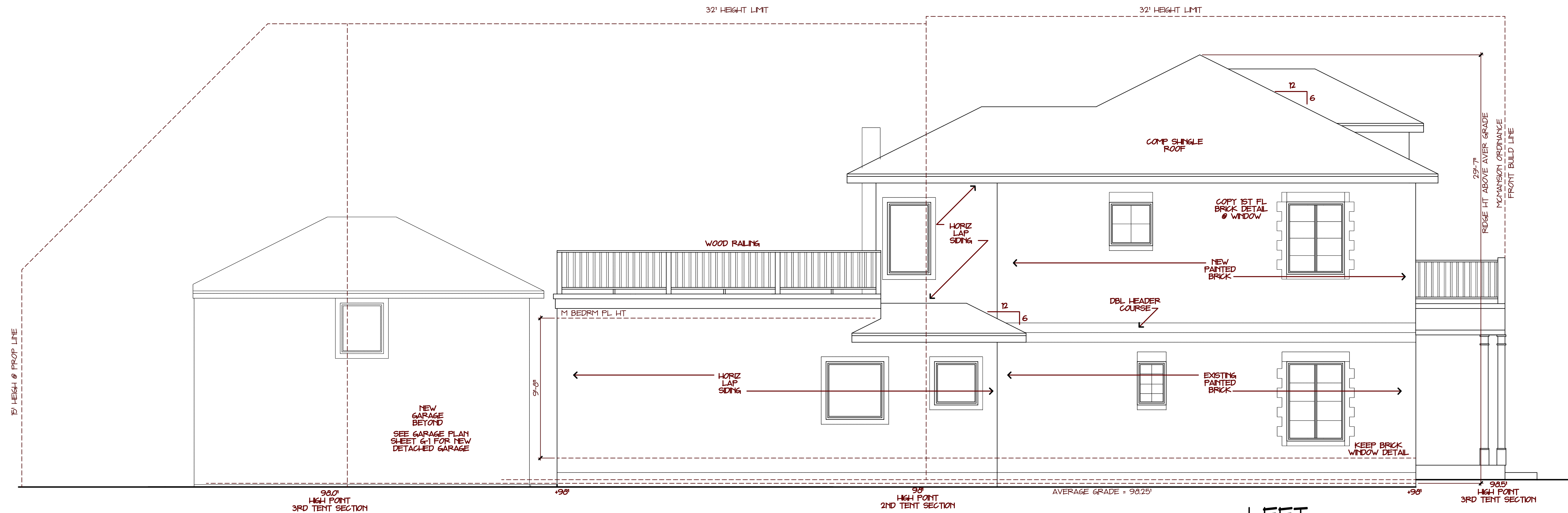
FRONT
ELEVATION

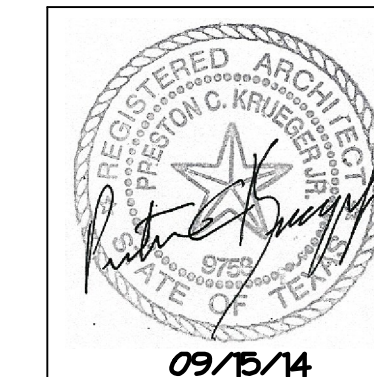
SCALE 1/4"=1'-0"

LEFT
ELEVATION

SCALE 1/4"=1'-0"

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ADDITIONS TO THE
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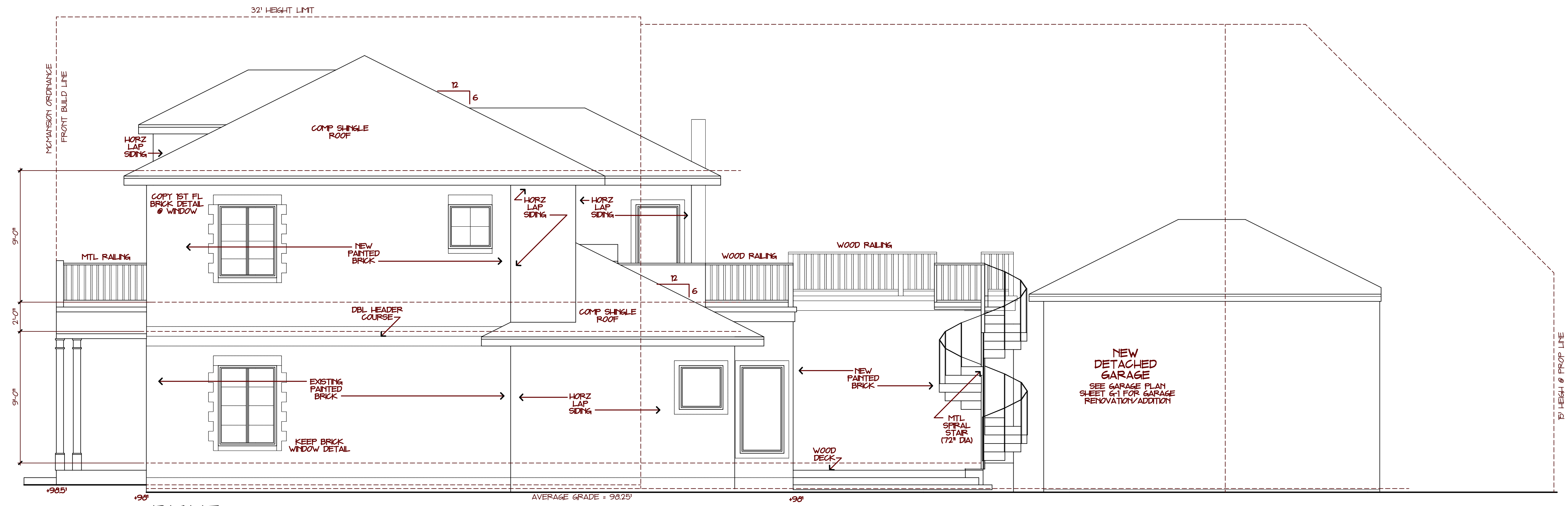


