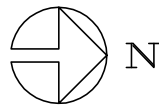


NOTE:
WALLS ARE SHOWN 5" TO
DRYWALL, NOT FRAMING.
PLAN WAS FIELD MEASURED.
FIELD VERIFY BEFORE
CONSTRUCTION.

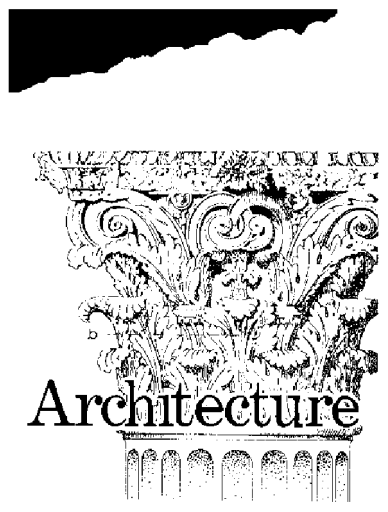
BASEMENT	908 S.F.
1st FLOOR NET HEATED & COOLED-	2,032 S.F.
2nd FLOOR NET HEATED & COOLED-	2,032 S.F.
HOBBY / GAME ROOM	1,045 S.F.
TOTAL NET HEATED & COOLED-	6,017 S.F.
FRONT ENTRY PORCH	138 S.F.
1st FLOOR DECK	434 S.F.
ROOF DECK	233 S.F.
GARAGE	460 S.F.
GARAGE APARTMENT	460 S.F.
GARAGE LOFT (APPROXIMATE)	98 S.F.

NOTE:
S.F. CALCS ARE TO OUTSIDE OF MASONRY WALLS.



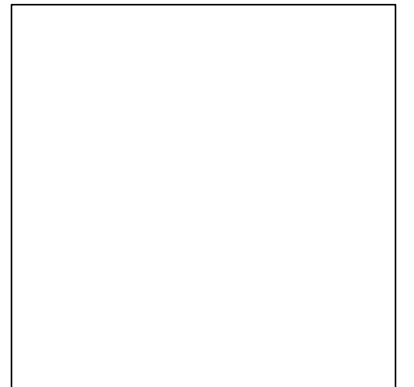
SCHEME 'B' - BASEMENT FLOOR PLAN

SCALE:
1/4"=1'-0"



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ARCHITECT:
WILLIAM HABLINSKI
ARCHITECTURE, INC.
AUSTIN OFFICE
2905 WESTLAKE COVE
AUSTIN, TX 78746
TEL: (310) 600-6940



W. M. HABLINSKI, AIA DATE

PROJECT TITLE AND ADDRESS:

804
BAYLOR STREET
AUSTIN, TEXAS

NOTES:

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ARCHITECT AND SUBJECT TO
REPLACEMENT AT THE EXPENSE OF THE
GENERAL CONTRACTOR.

REVISION DATE:

6/16/15

SHEET NAME AND SCALE: AS NOTED

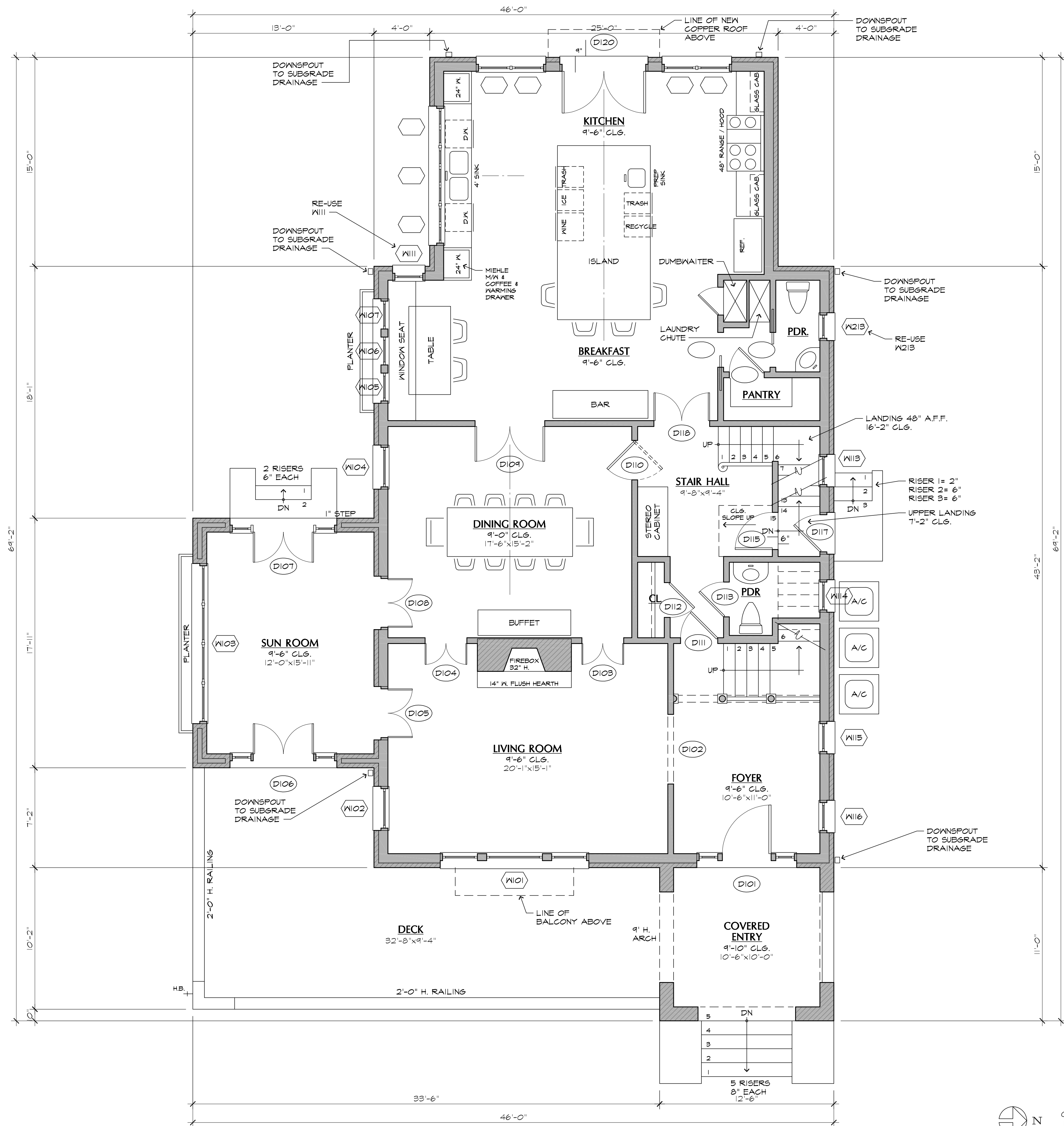
SCHEME 'B'
BASEMENT
FLOOR PLAN

DRAWING DATA:

PROJECT NO: CHECKED:

ISSUE DATE: DRAWN BY:

SHEET NUMBER:



BASMENT	908 S.F.
1st FLOOR NET HEATED & COOLED-	2,032 S.F.
2nd FLOOR NET HEATED & COOLED-	2,032 S.F.
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TOTAL NET HEATED & COOLED-	6,017 S.F.
FRONT ENTRY PORCH	138 S.F.
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ROOF DECK	233 S.F.
GARAGE	460 S.F.
GARAGE APARTMENT	460 S.F.
GARAGE LOFT (APPROXIMATE)	98 S.F.

NOTE:
S.F. CALC. ARE TO OUTSIDE OF MASONRY WALLS.

