



# BUTLER - RESIDENCE

## 1210 Castle Hill

### Austin, Texas 78703

ARCHITECT: CLAYTON & LITTLE ARCHITECTS  
1001 EAST 8TH STREET  
AUSTIN, TEXAS 78702  
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#### OWNER INFORMATION

JC and Christy Butler  
1210 Castle Hill  
Austin, TX 78704

#### LEGAL DESCRIPTION

LOT 36 OLT 6 DIV 2 ENFIELD A

#### SITE INFORMATION

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#### ZONING INFORMATION

Zoning: C3-MU-CO-NP (Commercial Use - Mixed Use)  
Future Land Use: MF-3-NP (Multifamily - Medium Density)  
Property ID: 109094  
Geographic ID: 0110010804  
Legal Description: LOT 36 OLT 6 DIV 2 ENFIELD A  
Date built: 1917  
Historic: Yes - National Register of Historic Districts  
Neighborhood: Old West Austin - Enfield A  
Overlay District: National Register of Historic Districts  
Floodplain: No  
Watershed: Urban - Shoal Creek  
Easements: None Found  
Expired Permits: None Found  
Trees: Yes - See Survey  
Minimum Setbacks: Front yard: 25', Interior side yard 5', Rear yard 10'  
Max. Bldg. Height: 40'  
Lot Size: 14,959 sf / 0.3434 ac (per TCAD)  
Max Bldg. Coverage: 8,227 (55%) Allowable increase: -  
Max Impervious Cover: 9,723 (65%)  
Max F.A.R.: .75:1  
Parking: - spaces/unit

##### Conclusions/Concerns:

This building is in a National Register District we may need get special permit approval from Historic Review Board.

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#### SYMBOL LEGEND

1/A101

ELEVATION SYMBOL

X

XXXX

SECTION SYMBOL

X

PARTITION TYPE SYMBOL

Room name

ROOM NAME & NUMBER SYMBOL

XXX

DOOR NUMBER SYMBOL

X

XXXX

DETAIL SYMBOL

X

WINDOW SYMBOL

#### CODE ANALYSIS

BUILDING CODE: INTERNATIONAL RESIDENTIAL BUILDING CODE  
BUILDING DESCRIPTION: SINGLE-FAMILY RESIDENTIAL UNIT, IN MF-3-NP ZONED AREA

LEGAL JURISDICTION:

#### AREA CALCULATIONS:

LOT SIZE - 0,000 S.F.	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR CONDITIONED	1,8001 S.F.	0 S.F.	0 S.F.
2ND FLOOR CONDITIONED	1,8001 S.F.	0 S.F.	0 S.F.
BASEMENT	300 S.F.	0 S.F.	0 S.F.
COVERED PARKING	0 S.F.	850 S.F.	0 S.F.
COVERED PATIO	0 S.F.	0 S.F.	0 S.F.
BALCONY	0 S.F.	14 S.F.	0 S.F.
SCREENED-IN PORCH	0 S.F.	245 S.F.	0 S.F.
SHED	386 S.F.	0 S.F.	0 S.F.
TOTAL BUILDING COVERAGE	2,186 S.F.	0 S.F.	0 S.F.
% BUILDING COVERAGE (0,000 / 00,000) = 00.0%			
DRIVEWAY	2,639 S.F.	0 S.F.	0 S.F.
SIDEWALKS	688 S.F.	0 S.F.	0 S.F.
UNCOVERED PATIO	780 S.F.	0 S.F.	0 S.F.
UNCOVERED WOOD DECK	0 S.F.	0 S.F.	0 S.F.
AC PADS	50 S.F.	0 S.F.	0 S.F.
OTHER	0 S.F.	0 S.F.	0 S.F.
TOTAL NON-BUILDING COVERAGE	4,157 S.F.	0 S.F.	0 S.F.
TOTAL SITE COVERAGE (IMPERVIOUS)	6,343 S.F.	0 S.F.	0 S.F.
% IMPERVIOUS COVER (6,343 / 14,959) = 42%			

HISTORIC REVIEW  
September 9, 2014

Architects  
Clayton&Little

1001 East 8th Street  
Austin, Texas 78702  
512 477 1727

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PRELIMINARY  
NOT FOR CONSTRUCTION

This drawing was prepared under the supervision of Paul Clayton. It is not to be used for regulatory approval, permitting, or construction purposes.

##### FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

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DATE ISSUED FOR  
6.25.14 SD Sketch Concepts  
9.9.14 Historic Review

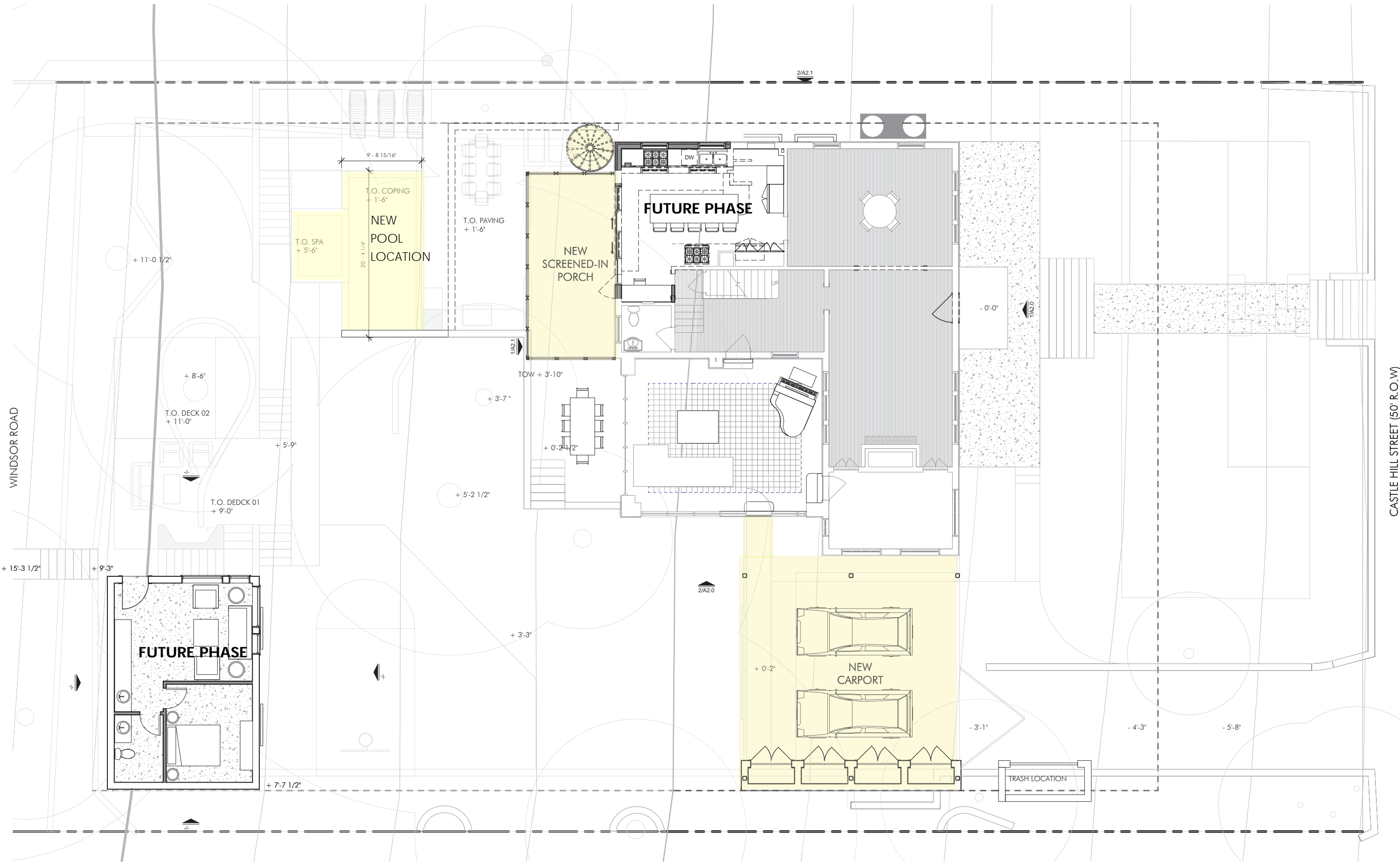
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COVER SHEET

G1.0

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PROJECT NORTH TRUE NORTH  
1 SITE - NEW  
3/16" = 1'-0"

