

CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, October 13, 2014

CASE NUMBER: C15-2014-0138

____ Jeff Jack
____ Michael Von Ohlen
____ Ricardo De Camps
____ Bryan King
____ Vincent Harding
____ Will Schnier - Melissa Hawthorne-(out)
____ Sallie Burchett

APPLICANT: Bruce, Aupperle P.E.

OWNER: Gamble J. & Martha Palmer Jr.

ADDRESS: 2921 WESTLAKE CV Bldg BD

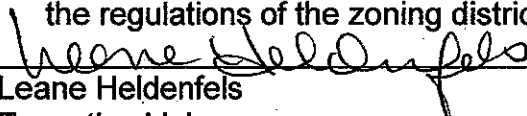
VARIANCE REQUESTED: The applicant has requested a variance(s) to:

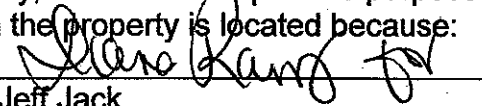
Section 25-2-1176 (B) (2) (*Regulations*) of Article 13. Docks, Bulkheads, and Shoreline Access to increase the distance a dock can extend from the shoreline from no greater than 30 feet (required) to 42 feet (requested); and to Section 25-2-1176 (D) (2) (*Regulations*) of Article 13. Docks, Bulkheads, and Shoreline Access to increase the allowable width of a dock from no greater than 20 percent of the shoreline width of the lot or parcel of land on which the structure is to be constructed, in this case a 20 foot boat dock width for a 105 foot wide shoreline lot (required) to 27 percent of the shoreline width for a 28 foot boat dock width (requested) in order to erect a boat dock in an "LA", Lake Austin zoning district. The applicant is requesting to use the Land Development Code in effect prior to 7/2014 for the site plan of this property which is currently under review.

BOARD'S DECISION: POSTPONED TO NOVEMBER 10, 2014 DUE TO MAIL POSTING ERROR

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Leane Heldenfels
Executive Liaison


Jeff Jack
Chairman

If you need assistance completing this application (general inquires only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

CASE # 05-2014-0138
ROW # 11214916
02309-0205

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 2921 Westlake Cove

LEGAL DESCRIPTION: Subdivision - Lot 16 Lago Villa

Lot(s) _____ Block _____ Outlot _____ Division _____

I/We Carolyn Aupperle on behalf of myself/ourselves as authorized agent for _____

Deleted: _____

Gamble and Martha Palmer affirm that
on August 28, 2014, _____

Deleted: _____

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

☒ X ERECT ☐ ATTACH ☐ COMPLETE ☐ REMODEL ☐ MAINTAIN

a new boat dock more then 20% width and farther then 30' from shore.

60' from Shore 28' = 27% ~~width~~ width

in a LA district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

It is too shallow along the shore to safely maneuver a boat. The 20% width does not allow for the ability to maintain the 2 slips which were previously a cut in slip.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

There are only a few spots on Lake Austin that are too shallow near the shore.

Deleted: ..

- (b) The hardship is not general to the area in which the property is located because:

Many lots have more room.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The neighboring lot already has a boat dock extending well beyond 30'.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

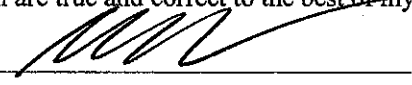
2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 10088 Circlevue
Drive _____

City, _____ State _____ & _____ Zip _____ Austin _____ TX
78733

Printed Carolyn Aupperle Phone 512-422-
7838 Date August 28, 2014



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

CASE#: C15-2014-0138
Address: 2921 WESTLAKE COVE

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



1" = 200'

April 24, 2013

City of Austin
Planning and Development Review Department
PO Box 1088
Austin, TX 78716

To Whom It May Concern:

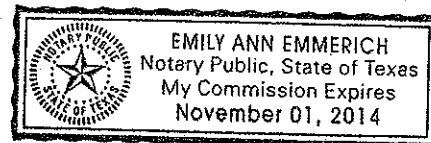
We, Gamble J. Palmer, Jr. and Martha L. Palmer, own the property at 2921 Westlake Cove, described in Volume 12702, Page 1484 of the Official Public Records of Travis County, Texas. We wish to demolish the existing boat dock, modify the shoreline and build a new boat dock. Bruce S. Aupperle, P.E. and Aupperle Company are our authorized agents for the City of Austin applications needed for the subject property. Please contact us if you have any questions.

Owner's Signature Martha L. Palmer

Sworn and subscribed before me this 1st day of May, 2013.

Emily Emmerich
Notary Public in and for the State of Texas

My Commission expires: Nov. 01, 2014

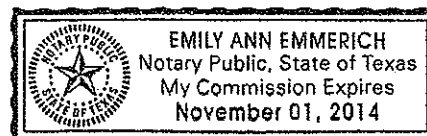


Owner's Signature Gamble J. Palmer Jr.