0 5' 10' 20'

SCALE:
1/4"=1'-0"

1

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REVISION DATE:

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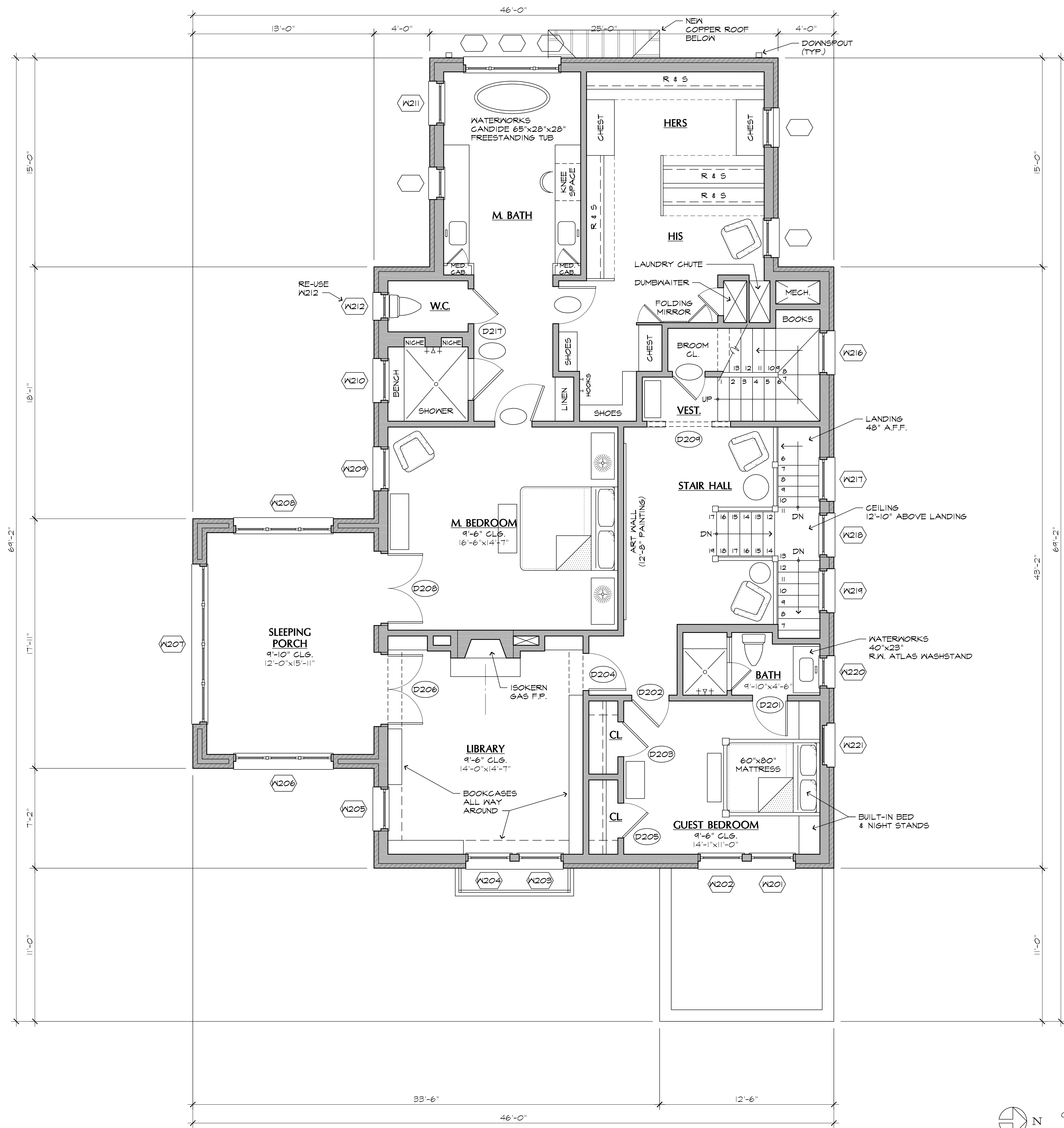
SCHEME 'A'
FIRST FLOOR PLAN

DRAWING DATA:

PROJECT NO: CHECKED:

ISSUE DATE: DRAWN BY:

SHEET NUMBER:



NOTE:
WALLS ARE SHOWN 5" TO
DRYWALL, NOT FRAMING.
PLAN WAS FIELD MEASURED.
FIELD VERIFY BEFORE
CONSTRUCTION.

BASMENT	908 S.F.
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GARAGE LOFT (APPROXIMATE)	98 S.F.

NOTE:
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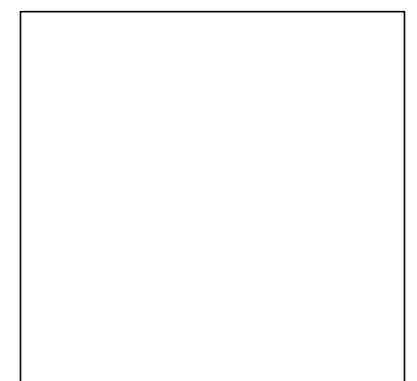


SCHEME 'A' - SECOND FLOOR PLAN

SCALE:
1/4"=1'-0"

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W. M. HABLINSKI, AIA DATE

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REVISION DATE:

6/16/15

SHEET NAME AND SCALE: AS NOTED

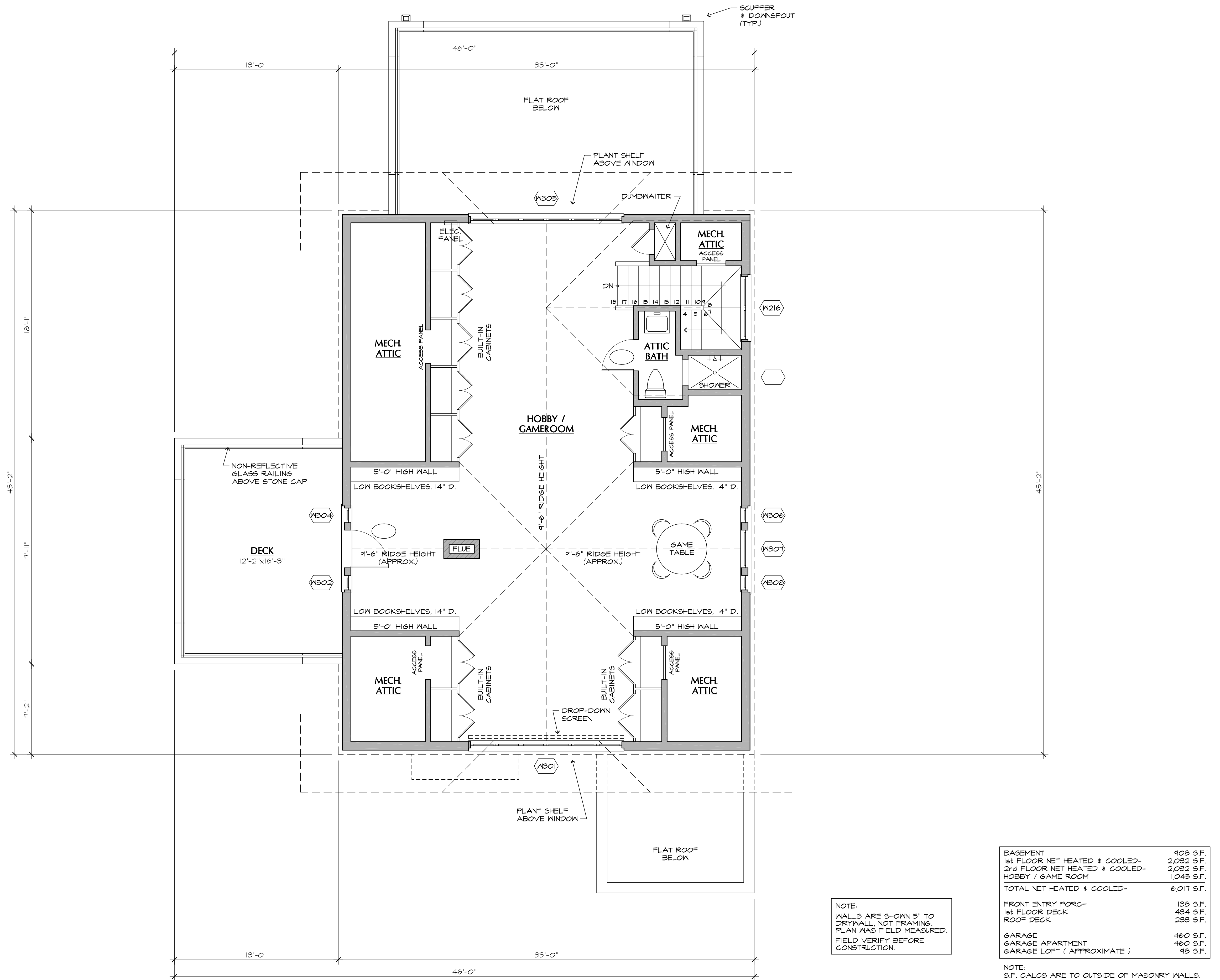
SCHEME 'A'
SECOND FLOOR PLAN

DRAWING DATA:

PROJECT NO: CHECKED:

ISSUE DATE: DRAWN BY:

SHEET NUMBER:



NOTE:
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DRYWALL, NOT FRAMING.
PLAN WAS FIELD MEASURED.
FIELD VERIFY BEFORE
CONSTRUCTION.

BASEMENT	908 S.F.
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2nd FLOOR NET HEATED & COOLED-	2,032 S.F.
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ROOF DECK	233 S.F.
GARAGE	460 S.F.
GARAGE APARTMENT	460 S.F.
GARAGE LOFT (APPROXIMATE)	98 S.F.

NOTE:
S.F. CALCS ARE TO OUTSIDE OF MASONRY WALLS.



SCHEME 'A' & 'B' - ATTIC FLOOR PLAN

SCALE:
1/4"=1'-0"



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REVISION DATE:

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SHEET NAME AND SCALE: AS NOTED

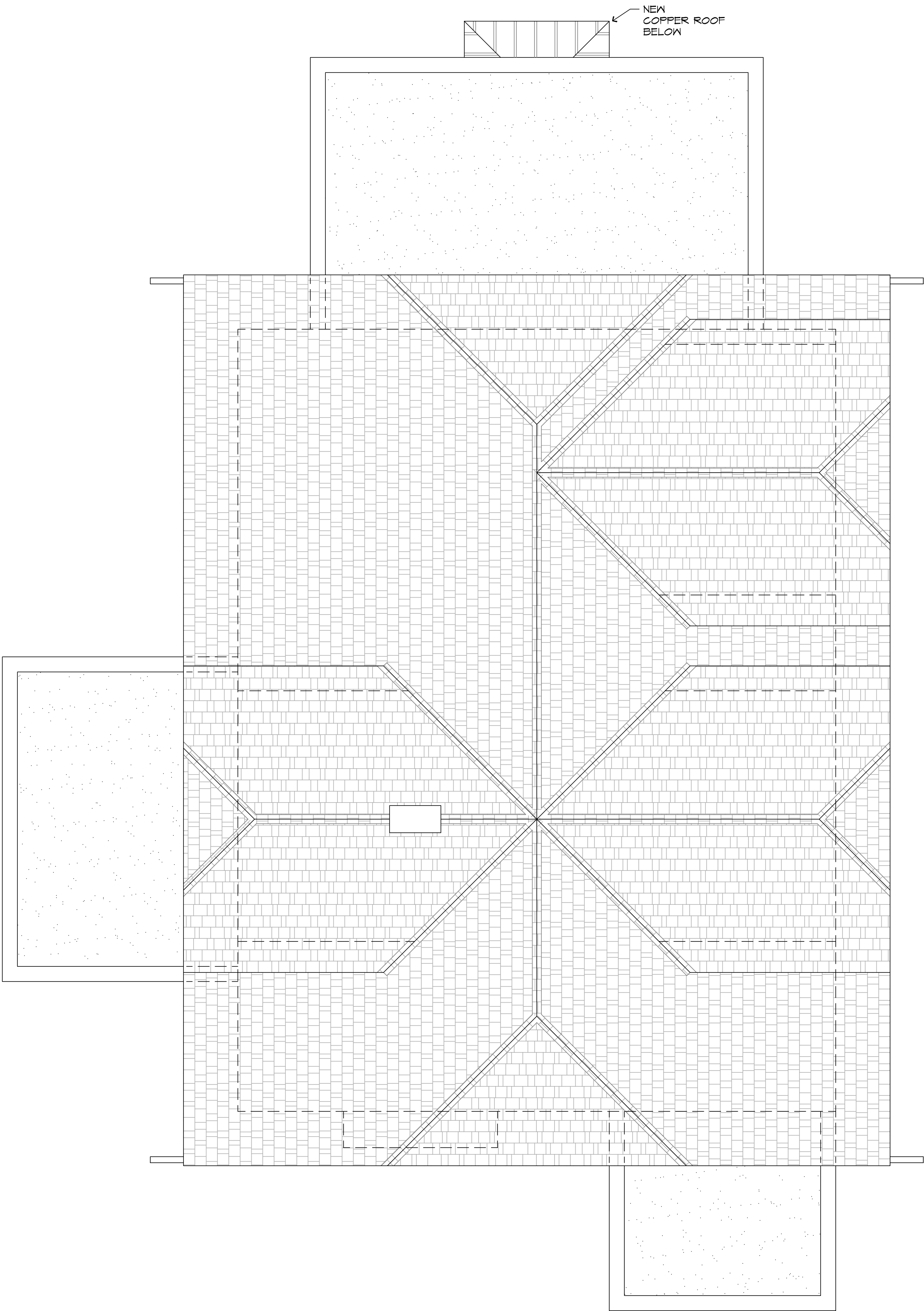
SCHEME 'A' & 'B'
ATTIC FLOOR PLAN

DRAWING DATA:

PROJECT NO: CHECKED:

ISSUE DATE: DRAWN BY:

SHEET NUMBER:



NOTE: ROOF PLAN APPROXIMATE
BASED ON REFERENCE PHOTOS.
VERIFY BEFORE CONSTRUCTION.

