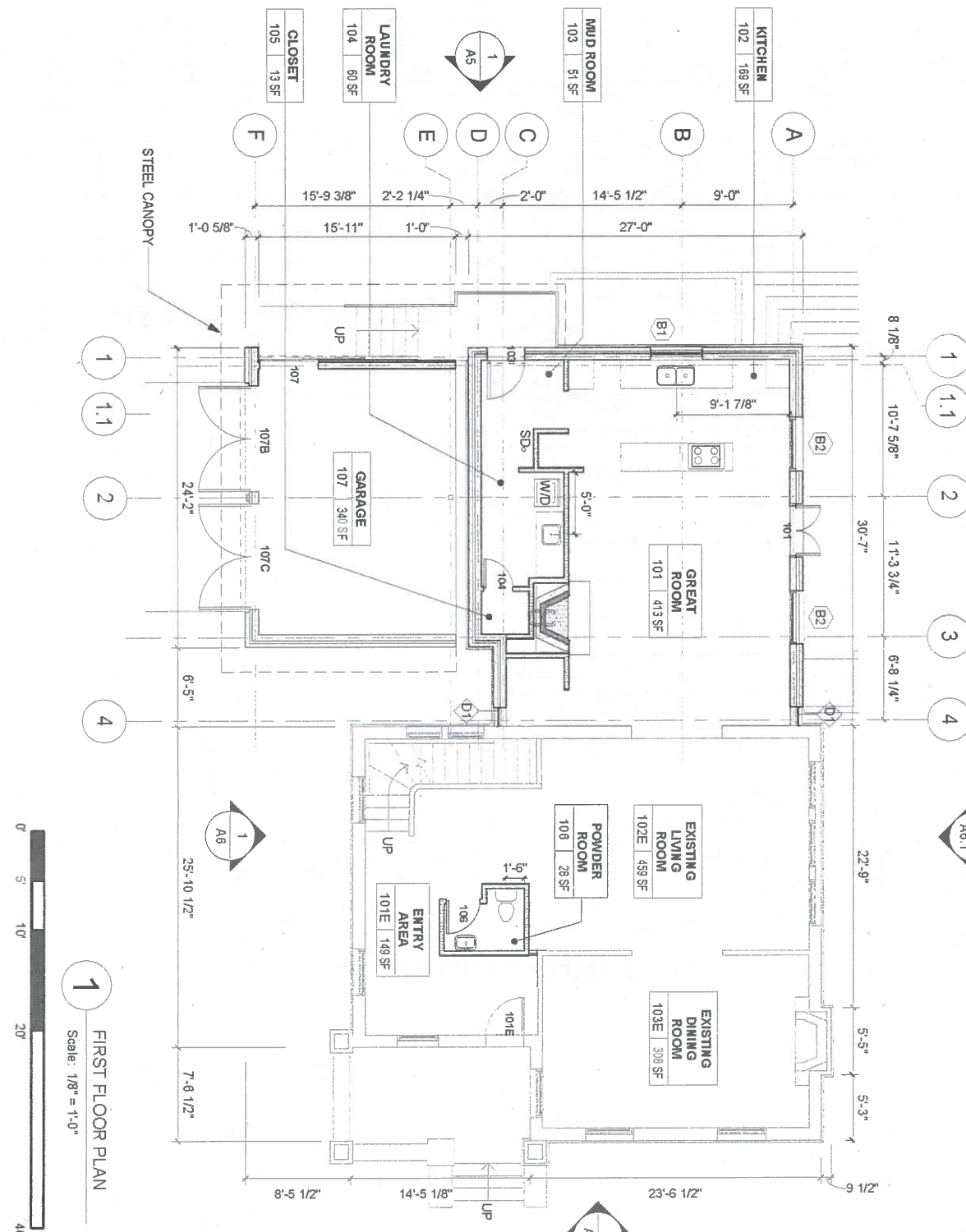


A



WINDOW SCHEDULE			
TYPE MARK	WIDTH	HEIGHT	HEAD HEIGHT
A1	3'-2"	5'-7"	6'-1 1/4"
A2	3'-4"	5'-7"	6'-1 1/4"
B1	4'-2"	4'-7"	7'-7"
B2	4'-4"	6'-1 1/2"	8'-8"
C1	1'-0"	1'-0"	9'-8 3/8"
C2	1'-1"	2'-0"	6'-10 3/4"
D1	1'-6"	17'-7"	17'-7"

DOOR SCHEDULE			
Mark	Height	Width	
101	8'-6"	4'-0"	
101E	7'-6"	3'-1"	
103	7'-0"	3'-0"	
104	6'-9 1/2"	2'-4"	
106	7'-0"	2'-6"	
107	8'-0"	5'-0"	
107B	8'-0"	4'-3"	
107C	8'-0"	4'-3"	
107D	8'-0"	4'-9"	
201E	6'-9 1/2"	2'-4"	
227	8'-0"	4'-3"	
246	8'-0"	4'-3"	
272	8'-8 3/4"	2'-0"	
273	7'-0"	2'-6"	

NOTE:
ALL CEILING HEIGHTS ARE 8'-7 1/4" U.N.O.
SD SMOKE DETECTOR

DATE: 03 JUL 2014

ANDERSSON-WISE

Andersson-Wise Architects
627 Grand St. Suite 500
Austin, Texas 78701
Tel 512-478-2700
Fax 512-478-2701