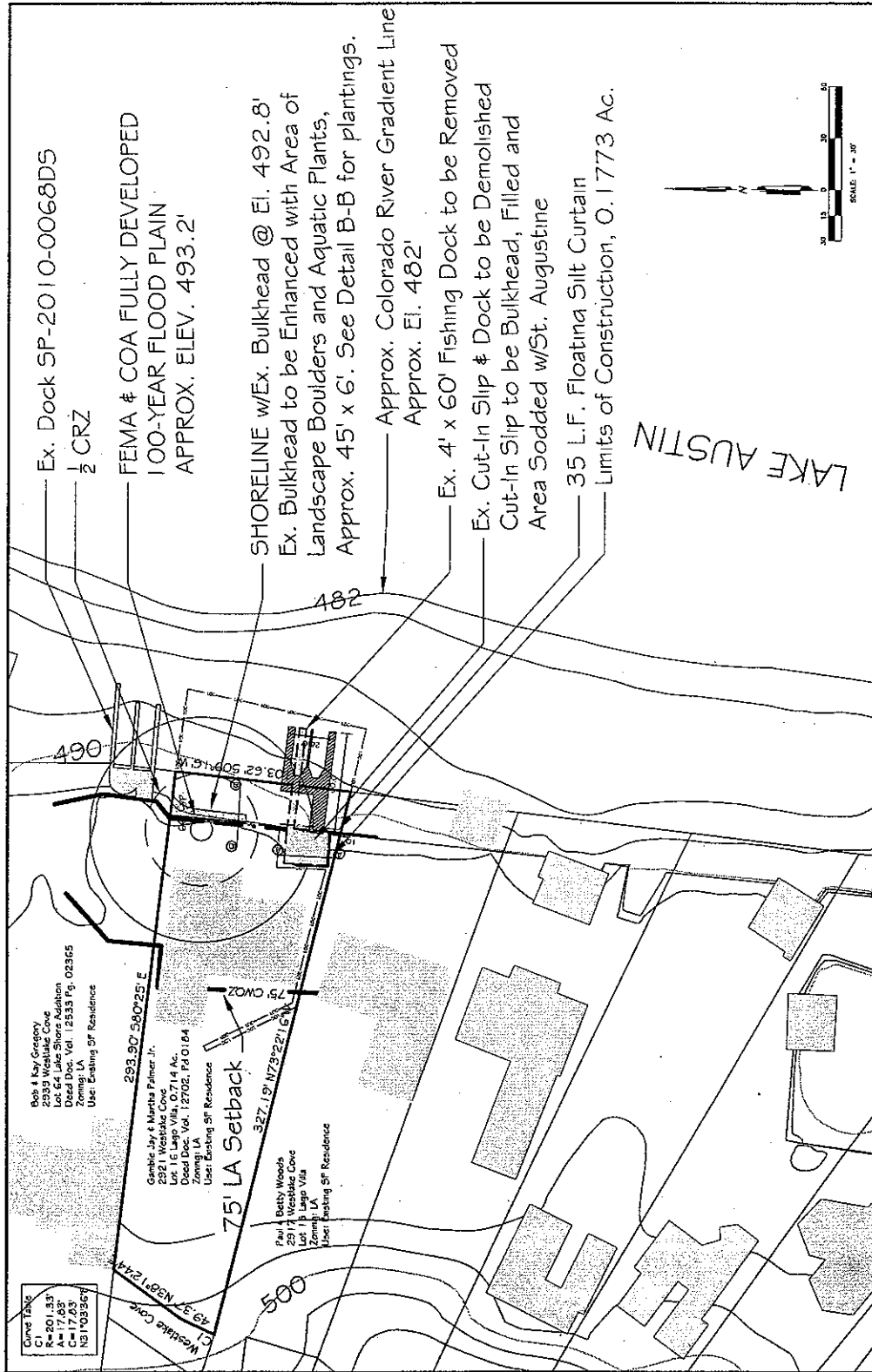
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Emily Emmerich
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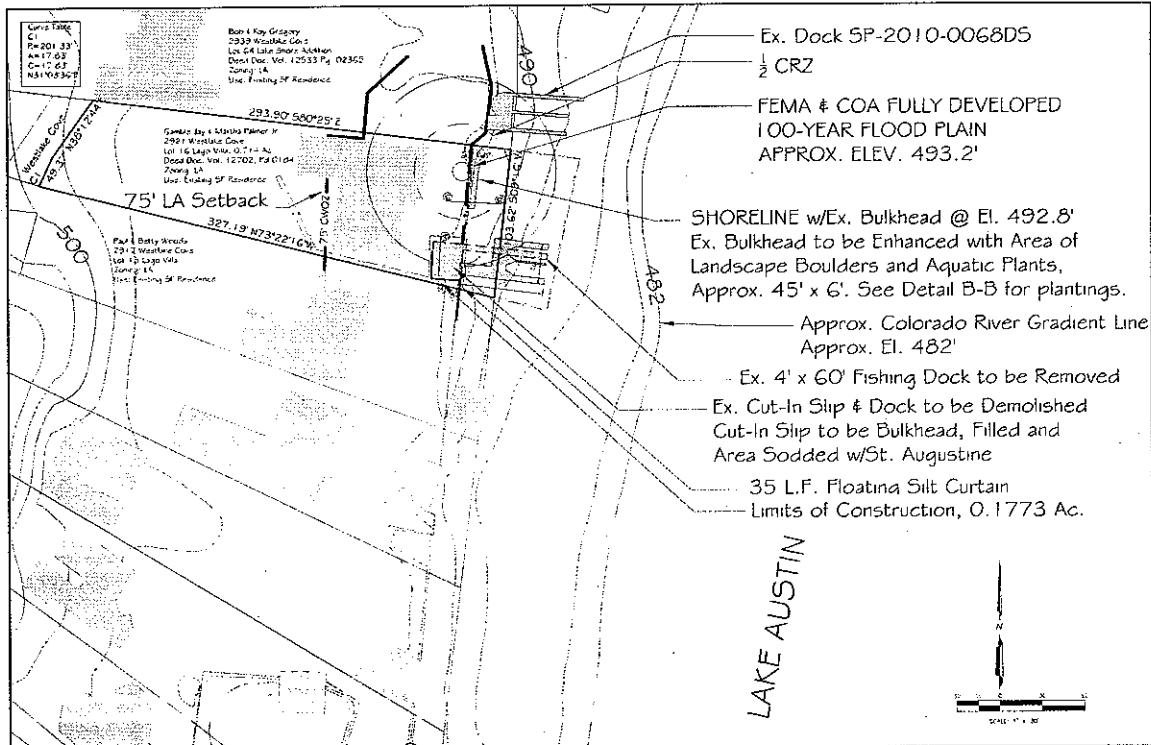