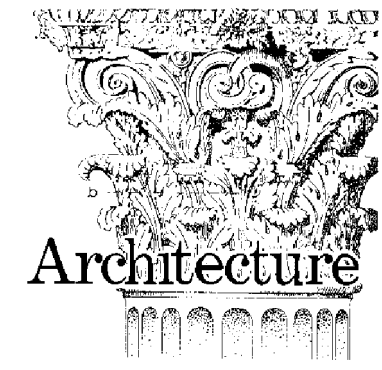


ROOF PLAN

SCALE:
1/4"=1'-0"

1

HABLINSKI



WILLIAM HABLINSKI
ARCHITECTURE

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REVISION DATE:

6/16/15

SHEET NAME AND SCALE: AS NOTED

ROOF PLAN

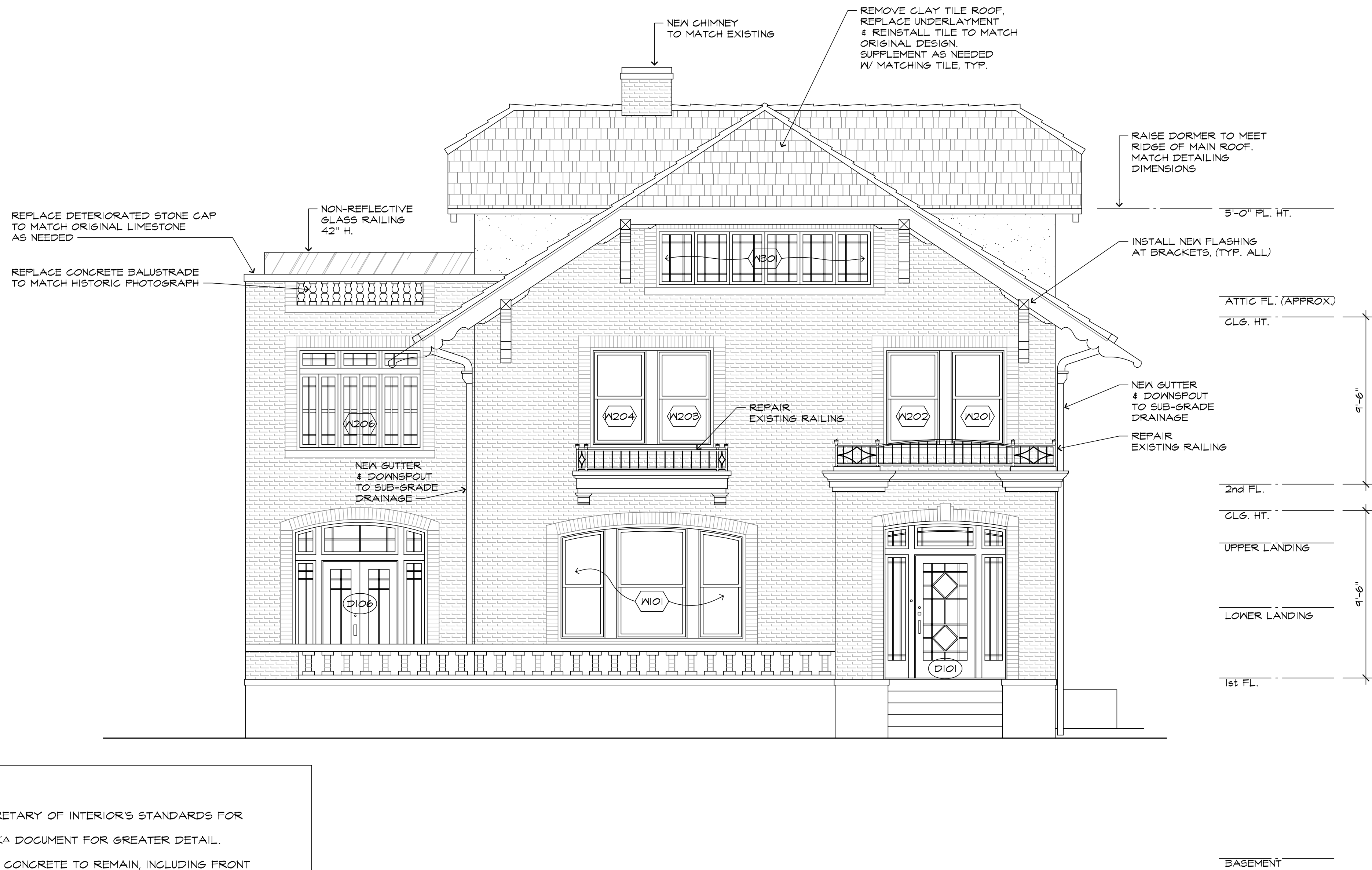
DRAWING DATA:

PROJECT NO: CHECKED:

ISSUE DATE: DRAWN BY:

SHEET NUMBER:

A 5.0



GENERAL RESTORATION SCOPE

NOTES:

1. ALL WORK TO COMPLY WITH THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION.
2. REFER TO LARGER @SCOPE OF WORK@ DOCUMENT FOR GREATER DETAIL.

CONCRETE: SAVAGE EXISTING HISTORIC CONCRETE TO REMAIN, INCLUDING FRONT SIDEWALKS, TERRACE, AND 1923 STAMPED PIECE AT ALLEY. REPLACE CONCRETE FLATWORK TO MATCH EXISTING CHARACTER WHERE DAMAGED AND WHERE NEEDED TO REBUILD SUBGRADE DRAINAGE SYSTEM.

MASONRY:

1. REPLACE SEVERELY DETERIORATED LIMESTONE TO MATCH ORIGINAL CHARACTER.
2. LIMITED AREAS OF BRICK REPOINTING REQUIRED TO MATCH ORIGINAL IN CHARACTER, COMPOSITION, TEXTURE AND TOOLING.
3. PATCH, REPAIR, AND REBUILD MASONRY PER DRAWINGS.
4. REPLACE MODERN CONCRETE BALUSTERS AT ORIGINAL THIRD FLOOR TERRACE TO MATCH ORIGINAL DESIGN AND LIMESTONE MATERIALS.

STUCCO: NEW TO MATCH EXISTING AT DORMERS.

WOOD DETAILS: REPAIR/REPLACE IN KIND TO MATCH ORIGINAL MATERIAL DETAILS. INSTALL FLASHING AT EXPOSED BRACKETS; PAINT FINISH.

WINDOWS & DOORS: RESTORE ALL EXISTING TO REMAIN. REPAIR METHODS TO INCLUDE EPOXY REPAIRS OR DUTCHMAN PATCHING AS REQUIRED. REPLACE WEATHERSTRIPPING WHERE DAMAGED. RESTORE ALL HARDWARE.

ROOF: REMOVE AND SALVAGE TILE, REPLACE UNDERLAYMENT, AND REINSTALL TILE TO MATCH ORIGINAL DESIGN. RAISE DORMERS AS INDICATED IN DRAWINGS.

FOUNDATION WATERPROOFING: WATERPROOF BASEMENT WALLS.

PAINTING: PREP, PRIME AND PAINT ALL EXTERIOR WOOD, METAL, AND STUCCO. COLORS TO MATCH HISTORIC AS SUBMITTED TO CHPO.

EAST ELEVATION

SCALE:
1/4"=1'-0"

1

HABLINSKI



WILLIAM HABLINSKI
ARCHITECTURE

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REVISION DATE:

6/16/15

SHEET NAME AND SCALE: AS NOTED

EAST ELEVATION

DRAWING DATA:

PROJECT NO: CHECKED:

ISSUE DATE: DRAWN BY:

SHEET NUMBER:

A 7.0

GENERAL RESTORATION SCOPE

NOTES:
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MASONRY:
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STUCCO: NEW TO MATCH EXISTING AT DORMERS.

