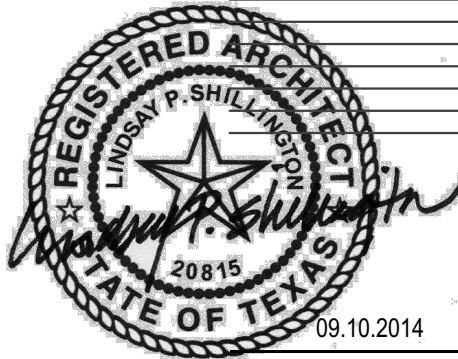
© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14

PERMIT UPDATE #1

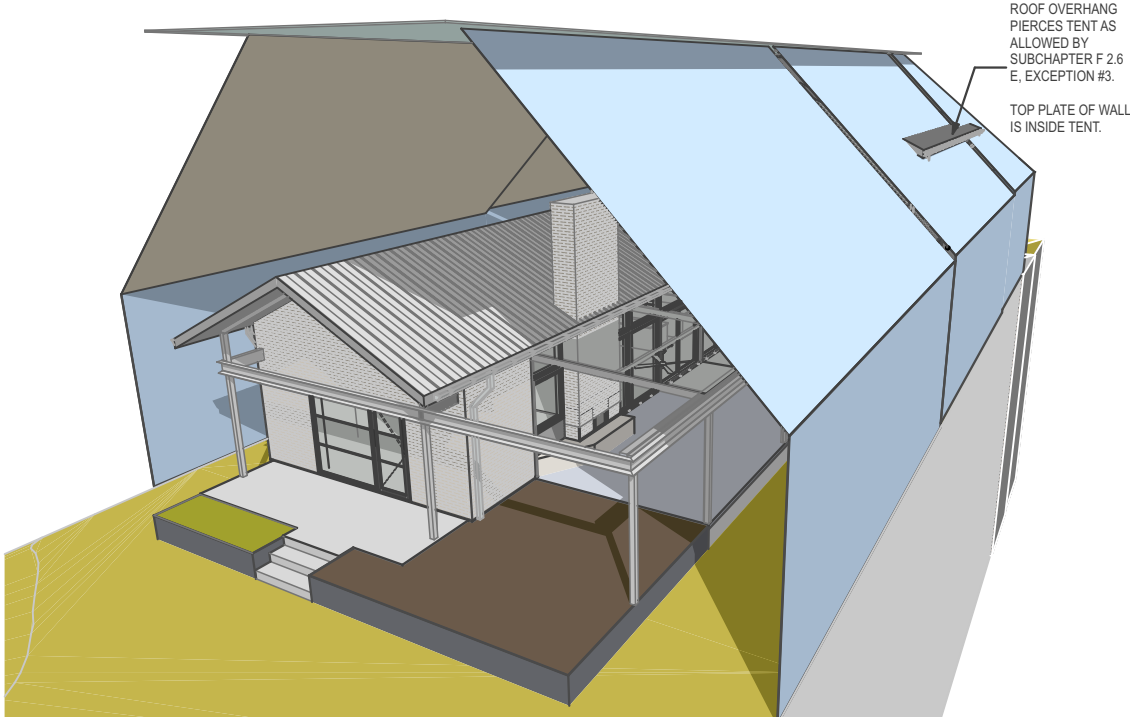
ISSUES

08.06.14 PERMIT SET



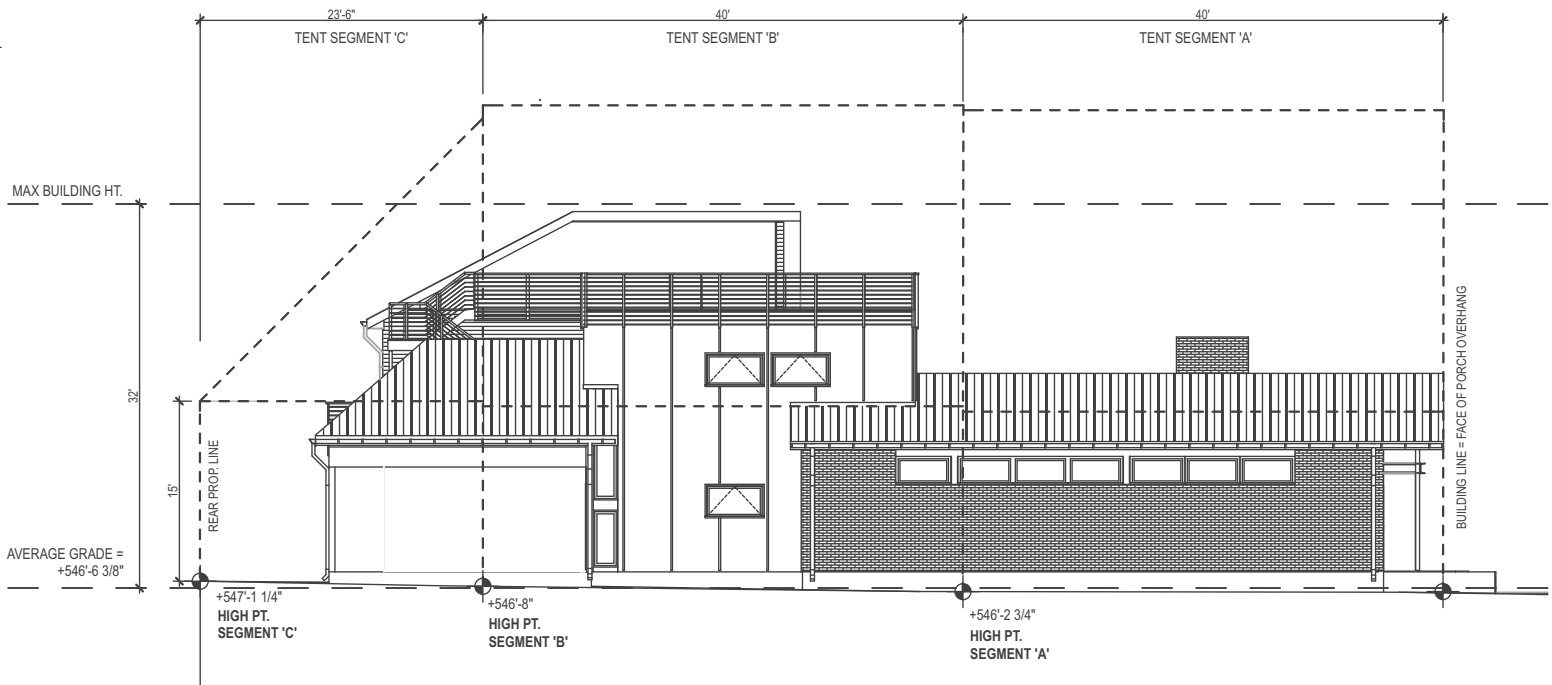
SUBCHAPTER F
EXHIBITS

A 002