AREA INCLUDED IN  
PHASE ONE OF SCOPE

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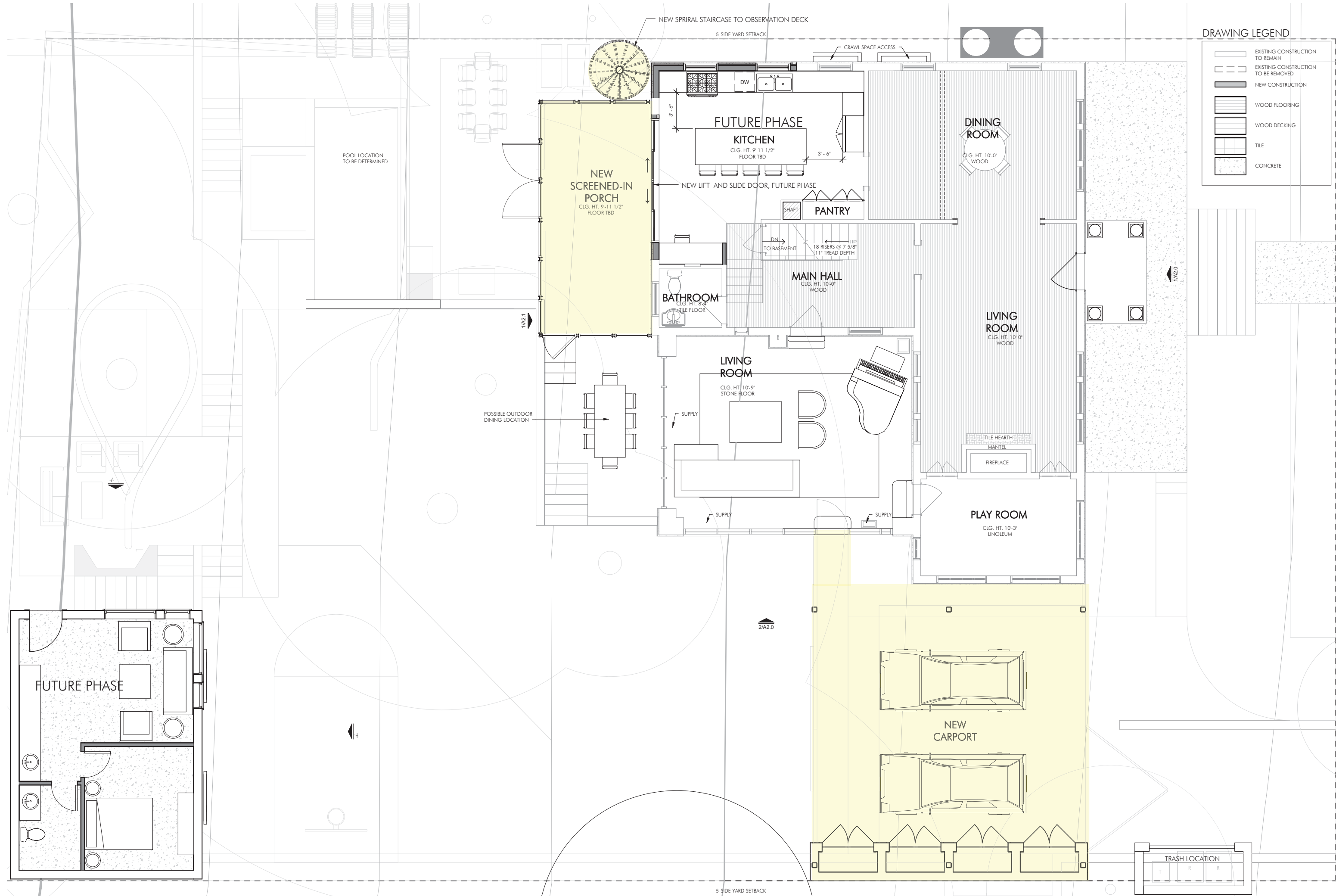
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SITE PLAN- NEW

# Ao.1



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AREA INCLUDED IN  
PHASE 1 SCOPE