2921 WESTLAKE COVE



Existing Shoreline Elevation = 103.62'
 Proposed Bulkhead Elevation = 103.62' ± 0.1'
 Existing 100-Year Flood Depth = 0.7'

2921 WESTLAKE COVE



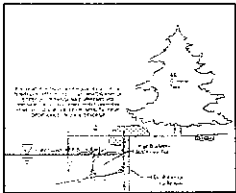
Project Number: 2921-01
 Project Name: 2921 Westlake Cove
 Project Location: 2921 Westlake Cove
 Project Date: 10/1/13

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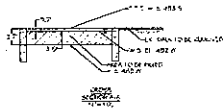
AUPPERLE COMPANY
 Engineering, Planning & Development Services
 10000 North Loop West, Suite 200, Houston, TX 77057
 Phone: 281.461.1111
 Fax: 281.461.1112
 Email: info@upperle.com

2921 WESTLAKE COVE
SITE PLAN

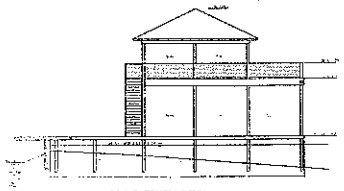
2921 WESTLAKE COVE



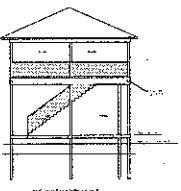
Site Plan
N15



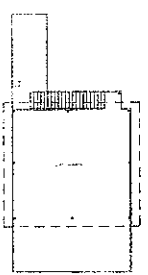
SECTION A-A



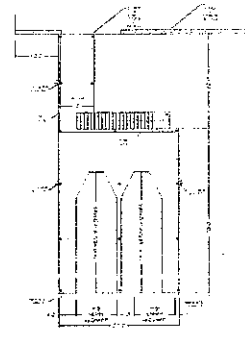
FRONT ELEVATION



RIGHT SIDE ELEVATION

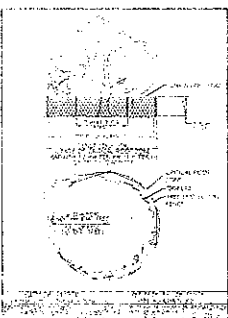


REAR ELEVATION

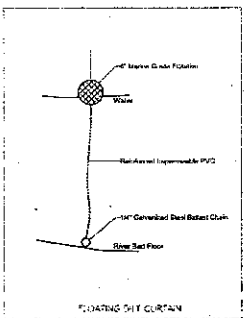


INTERIOR ELEVATION

1. THE DOCK SHALL BE CONSTRUCTED OF ALUMINUM OR GALVANIZED STEEL WITH A MINIMUM THICKNESS OF 1/4\"
2. THE DOCK SHALL BE DESIGNED TO WITHSTAND A WIND LOAD OF 100 PSF AND A WAVE LOAD OF 100 PSF.
3. THE DOCK SHALL BE DESIGNED TO WITHSTAND A CURRENT LOAD OF 100 PSF.
4. THE DOCK SHALL BE DESIGNED TO WITHSTAND A TIDE LOAD OF 100 PSF.
5. THE DOCK SHALL BE DESIGNED TO WITHSTAND A SEISMIC LOAD OF 100 PSF.
6. THE DOCK SHALL BE DESIGNED TO WITHSTAND A COLLISION LOAD OF 100 PSF.
7. THE DOCK SHALL BE DESIGNED TO WITHSTAND A FIRE LOAD OF 100 PSF.
8. THE DOCK SHALL BE DESIGNED TO WITHSTAND A CORROSION LOAD OF 100 PSF.
9. THE DOCK SHALL BE DESIGNED TO WITHSTAND A PEST LOAD OF 100 PSF.
10. THE DOCK SHALL BE DESIGNED TO WITHSTAND A VIBRATION LOAD OF 100 PSF.
11. THE DOCK SHALL BE DESIGNED TO WITHSTAND A NOISE LOAD OF 100 PSF.
12. THE DOCK SHALL BE DESIGNED TO WITHSTAND A LIGHT LOAD OF 100 PSF.
13. THE DOCK SHALL BE DESIGNED TO WITHSTAND A HEAT LOAD OF 100 PSF.
14. THE DOCK SHALL BE DESIGNED TO WITHSTAND A COLD LOAD OF 100 PSF.
15. THE DOCK SHALL BE DESIGNED TO WITHSTAND A HUMIDITY LOAD OF 100 PSF.
16. THE DOCK SHALL BE DESIGNED TO WITHSTAND A DRYNESS LOAD OF 100 PSF.
17. THE DOCK SHALL BE DESIGNED TO WITHSTAND A SALINITY LOAD OF 100 PSF.
18. THE DOCK SHALL BE DESIGNED TO WITHSTAND A SULFUR LOAD OF 100 PSF.
19. THE DOCK SHALL BE DESIGNED TO WITHSTAND A PHOSPHORUS LOAD OF 100 PSF.
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TOP VIEW