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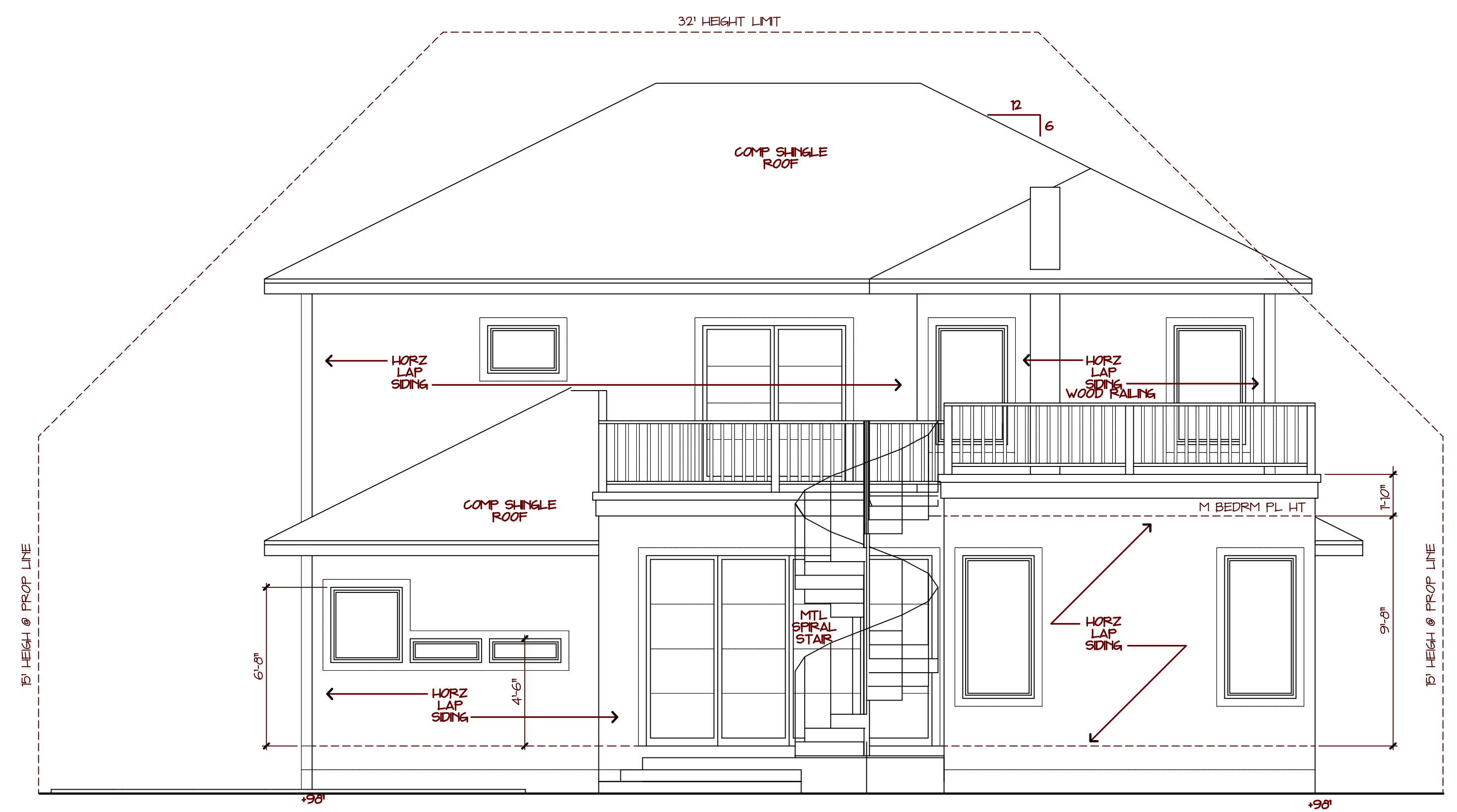
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RIGHT
ELEVATION
SCALE 1/4"=1'-0"

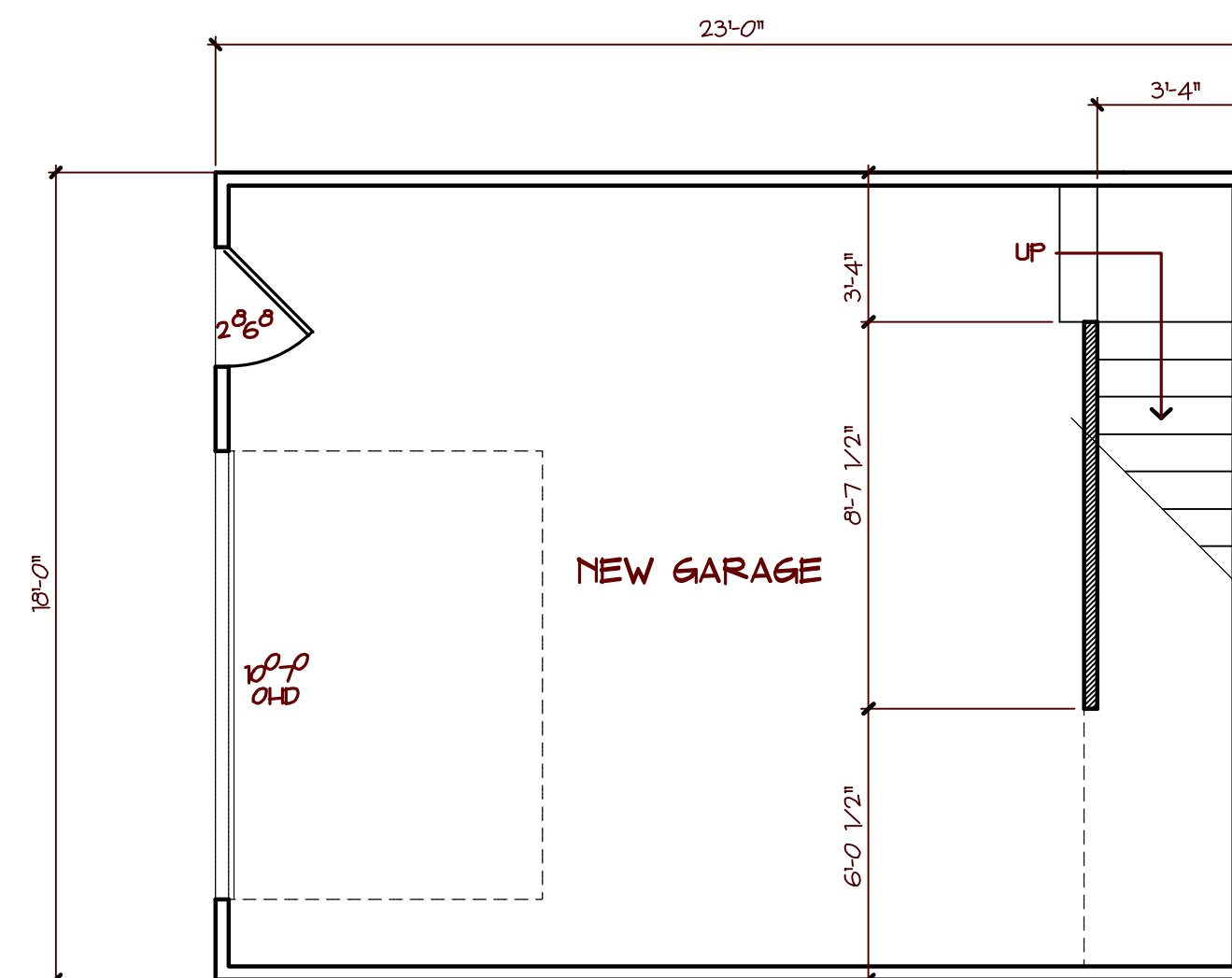


REAR
ELEVATION
SCALE 1/4"=1'-0"