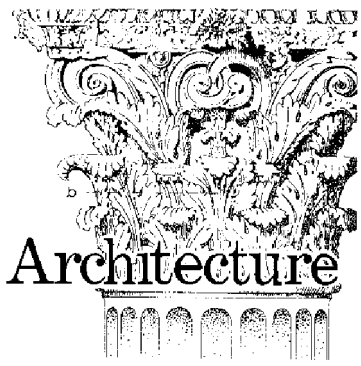
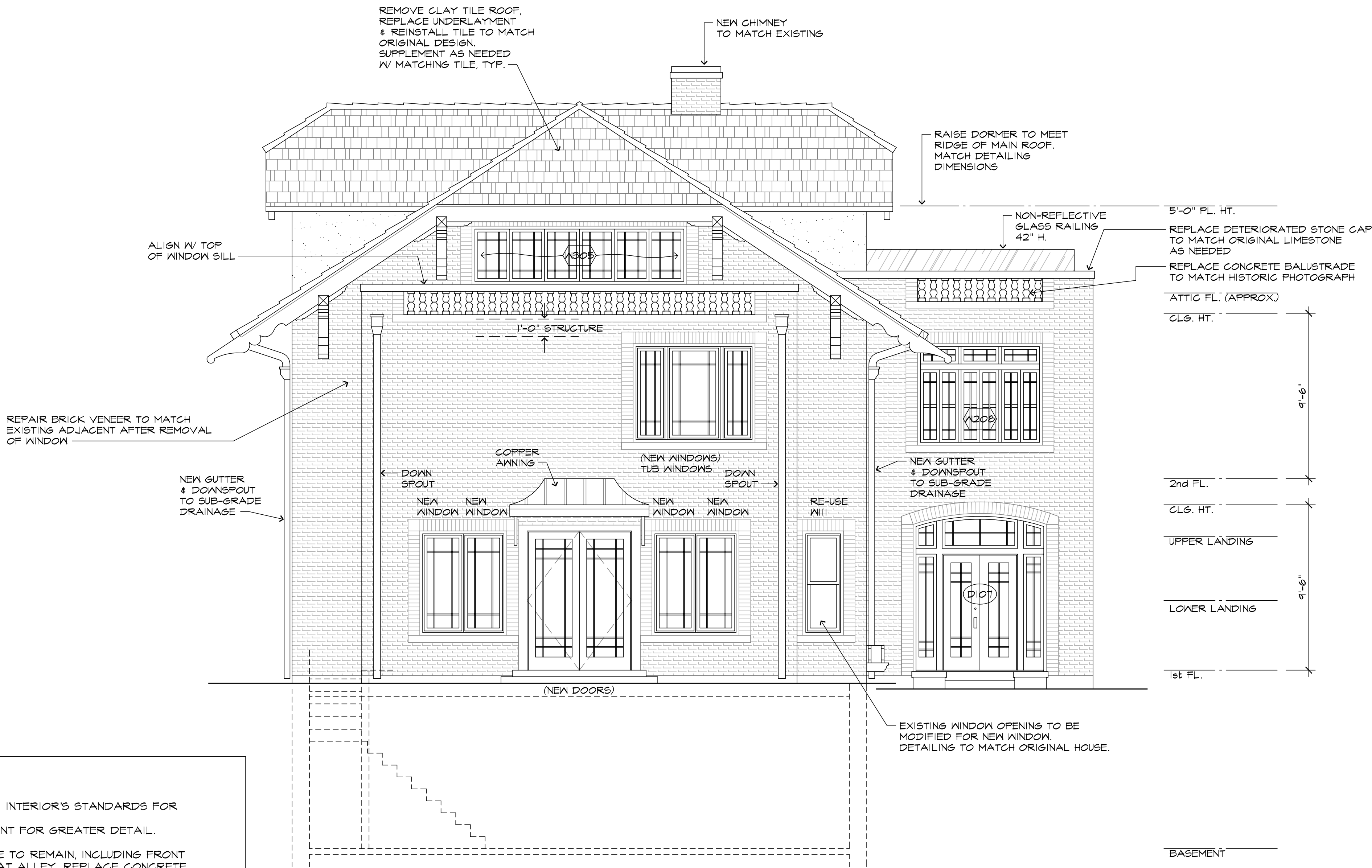
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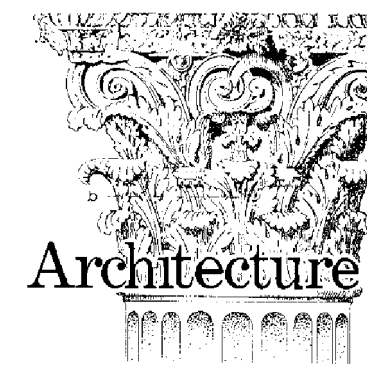
WINDOWS & DOORS: RESTORE ALL EXISTING TO REMAIN. REPAIR METHODS TO INCLUDE EPOXY REPAIRS OR DUTCHMAN PATCHING AS REQUIRED. REPLACE WEATHERSTRIPPING WHERE DAMAGED. RESTORE ALL HARDWARE.

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PAINTING: PREP, PRIME AND PAINT ALL EXTERIOR WOOD, METAL, AND STUCCO. COLORS TO MATCH HISTORIC AS SUBMITTED TO CHPO.





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REVISION DATE:

6/16/15

SHEET NAME AND SCALE: AS NOTED

NORTH ELEVATION

DRAWING DATA:

PROJECT NO: CHECKED:

ISSUE DATE: DRAWN BY:

SHEET NUMBER:

A 7.2



GENERAL RESTORATION SCOPE

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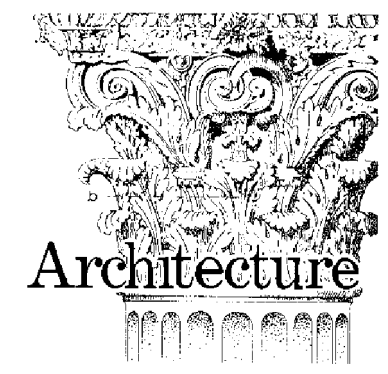
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AUSTIN OFFICE
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TEL: (310) 600-6940

W. M. HABLINSKI, AIA DATE

PROJECT TITLE AND ADDRESS:

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REVISION DATE:

6/16/15

SHEET NAME AND SCALE: AS NOTED

SOUTH ELEVATION

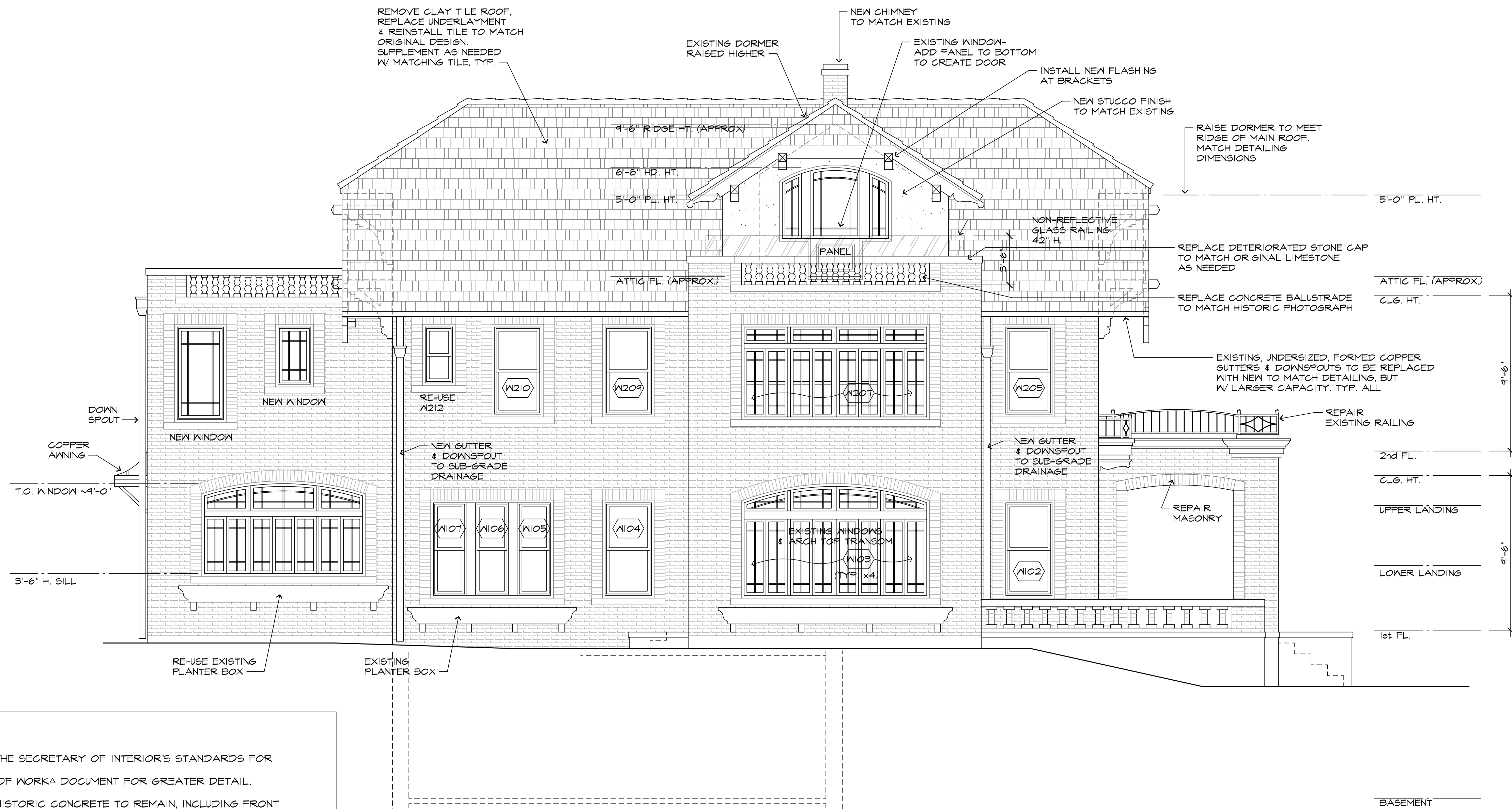
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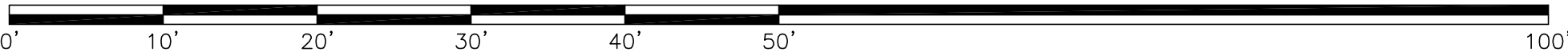
PROJECT NO: CHECKED:

ISSUE DATE: DRAWN BY:

SHEET NUMBER:

A 7.3





* PART OF LOTS 10, 11 AND 12 (FIELD NOTES ATTACHED)

PLAT OF SURVEY

GF 1425074-HIL

All corners are 1/2-inch iron rod found unless otherwise noted. To the lien holders and/or the owners of the premises surveyed.

LOT NO. * BLOCK NO. "A"

SNS ENGINEERING, INC.

Date: 03-27-2015



AUSTIN OFFICE
2905 WESTLAKE COVE
AUSTIN, TX 78746
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4/23/15

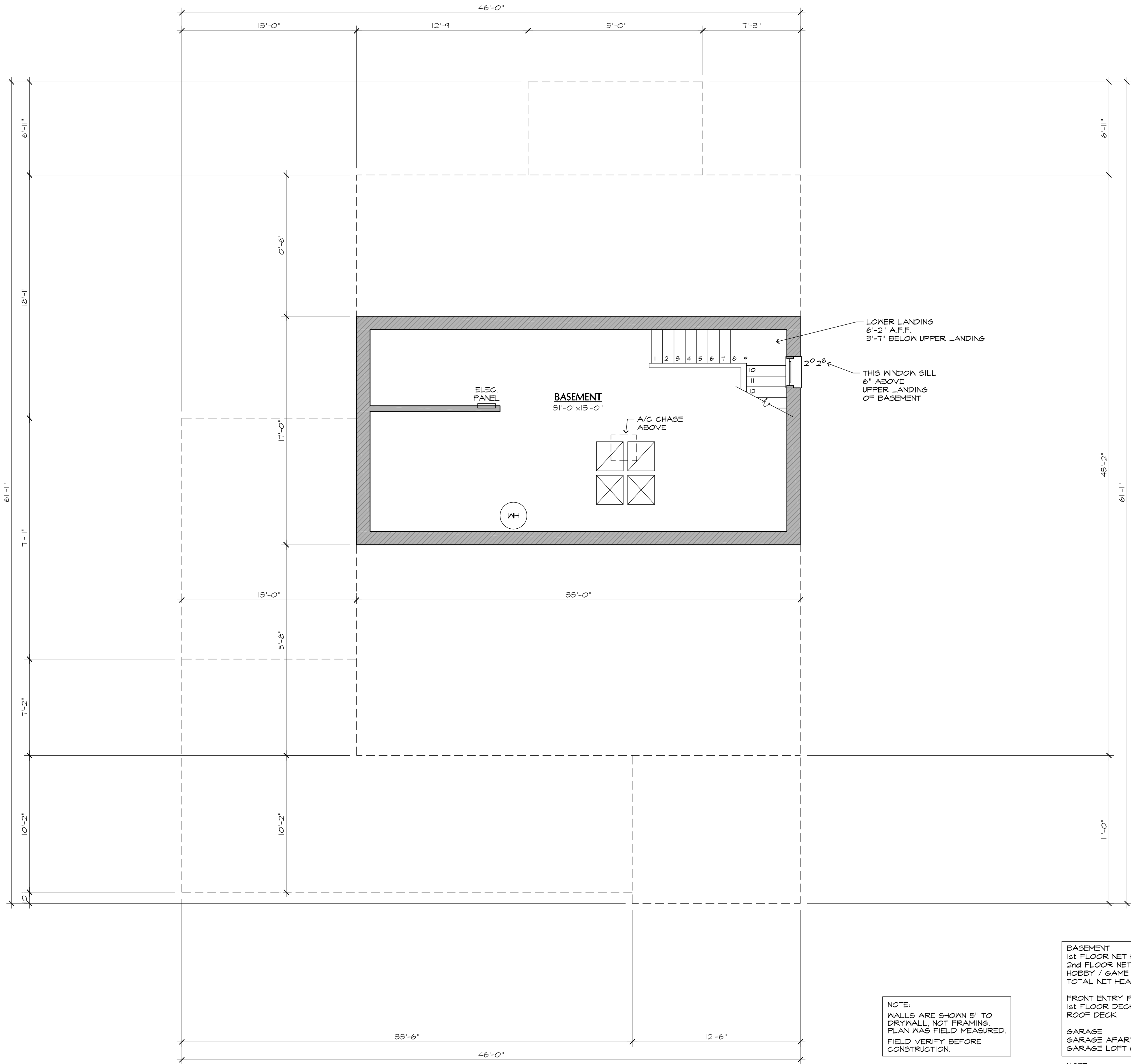
SURVEY -
FOR INFORMATION ONLY

PROJECT NO: CHECKED

ISSUE DATE: DRAWN BY:

SHEET NUMBER

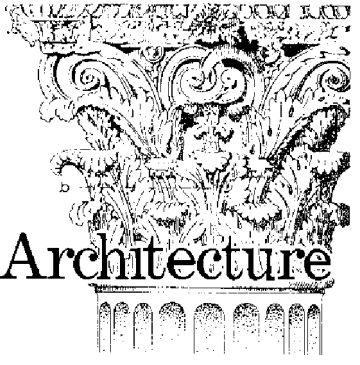
AB 2.1



NOTE:
WALLS ARE SHOWN 5" TO
DRYWALL, NOT FRAMING.
PLAN WAS FIELD MEASURED.
FIELD VERIFY BEFORE
CONSTRUCTION.