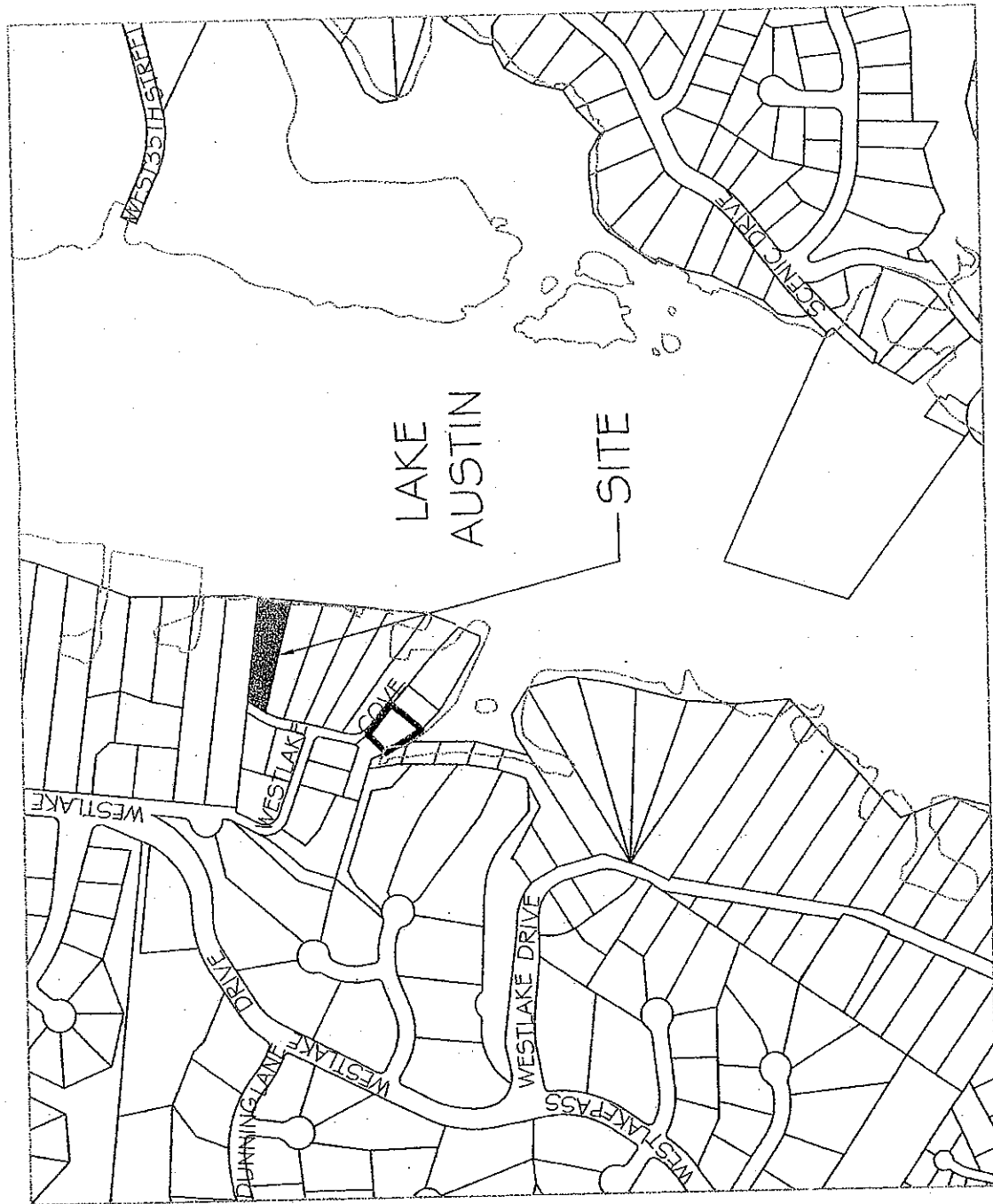
RIGHT SIDE VIEW

ALPERLE COMPANY
Engineering, Planning & Development Services
3800 Corporate Drive, Suite 200, Fort Worth, Texas 76107-1001

2921 WESTLAKE COVE
DOCK ELEVATIONS & PLAN VIEW

3

2921 WEST LAKE COVE



MAPSCO Map 554P City Grid G26

VICINITY MAP

NTS

IS FOR TREE AND NATURAL AREA PROTECTION

ix: P-2 (3/28/2011)

m to be preserved shall be protected during construction with

REMEDIAL TREE CARE NOTES AERATION AND SUPPLEMENTAL NUTRIENT REQUIRE
WITHIN CONSTRUCTION AREAS

Appendix: P-G (12/20/2002)

These will be Aerated and Provided Nutrients Prior to any Construction Activity.