JARRATT AVENUE

2500 JARRATT AVE., AUSTIN, TEXAS

PERMITTING SUBMITTAL

FIRST FLOOR PLAN

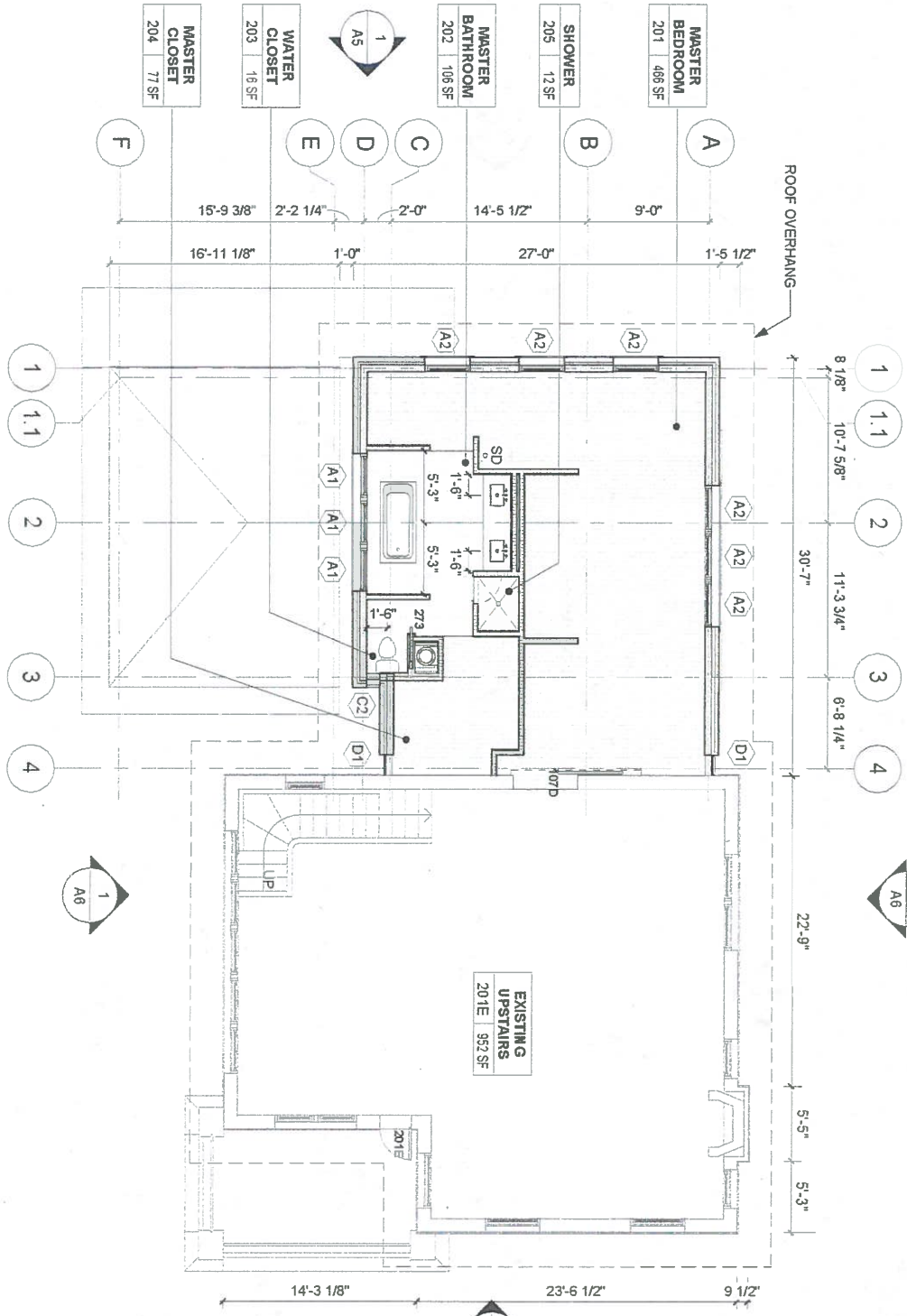
SHEET

A2

NOTE:
ALL CEILING HEIGHTS ARE 8'-7 1/4" U.N.O.
○ SD SMOKE DETECTOR

WINDOW SCHEDULE			
TYPE MARK	WINDOW UNIT SIZE	Head	Height
A1	3'-2"	5'-7"	6'-11"
A2	3'-4"	5'-7"	6'-11"
B1	4'-2"	4'-7"	7'-7"
B2	4'-4"	6'-11 1/2"	8'-8"
C1	1'-0"	1'-0"	9'-6 3/8"
C2	11"	2'-0"	6'-10 3/4"
D1	1'-6"	17'-7"	17'-7"

DOOR SCHEDULE			
Mark	Height	Width	
101	8'-6"	4'-0"	
101E	7'-6"	3'-1"	
103	7'-0"	3'-0"	
104	6'-9 1/2"	2'-4"	
106	7'-0"	2'-8"	
107	8'-0"	5'-0"	
107B	8'-0"	4'-3"	
107C	8'-0"	4'-3"	
107D	8'-0"	4'-3"	
201E	6'-9 1/2"	2'-4"	
227	8'-0"	4'-3"	
246	8'-0"	4'-3"	
272	8'-8 3/4"	2'-0"	
273	7'-0"	2'-6"	