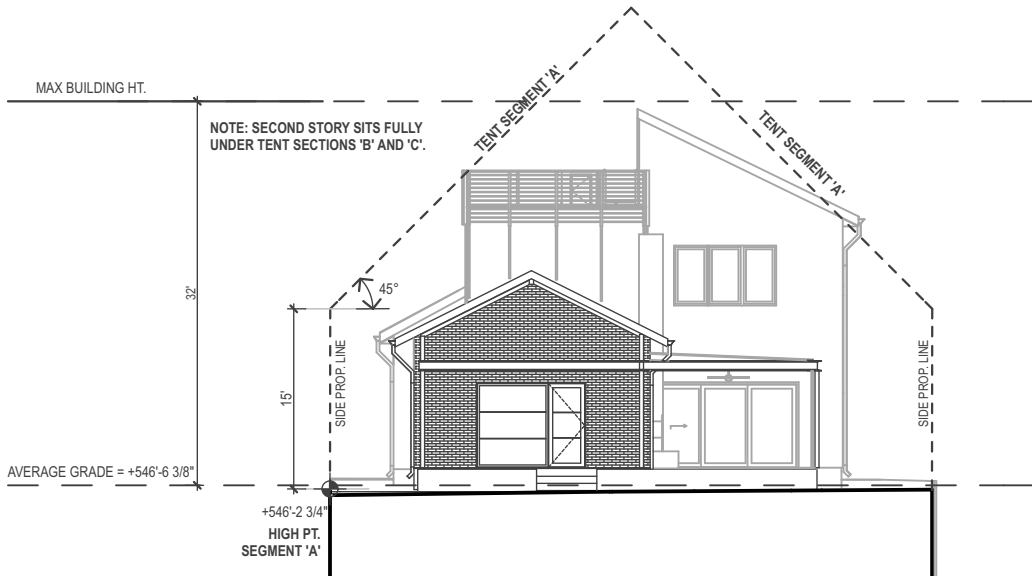
4

SETBACK TENT 3D RENDERING



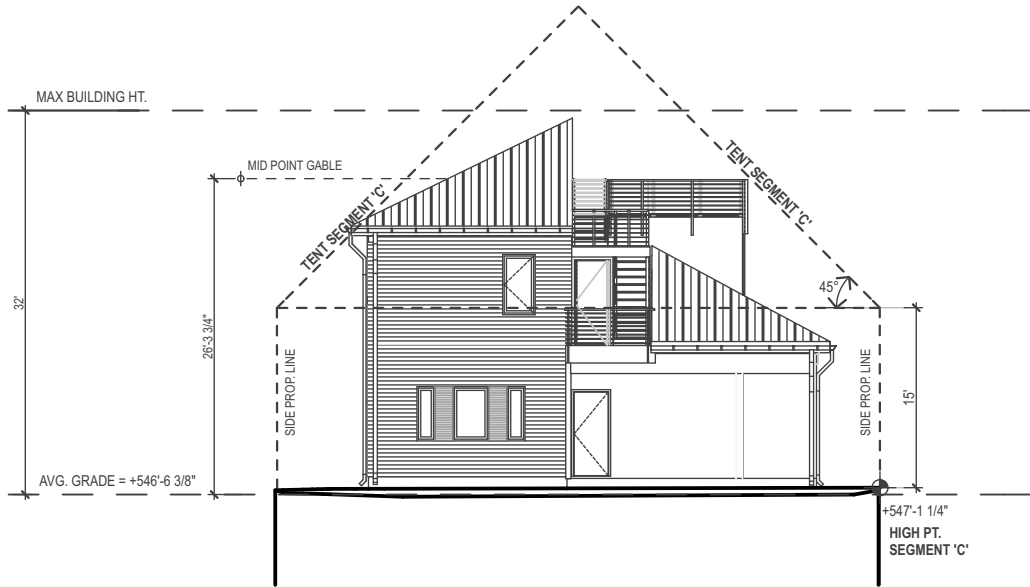
3

SETBACK TENT EXHIBIT-SOUTH
SCALE: 1/16" = 1'-0"



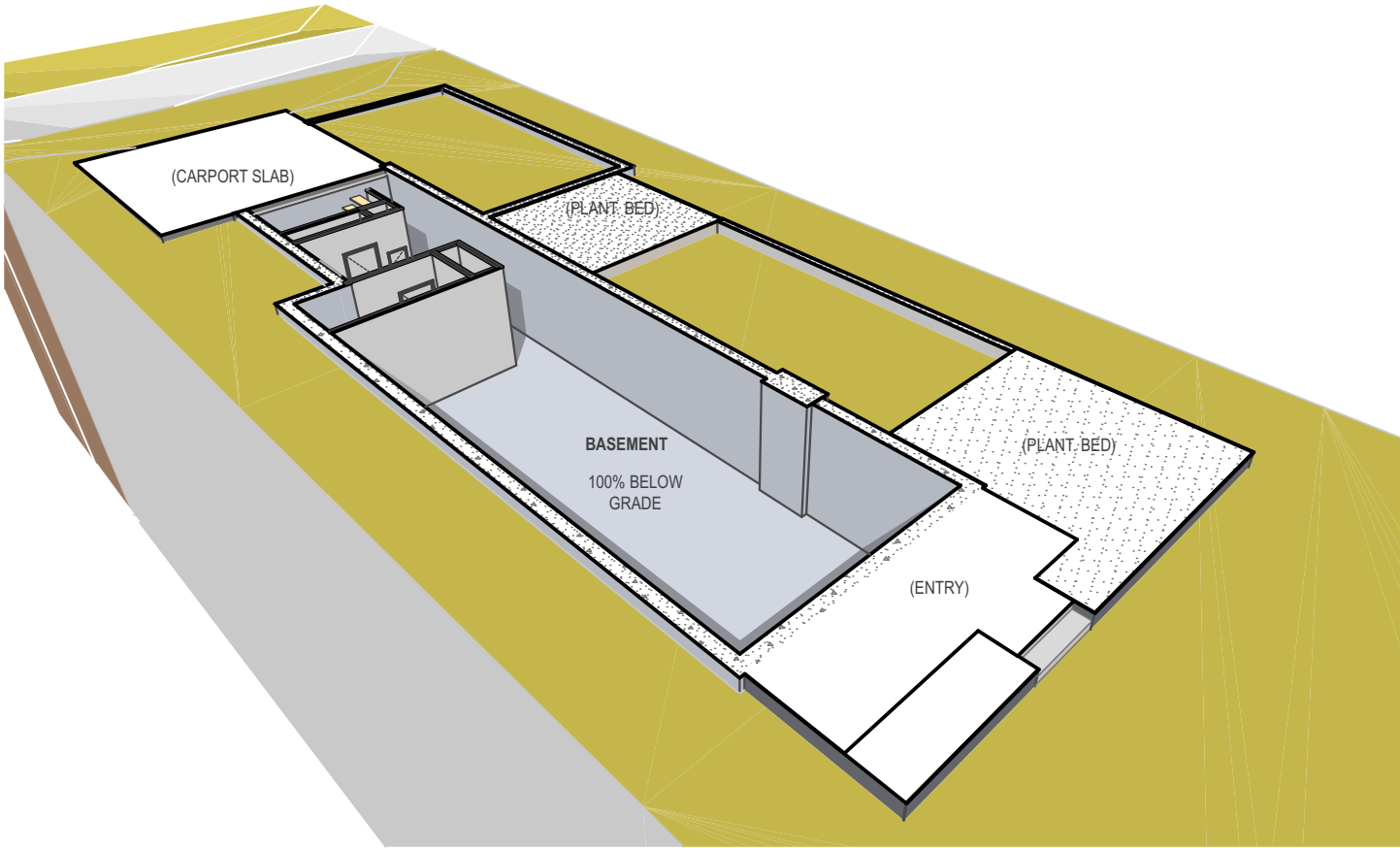
2

SETBACK TENT EXHIBIT-EAST
SCALE: 1/16" = 1'-0"