CITY OF AUSTIN – PLANNING AND DEVELOPMENT REVIEW DEPARTMENT
SITE PLAN APPLICATION – MASTER COMMENT REPORT



CASE NUMBER: SP-2013-0439D
REVISION #: 00
CASE MANAGER: Rosemary Avila

UPDATE: U1
PHONE #: 512-974-2784

PROJECT NAME: 2921 Westlake Cove
LOCATION: 2921 WESTLAKE CV Bldg BD

SUBMITTAL DATE: June 11, 2014
REPORT DUE DATE: June 25, 2014
FINAL REPORT DATE: June 25, 2014

STAFF REPORT:

This report includes all staff comments received to date concerning your most recent site plan submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated site plan submittal.

The site plan will be approved when all requirements from each review discipline have been addressed. However, until this happens, your site plan is considered disapproved. Additional comments may be generated as a result of information or design changes provided in your update.

If you have any questions, problems, concerns, or if you require additional information about this report, please do not hesitate to contact your case manager at the phone number listed above or by writing to the City of Austin, Planning and Development Review Department, P.O. Box 1088, Austin, Texas 78704.

UPDATE DEADLINE (LDC 25-5-113):

It is the responsibility of the applicant or his/her agent to update this site plan application. **The final update to clear all comments must be submitted by the update deadline, which is November 14, 2014.** Otherwise, the application will automatically be denied. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

EXTENSION OF UPDATE DEADLINE (LDC 25-1-88):

You may request an extension to the update deadline by submitting a written justification to your case manager on or before the update deadline. Extensions may be granted for good cause at the Director's discretion.

UPDATE SUBMITTALS:

A formal update submittal is required. You must make an appointment with the Intake Staff (974-2689) to submit the update. Please bring a copy of this report with you upon submittal to Intake.

Please submit 4 copies of the plans and 4 copies of a letter that address each comment for distribution to the following reviewers. Clearly label information or packets with the reviewer's name that are intended for specific reviewers. No distribution is required for the Planner 1 and only the letter is required for Austin Water Utility.

REVIEWERS:

Environmental: Liz Johnston
Planner 1: Cindy Casillas
Site Plan: Rosemary Avila
Wetlands Biologist: Andrew Clamann
Parks: Marilyn Shashoua

Environmental Review - Liz Johnston - 512-974-1218

Please be advised that additional comments may be generated as update information is reviewed. If an update has been rejected, reviewers are not able to clear comments based on phone calls, emails, or meetings, but must receive formal updates in order to confirm positive plan set changes.

- EV 1 Provide a fiscal estimate for erosion/sedimentation controls and revegetation based on Appendix S-1 of the Environmental Criteria Manual. The approved amount must be posted with the City prior to permit/site plan approval. [LDC 25-7-65, ECM 1.2.1.]

UPDATE 1: Fiscal estimate was received, but review will be deferred until it becomes more clear what the scope of the project is.

- EV 2 Cleared

- EV 3 Unless you can demonstrate that this project meets the ECM 1.13.8, this project will require a Board of Adjustment variance for land capture, which is prohibited under 25-2-1174.



UPDATE 1: Please reference the BOA case on the cover sheet.

- EV 4 Variance package preparation will not take place until review is substantially complete and the variance fee is paid. In addition, the project cannot go before the Environmental Board until the project is substantially compliant with Code.

UPDATE 1: Comment pending.

- EV 5 A Land Use Commission variance from LDC 25-8-452 is required for the proposed fill in Lake Austin. Please submit a request letter that identifies the scope of the variance and addresses the findings of fact per LDC 25-8-41(A). Pay variance fee of \$1430 for each variance and the one time notification fee of \$250.64 through intake. Contact staff to discuss proposed variance and determine information needed to assess and present the variance request.

UPDATE 1: Comment pending.

- EV 6-8Cleared

- EV 9 Show on the plan specific location, species, container size and spacing of new shrubs, ground covers and grasses required for the restoration of the fill area or equivalent square footage along the shoreline. This comment is related to meeting the ECM 1.7 Floodplain Modification Criteria.

UPDATE 1: Per 25-8-261(G) Floodplain modifications are prohibited in the critical water quality zone unless:

- (1) the floodplain modifications proposed are necessary to protect the public health and safety;
- (2) the floodplain modifications proposed would provide a significant, demonstrable environmental benefit, as determined by a functional assessment of floodplain health as prescribed by the Environmental Criteria Manual, or
- (3) the floodplain modifications proposed are necessary for development allowed in the critical water quality zone under Section 25-8-261 (Critical Water Quality Zone Development) or 25-8-262 (Critical Water Quality Zone Street Crossings).

Because the project does not qualify for either (1) or (3), please submit a functional assessment of floodplain health. Please contact Mateo Scoggins at 512.974.1917 for more information about functional assessments. If the project does not meet provide a significant, demonstrable environmental benefit, a CWQZ variance will be required. The proposed revegetation with St. Augustine will definitely not meet the requirements to demonstrate significant environmental benefit.

FYI: Even if (2) is demonstrated, fill in Lake Austin will require Planning Commission approval, regardless of whether an EV variance is required per 25-8-652.

EV 10 Show all permanent improvements within the shoreline setback.

UPDATE 1: Not addressed. In addition, please demonstrate that all permanent improvements are permitted.

EV 11 This comment is pending confirmation from site plan staff that all navigation issues have been resolved.

UPDATE 1: Comment pending.

EV 12 Cleared

New Comment Update 1

EV 13 Please provide more accurate topographic information clarifying the depth of fill proposed in the cut-in slip area. If the proposed amount of fill exceeds 4' another environmental variance will be required to 25-8-342 for fill in excess of 4'.

