

/Volumes/Active Projects/TOYATH/ITYT_CD_141006_MDL_PERMIT.pln |Ver: 17.002 | Sunday, December 7, 2014| 10:45 AM

LEGAL DESCRIPTION

1106 TOYATH STREET, AUSTIN TEXAS
LOT# 6 BLOCK 13, MASS ADDITION SUBDIVISION,
CITY OF AUSTIN, TRAVIS COUNTY, TEXAS,
OF RECORD IN VOLUME X, PAGE 103 OF THE DEED
RECORDS OF TRAVIS COUNTY TEXAS.

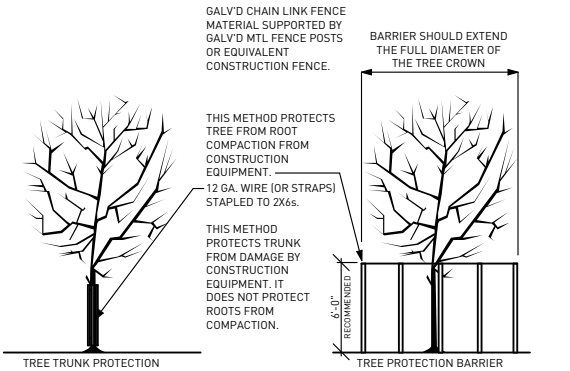
ZONING DISTRICT: OLD ENFIELD (SFR)

HISTORIC DISTRICT: OLD WEST AUSTIN
NEIGHBORHOOD

GENERAL NOTES

- THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTES, SCHEDULES. THE CONTRACTOR SHALL MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR INITIATION OF WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- THESE DRAWINGS ARE, IN GENERAL, DIAGRAMMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS WITHIN THE CONSTRAINTS OF EXISTING EQUIPMENT AND CONSTRUCTION. DRAWING AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WORK.
- DO NOT SCALE THESE DRAWINGS. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ANY OTHER REQUEST FOR CLARIFICATION.
- VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
- MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE MAINTAINED PARTICULARLY AT STAIRS, CORRIDORS AND RESTROOMS.
- CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS PRIOR TO WORK.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY, ACTIONS AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY. UPON COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE.
- CONTRACTOR SHALL SUBMIT REPRODUCIBLE SHOP DRAWINGS TO ARCHITECT FOR OWNER'S, ARCHITECT'S, AND ENGINEER'S APPROVAL.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT. NOTIFY THE ARCHITECT OF ANY VARIATION REQUIRED IN THE DIMENSION NOTED FOR VERIFICATION FOR INSTALLATION OF EQUIPMENT BEFORE CONTINUING THE WORK.
- EVERY EFFORT HAS BEEN MADE ON THE PART OF THE ARCHITECT TO ENSURE LOCAL CODE COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WORK CONFORMS WITH ALL APPLICABLE CODES, AND IF DISCREPANCIES ARE NOTED, TO NOTIFY THE ARCHITECT PRIOR TO WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- INSTALL PEX PIPE SYSTEM PLUMBING, INSULATE AS REQUIRED.
- FOR ALL "MATCH EXISTING" NOTES, ARCHITECT'S INTENT IS FOR CONTRACTOR TO MATCH EXISTING PROFILE AND FINISH AS CLOSE AS POSSIBLE USING AVAILABLE STOCK MATERIALS; IF UNABLE TO MATCH EXISTING, PROVIDE SAMPLES FOR ALTERNATE MATERIALS OR METHODS FOR ARCHITECT'S APPROVAL.
- DISSIMILAR METALS TO REMAIN SEPARATED TO AVOID GALVANIC CORROSION.
- ALL EXTERIOR WALLS AND ROOFS TO HAVE CLOSED CELL SPRAY FOAM INSULATION.
- ALL EXTERIOR WALLS TO BE STUD GRADE 2 X 6 NO. 2 SYP WITH STUDS AT 24" OC UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS TO BE STUD GRADE 2 X 4 OR NO. 2 SYP WITH STUDS AT 16" OC WITH 5/8" GYPSUM BOARD SHEATHING ON BOTH SIDES UNLESS OTHERWISE NOTED. ALL CAVITIES IN WALL ASSEMBLY TO BE FILLED WITH R-11 SOUND BATT INSULATION.
- ALL CEILINGS TO BE SHEATHED WITH 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- ALL INTERIOR PAINTS, STAINS AND SEALANTS TO BE NON-TOXIC.

TREE PROTECTION



IT IS THE ARCHITECT'S AND OWNER'S INTENT TO PROTECT ALL TREES IN PROXIMITY TO CONSTRUCTION AREA FROM DAMAGE OR INJURY DUE TO CONSTRUCTION. THE SUGGESTIONS FOR TREE PROTECTION PROVIDED ABOVE ARE EXPLICITLY NOT GUARANTEED TO FULLY PROTECT THE TREES. IT IS HIGHLY RECOMMENDED THAT A TREE SPECIALIST BE HIRED AND THAT SUCH COST BE REVIEWED WITH OWNER FOR APPROVAL PRIOR TO PROCUREMENT OF TREE SPECIALIST SERVICES. IF CONTRACTOR DOES NOT REVIEW WITH OWNER HIS OR HER WILLINGNESS OR NON-WILLINGNESS TO HIRE SUCH SPECIALIST, THEN IT WILL BE CONSTRUED AS CONTRACTOR'S WILLINGNESS TO ACCEPT LIABILITY FOR PROTECTING THE TREES FROM ANY DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS.

PROJECT TEAM MEMBERS

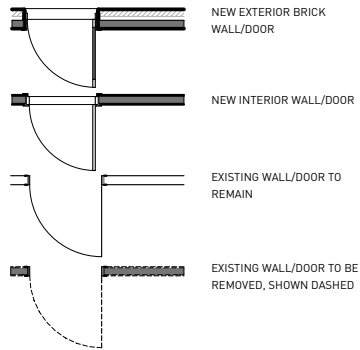
ARCHITECT OF RECORD

David Webber, Webber + Studio
1220 Lavaca Street
Austin, TX 78701
512.236.1032

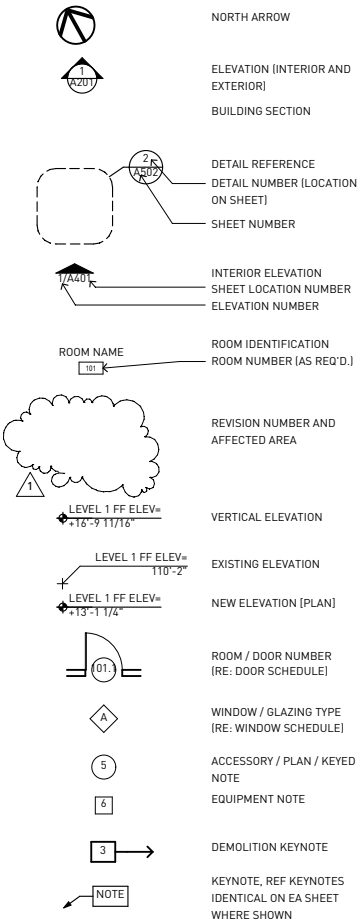
CONTRACTOR

Redbud Construction Co.
5450 Bee Caves Road, Suite 2C
Austin TX 78746
512.788.3646