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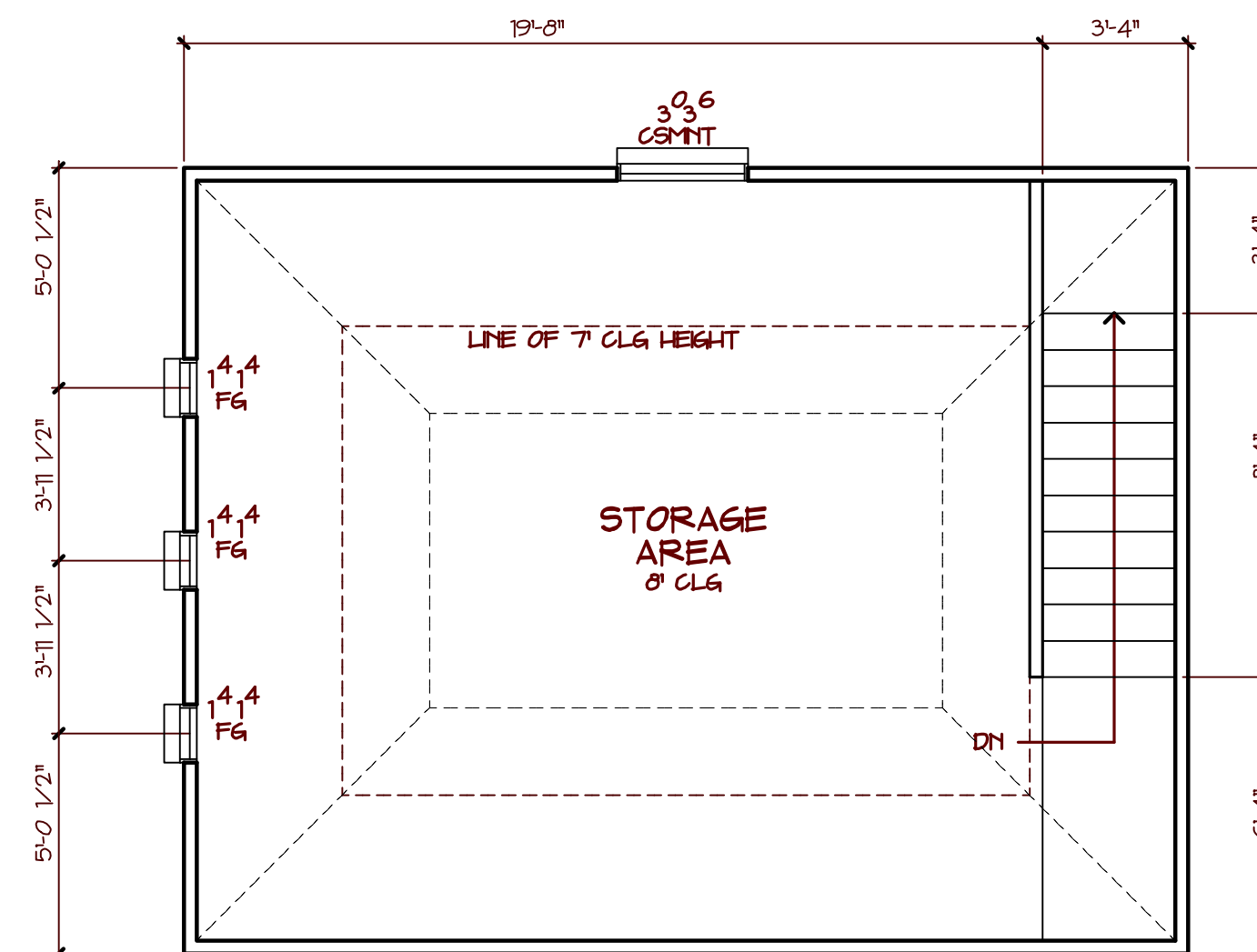
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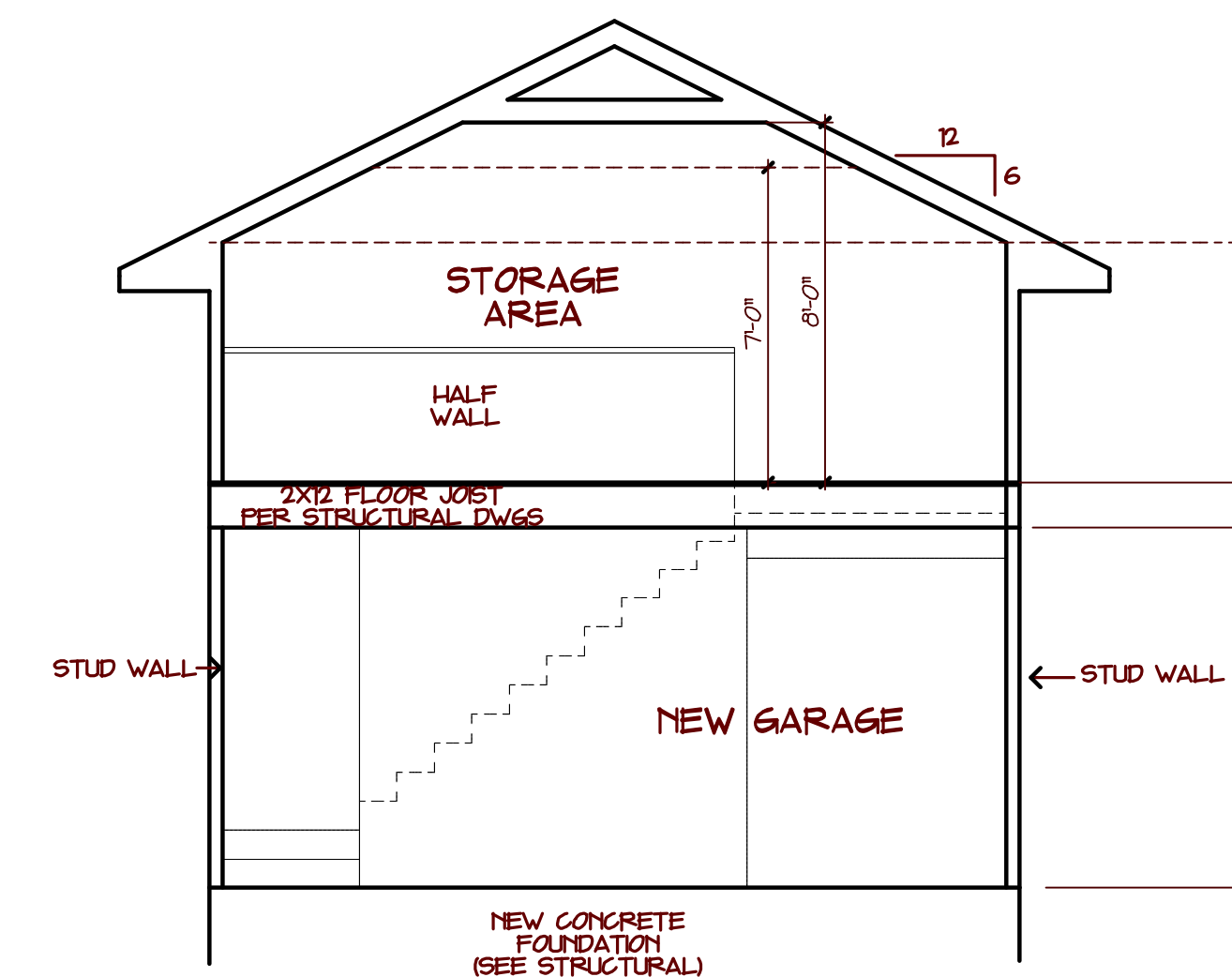
GARAGE FLOOR PLAN