EV 14 The proposed St. Augustine revegetation conflicts with the requirement for revegetation within a CWQZ with native 609.S seeding and planting. It also conflicts with the 609.S note included on the cover sheet. Please revise.

EV 15 Due to the work within a heritage tree, please coordinate with Keith Mars to resolve all heritage tree comments. His contact information is 512.974.2755.

Parks Review - Marilyn Shashoua - 512-974-9372

PR1: Comment cleared. Applicant acknowledges that this site plan will need approval from the Planning Commission on the following:

- extending beyond 30 feet from shoreline [Section 25-2-1176(B)(2)].
- exceeding 20% of shoreline width [Section 25-2-1176(D)(2)].
- placing fill in Lake Austin, Town Lake, or Lake Walter Long [Section 25-8-652].

PR2: Planning commission will need to review and comment on shoreline modification. [Section 25-7-63].

PR3: Cleared.

Site Plan Review - Rosemary Avila - 512-974-2784

This case has been transferred from Amanda Couch to Rosemary Avila.

- SP 1. Show the project title on each sheet of the site plan. The title on file with the City is 2921 Westlake CV Bldg BD. Also, Westlake is misspelled.

U1: Comment Cleared.

- SP 2. Show the submittal date on the cover sheet as 11-19-2013.

U1: Comment Cleared.

- SP 3. Have you shown all existing and future dedicated easements, including joint access, drainage, conservation, utility, communication, etc? Indicate volume and page or document number, or dedication by plat. All buildings, fences, landscaping, patios, flatwork and other uses or obstructions of a drainage easement are prohibited, unless expressly permitted by a license agreement approved by the City of Austin authorizing use of the easement.

U1: Comment Cleared.

- SP 4. Have you shown all proposed and existing structures to remain; indicate any demolition or relocation of structures by a dashed footprint?

U1: Comment Cleared.

- SP 5. Please indicate the case number in the lower right margin of each sheet.

U1: Comment Cleared.

- SP 6. The applicant is responsible for requesting relocation and demolition permits once the site plan is approved. The City Historic Preservation Officer will review all proposed building demolitions and relocations prior to site plan approval. If a building meets city historic criteria, the Historic Landmark Commission may initiate a historic zoning case on the property. All existing structures shown to be removed will require a demolition permit from the City of Austin Planning and Development Review Department. Please contact the Historic Preservation Officer at 974-6454 for additional information [Chapter 25-11].

U1: FYI comment

- SP 7. FLASH DRIVE REQUIREMENT

- SP 8. All applications submitted for completeness check after 5/10/10 for Administrative Site Plan Revision, Consolidated Site Plan, Non-Consolidated Site Plan, CIP Streets and Drainage, Major Drainage/Regional Detention, and Subdivision Construction Plans will require the additional items listed in Exhibit VII of the application packet on a USB flash drive prior to release of permit. The flash drive must be taken directly to the Intake Dept by the applicant after site plan approval. For more information, contact the Intake Staff.

U1: Comment Cleared, comment made in error.

- SP 9. Provide this reviewer with a full-sized and legible copy of the subdivision plat. On the plans, show all boundary lines with bearings and dimensions in accordance with the recorded subdivision on all sheets. Also, provide copies of all restrictive covenants and/or HOA agreements pertaining to this property.

U1: Comment Cleared.

SP 10. Will all the work be performed using a barge, or will materials and equipment be stored on land, or will workers also access the site via land? If so, the limits of construction should be adjusted accordingly on the site plan. If all work will be accomplished with the barge, then place the following note to the cover sheet: "All work on this project is to be accomplished via barge. There will be no site access by land, nor will any construction staging or materials storage be located on land."

U1: Please add note to reflect work will be done via barge and by land.

SP 11. Include this note on the site plan sheet: "Permanent improvements are prohibited within the shoreline setback area, except for retaining walls, piers, wharves, boathouses, marinas or a driveway to access the structures [LDC 25-2-551(B)(2)]".

U1: Comment Cleared.

SP 12. It appears that the proposed boat dock extends approximately 60 feet from the shoreline, exceeding the allowed maximum of 30 feet [Section 25-2-1176(B)(2)]. Either reduce this extension into the lake, or request approval from the Planning Commission.

U1: Comment to remain until PC approval. Please clarify why the proposed dock is this long.

SP 13. The proposed width of the boat dock exceeds twenty percent (20%) of the length of the shoreline and must get approval from the Planning Commission.

U1: Comment to remain until PC approval. Please clarify why the proposed dock is exceeding the 20% shoreline width.

SP 14. A residential boat dock is considered an accessory use to a primary residence [LDC 25-2-893(G)]. Please show either a valid residential building permit for this property on the site plan or information on a local residential address for the owner of the property.

U1: Comment Cleared.

SP 15. Indicate size of piles on the site plan.

U1: Comment Cleared.

SP 16. Additional comments may be generated as more information is provided.

New Comment:

SP 17. **Please add dock dimensions (height) on page 3.**

Wetlands Biologist Review - Andrew Clamann - 512-974-2694

Site visit 12/30/2013. No wetland CEFs observed.

WB1. update0. Please provide additional detail for the shoreline boulders/plants:

- Provide a dimension on the detail that shows the lakeward extent of proposed boulders (i.e. how far off the shoreline will boulders be placed).
- Provide a list of plants (both common and scientific names) from which the lake plantings will be selected.
- The detail shows other backfill than the 300 lb boulders. Please clarify all materials to be used and provide scale.