REPRESENTATION



SYMBOLS



ABBREVIATIONS

A	ANCHOR BOLT	M	MAINTENANCE
AB	ABOVE	MAS	MASONRY
ABV	ACOUSICAL	MATL	MATERIAL
ACOUS	ADJUSTABLE	MAX	MAXIMUM
ADJ	ADJACENT	MECH	MECHANICAL
AD	AREA DRAIN	MEP	MECHANICAL / ELECTRICAL / PLUMBING
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
AGG	AGGREGATE	MH	MANHOLE
ALT	ALTERNATE	MIN	MINIMUM
ALUM	ALUMINUM	MISC	MISCELLANEOUS
ANCH	ANCHOR / ANCHORAGE	MO	MASONRY OPENING
APPROX	APPROXIMATE	MTL	METAL
ARCH	ARCHITECT / ARCHITECTURAL	MULL	MULLION
AUTO	AUTOMATIC	N	NOT IN CONTRACT
AUX	AUXILIARY	NIC	NUMBER
AVG	AVERAGE	NO or #	NOT TO SCALE
A/V	AUDIO VISUAL	NTS	NOT TO SCALE
B		O	
BD	BOARD	OA	OVERALL
B/F	BOTH FACES	OC	ON CENTER
BLDG	BUILDING	OD	OUTSIDE DIAMETER
BLKG	BLOCKING	OFCl	OWNER FURNISHED / CONTRACTOR INSTALLED
BLK	BLOCK	OFI	OWNER INSTALLED
BM	BEAM	OH	OVERHEAD
BOT	BOTTOM	OPNG	OPENING
BOC	BOTTOM OF CURB	OPP	OPPOSITE
BRK	BRICK	ORD	OVERFLOW ROOF DRAIN
BS	BOTH SIDES	OS	OVERFLOW SCUPPER
BSMT	BASEMENT	O/A	OUTSIDE AIR
BTW	BETWEEN	P	
BW	BOTH WAYS	PERF	PERFORATED
C		PL	PLATE
CAB	CABINET	PLF	POUNDS PER LINEAR FOOT
CIP	CAST IN PLACE	PLUMB	PLUMBING
CJ	CONTROL JOINT	PLYWOD	PLYWOOD
CLG	CEILING	PNL	PANEL
CLG HT	CEILING HEIGHT	POL	POLISHED
CLR	CLEAR[ANCE]	PRKG	PARKING
CL	CLOSET	PR	PAIR
CMU	CONCRETE MASONRY UNIT	PSF	POUNDS PER SQUARE FOOT
COL	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC	CONCRETE	PTD	PAINTED
COND	CONDITION	P.L.	PROPERTY LINE
CONST	CONSTRUCTION	R	
CONTR	CONTRACTOR	RCP	REFLECTED CEILING PLAN
CONT	CONTINUOUS	RD	ROOF DRAIN
CORRU	CORRUGATED	RECOM	RECOMMENDATION
CG	CORNER GUARD	REC	RECESSED
CSMT	CASEMENT	REF	REFRIGERATOR
CTR	CENTER	REINF	REINFORCED
CU FT	CUBIC FOOT (FEET)	REM	REMAINDER
CU YD	CUBIC YARD	REQ'D	REQUIRED
D		RET	RETURN
DIAG	DIAGONAL	REV	REVISION
DIA	DIAMETER	REF	REFER TO
DIM	DIMENSION	RFG	ROOFING
DN	DOWN	R	RISER
DS	DOWNSPOUT	RM	ROOM
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	ROW	RIGHT OF WAY
DWR	DRAWER	RAD	RADIUS
E		R/A	RETURN AIR
EA	EACH	S	
EJ	EXPANSION JOINT	SCHED	SCHEDULE
ELEC	ELECTRICAL	SC	SOLID CORE
ELEV	ELEVATION	SD	STORM DRAIN
EQUIP	EQUIPMENT	SECT	SECTION
EQ	EQUAL	SF	SQUARE FOOT / FEET
EW	EACH WAY	SH	SINGLE-HUNG
EXH	EXHAUST	SHVL	SHELVES / SHELIVING
EXST	EXISTING	SHTHG	SHEATHING
EXPAN	EXPANSION	SHT	SHEET
EXP	EXPOSED	SHWR	SHOWER
EXT	EXTERIOR	SM	SIMILAR
F		SPEC	SPECIFICATION
FD	FLOOR DRAIN	SPKR	SPEAKER
FH	FIRE HYDRANT	SO	SQUARE
FIN	FINISH / FINISHED	S. STL	STAINLESS STEEL
FLRG	FLOORING	SS	SANITARY SEWER
FLR	FLOOR	STAB	STABILIZE(D)
FLASH	FLASHING	STA	STATION
FLUOR	FLUORESCENT	STD	STANDARD
FNDN	FOUNDATION	STL	STEEL
FTG	FOOTING	STOR	STORAGE
FT	FOOT / FEET	STRUCT	STRUCTURE / STRUCTURAL
FURN	FURNISH	SUSP	SUSPENDED
G		SYM	SYMMETRICAL
GALV	GALVANIZED	SYS	SYSTEM
GAL	GALLON	S/A	SUPPLY AIR
GA	GAUGE	T	
GEN	GENERAL	TB	TOWEL BAR
GYP	GYPSUM	TEL	TELEPHONE
H		TH	THICKNESS
HB	HOSE BIBB	THRES	THRESHOLD
HDWR	HARDWARE	TOC	TOP OF CURB / CONCRETE
HM	HOLLOW METAL	TOL	TOLERANCE
HORIZ	HORIZONTAL	TOS	TOP OF STEEL / SLAB
HP	HORSEPOWER	TOW	TOP OF WALL
HR	HOUR	T	TREAD
HT	HEIGHT	T&G	TONGE & GROOVE
HVAC	HEATING / VENTILATING / AIR CONDITIONING	TS	TUBE STEEL
HW	HOT WATER	TYP	TYPICAL
HYD	HYDRANT	U	
I		UL	UNDERWRITERS LABORATORY
INCL	INCLUDE(D)	UNO	UNLESS NOTED OTHERWISE
INFO	INFORMATION	V	
INSUL	INSULATION	VCT	VINYL COMPOSITION TILE
INT	INTERIOR	VERT	VERTICAL
IN	INCH(ES)	VIF	VERIFY IN FIELD
J		W	
JST	JOIST	WC	WATER CLOSET
JT.	JOINT	WDW	WINDOW
L		WD	WOOD
LAV	LAVATORY	WF	WIDE FLANGE
LGTH	LENGTH	WR	WATER RESISTENT
LH	LEFT-HAND	WT	WEIGHT
LIN	LINEAR	W/	WITH
LT	LIGHT	W/I	WITHIN
LVR	LOUVER	W/O	WITHOUT

ADDITION

1106 TOYATH STREET, AUSTIN TEXAS, 78703

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- A.14 FRAMING & ROOF PLAN:



THE LAWSON HOUSE

1106 TOYATH STREET: AUSTIN, TEXAS 78703

ARCHITECTURE

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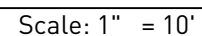
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A01
COVER SHEET



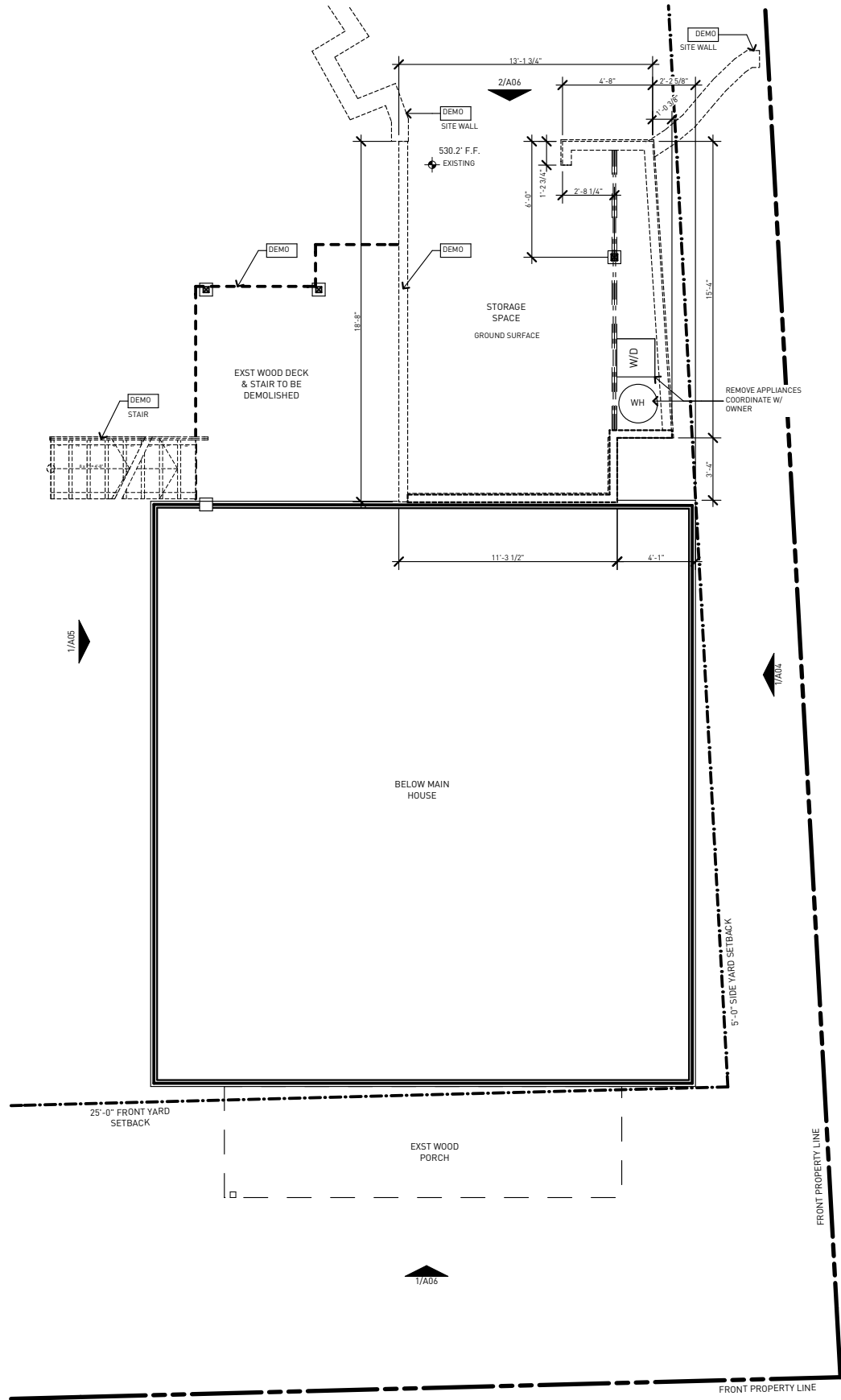
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EXISTING SITE PLAN