BASEMENT	561 S.F.
1st FLOOR NET HEATED & COOLED-	1747 S.F.
2nd FLOOR NET HEATED & COOLED-	1657 S.F.
HOBBY / GAME ROOM	967 S.F.
TOTAL NET HEATED & COOLED-	4,932 S.F.
FRONT ENTRY PORCH	138 S.F.
1st FLOOR DECK	434 S.F.
ROOF DECK	233 S.F.
GARAGE	460 S.F.
GARAGE APARTMENT	460 S.F.
GARAGE LOFT (APPROXIMATE)	98 S.F.

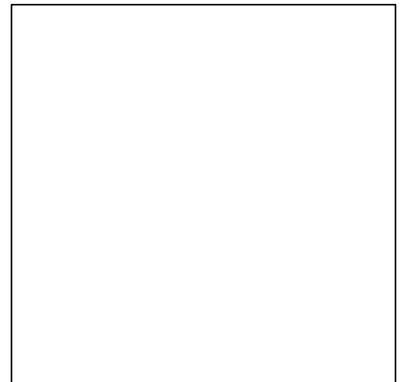
NOTE:
S.F. CALC'S ARE TO OUTSIDE OF MASONRY WALLS.



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ARCHITECT:
WILLIAM HABLINSKI
ARCHITECTURE, INC.

AUSTIN OFFICE
2905 WESTLAKE COVE
AUSTIN, TX 78746
TEL: (310) 600-6940



W. M. HABLINSKI, AIA DATE

PROJECT TITLE AND ADDRESS:

804
BAYLOR STREET
AUSTIN, TEXAS

NOTES:

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REVISION DATE:

4/3/15

SHEET NAME AND SCALE: AS NOTED

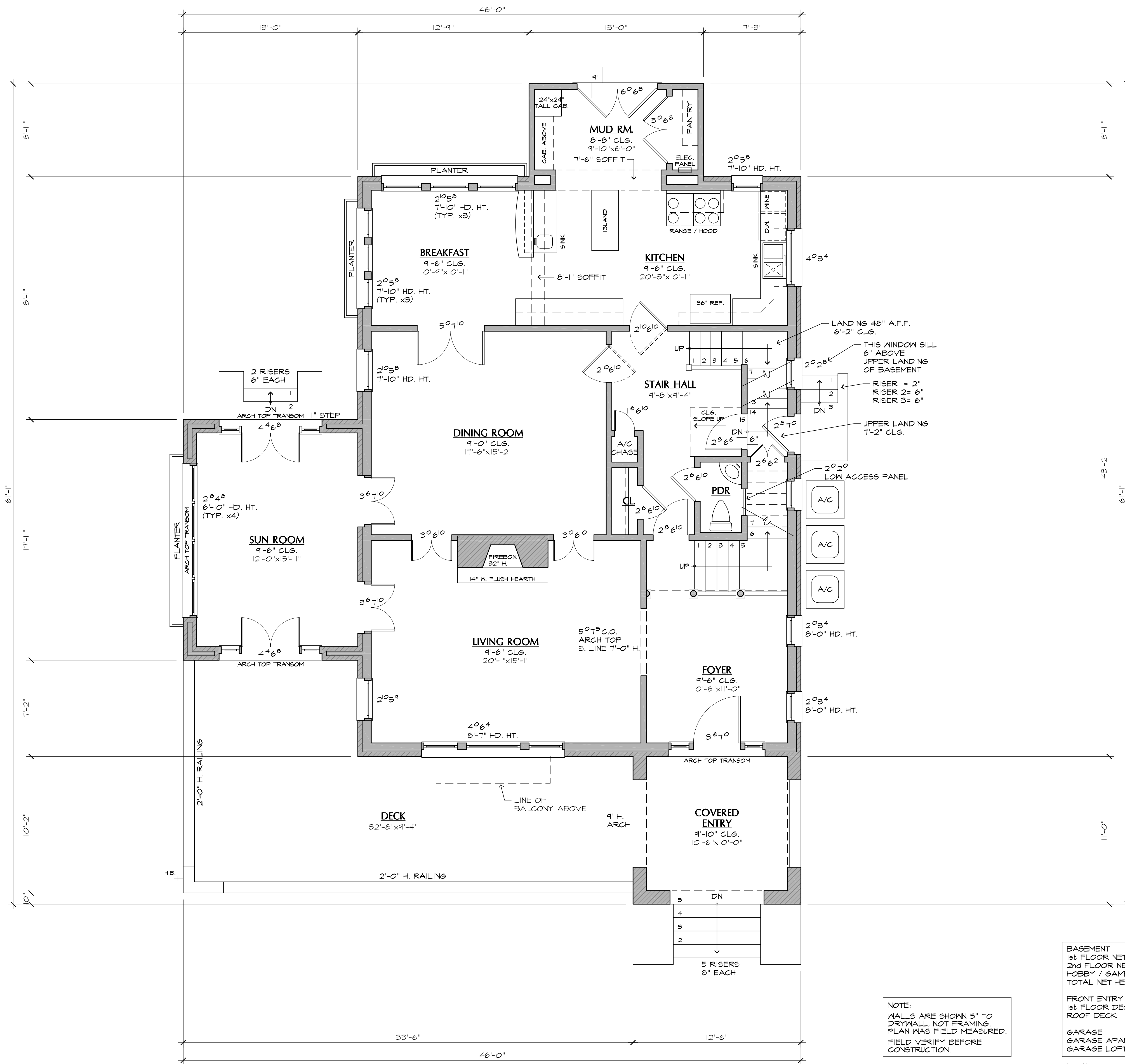
BASEMENT
EXISTING FLOOR PLAN

DRAWING DATA:

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NOTE:
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FIRST FLOOR - EXISTING FLOOR PLAN

SCALE:
1/4"=1'-0"

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FIRST FLOOR
EXISTING FLOOR PLAN