Update1. COMMENT PARTIALLY ADDRESSED

- The detail shows other backfill than the 300 lb boulders. Please clarify all materials to be used and provide scale.
- Detail B-B unclear regarding plantings and the "Plantings Area". The detail appears to indicate plantings in the water and on land, however none of the plants listed are aquatic. Please clarify the location where the plantings are proposed. If just on land, then indicate so. If some in water, then indicate so. Please ensure appropriate plants for any location proposed.

WB2.update0. This reviewer does not find compelling reason to support the proposed shoreline modification, fill in lake and land capture. Please remove the proposed bulkhead and fill at existing cut-in-slip.

update1. Repeat comment. It is clear to this reviewer that applicant can achieve the proposed dock without the proposed land capture.

WB3.update0. This reviewer does not find compelling reason to support the proposed width of dock structure in excess of 20% of the shoreline. Please revise dock structure to within 20%.

update1. Repeat comment.

WB4.update0. This reviewer does not find compelling reason to support the proposed extent of dock beyond 30ft from shoreline. Please revise dock structure to within 30ft from shore.

update1. Repeat comment.

WB5 .update1. The proposed bulkhead that will result in land capture is not compliant with ECM 1.13.6 A, B, C and D. Please revise proposed bulkhead to demonstrate compliance.

If you need assistance completing this application (general inquiries only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

CASE # C15-2014-0138
ROW # 11214916
ROW # 0123090205

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 2921 Westlake Cove

LEGAL DESCRIPTION: Subdivision - Lot 16 Lago Villa

Lot(s) _____ Block _____ Outlot _____ Division _____

I/We Carolyn Aupperle on behalf of myself/ourselves as authorized agent for

Deleted: _____

Gamble and Martha Palmer affirm that
on August 28, 2014, _____,

Deleted: _____

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

☒ X ERECT ☐ ATTACH ☐ COMPLETE ☐ REMODEL ☐ MAINTAIN

a new boat dock more then 20% width and farther then 30' from shore.

in a LA district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

It is too shallow along the shore to safely maneuver a boat. The 20% width does not allow for the ability to maintain the 2 slips which were previously a cut in slip.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

There are only a few spots on Lake Austin that are too shallow near the shore.

Deleted: _

- (b) The hardship is not general to the area in which the property is located because:

Many lots have more room.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The neighboring lot already has a boat dock extending well beyond 30'.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

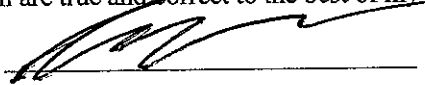
2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 10088 Circleview
Drive _____

City, State & Zip Austin, TX
78733

Printed Carolyn Aupperle Phone 512-422-
7838 Date August 28, 2014

April 24, 2013

City of Austin
Planning and Development Review Department
PO Box 1088
Austin, TX 78716

To Whom It May Concern:

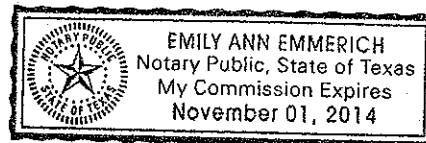
We, Gamble J. Palmer, Jr. and Martha L. Palmer, own the property at 2921 Westlake Cove, described in Volume 12702, Page 1484 of the Official Public Records of Travis County, Texas. We wish to demolish the existing boat dock, modify the shoreline and build a new boat dock. Bruce S. Aupperle, P.E. and Aupperle Company are our authorized agents for the City of Austin applications needed for the subject property. Please contact us if you have any questions.

Owner's Signature Martha L. Palmer

Sworn and subscribed before me this 1st day of May, 2013.

Emily Emmerich
Notary Public in and for the State of Texas

My Commission expires: Nov. 01, 2014

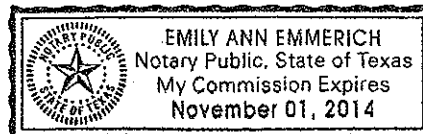


Owner's Signature Gamble J. Palmer Jr.