1 

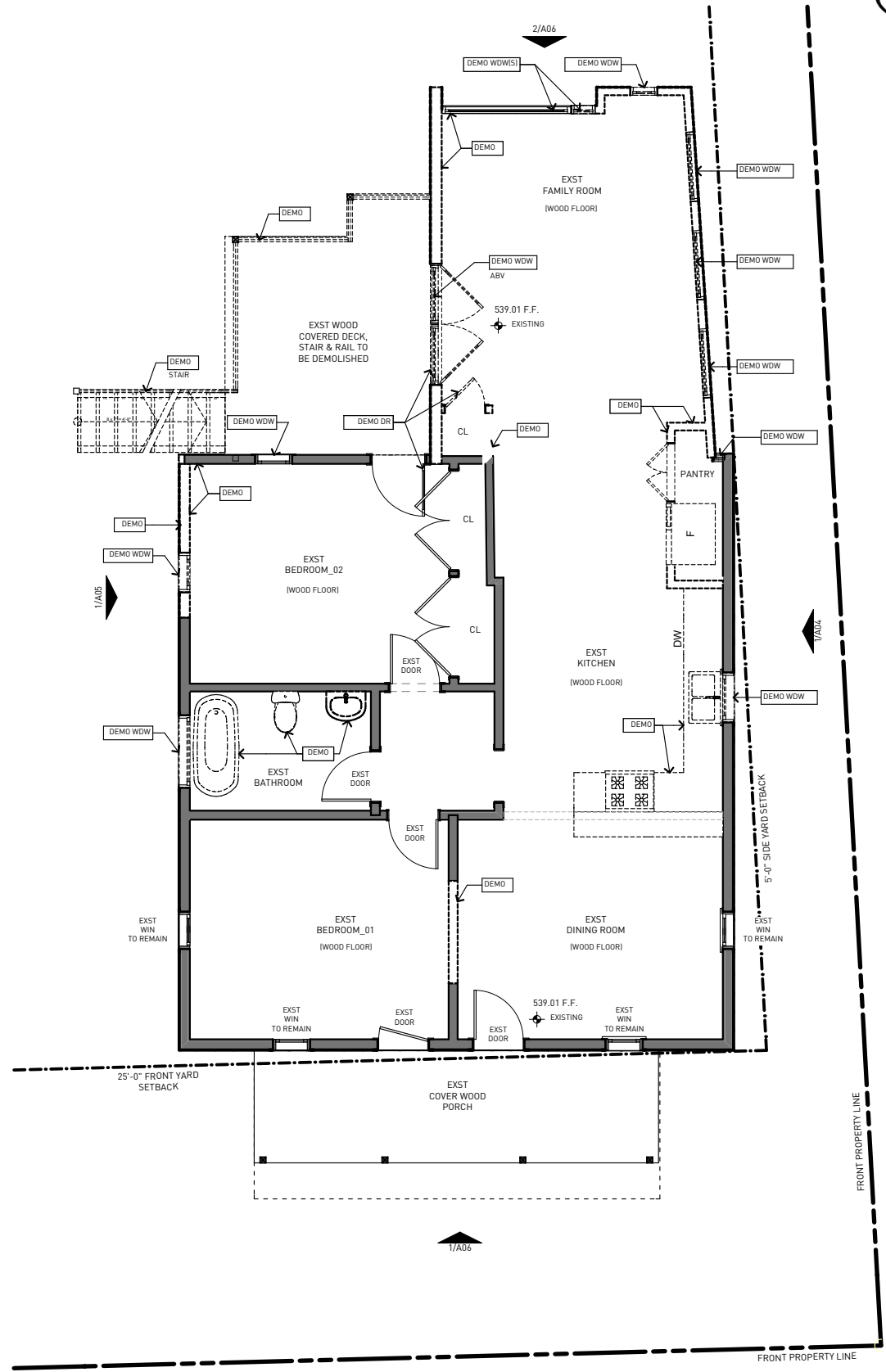
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EXISTING GROUND FLOOR PLAN

Scale: 1/8" = 1'-0"

2



EXISTING FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"

1



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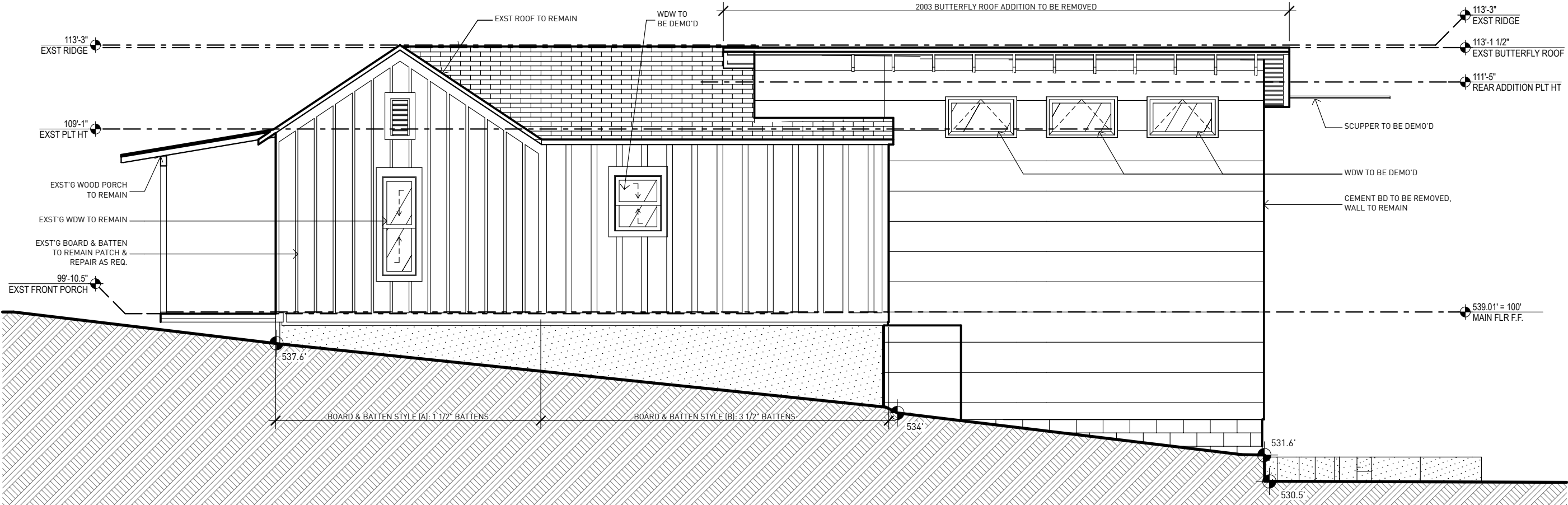
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A03
DEMO/EXISTING
CONDITIONS PLAN

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EXISTING NORTHEAST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