1 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



NOTED FOR PERMITTING
AND CONSTRUCTION
BY THE ARCHITECT
AND ENGINEER
ON 07/15/2014

JARRATT AVENUE
2500 JARRATT AVE., AUSTIN, TEXAS

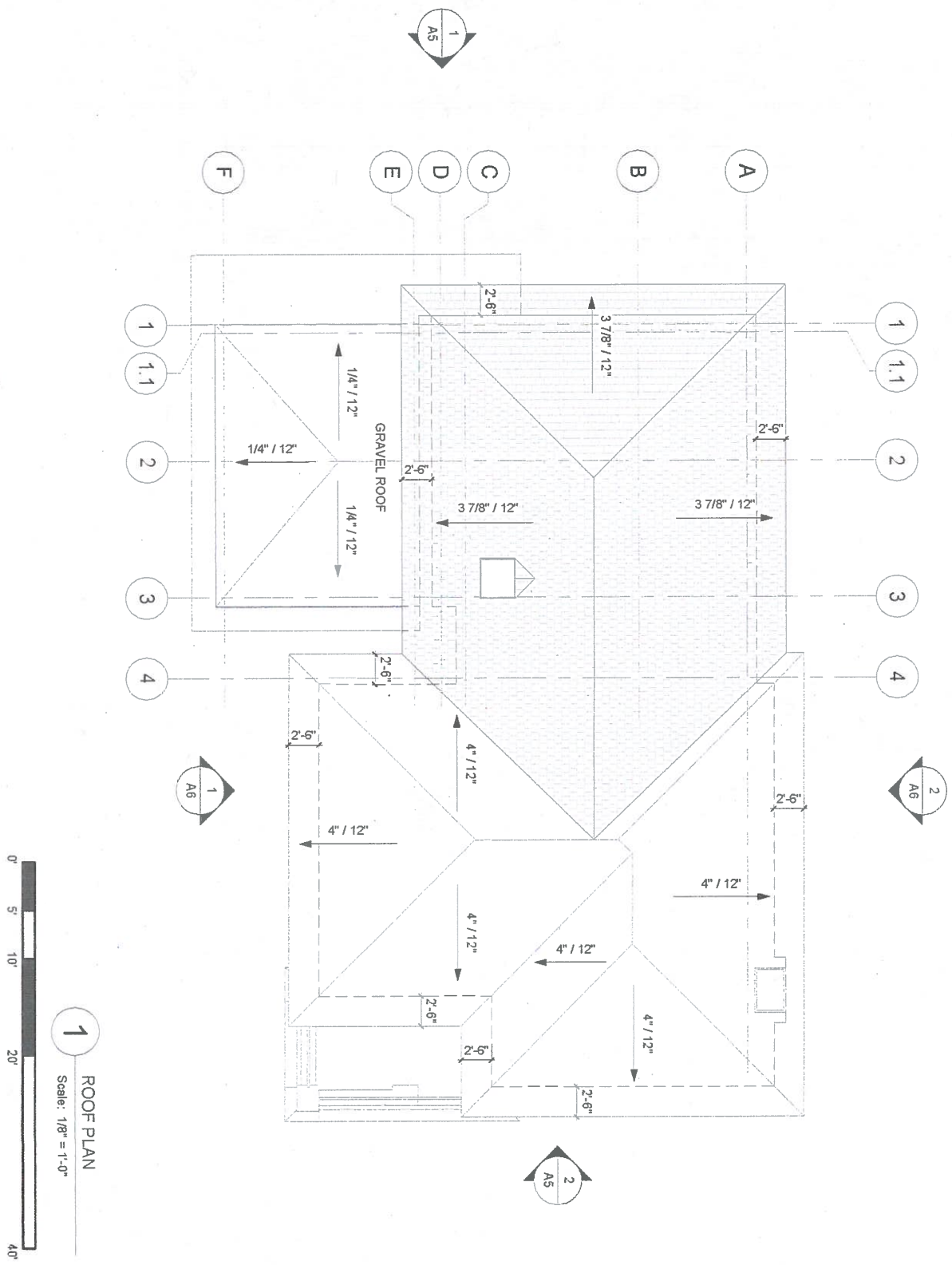
ANDERSSON-WISE
Anderson-Wise Architects
607 Brackley St., Suite 200
Austin, Texas 78701
Tel: 512.478.1515
Fax: 512.478.0509