SCALE 1/4"=1'-0"

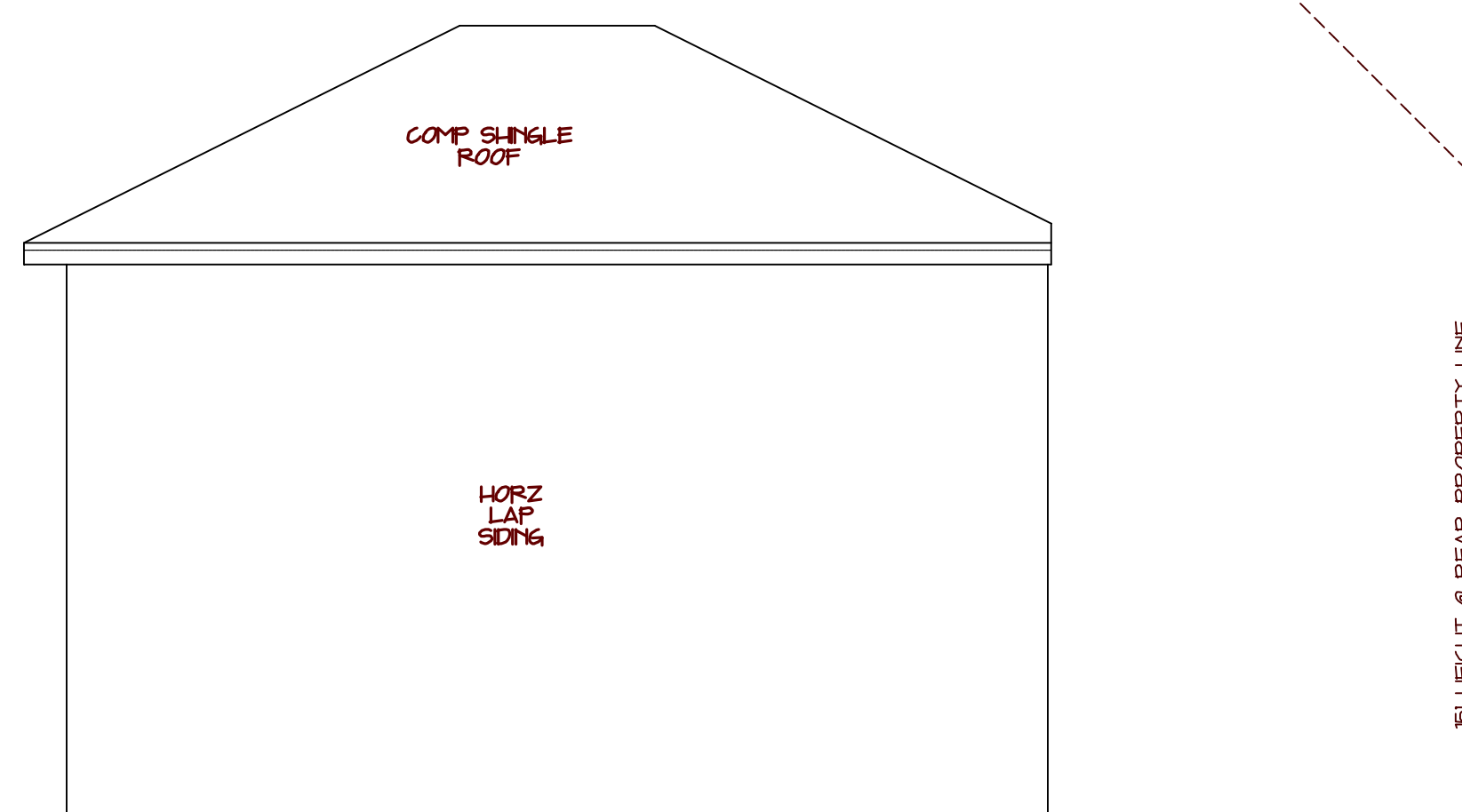


GARAGE ATTIC STORAGE PLAN

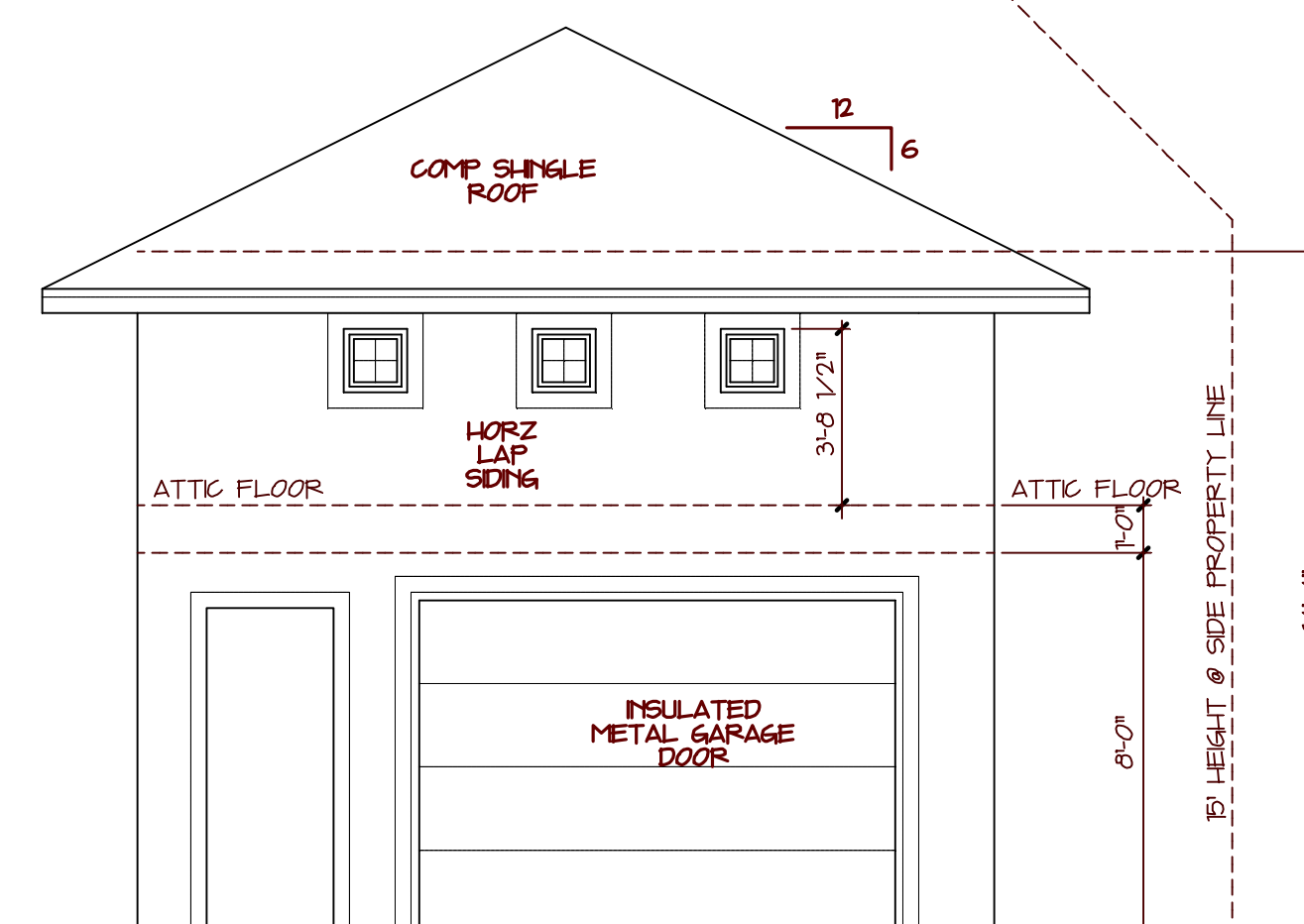