1



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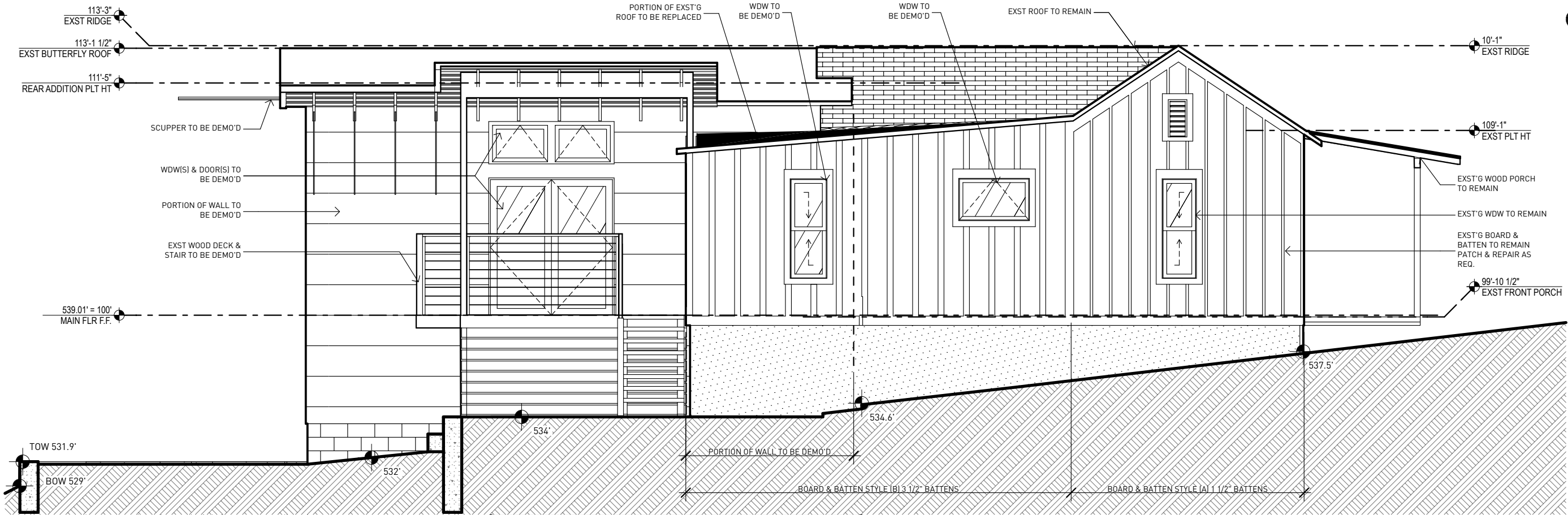
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A04
EXISTING EXTERIOR
ELEVATION



EXISTING SOUTHWEST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

1



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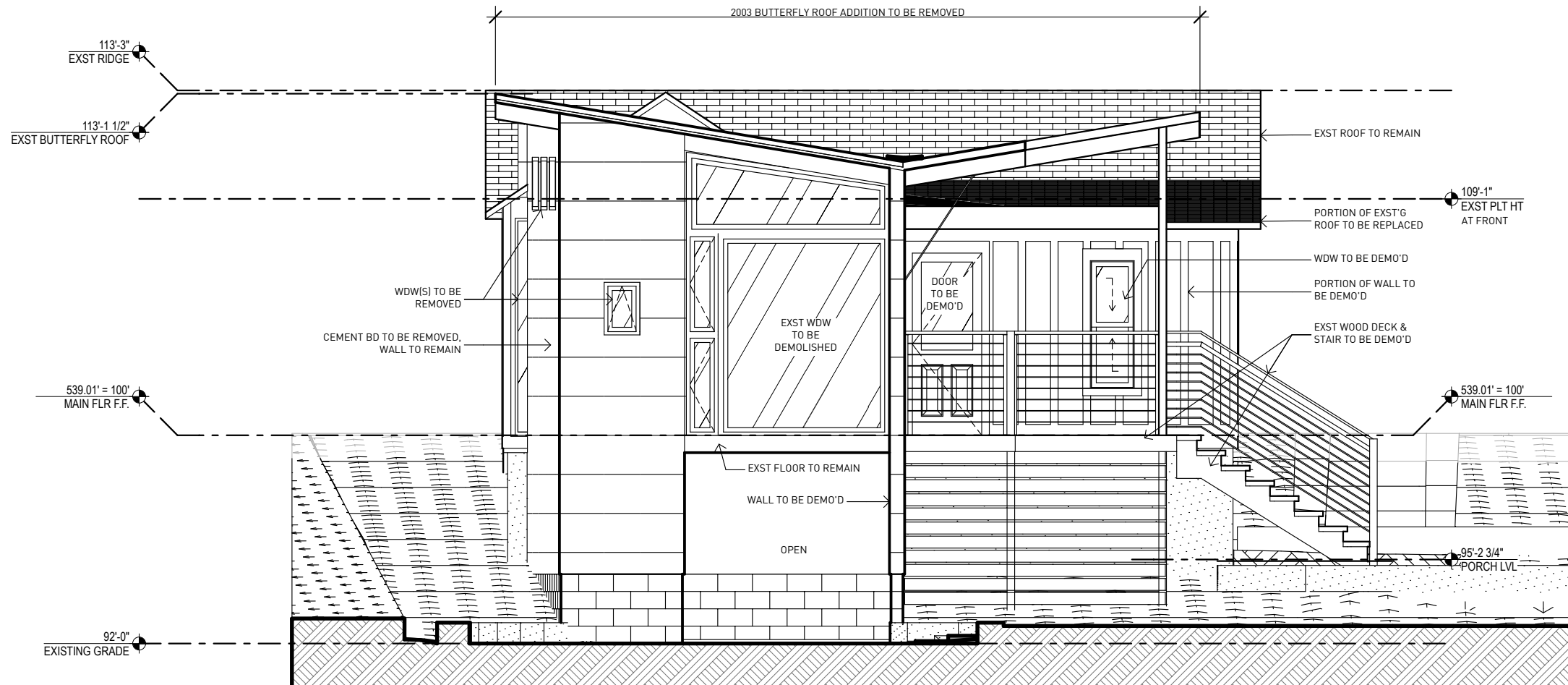
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A05
EXISTING EXTERIOR
ELEVATION

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EXISTING NORTHWEST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

2



EXISTING SOUTHEAST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

1



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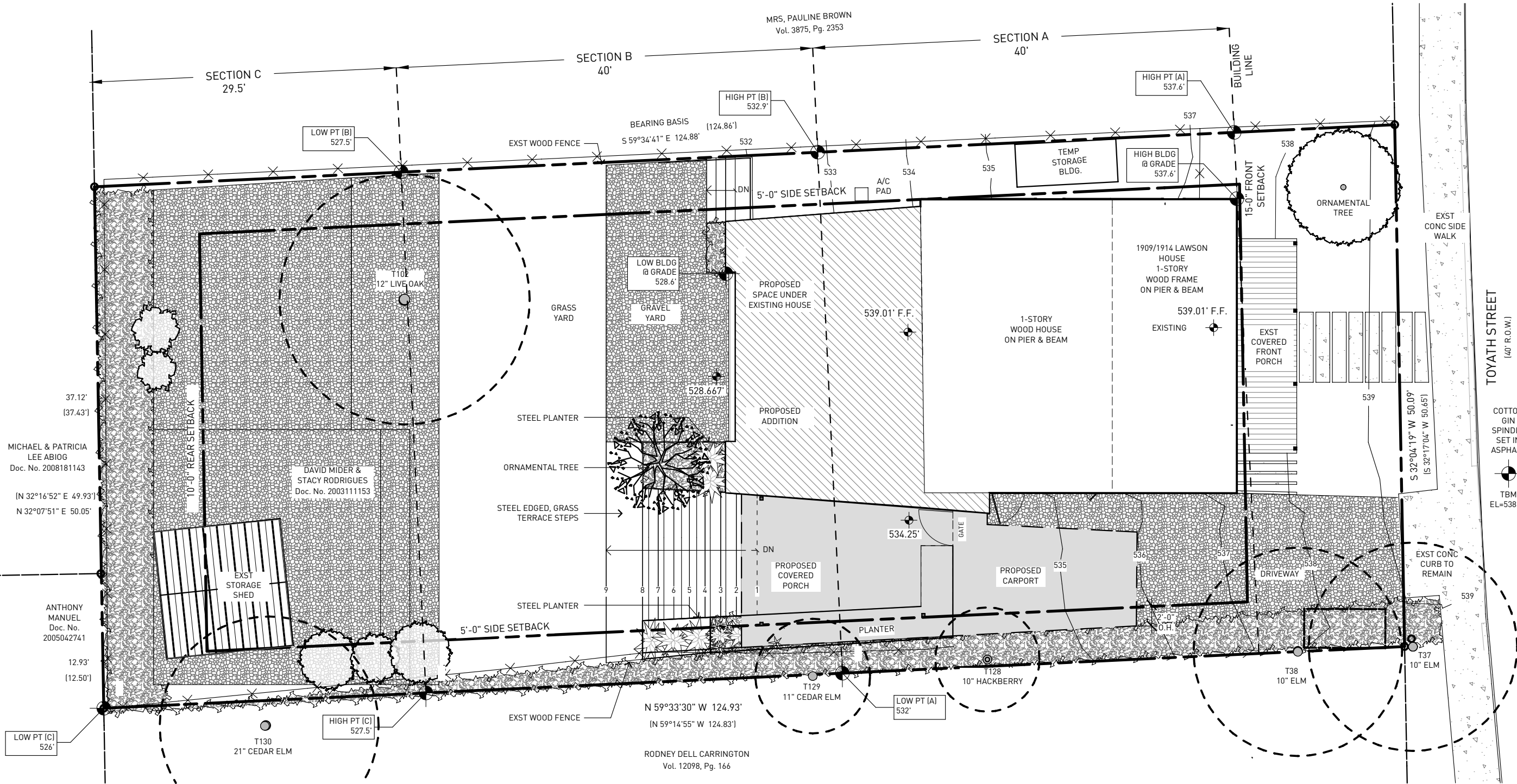
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A06
EXISTING EXTERIOR
ELEVATION