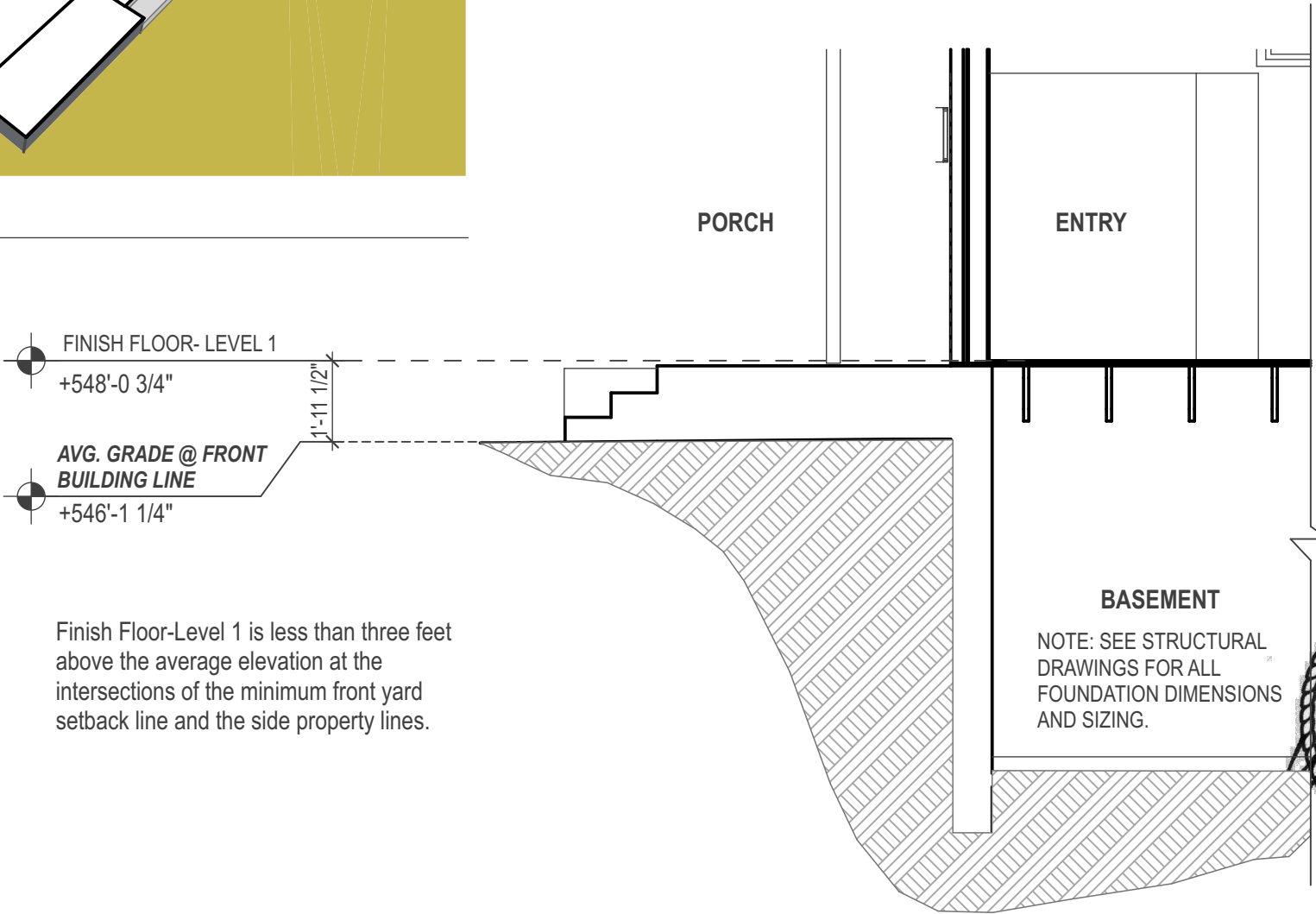


1

SETBACK TENT EXHIBIT-WEST
SCALE: 1/16" = 1'-0"

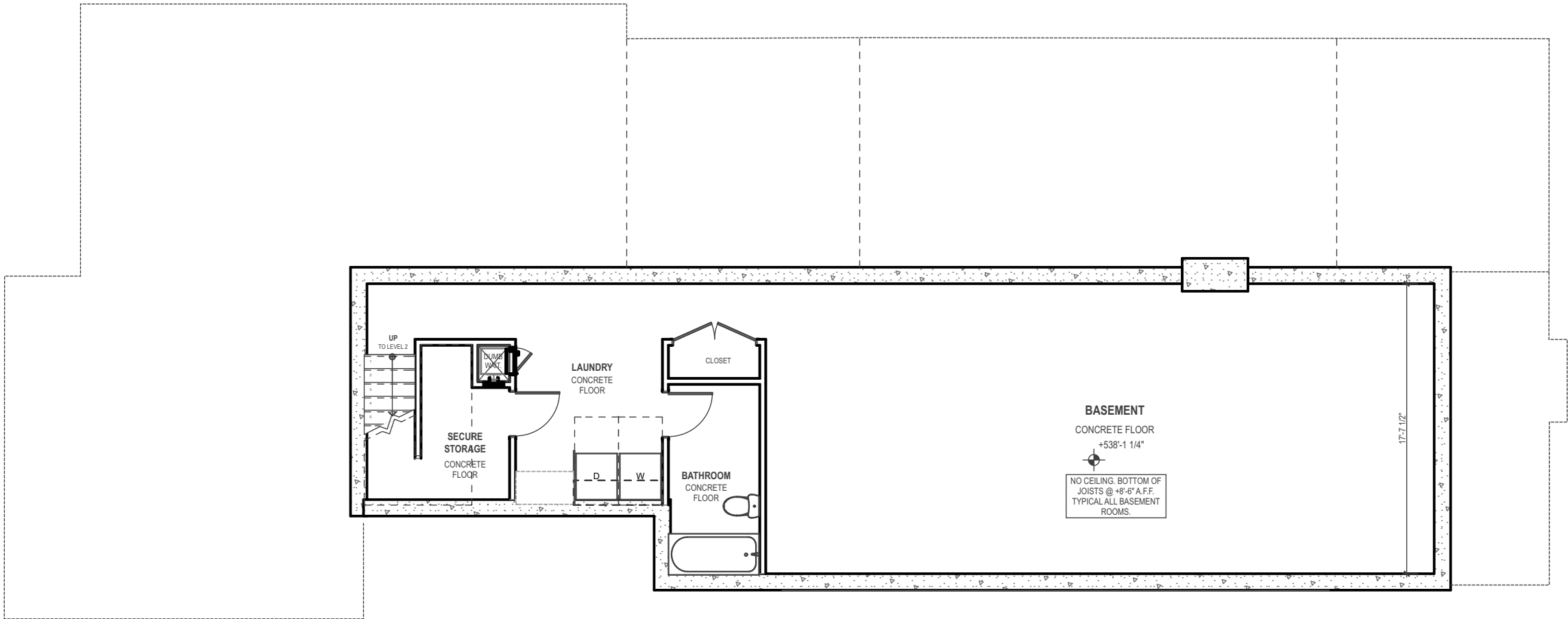


2 BASEMENT RENDERING





Finish Floor-Level 1 is less than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

1 BASEMENT EXHIBIT
SCALE: 1/4" = 1'-0"



1 BASEMENT
SCALE: 1/8" = 1'-0"

KEY	CONSTRUCTION PLAN NOTES:	
<div> WINDOW NUMBER</div>	1. ALL EXTERIOR WALLS ARE 2X6 CONSTRUCTION, U.O.N. ALL INTERIOR WALLS ARE 2X4 CONSTRUCTION, U.O.N. SEE STRUCTURAL DRAWINGS.	5. ANY DIMENSIONS OR SIZES OF STRUCTURAL MEMBERS SHOW ON ARCHITECTURAL PLANS ARE FOR GRAPHIC CONVENTION ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL SIZING, LOCATION AND CONNECTION DETAILS OF ALL FRAMING AND STRUCTURAL MEMBERS.
<div> DOOR NUMBER</div>	2. ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.	6. SEE GENERAL NOTES.
	3. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK.	
	4. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. CONTACT ARCHITECT WITH ANY QUESTIONS REGARDING DIMENSIONS.	