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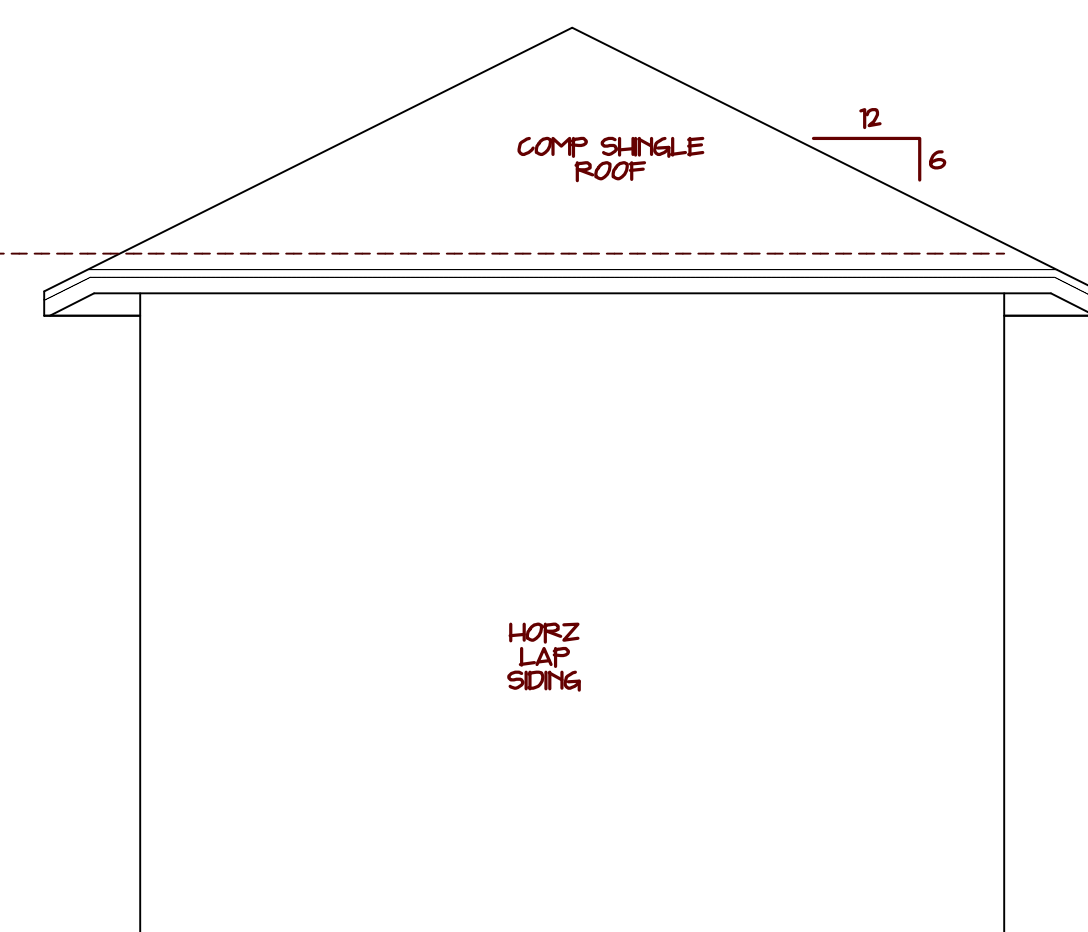
GARAGE
SECTION
SCALE 1/4"=1'-0"