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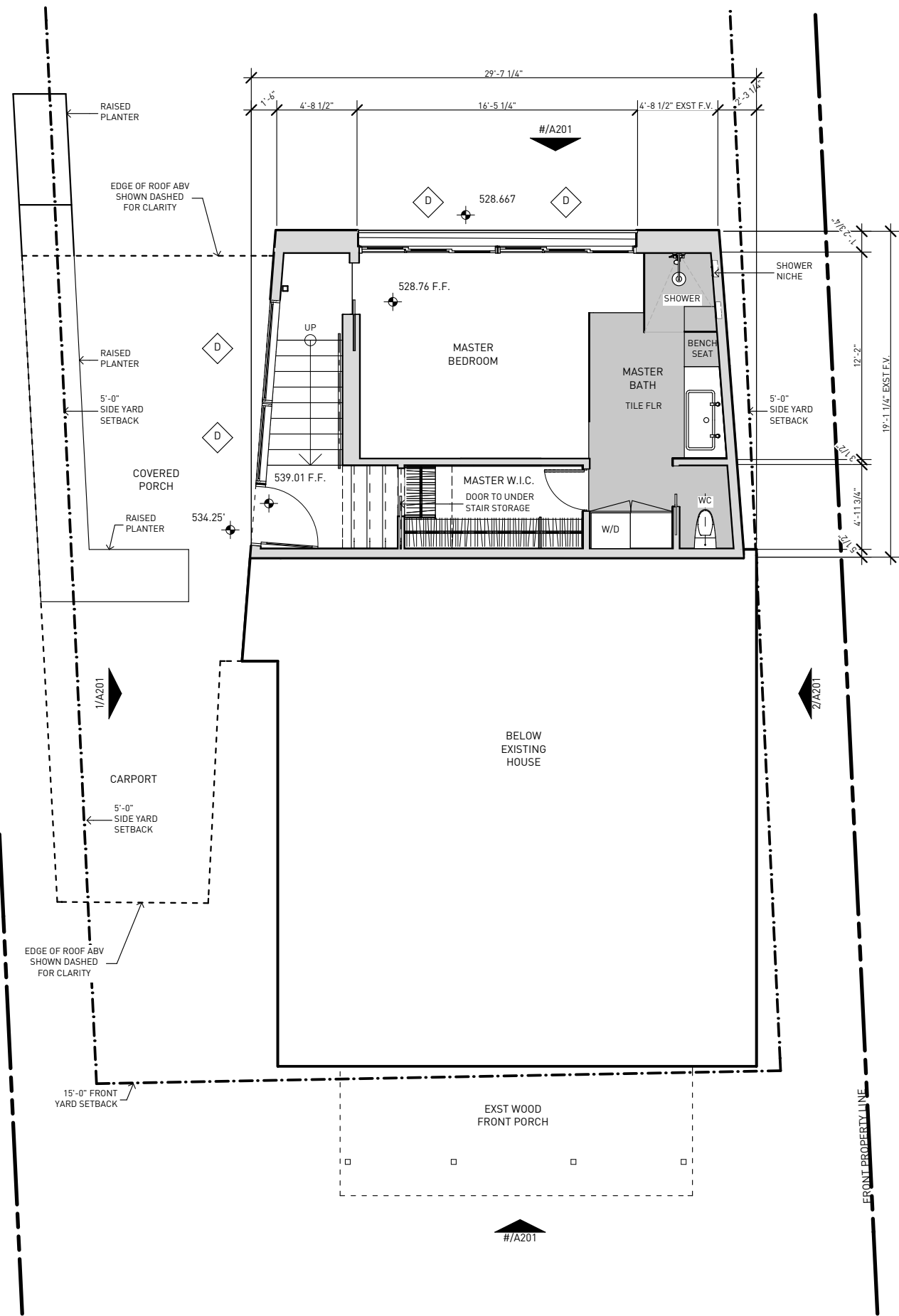
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PROPOSED SITE PLAN
Scale: 1" = 10'



A07
PROPOSED SITE PLAN

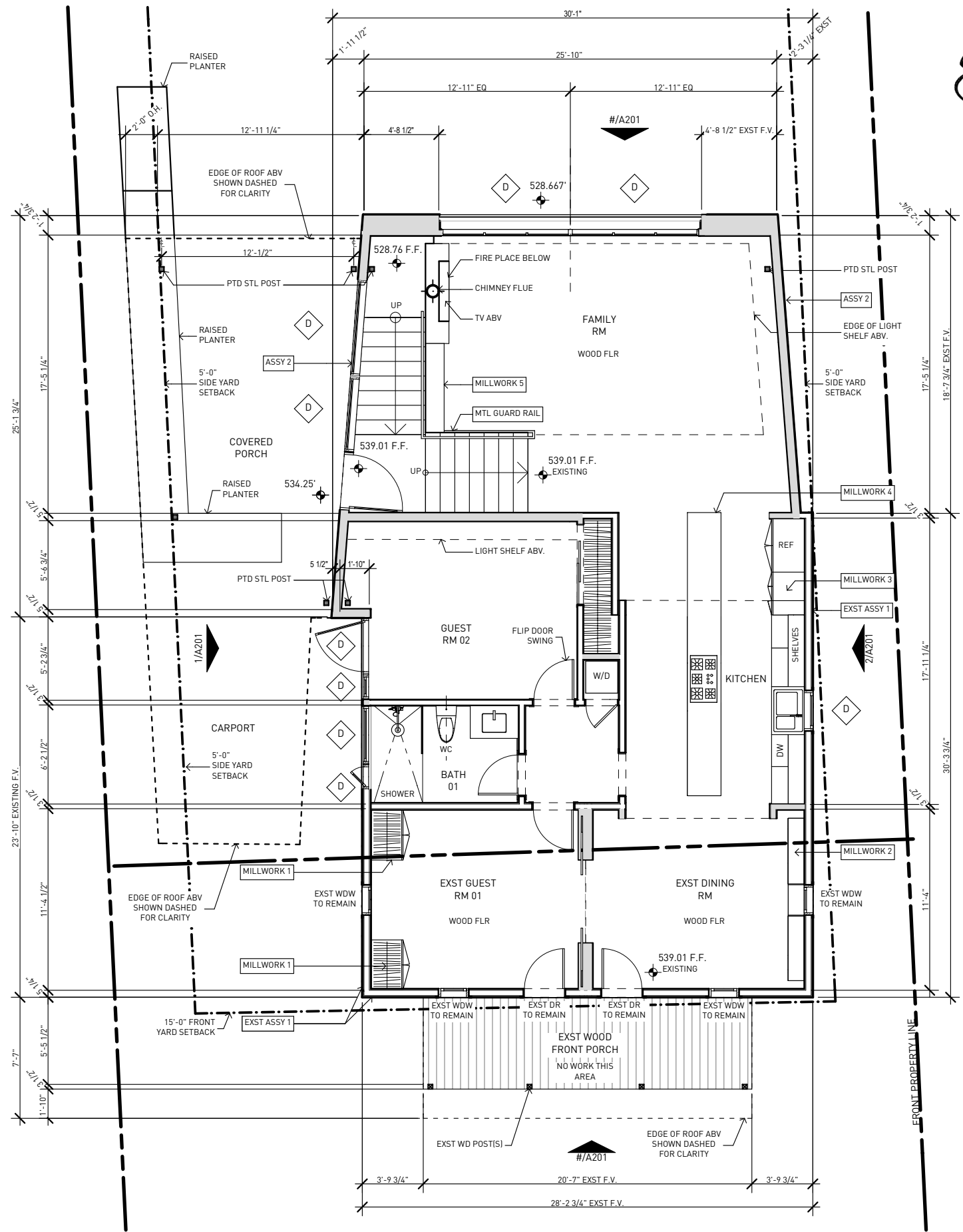
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PROPOSED GROUND FLOOR PLAN