#### DRAWING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION
- WOOD FLOORING
- WOOD DECKING
- TILE
- CONCRETE

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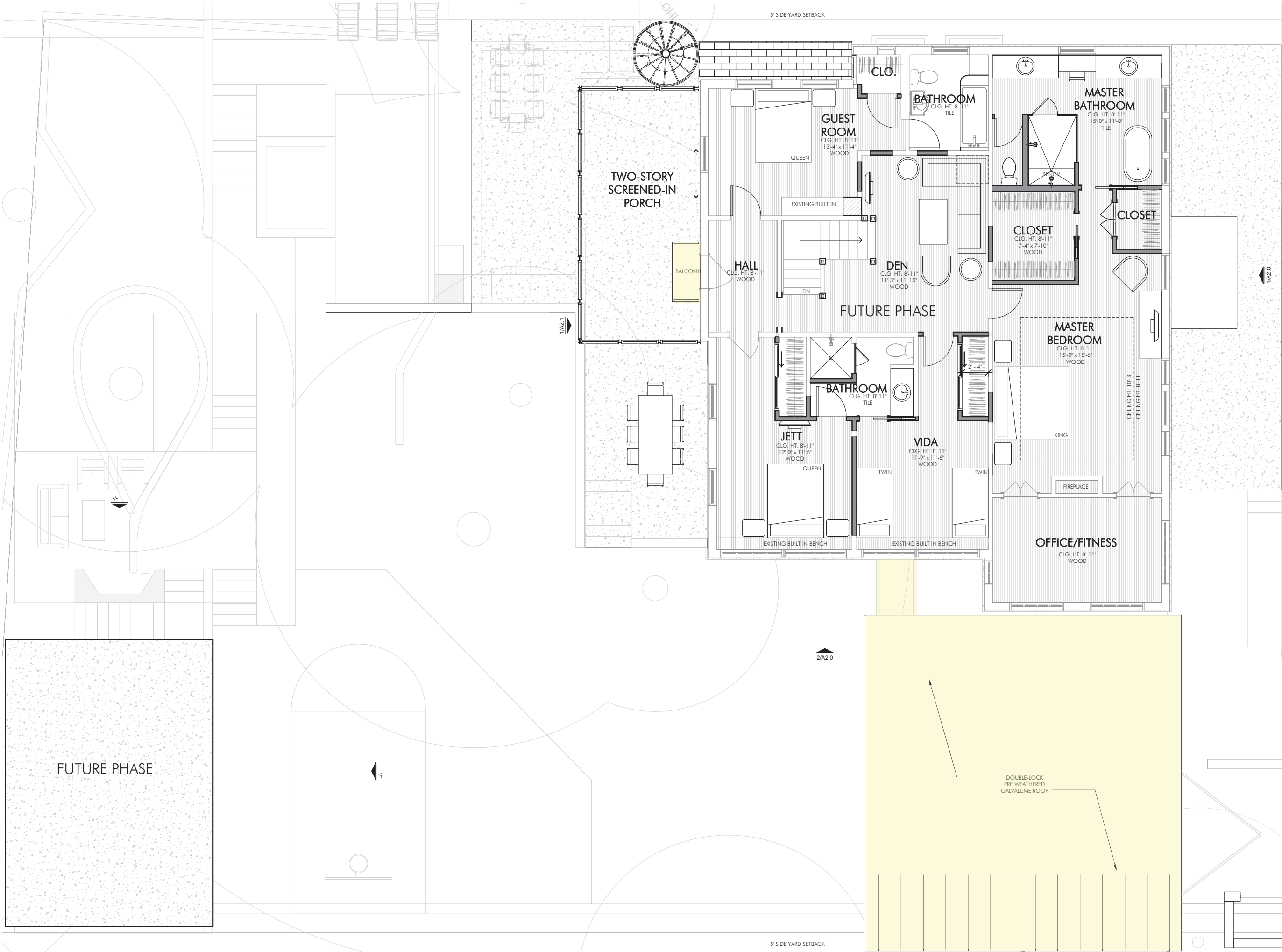
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GROUND FLOOR PLAN

1 FIRST FLOOR PLAN - NEW  
1/4" = 1'-0"

# A1.1

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DRAWING LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	WOOD FLOORING
	WOOD DECKING
	TILE
	CONCRETE