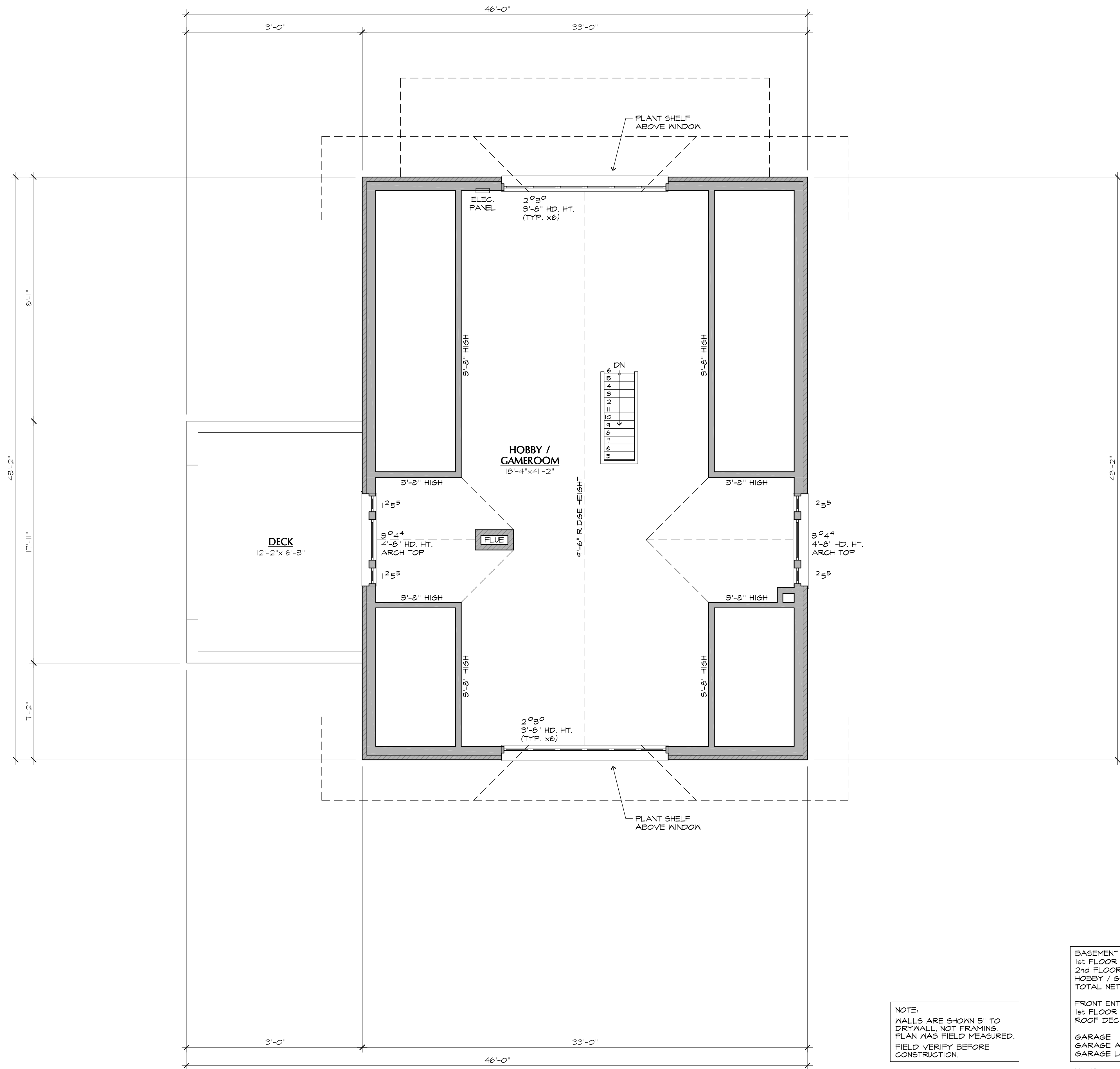
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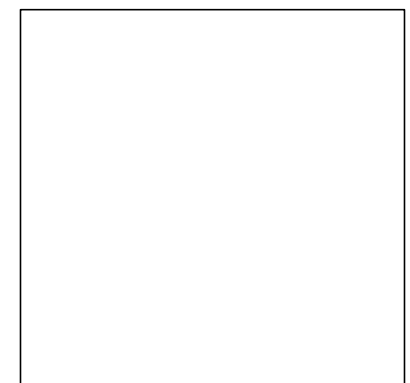
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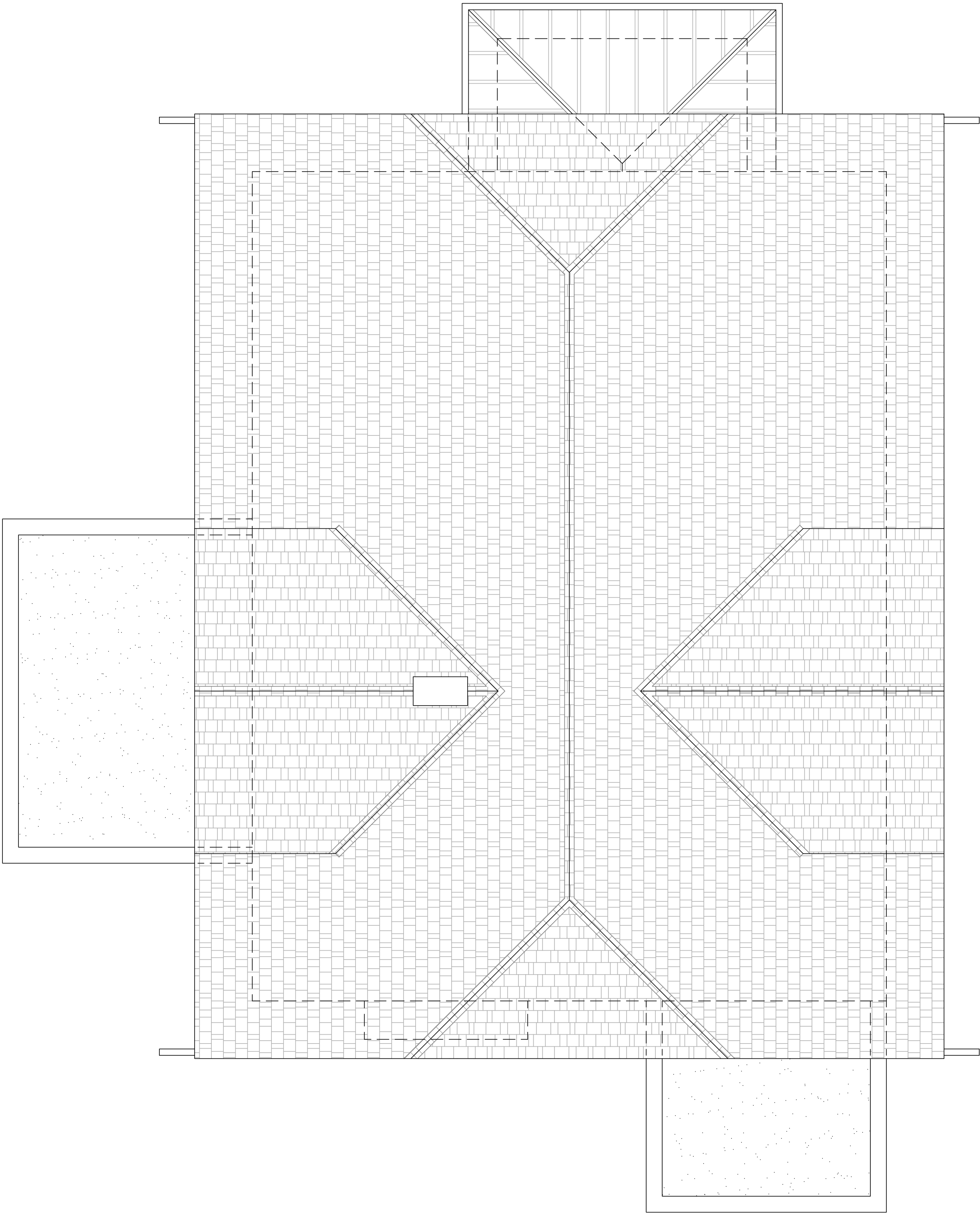
ATTIC
EXISTING FLOOR PLAN

DRAWING DATA:

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NOTE: ROOF PLAN APPROXIMATE
BASED ON REFERENCE PHOTOS.
VERIFY BEFORE CONSTRUCTION.



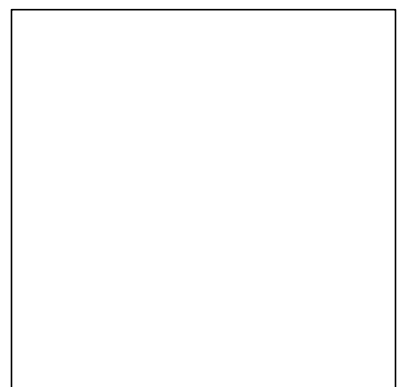
Architecture

WILLIAM HABLINSKI
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AB 7.1



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