Scale: 1/8" = 1'-0"

2



PROPOSED FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"

1



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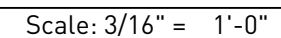
A08

PROPOSED FLOOR PLANS



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**PROPOSED EXTERIOR
ELEVATION**



1



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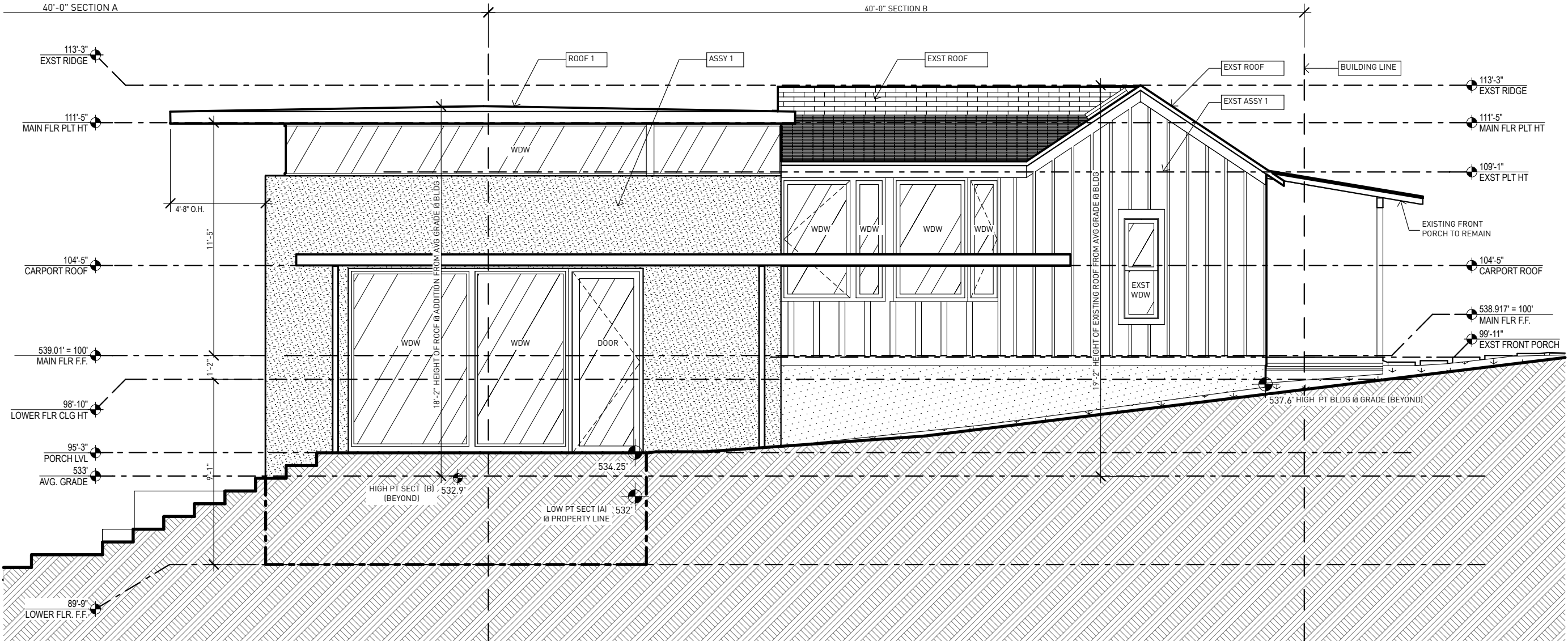
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PROPOSED SOUTHWEST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

1

A10
PROPOSED EXTERIOR
ELEVATIONS



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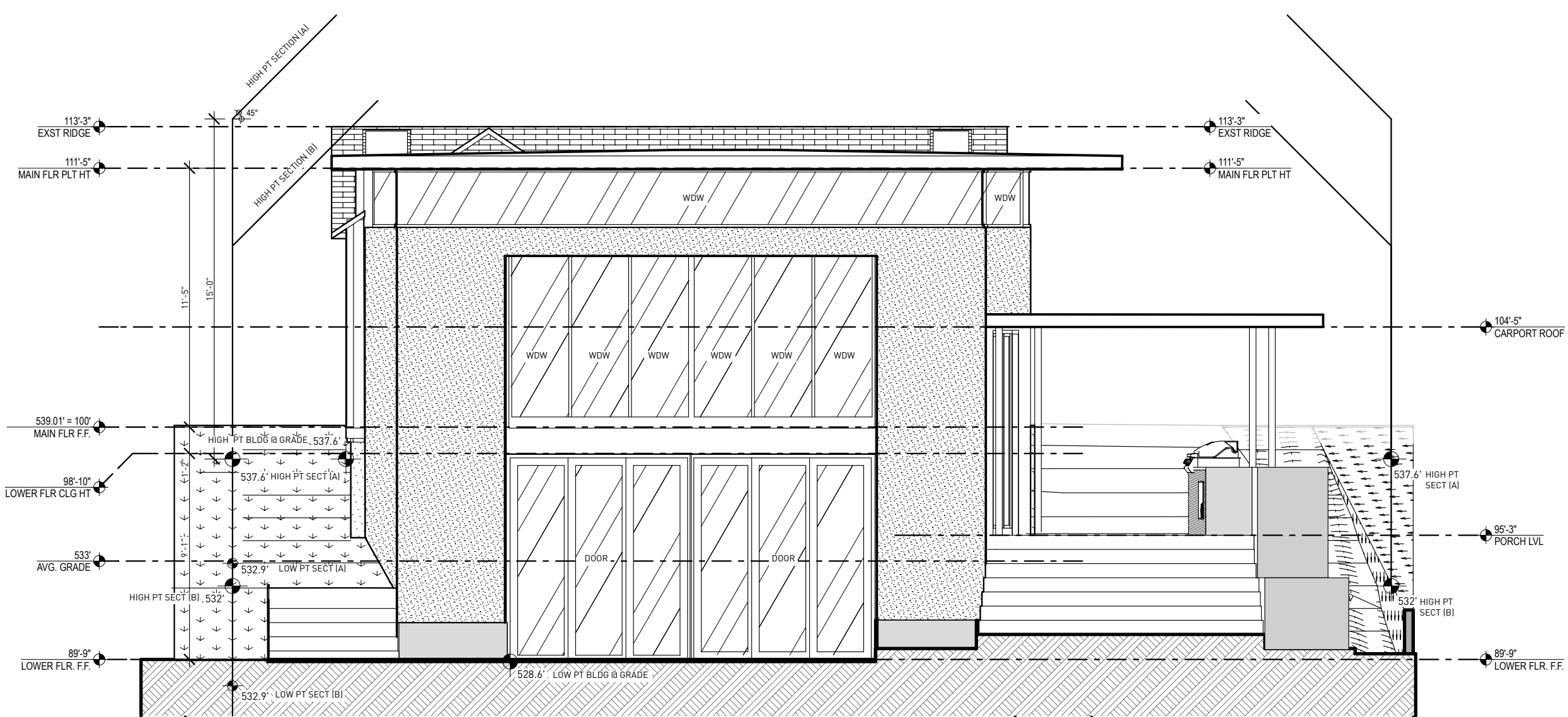
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A11
PROPOSED EXTERIOR
ELEVATION



PROPOSED NORTHWEST EXTERIOR ELEVATION

2

Scale: 3/16" = 1'-0"