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25' FRONT YARD SETBACK

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SECOND FLOOR PLAN

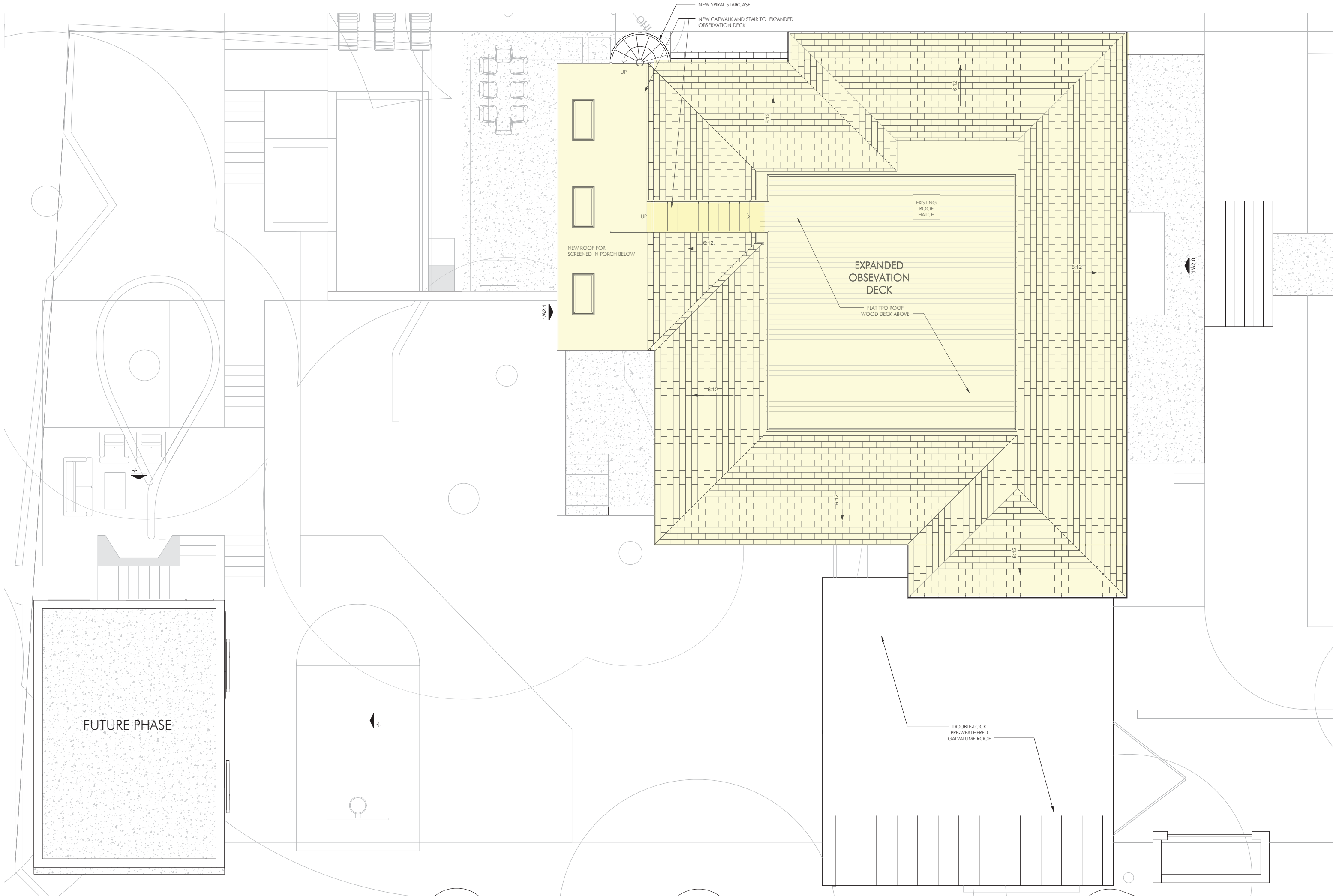
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**AREA INCLUDED IN  
PHASE ONE OF SCOPE**

**1 SECOND FLOOR PLAN - NEW**  
1/4" = 1'-0"

# A1.2

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AREA INCLUDED IN  
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1 ROOF PLAN - NEW  
1/4" = 1'-0"

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ROOF PLAN

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1 EAST ELEVATION - NEW  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

# A2.0



1 WEST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

## A2.1





FRONT VIEW OR RESIDENCE



REAR VIEW OR RESIDENCE

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7.10.14	SD Sketch Concept
7.21.14	SD Sketch Concept

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PHOTOS FOR HISTORIC REVIEW

SK.1



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RENDERING

## SK.2