03 JUL 2014

PERMITTING
SUBMITTAL

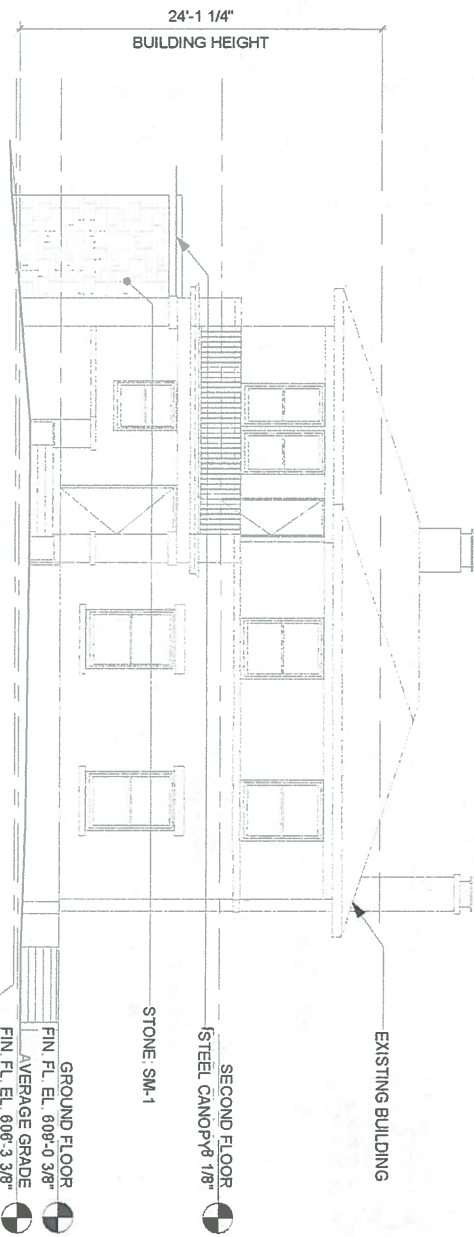
SECOND FLOOR
PLAN

A3

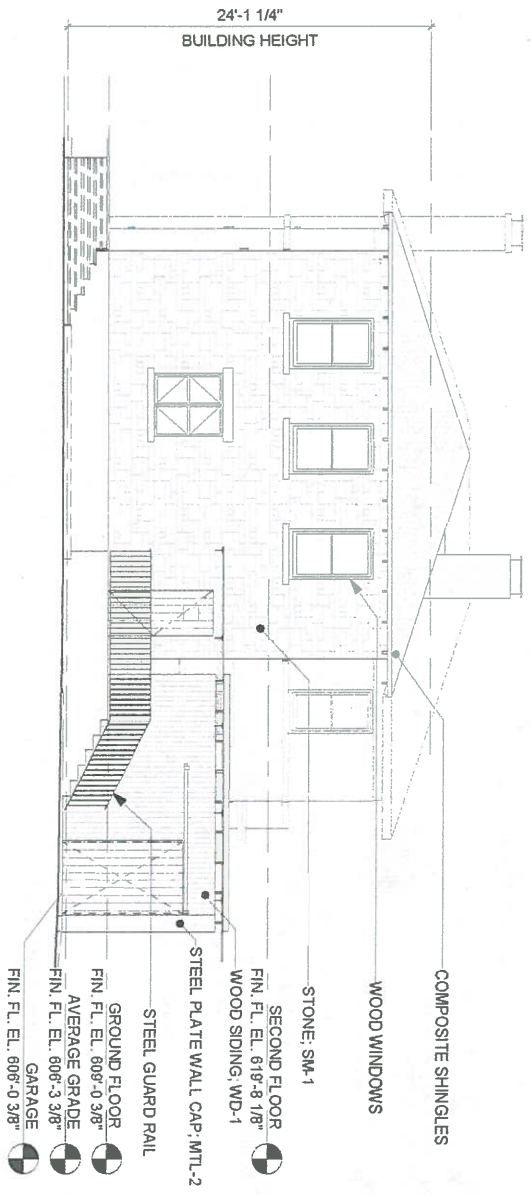


1 ROOF PLAN
Scale: 1/8" = 1'-0"

	JARRATT AVENUE 2500 JARRATT AVE., AUSTIN, TEXAS	ANDERSSON-WISE Anderson-Wise Architects 607 BRUNNEN ST. Suite 200 Austin, Texas 78701 Tel: 512-478-5755 Fax: 512-478-0829	Date: 03 JUL 2014
	SHEET: A4	ROOF PLAN	PERMITTING SUBMITTAL



2
EAST ELEVATION
Scale: 1/8" = 1'-0"



1
WEST ELEVATION
Scale: 1/8" = 1'-0"



THIS SEAL IS THE PROPERTY OF THE STATE OF TEXAS. IT IS TO BE USED ONLY BY THE LICENSEE WHOSE NAME IS HEREON SET FORTH. IT IS TO BE KEPT IN GOOD CONDITION AND IS NOT TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER MISUSED. IF THIS SEAL IS FOUND TO BE MISSING, DAMAGED, OR ILLEGITIMATE, THE LICENSEE SHALL BE REQUIRED TO OBTAIN A NEW SEAL AT HIS OWN EXPENSE.

JARRATT AVENUE

2500 JARRATT AVE., AUSTIN, TEXAS

ANDERSSON-WISE
Andersson Wise Architects
407 W. 11th St., Suite 500
Austin, Texas 78701
Tel: 512-478-8722
Fax: 512-478-0823

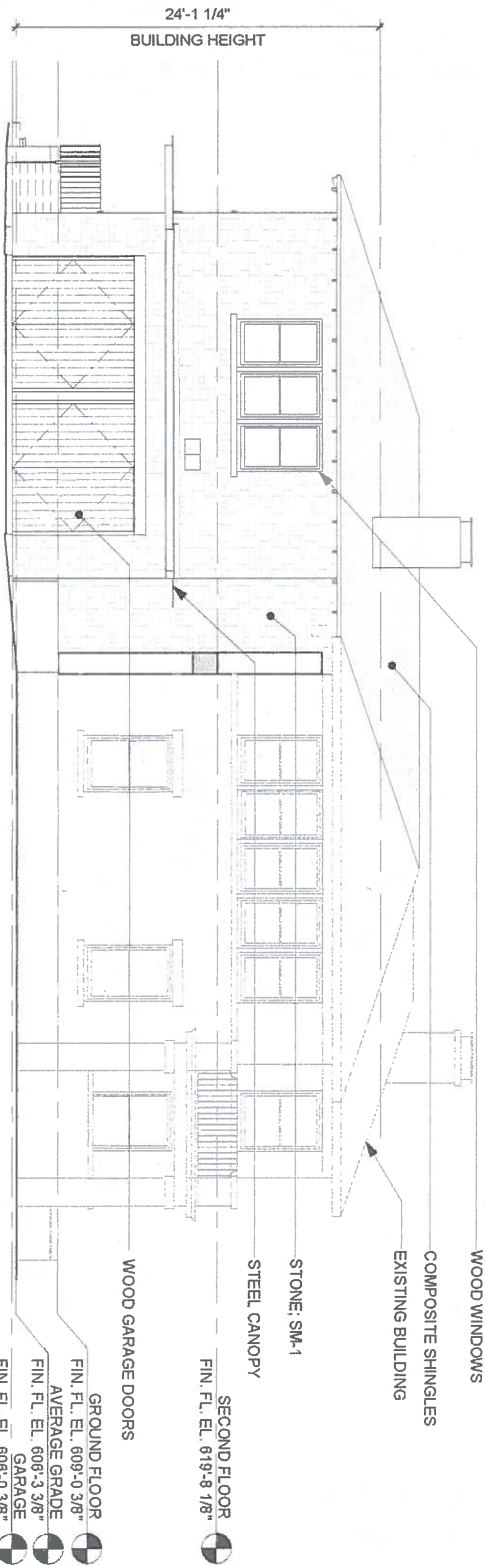
Date: 03 JUL 2014

PERMITTING
SUBMITTAL

EXTERIOR
ELEVATIONS

SHEET:

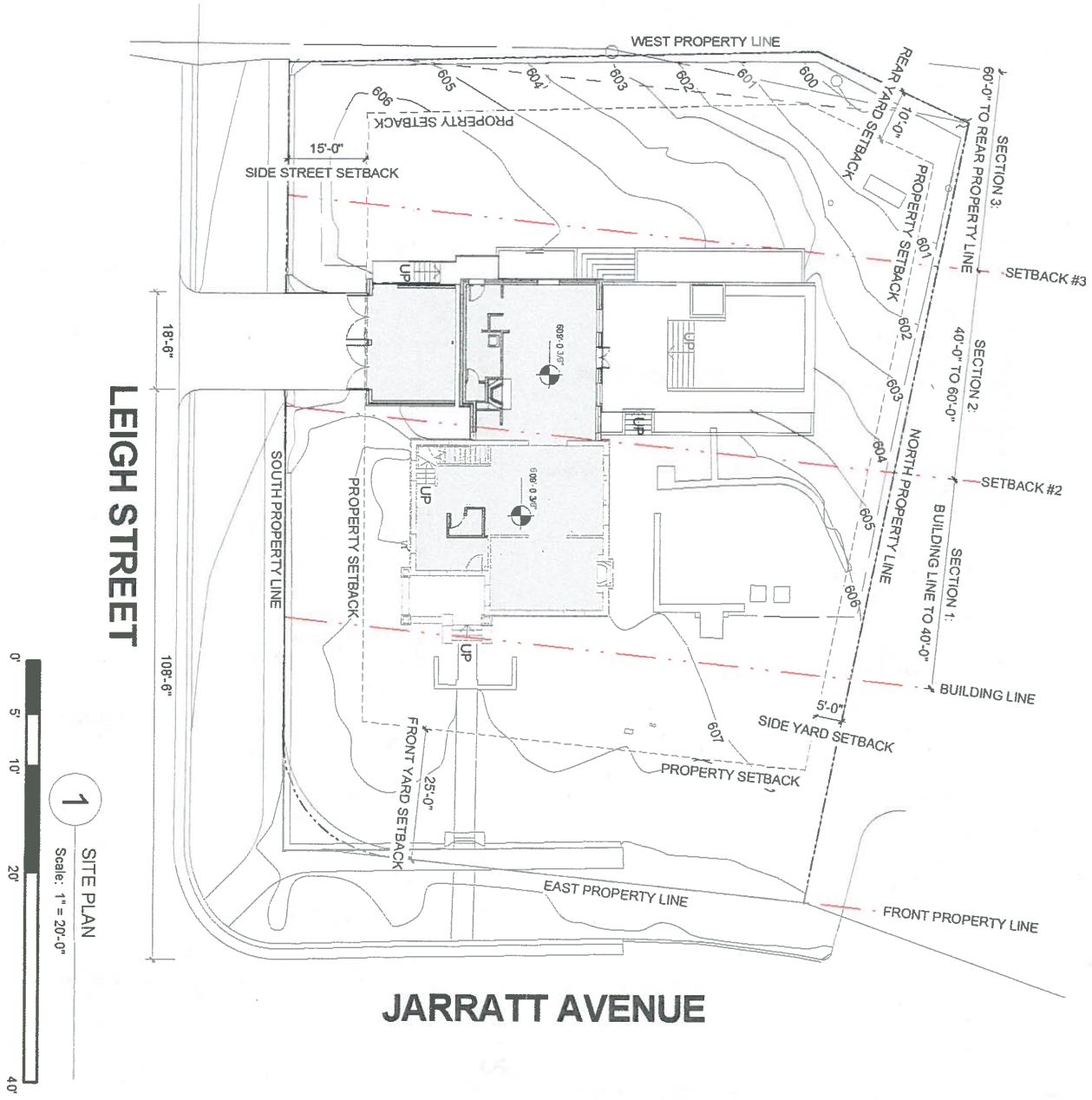
A5



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION
Scale: 1/8" = 1'-0"



LEIGH STREET

JARRATT AVENUE

1 SITE PLAN
Scale: 1" = 20'-0"

LEGAL DESCRIPTION:

LOT 1 BLK 7 PEMBERTON HEIGHTS SEC 6 ABS 687 SUR 7
SPEAR G W 35 X 150.19 FT

BUILDING COVERAGE (GROSS AREA)

	AREA	% OF LOT
a.1) 1ST FLOOR CONDITIONED AREA - (E)	1160 SF	6.53
a.2) 1ST FLOOR CONDITIONED AREA - (N)	813 SF	4.58
a) FIRST FLOOR	1973 SF	11.11
b.1) 2ND FLOOR CONDITIONED AREA - (E)	1160 SF	6.53
b.2) 2ND FLOOR CONDITIONED AREA - (N)	813 SF	4.58
b) SECOND FLOOR	1973 SF	11.11
c) COVERED PARKING GARAGE	392 SF	2.21
f) COVERED PATIO, DECK OR PORCH	125 SF	0.70
g) BALCONY	125 SF	0.70
h) OTHER (ROOF OVERHANGS & CANOPIES)	742 SF	4.17
TOTAL BUILDING COVERAGE	3,367 SF	18.89%

Maximum allowable building coverage is 35%

IMPERVIOUS COVER

	AREA	% OF LOT
a-h) TOTAL BUILDING AREA COVERAGE	3238 SF	18.23
i) DRIVEWAY	231 SF	1.30
j) SIDEWALKS	180 SF	0.90
k) UNCOVERED WOOD DECK	487 SF	2.60
l) EXTERIOR STAIRS	95 SF	0.54
m) AC CONDENSER PADS	18 SF	0.10
n) SITE WALLS	421 SF	2.37
o) POOL	238	
TOTAL IMPERVIOUS COVER	6082 SF	28.61%