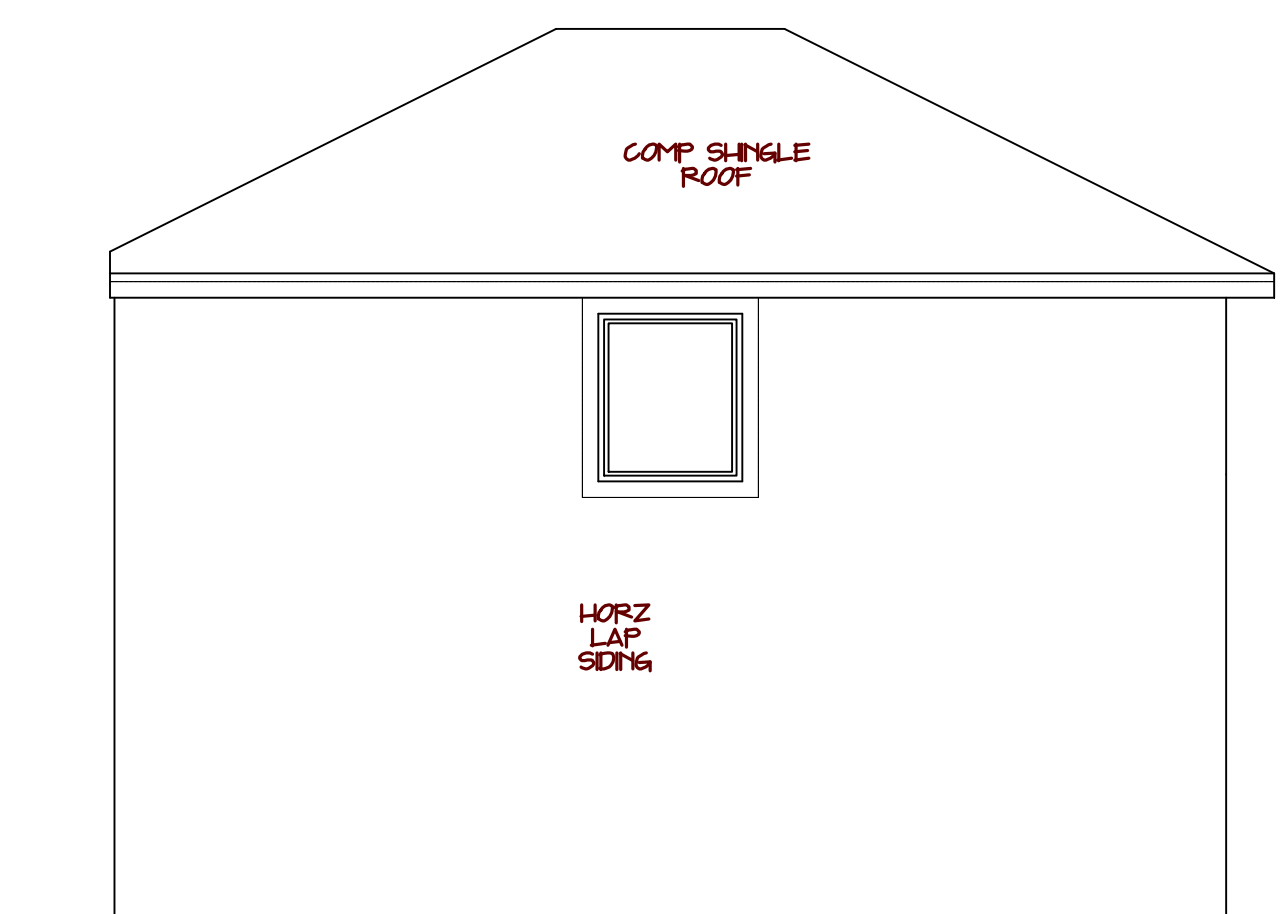
GARAGE
RIGHT
ELEVATION
SCALE 1/4"=1'-0"



GARAGE
FRONT
ELEVATION
SCALE 1/4"=1'-0"



GARAGE
 REAR
 ELEVATION
 SCALE 1/4"=1'-0"



GARAGE
LEFT
ELEVATION

SCALE 1/4"=1'-0"