ELM STREET RESIDENCE

1006 ELM STREET
AUSTIN, TX 78703

© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14

PERMIT UPDATE #1

ISSUES

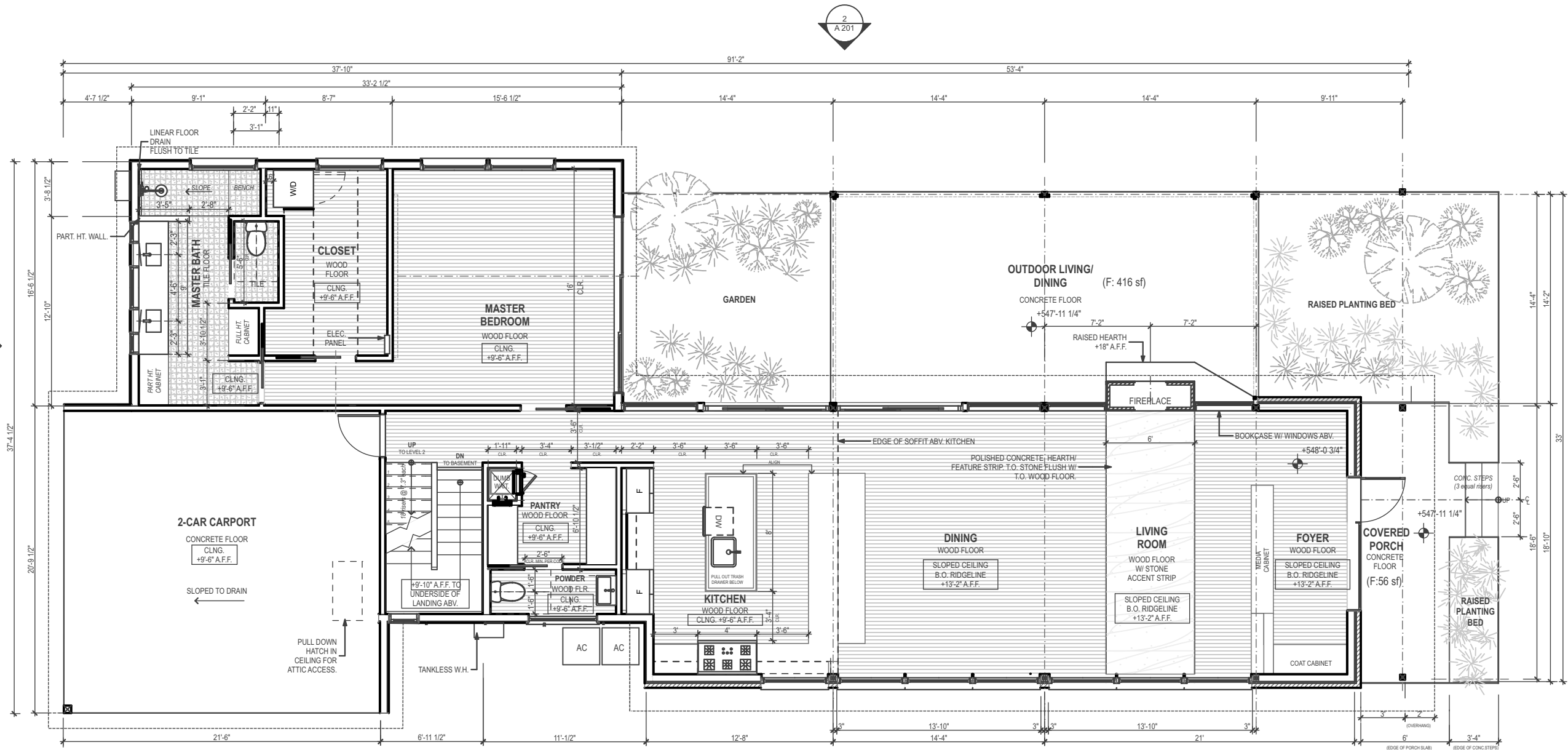
08.06.14 PERMIT SET





09.10.2014

FLOOR PLAN-
LEVEL 1

A 101



1 1st FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY	CONSTRUCTION PLAN NOTES:
 WINDOW NUMBER	1. ALL EXTERIOR WALLS ARE 2X6 CONSTRUCTION, U.O.N. ALL INTERIOR WALLS ARE 2X4 CONSTRUCTION, U.O.N. SEE STRUCTURAL DRAWINGS.
 DOOR NUMBER	2. ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
	3. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK.
	4. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. CONTACT ARCHITECT WITH ANY QUESTIONS REGARDING DIMENSIONS.
	5. ANY DIMENSIONS OR SIZES OF STRUCTURAL MEMBERS SHOW ON ARCHITECTURAL PLANS ARE FOR GRAPHIC CONVENTION ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL SIZING, LOCATION AND CONNECTION DETAILS OF ALL FRAMING AND STRUCTURAL MEMBERS.
	6. SEE GENERAL NOTES.

NOTE: Construction shall comply with currently adopted portions of Visitability Ordinance No. 20140130-021.

- A.1. R320.3 Visible bathrooms. A visitable dwelling must be designed and constructed with at least one bathroom group or a half bath on the first floor that meets the following requirements:
1. Minimum door size: A minimum clear opening of 30 inches is required; (32" door)
 2. Grab bar provision: Lateral two-inch by six-inch or larger nominal wood blocking must be installed flush with stud edges of bathroom walls.
 3. The centerline of the blocking must be 34 inches from and parallel to the interior floor level, except for the portion of the wall located directly behind the lavatory.
- A.2. R320.4 Visible light switches, receptacles, and environmental controls. The first floor of a visitable dwelling must meet the following requirements:
1. Light switches and environmental controls must be no higher than 48 inches above the interior floor level.
 2. Outlets and receptacles must be a minimum of 15 inches above the interior floor level, except for floor outlets and receptacles.
- A.3. R320.5 Visitability bathroom route. A bathroom group or half bath designated for Visitability under Section R320.3 must be accessible by a route with a minimum clear opening of 32 inches beginning at the visitable entrance designated under Section 320.6 and continuing through the living room, dining room, and kitchen, and be level with ramped or beveled changes at door thresholds.
- Exception:
A visitable route is not required through an area located on a split-level or sunken floor, provided an alternative route is available.
- A.4. R320.6 Visible dwelling entrance. A dwelling must be accessible by at least one no-step entrance with a beveled threshold of one-half inch or less and a door with a clear width of at least 32 inches. The entrance may be located at the front, rear, or side, or in the garage or carport, of the dwelling.