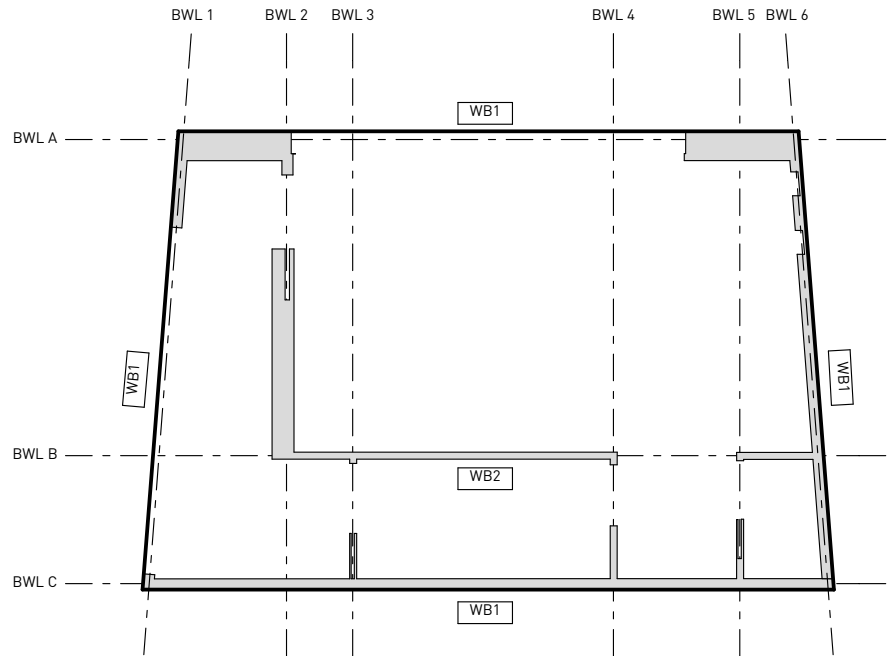


PROPOSED SOUTHEAST EXTERIOR ELEVATION

1

Scale: 3/16" = 1'-0"

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WALL BRACING SCHEDULE

GROUND FLOOR WALL BRACING

Scale: 1/8" = 1'-0"

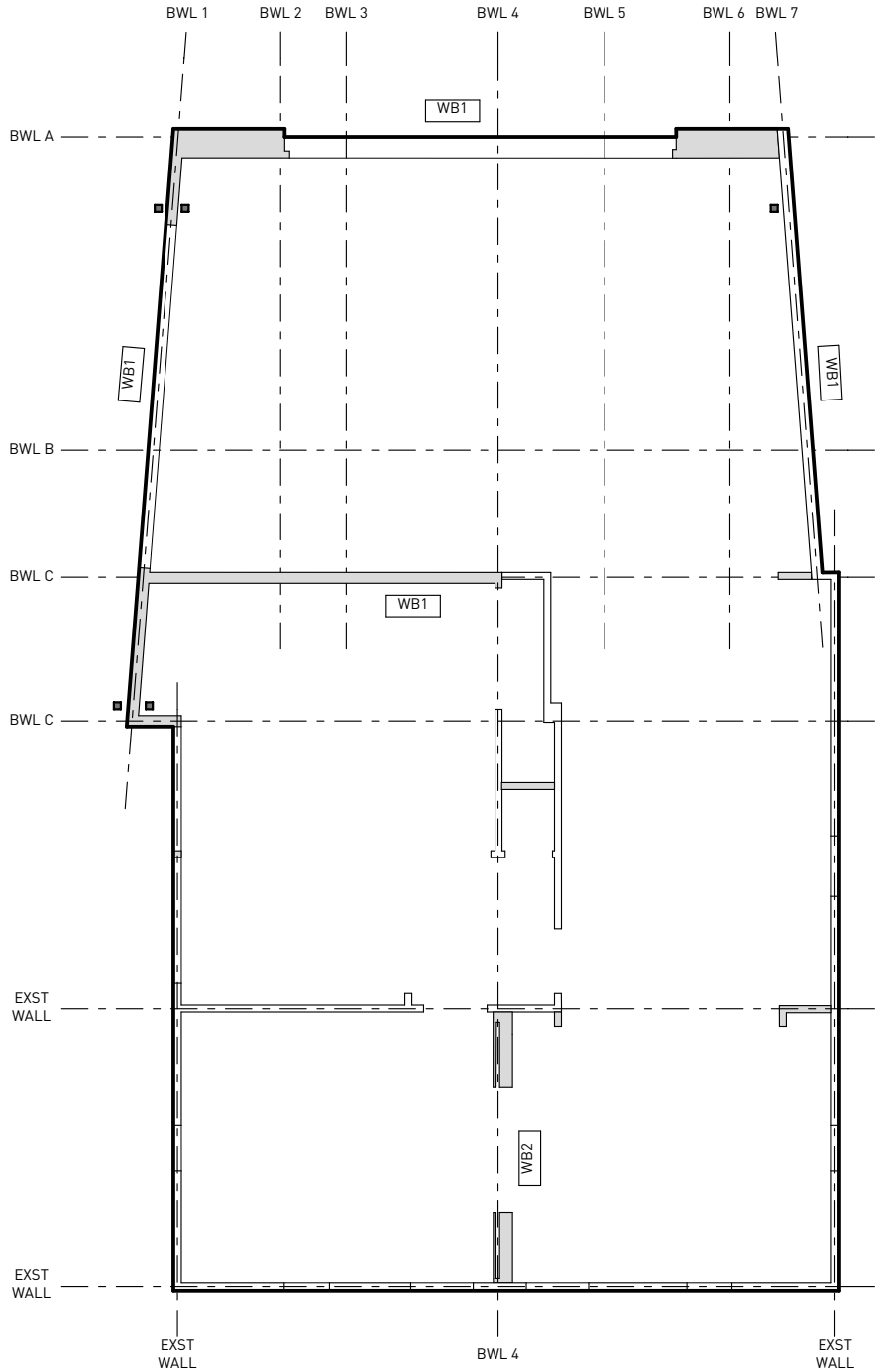
2

WALL BRACING SCHEDULE

PANEL MATERIAL AND NAILING REQUIREMENTS	CHORD SIZE:	HOLD DOWN ANCHORS
1/2" OSB SHEATHING WITH 8d NAILS SP @ 3" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUDS.	NA	SEE FOUNDATION DETAILS
5/8" GYPSUM WALL BOARD PANEL W/ 6d COOLER NAILS SPA. @ 4" O.C. EACH SIDE OF STUD.	NA	SEE FOUNDATION DETAILS

GENERAL NOTES

1. STUD SPACING 16" O.C. MAX
2. BLOCK ALL HORIZONTAL PANEL EDGES WITH 2X BLOCKING.
3. PANELS SHALL BE APPLIED WITH THE LONG DIMENSION PERPENDICULAR TO STUDS.
4. ANCHOR BOLTS 1/2" X 8" A.B. @ 32" O.C. MAX AND EACH END OF WALL BRACE PANEL.
5. USE WALL BRACE SCHEDULE AS APPLICABLE
6. SEE DETAILS FOR RIGID FRAME INFORMATION



1ST FLOOR WALL BRACING PLAN

Scale: 1/8" = 1'-0"

1



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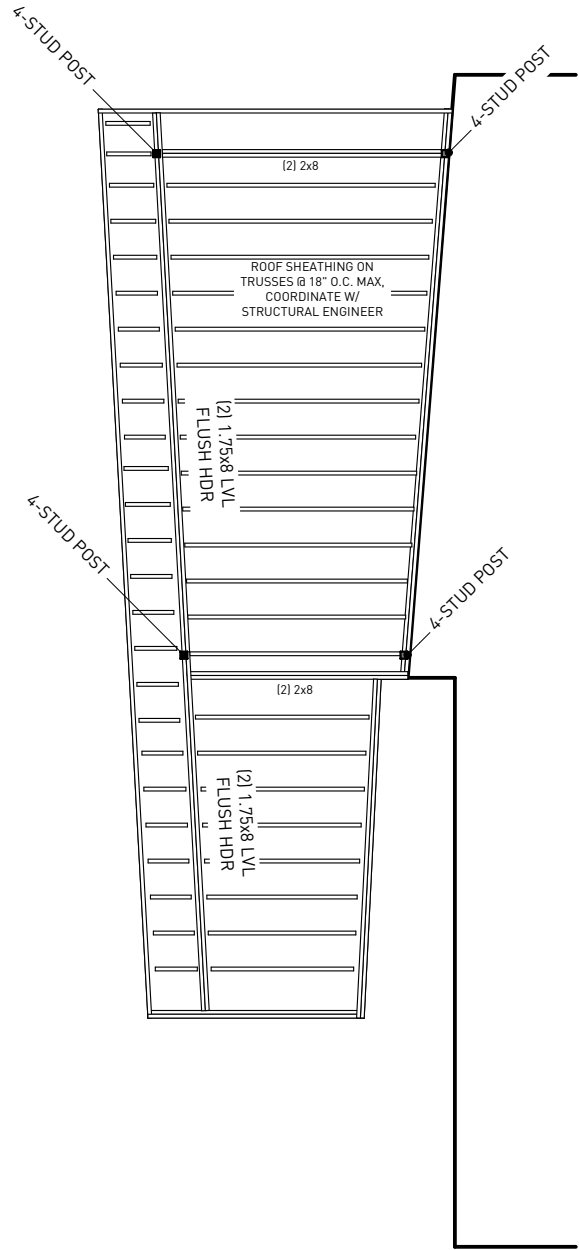
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A13
FRAMING PLAN