GARAGE/STORAGE AREA

NEW DETACHED GARAGE

414 SQ FT

GARAGE ATTIC STORAGE
OVER 7' IN HEIGHT
GARAGE ATTIC STORAGE
LESS THAN 7' IN HEIGHT

169 SQ FT

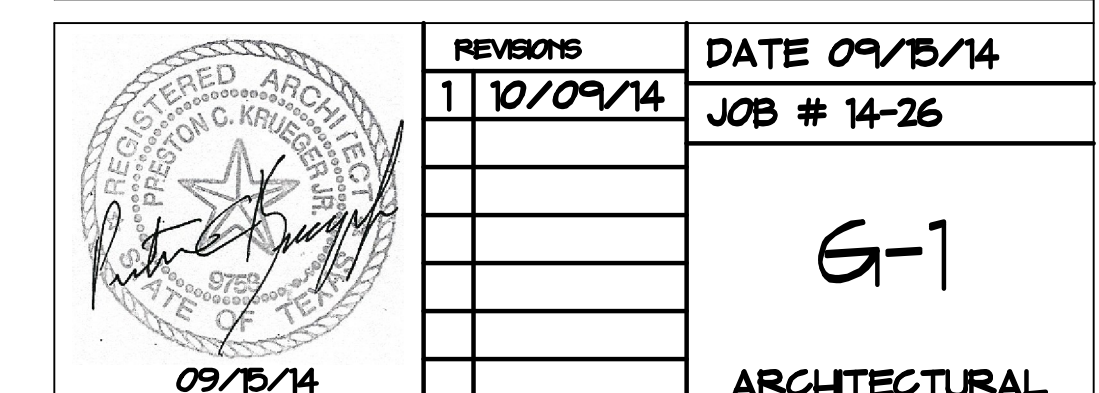
195 SQ FT

TOTAL STORAGE FLOOR AREA

364 SQ FT

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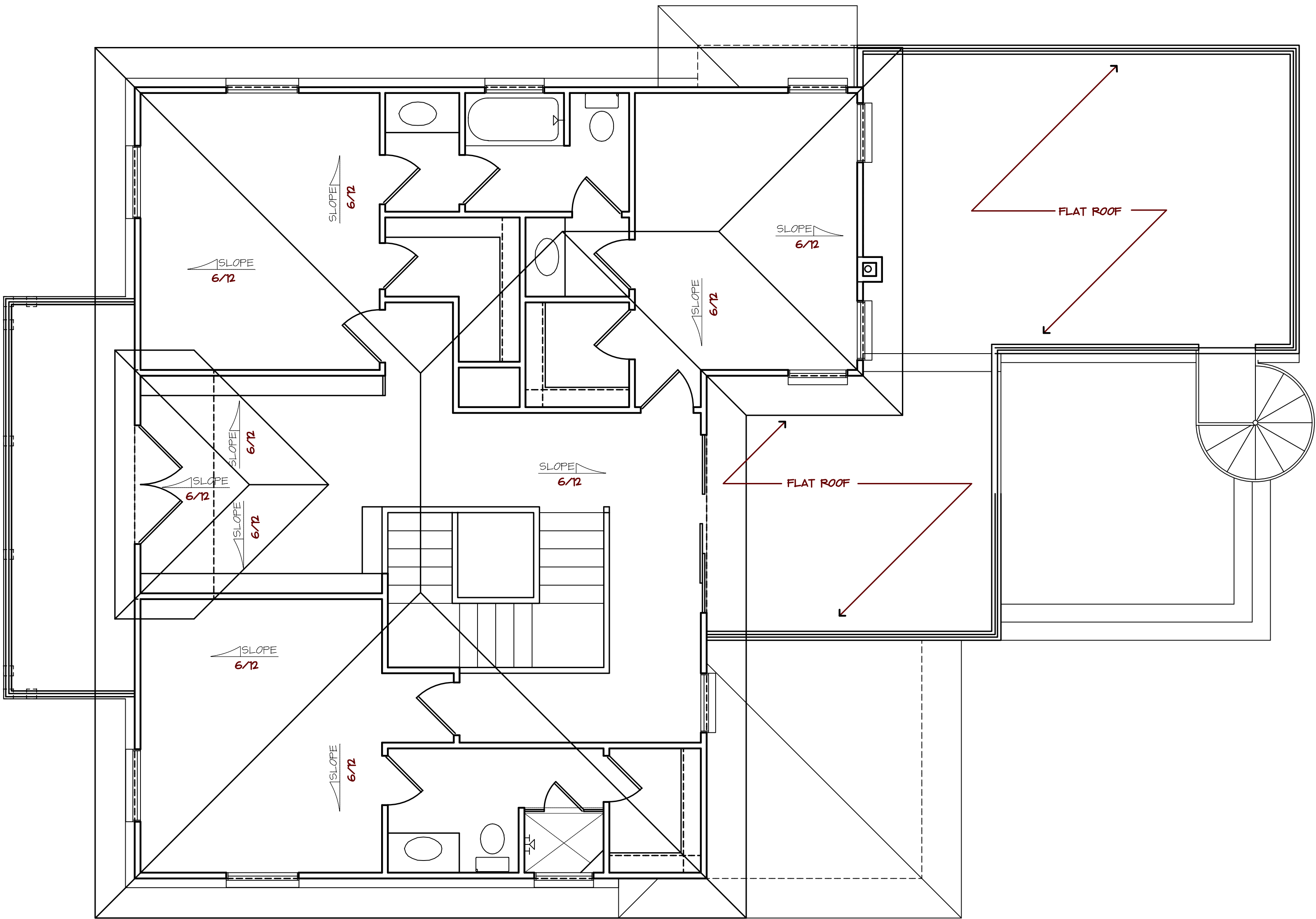


FRAMING NOTES:

1. RAFTERS SHALL BE 2X6'S @ 16" O.C., SEE ENGINEERING.
2. MAXIMUM SPAN OF RAFTERS BETWEEN SUPPORTS SHALL BE 11'-0".
3. 6:12 ROOF PITCH (TYPICAL EXCEPT AS NOTED). SEE ELEVATIONS.
4. VALLEY & HP RAFTERS SHALL BE 1-2X10'S (MINIMUM)
5. ALL BEAMS SHALL HAVE 3-STUD MINIMUM BEARING.
6. LET-IN 1X4 STP WIND BRACING IS REQUIRED ON INTERIOR WALLS WHERE POSSIBLE. EXTERIOR SHEATHING IS A 4X8 SHEET OF 1/2" CDX PLYWOOD AT ALL CORNERS AND 1/2" GYPROCK ELSEWHERE. CDX SHALL BE NAILED WITH 10D NAILS, 6" OC AT EDGES AND 12" OC AT INTERMEDIATE SUPPORTS.
7. OVERHANG SHALL BE 24" TYPICAL FROM STUD WALL.
8. ANY ROOF BRACING OVER 8'-0" SHALL BE T-BRACED.
9. BOLT LVL'S TOGETHER AS FOLLOWS:
 - 3 - LVL BEAMS TOGETHER: USE 2 1/2" BOLTS @ 3'-0" OC
 - 2 - LVL BEAMS TOGETHER: USE 2 1/2" BOLTS @ 4'-0" OC

TIMBER:

1. UNLESS OTHERWISE NOTED, ALL STRUCTURAL FRAMING LUMBER SHALL BE CLEARLY MARKED NO. 2 SPF BY THE SPB WITH A MINIMUM FB-1550 PSI.
2. ALL WOOD STUD WALLS SHALL BE FULL HEIGHT WITHOUT INTERMEDIATE PLATE LINE UNLESS DETAILED OTHERWISE.
3. SOLID 2X BLOCKING SHALL BE PROVIDED AT END AND POINT OF SUPPORT OF ALL WOOD JOISTS AND SHALL BE PLACED BETWEEN SUPPORTS IN ROWS NOT EXCEEDING 8'-0" APART. ALL WALLS SHALL HAVE SOLID 2X BLOCKING AT 4'-0" O.C. MAXIMUM VERTICALLY. END NAIL WITH 2-16D NAILS OR SIDE TOE NAIL WITH 2-16D NAILS.
4. DECKING: PLYWOOD DECKING - 1 1/8" FOR 2ND FLOOR, - 1/2" FOR ROOFS
GRADE C-D, WITH EXTERIOR GLUE, USE 10D FASTENERS AT 8" O.C. AT ALL SUPPORTED EDGES; 6D AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED.
5. ALL FRAMING MEMBERS FRAMING INTO THE SIDE OF A HEADER SHALL BE ATTACHED USING THE APPROPRIATE METAL JOISTS HANGERS.
6. NAILING AND ATTACHMENT OF ALL FRAMING MEMBERS SHALL BE AS SPECIFIED IN THE APPROPRIATE BUILDING CODE NAILING SCHEDULE UNLESS NOTED OTHERWISE IN THE DRAWINGS. COMMON WIRE NAILS OR SPIKES, OR GALVANIZED BOX NAILS SHALL BE USED FOR ALL FRAMING UNLESS NOTED.
7. PLACE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS.
8. GLU-LAMINATED BEAMS SHALL BE GRADE 24FV3 OR BETTER.



ROOF PLAN

1/4"=1'-0"

SEE STRUCTURAL DRAWINGS
FOR ADDITIONAL REQUIREMENTS

HEADER SCHEDULE

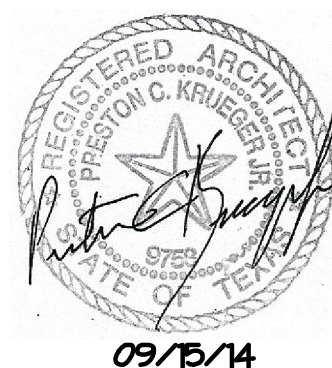
| | |
|------------------------|---|
| LOAD BEARING WALLS: | DBL 2X12'S UNLESS OTHERWISE NOTED |
| NON-LOAD BEARING WALLS | DBL 2X6'S @ 3'-0" OR LESS DBL 2X8'S UP TO 6'-0" DBL 2X12'S OVER 6'-0" |