ELM STREET RESIDENCE

1006 ELM STREET
AUSTIN, TX 78703

© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14

PERMIT UPDATE #1

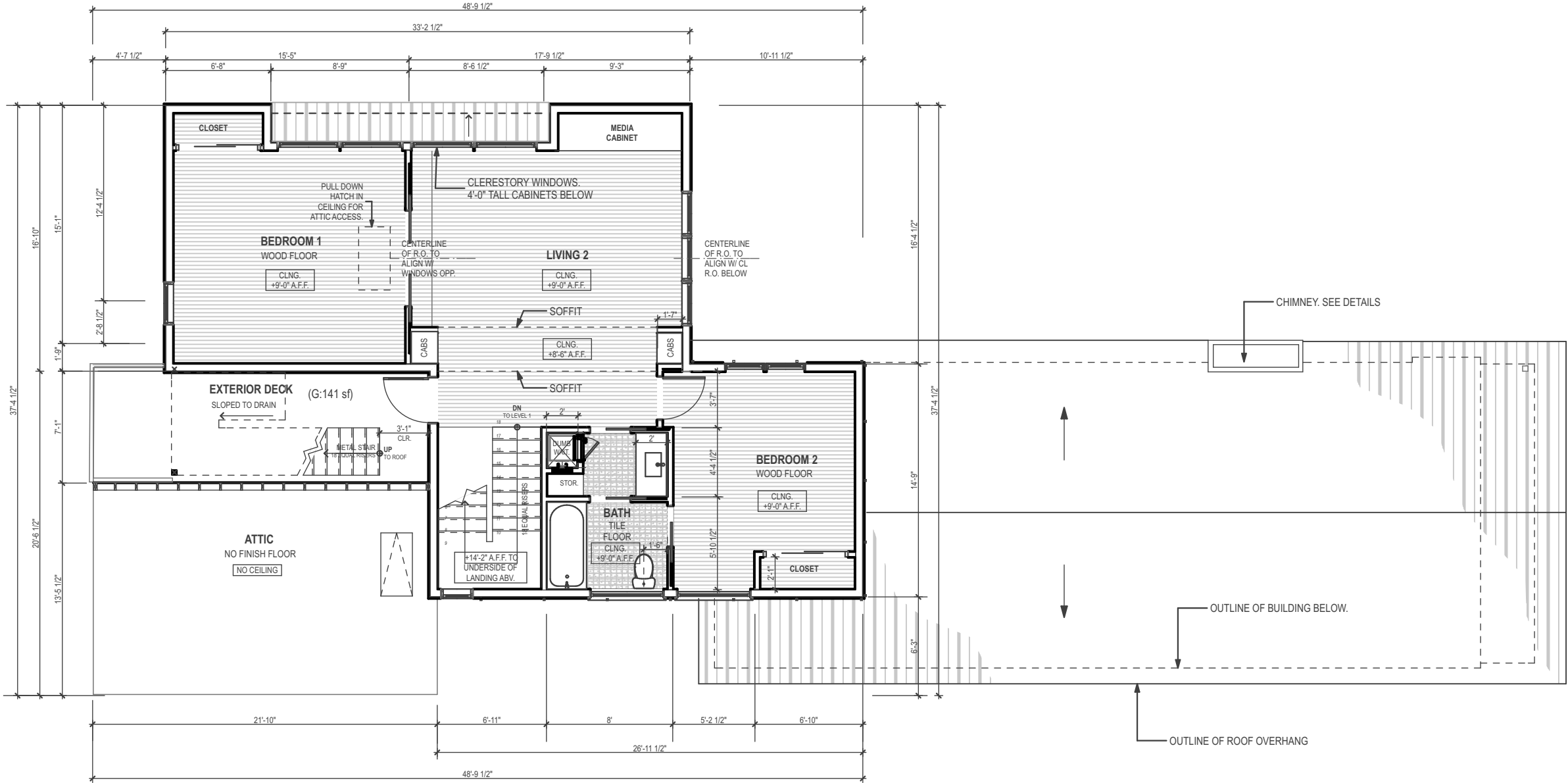
ISSUES

08.06.14 PERMIT SET





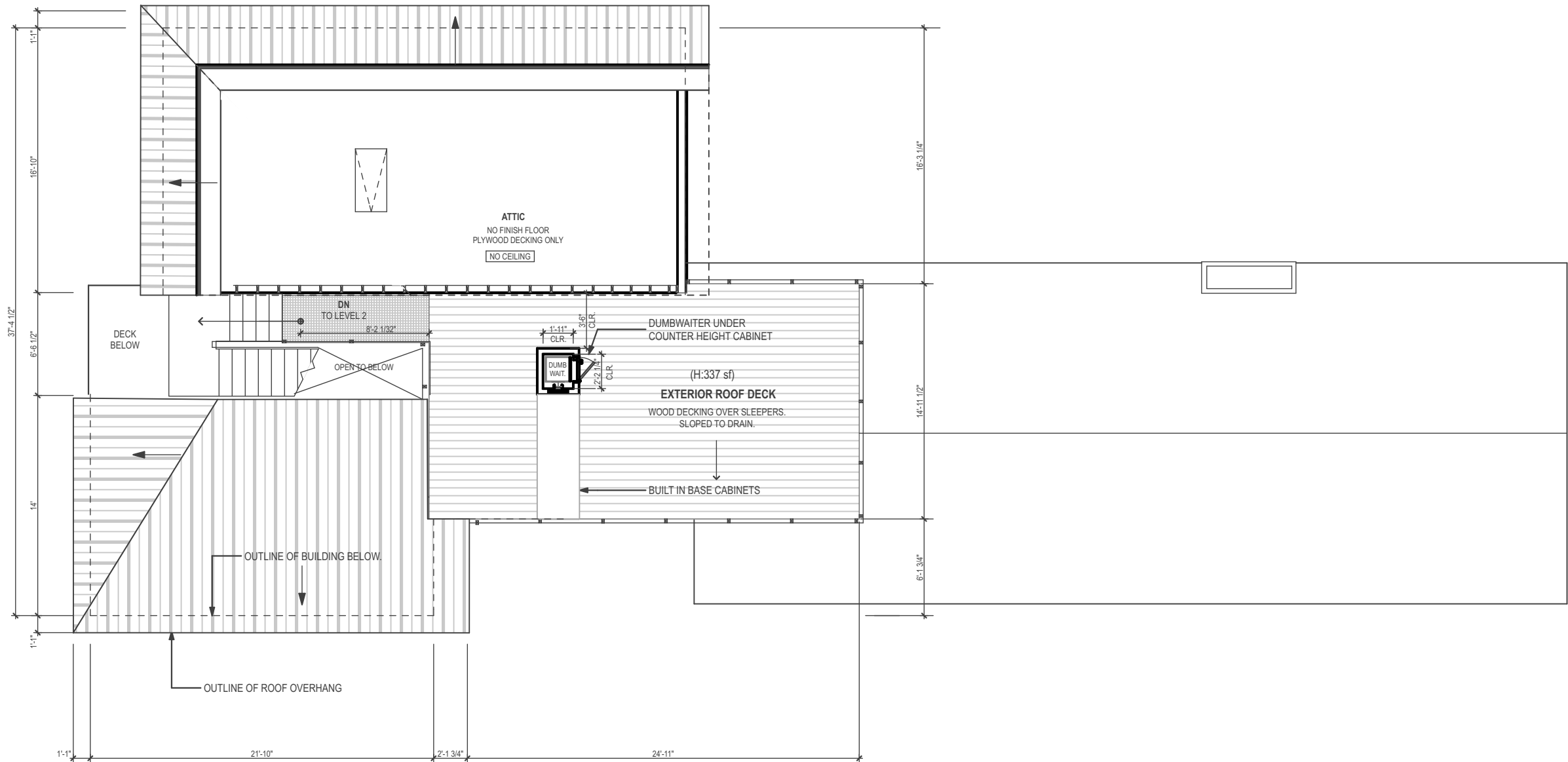
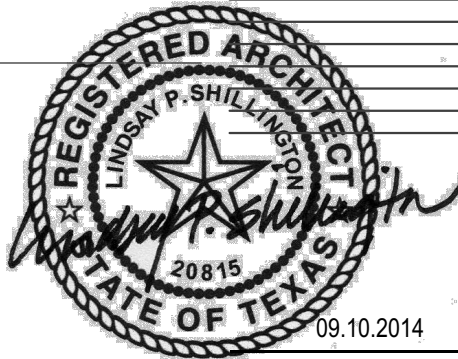
FLOOR PLAN -
LEVEL 2