Maximum allowable impervious cover is 40%

GROSS AREA

GROSS FLOOR AREA (1ST FLOOR, GARAGE, & 2ND FLOOR)
FLOOR AREA: 17769 SF
FLOOR AREA RATIO: 0.244

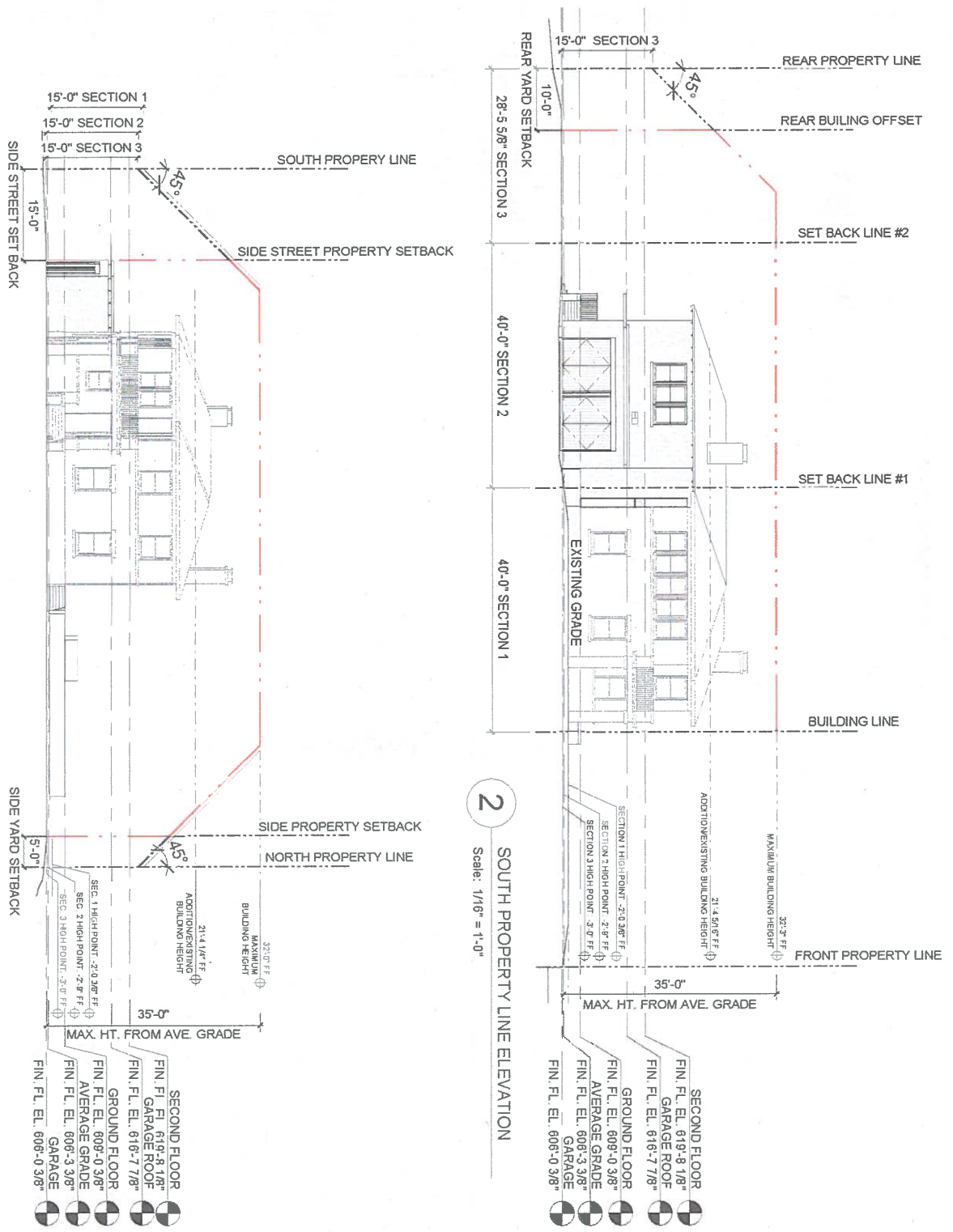