LINTEL SCHEDULE

| | |
|-----------------------|--|
| 3'-0" OPENING OR LESS | 3-1/2" X 3-1/2" X 1/4" STL ANGLE - BEARING 8" |
| TO 6'-0" | 3-1/2" X 5" X 3/8" STL ANGLE - BEARING 8" |

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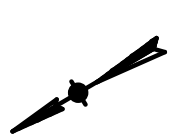
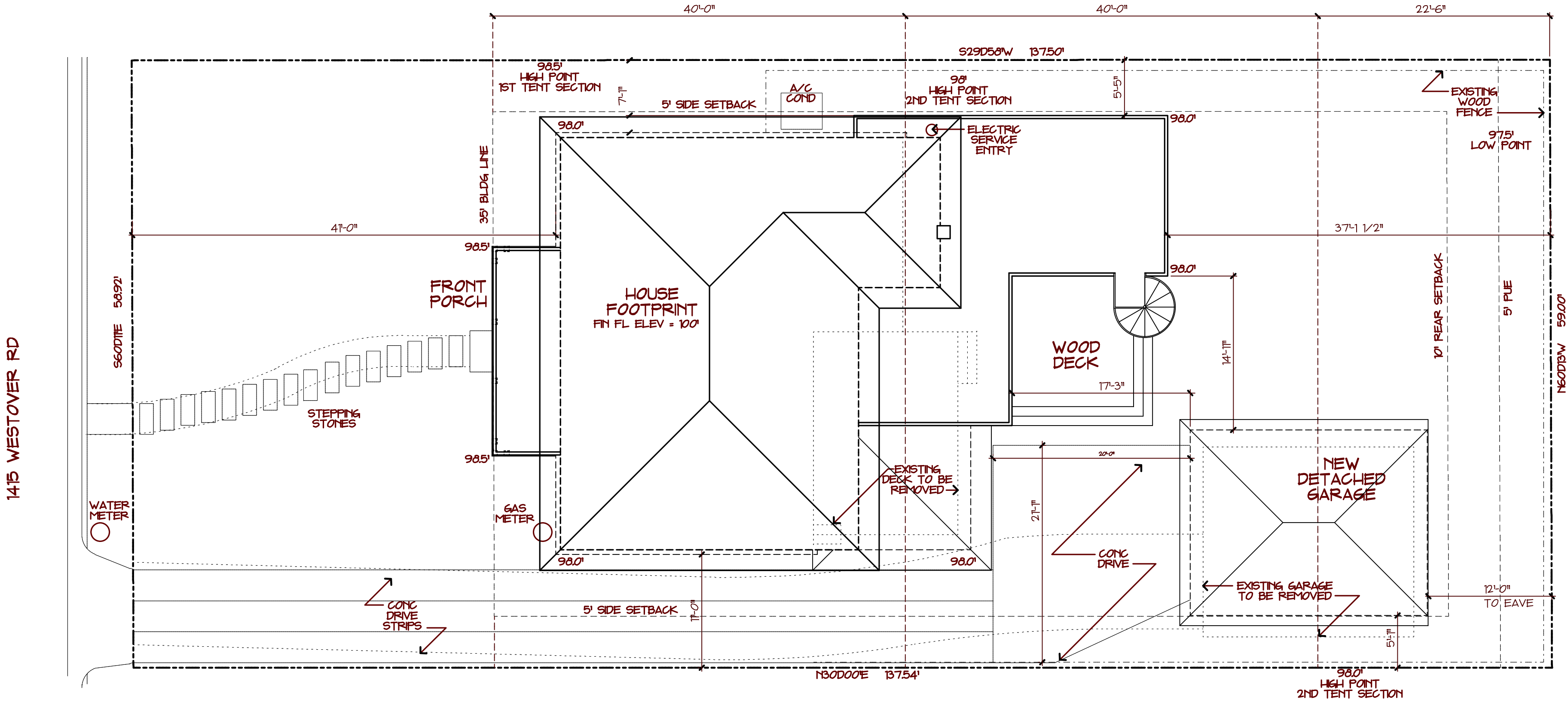
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SITE PLAN

1/8"=1'-0"

LEGAL DESCRIPTION:
THE EAST 42' OF LOT 3 AND THE WEST 17' OF LOT 4, BLOCK B
POMEROY HEIGHTS SECTION THREE
A SUBDIVISION IN TRAVIS COUNTY, TEXAS ACCORDING TO THE MAP
OR PLAT RECORDED IN VOLUME 3, PAGE 223, PLAT RECORDS OF TRAVIS COUNTY, TX

EXISTING
IMPERVIOUS COVER

| | |
|--|-------------|
| SITE AREA | 8,100 SQ FT |
| HOUSE FOOTPRINT | 1,187 SQ FT |
| FRONT PORCH | 125 SQ FT |
| EXISTING DRIVEWAY | 836 SQ FT |
| EXISTING SIDEWALK | 110 SQ FT |
| DETACHED GARAGE | 376 SQ FT |
| EXISTING WOOD DECK 287 SQ FT @ 50% = 144 SQ FT | |
| TOTAL IMPERVIOUS AREA: | 2,770 SQ FT |
| TOTAL IMPERVIOUS COVER: | 34.3% |

NEW
IMPERVIOUS COVER

| | |
|-------------------------------------|-------------|
| SITE AREA | 8,100 SQ FT |
| HOUSE FOOTPRINT | 1,187 SQ FT |
| FRONT PORCH | 125 SQ FT |
| ADDED 1ST FLOOR LIVING AREA | 827 SQ FT |
| ADDED MASONRY FOOTING | 7 SQ FT |
| NEW DRIVEWAY | 363 SQ FT |
| PAVING STRIPS | 500 SQ FT |
| NEW STEPPING STONE WALK | 73 SQ FT |
| NEW DETACHED GARAGE | 414 SQ FT |
| NEW WOOD DECK (177 SQ FT) AT 50% | 89 SQ FT |
| STAIRWAY TO ROOF GARDEN | 29 SQ FT |
| A/C PAD | 14 SQ FT |
| TOTAL IMPERVIOUS AREA: | 3,627 SQ FT |
| TOTAL IMPERVIOUS COVER: | 44.75% |

FLOOR AREA RATIO

| | |
|---|-------------|
| SITE AREA | 8,100 SQ FT |
| EXISTING 1ST FLOOR | 1,187 SQ FT |
| ADDED 1ST FLOOR | 827 SQ FT |
| ADDED 2ND FLOOR | 1,186 SQ FT |
| TOTAL LIVING AREA HOUSE | 3,200 SQ FT |
| AREA WITH OVER 10' CLG HT | 44 SQ FT |
| NEW DETACHED GARAGE = 414 SQ FT LESS EXEMPTION (430 SQ FT) | 0 SQ FT |
| TOTAL FLOOR AREA | 3,244 SQ FT |
| F.A.R. | 40% |

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