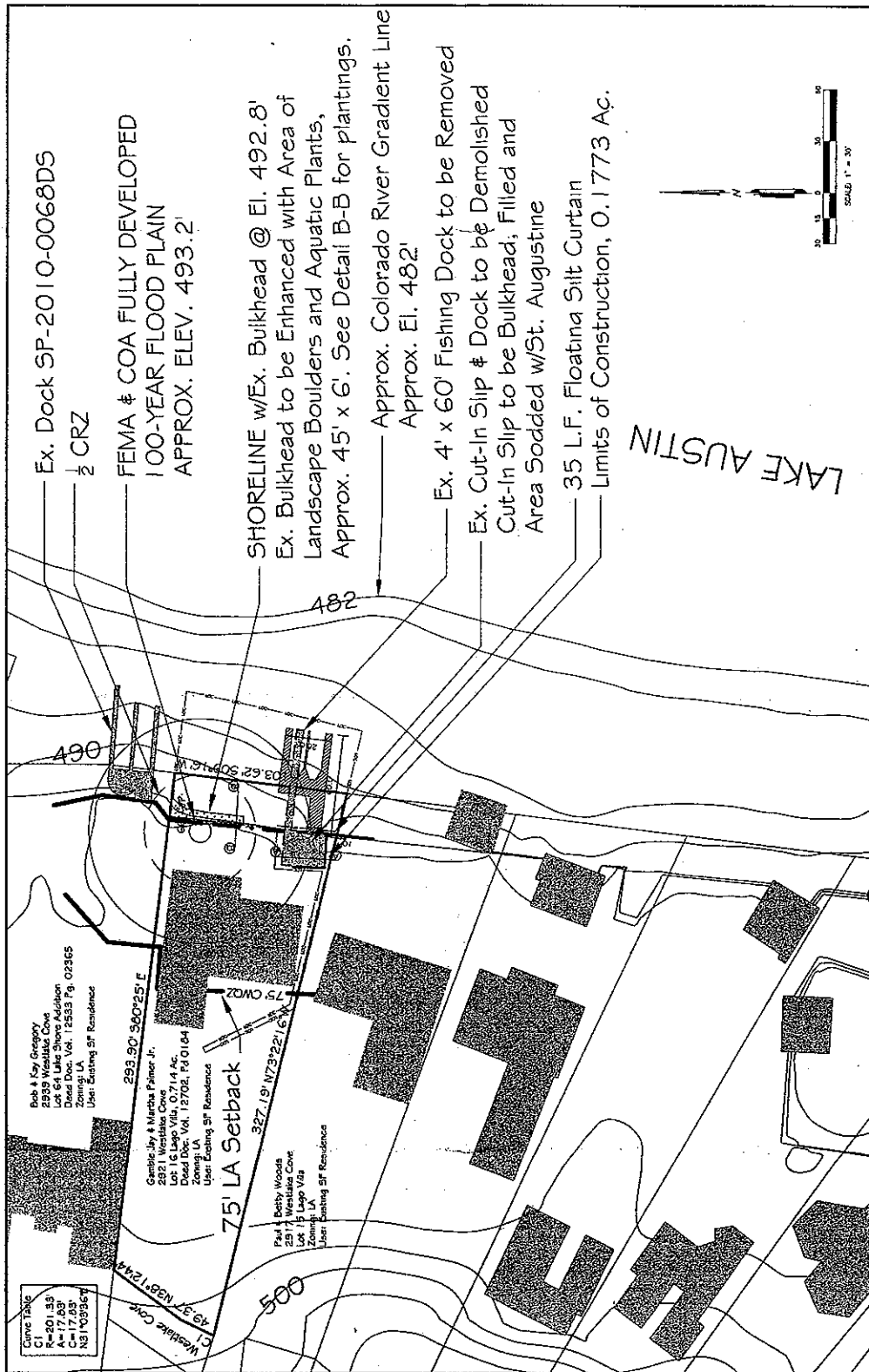
Sworn and subscribed before me this 1st day of May, 2013.

Emily Emmerich
Notary Public in and for the State of Texas

My Commission expires: Nov. 01, 2014



2921 WESTLAKE COVE



Proposed Water Supply Map

1/1/80

Proposed Water Line

Proposed Water Treatment Plant

Proposed Water Reservoir

Proposed Water Supply Area

0 100 feet

North Arrow

Legend

Proposed Water Line

Proposed Water Treatment Plant

Proposed Water Reservoir

Proposed Water Supply Area

This architectural drawing shows a side elevation of a building. It features a gabled roof on the left side, with a central entrance area. The facade is divided into several rectangular sections, some of which are filled with a stippled pattern. A vertical line on the right side indicates a boundary or a change in the building's profile. The drawing is oriented horizontally, with the roofline on the left and the building's base on the right.

Structural elements will be C-510's in dimension.

FOR INSPECTOR NOTES:
 THE BUILDING CODES INVOLVED IN THIS PERMITTING CODE IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING THE BUILDING CODE REVIEW.
 FOR THE BUILDING PERMIT, A REWARD AND SCALED LETTER SHALL BE SUBMITTED TO THE CITY OF DALLAS, TEXAS, FOR THE LAND DEVELOPMENT CODE, 23.161.2.4, CERTIFYING THAT THE STRUCTURE IS IN ACCORDANCE WITH ASCE 24, FLOOD RESISTANT DESIGN AND CONSTRUCTION.
 THE INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY ANY REQUIREMENTS TO THE PERMITTING CODE ON SITE TO BE IN COMPLIANCE WITH THE CITY OF DALLAS, TEXAS, AND THE TEXAS BUILDING CODE.
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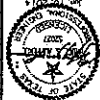
SECTION 801.265M POLYURETHANE

- COMPLIANCE WITH BUILDING CODE IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW.

The diagram illustrates a security fence system. On the left, a tree is shown next to a fence line. The fence is labeled with several components: 'CHAIN LINK FENCE' at the top, 'FENCE LOCATION' in the middle, and 'FENCE LINE' at the bottom. A 'CRITICAL ROOF' is indicated above the fence. A 'DEFUSE ZONE' is shown below the fence, and a 'PROTECTION FENCE' is shown to the right. A circular inset on the right provides a close-up view of the fence structure, showing the 'CHAIN LINK FENCE' and the 'DEFUSE ZONE'.

2921 WESTLAKE COVE
DOCK ELEVATIONS & PLAN VIEW

AUPPERLE COMPANY
Engineering, Planning & Development Services
10088 Chastanet Drive, Austin, Texas 78733 512-379-8241



DESIGNED: BSA
APPROVED:
SCALE: 1" = 5'
1921 Welling Court
DATE: JAN. 10, 2014
SHEET 3 of 3