A 102





1 2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

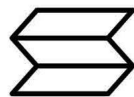
KEY	CONSTRUCTION PLAN NOTES:	
 WINDOW NUMBER	1. ALL EXTERIOR WALLS ARE 2X6 CONSTRUCTION, U.O.N. ALL INTERIOR WALLS ARE 2X4 CONSTRUCTION, U.O.N. SEE STRUCTURAL DRAWINGS.	5. ANY DIMENSIONS OR SIZES OF STRUCTURAL MEMBERS SHOW ON ARCHITECTURAL PLANS ARE FOR GRAPHIC CONVENTION ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL SIZING, LOCATION AND CONNECTION DETAILS OF ALL FRAMING AND STRUCTURAL MEMBERS.
 DOOR NUMBER	2. ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.	6. SEE GENERAL NOTES.
	3. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK.	
	4. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. CONTACT ARCHITECT WITH ANY QUESTIONS REGARDING DIMENSIONS.	



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

KEY	CONSTRUCTION PLAN NOTES:	
 WINDOW NUMBER	1. ALL EXTERIOR WALLS ARE 2X6 CONSTRUCTION, U.O.N. ALL INTERIOR WALLS ARE 2X4 CONSTRUCTION, U.O.N. SEE STRUCTURAL DRAWINGS.	5. ANY DIMENSIONS OR SIZES OF STRUCTURAL MEMBERS SHOW ON ARCHITECTURAL PLANS ARE FOR GRAPHIC CONVENTION ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL SIZING, LOCATION AND CONNECTION DETAILS OF ALL FRAMING AND STRUCTURAL MEMBERS.
 DOOR NUMBER	2. ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.	6. SEE GENERAL NOTES.
	3. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK.	
	4. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. CONTACT ARCHITECT WITH ANY QUESTIONS REGARDING DIMENSIONS.	

ROOF PLAN



shillington
ARCHITECTURE LLC

1401 E. 7th ST. | AUSTIN, TX 78702
512.924.0231 | www.shillingtonarch.com

ELM STREET RESIDENCE

1006 ELM STREET
AUSTIN, TX 78703

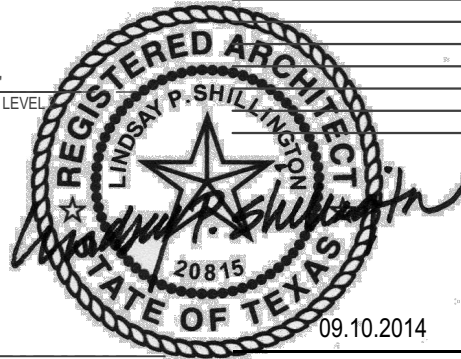
© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14