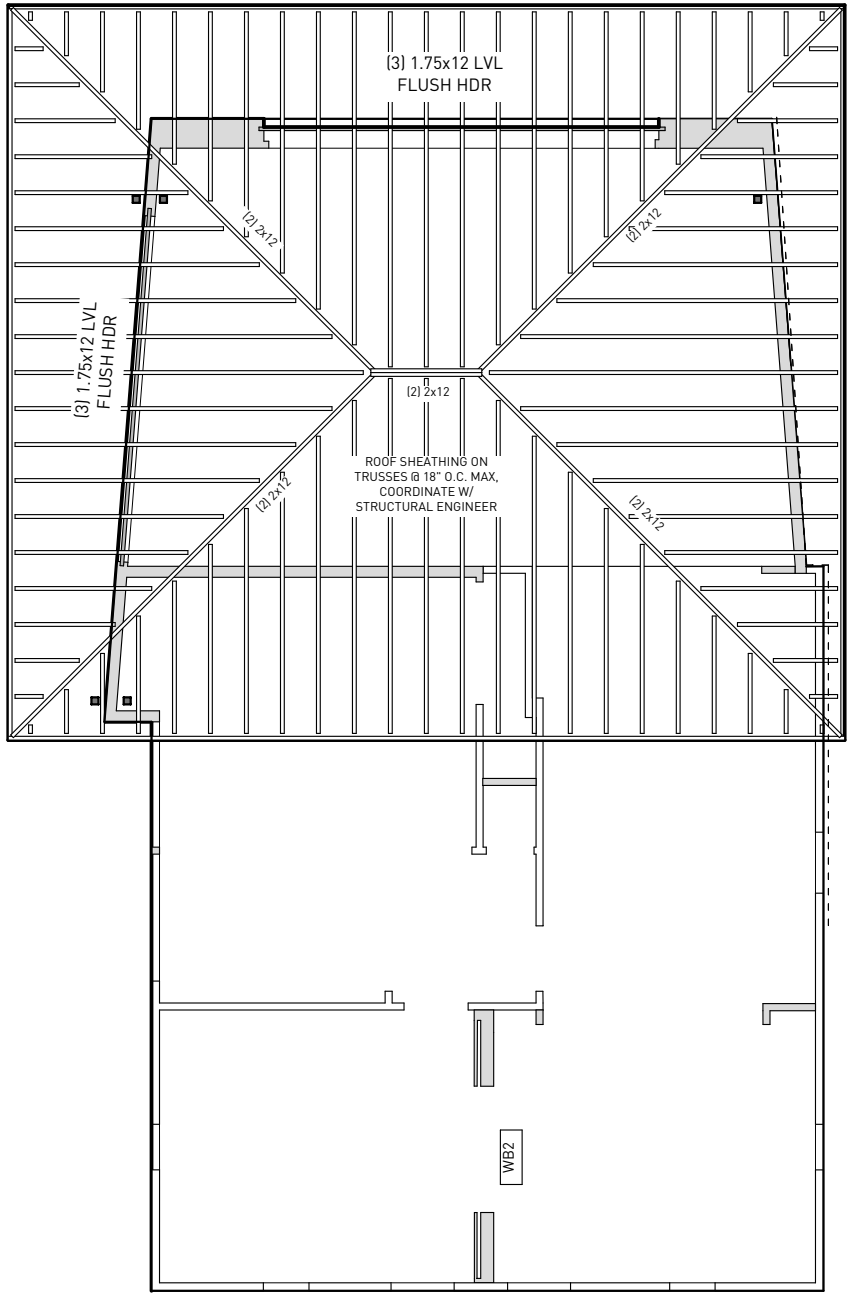
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CARPORT FRAMING PLAN

Scale: 1/8" = 1'-0"

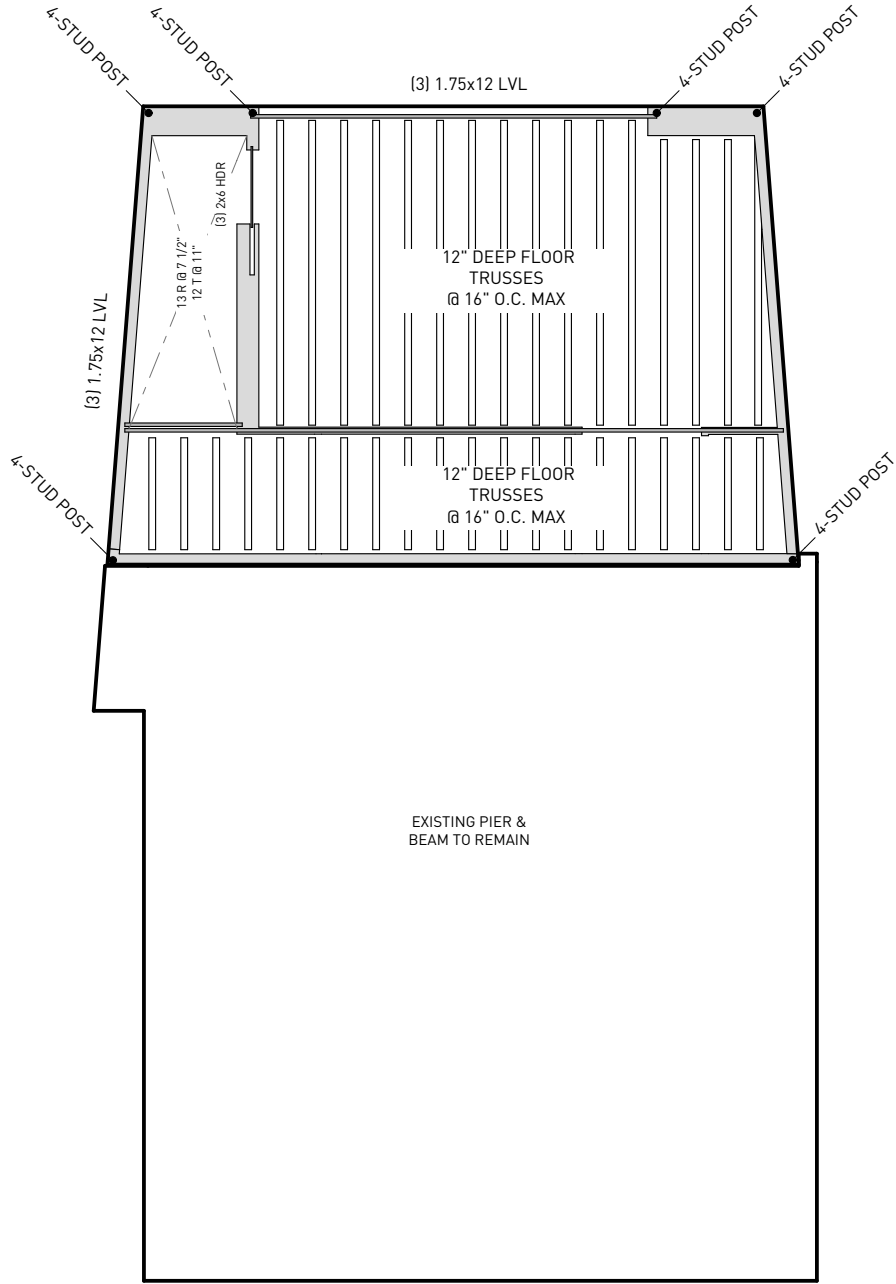
3



ROOF FRAMING PLAN

Scale: 1/8" = 1'-0"

2



FLOOR FRAMING PLAN

Scale: 1/8" = 1'-0"

1



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A14
FRAMING PLAN