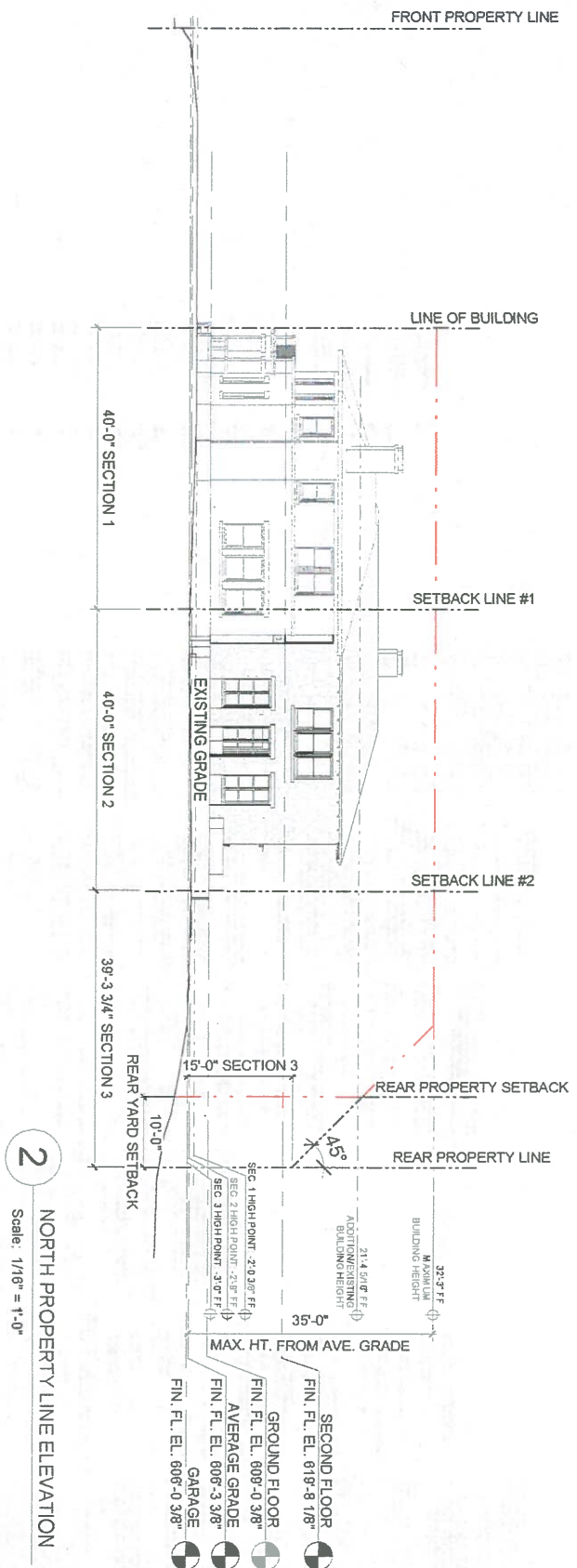
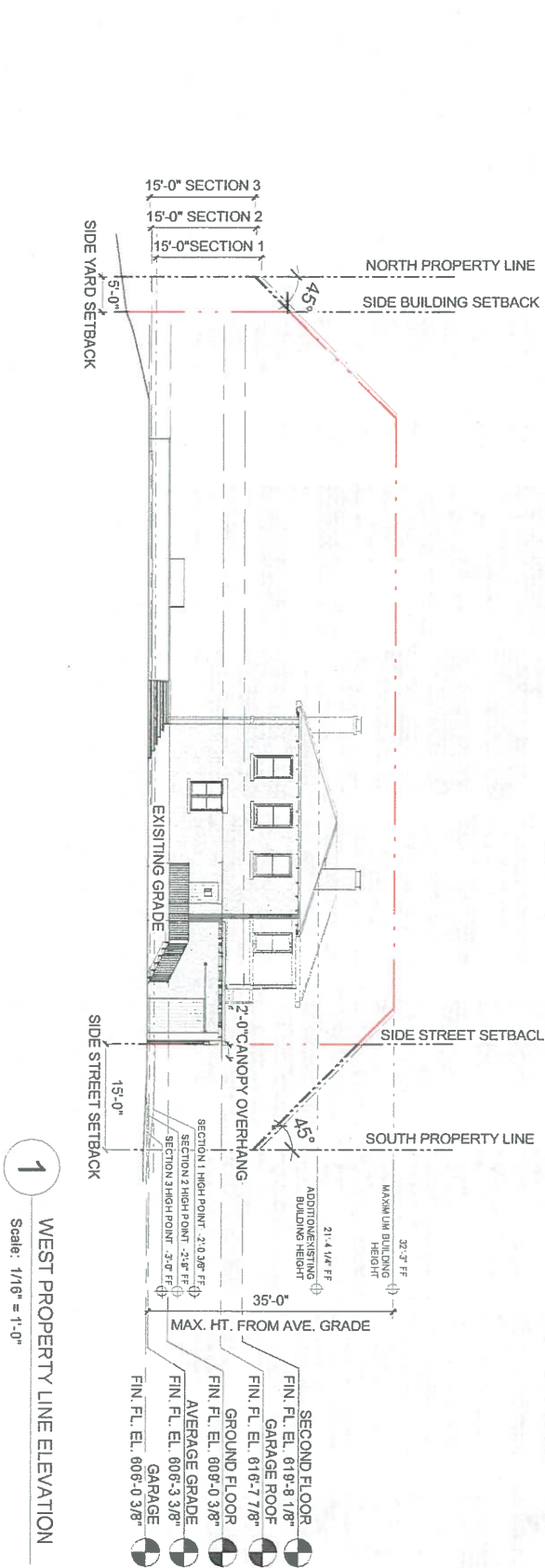
ANDERSSON-WISE
ARCHITECTS
1100 BRASSER ST., SUITE 600
AUSTIN, TEXAS 78701
PH 512-478-0700
FAX 512-478-0200