PERMIT UPDATE #1

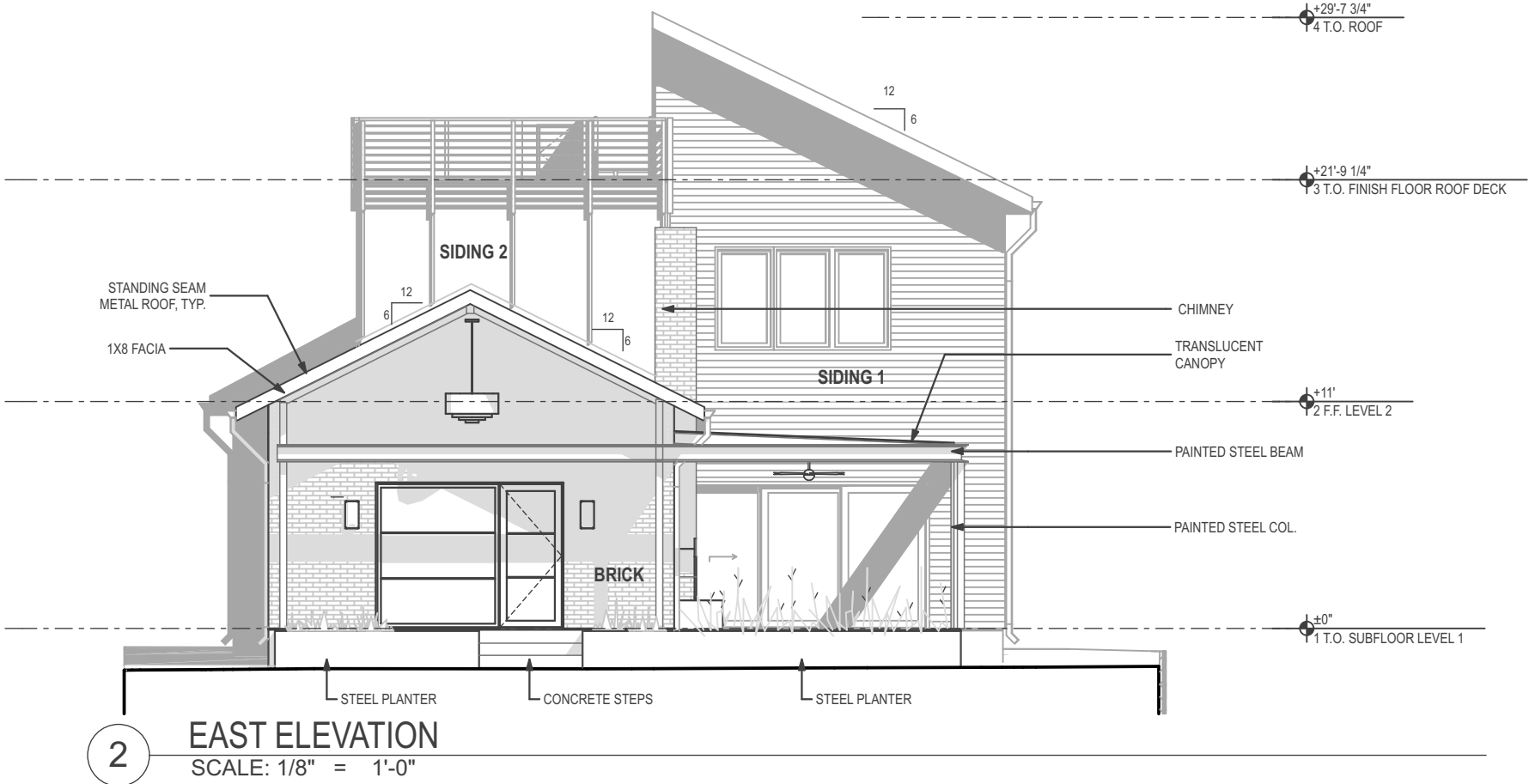
ISSUES

08.06.14 PERMIT SET

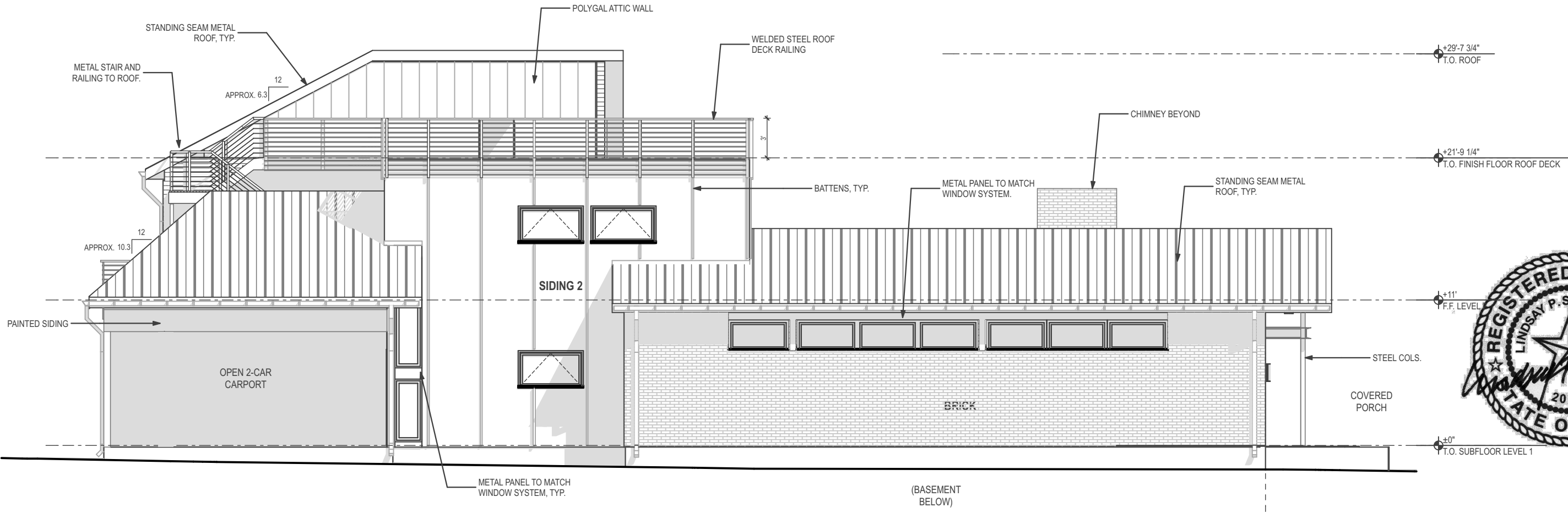


EXTERIOR
ELEVATION

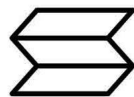
A 200



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



shillington
ARCHITECTURE LLC

1401 E. 7th ST. | AUSTIN, TX 78702
512.924.0231 | www.shillingtonarch.com

ELM STREET RESIDENCE

1006 ELM STREET
AUSTIN, TX 78703

© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14

PERMIT UPDATE #1

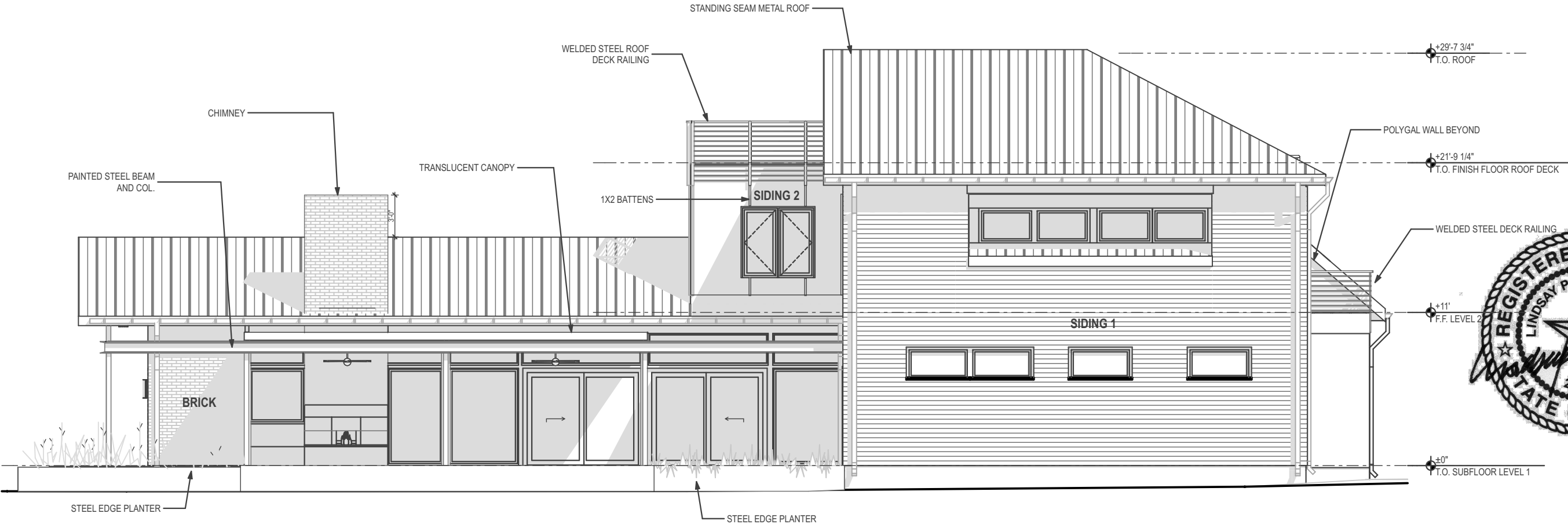
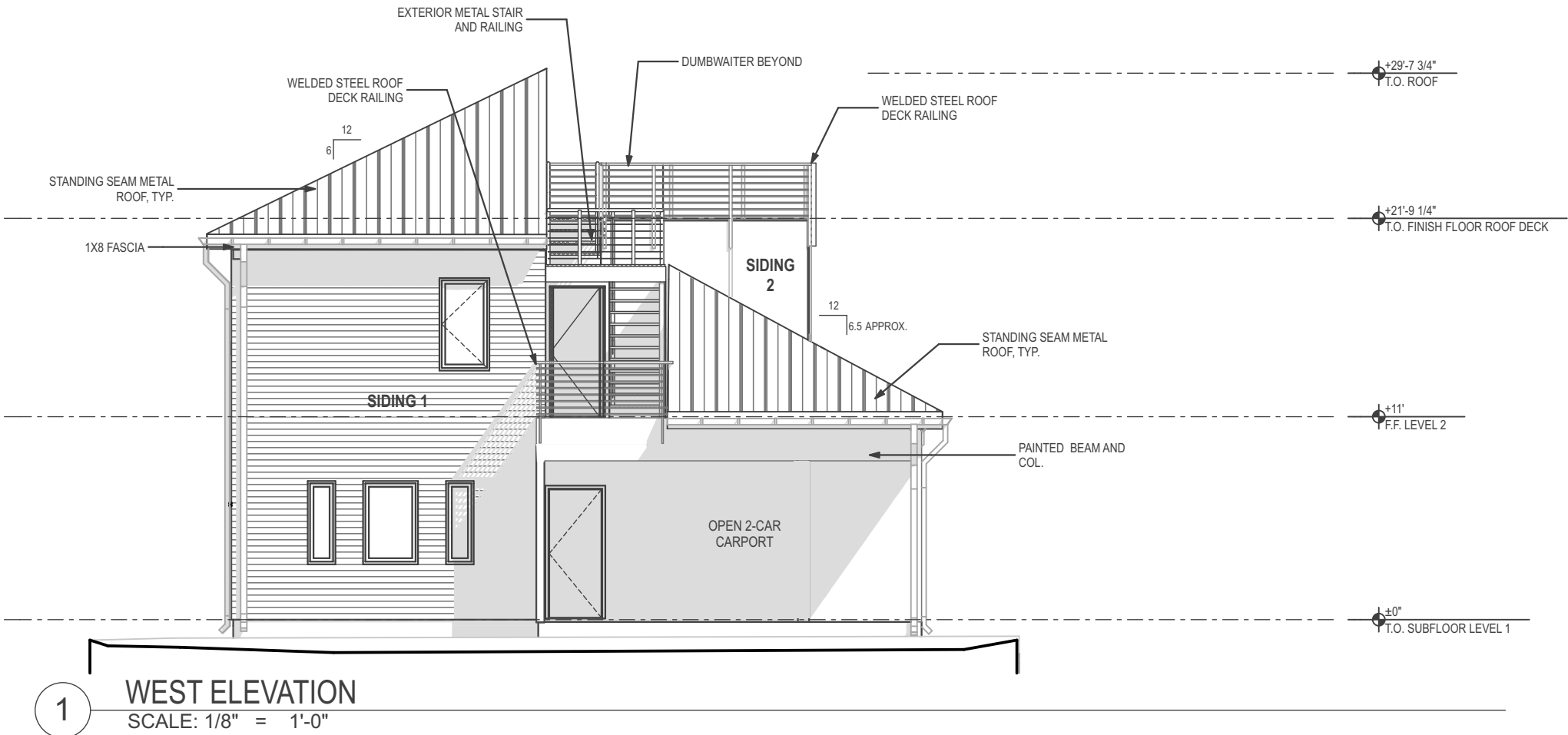
ISSUES

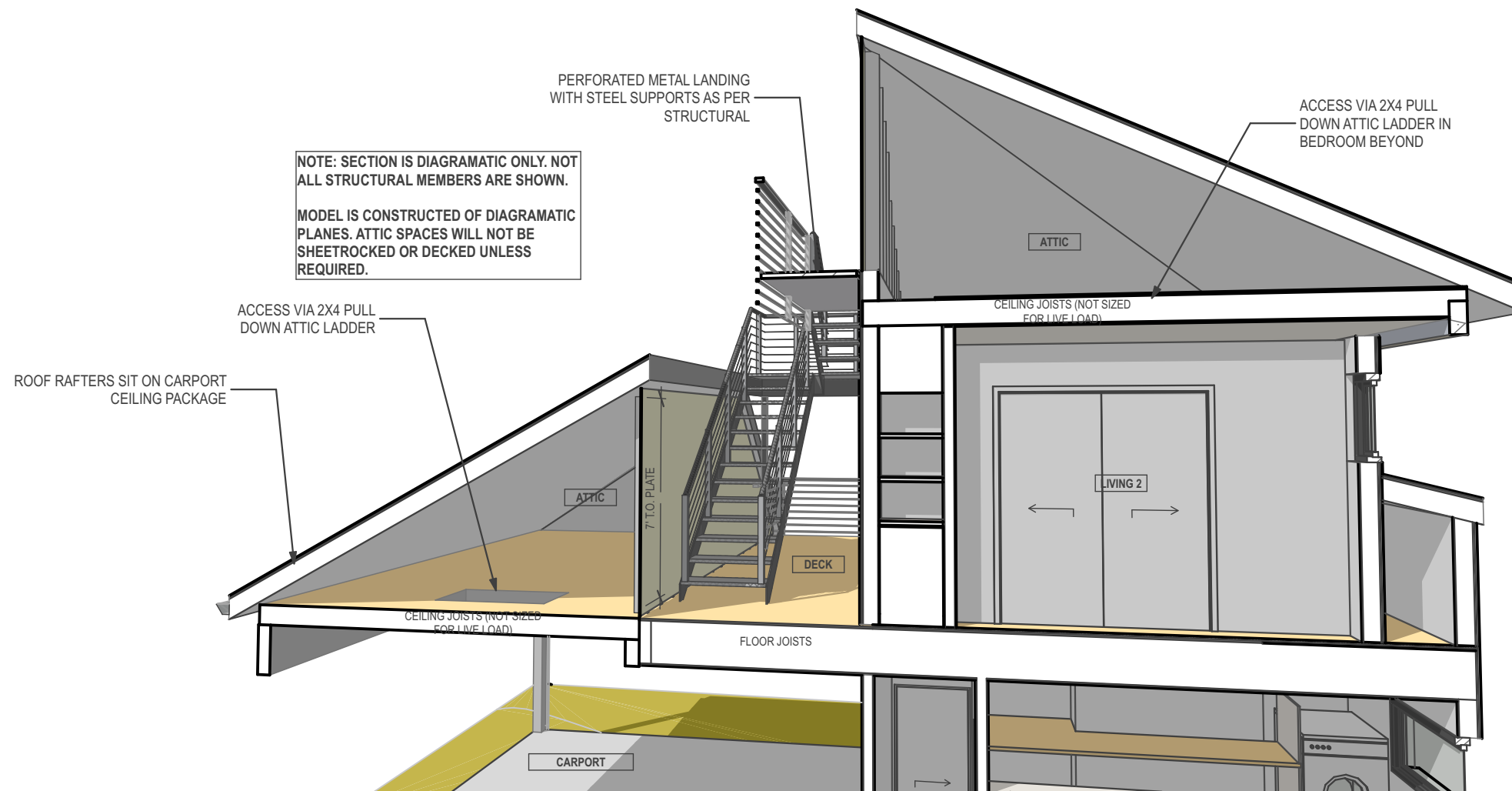
08.06.14 PERMIT SET



EXTERIOR
ELEVATIONS

A 201





1 SECTION: CUT THROUGH CARPORT LOOKING WEST
NOT TO SCALE

PLEASE NOTE: SEE STRUCTURAL DRAWINGS FOR SIZES OF ALL STRUCTURAL MEMBERS. SECTION IS FOR GENERAL DESIGN REFERENCE ONLY.

ELM STREET RESIDENCE
1006 ELM STREET
AUSTIN, TX 78703

© COPYRIGHT 2014 ALL RIGHTS RESERVED

09.10.14
PERMIT UPDATE #1

ISSUES

08.06.14 PERMIT SET



BUILDING
SECTION

A 300