JARRATT AVENUE
2500 JARRATT AVE., AUSTIN, TEXAS

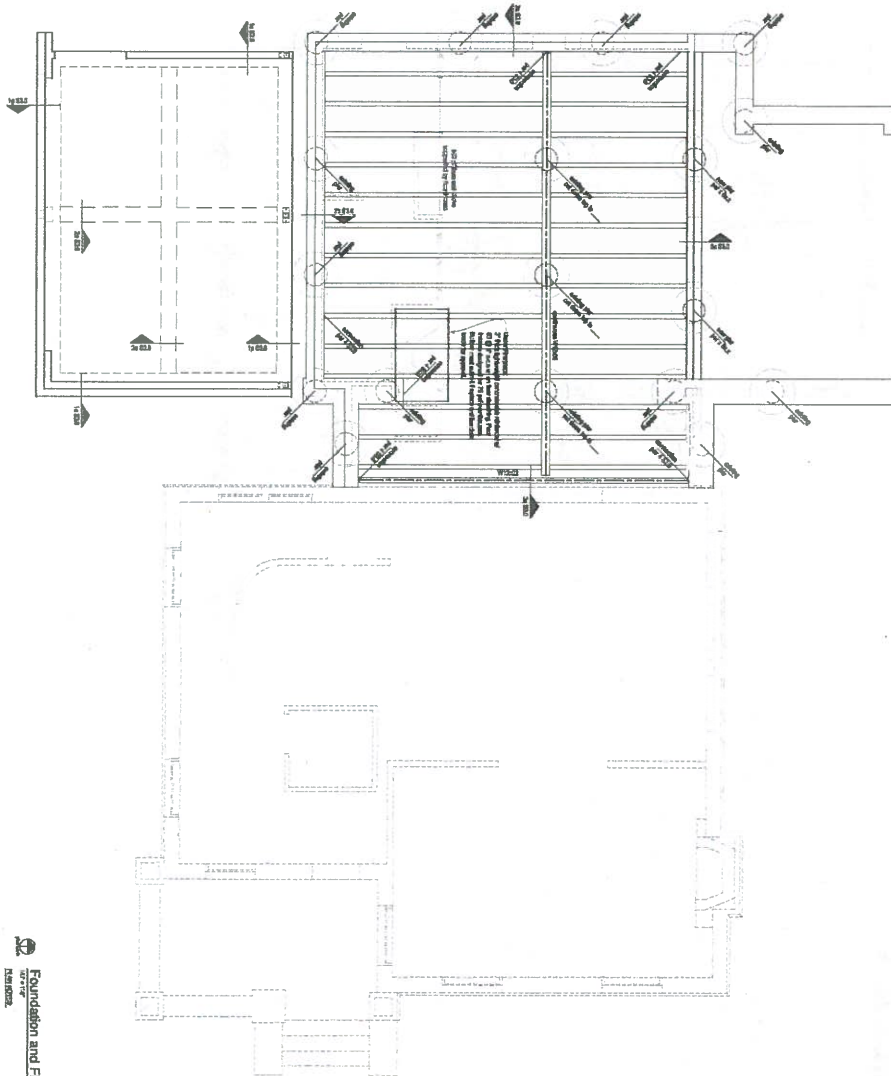
DATE: 03 JUL 2014

SUBCHAPTER F
SITE PLAN
F1





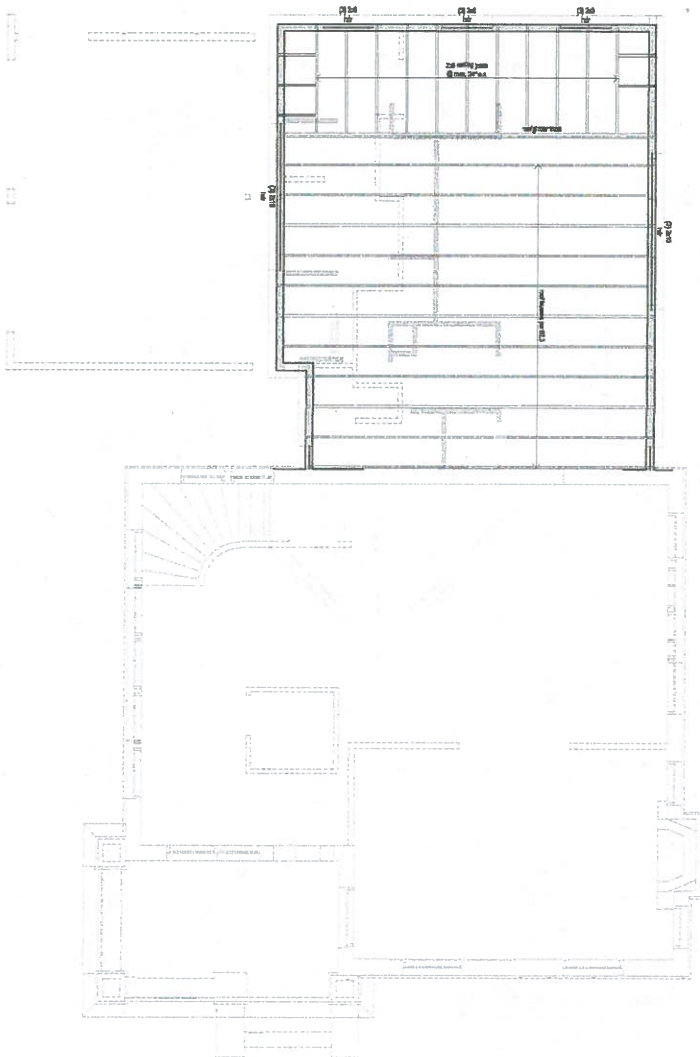
[illegible]



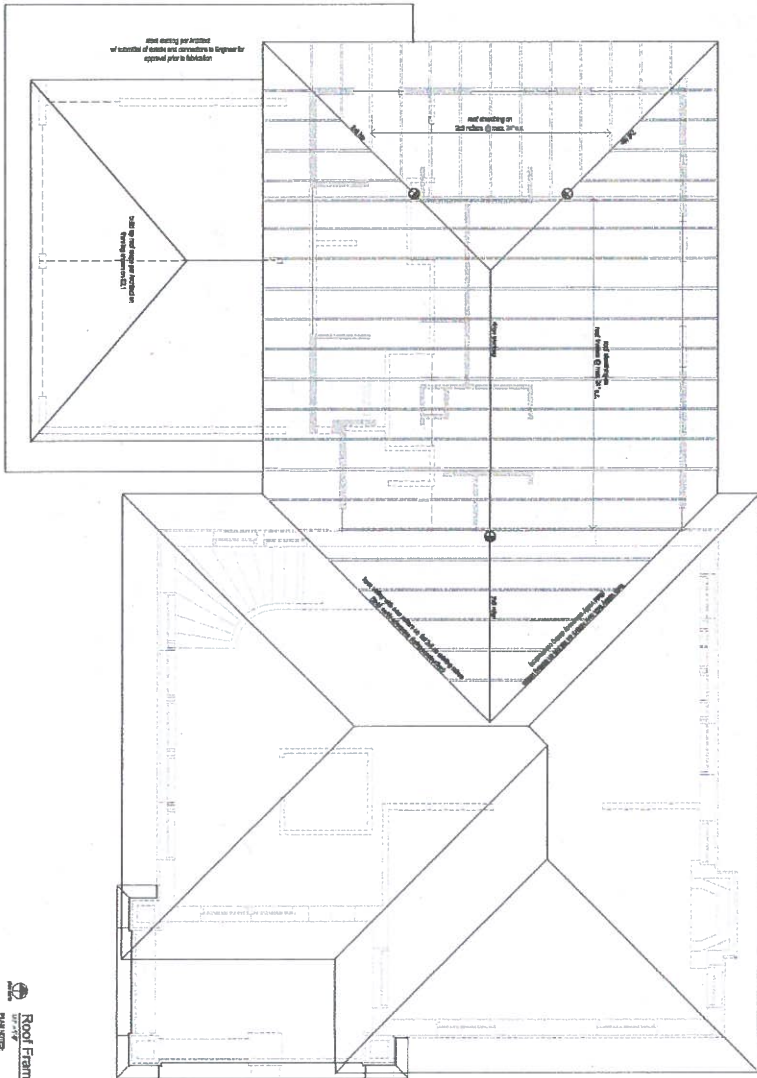
Foundation and Floor Structure Plan

DATE: 12/15/2023
DRAWN BY: J. B. BROWN





Upper Ceiling Framing Plan



Roof Framing Plan
DE
 2500 Jarrett Avenue
 Austin, Texas
 78746

