



Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

DATE of SUBMISSION:

PDRD/CHPO
AUG 29 2014

Permit Information

For Office Use Only

BP- _____ PR- 2014-071891 C14H/LHD- 2014-0020

Property Name or LHD: CASTLE HILL Contributing/Non-contributing

☐ RELEASE PERMIT ☐ DO NOT RELEASE PERMIT ☐

APPROVED BY

HISTORIC LANDMARK COMMISSION

DATE: 12:37 pm, Sep 23, 2014

BY: Steve Ladousky

for HLC Chair

FEE PAID: \$57.52

HISTORIC PRESERVATION OFFICE

DATE:

Property Information

Address: 1115 W 11th Street

Scope of Work

New single-family residence on vacant lot - 2-story, wood-framed, approximately 3,221 sq ft.

Applicant

Name: Dick Clark + Associates (Contact: Mark Vornberg)

Address: 207 West 4th Street

City/Zip: Austin, TX 78704

Phone: (512) 472-4980

Email: vornberg@dcarch.com, clarkson@dcarch.com

Owner

Name: Robert E Farrell

Address: Unit 403, 651 bering drive

City/Zip: Houston, TX 77057

Phone: _____

Email: bobfarrell@princetonglobalenergy.com

Architect or Contractor Information

Company: Dick Clark + Associates

Address: 207 West 4th Street

City/Zip: Austin, TX 78704

Phone: (512) 472-4980

Owner's Signature

Date

Applicant's Signature

Date

8-26-2014



City of Austin

P.O. Box 1088, Austin, Texas 78767

RECEIPT

Receipt - 6012307
No.:

Payment 08/28/2014
Date:

Invoice 6031868
No.:

Payer Information

Company/Facility Name: Dick Clark Arch

Payment Made By: Mark Vornberg
207 W 4TH ST
AUSTIN TX 78701

Bob Farrell
1115 W. 11th

Phone No.: (512) 472-4980

Payment Method: American Express

Payment Received: \$52.00

Amount Applied: \$52.00

Cash Returned: \$0.00

Comments: AUTH 540897-2013

Additional Information

Department Name:

Receipt Issued By: Cary Guedea

Receipt Details

FAO Codes	Fee Description	Internal Ref. No.	Address	Permit/Case No.	Amount
5100 6300 9700 4257	Tree Permit Residential	11207197	1115 W 11TH ST	2014-091739-TP	\$50.00
8131-6807-1113-4066	Development Services Surcharge	11207197	1115 W 11TH ST	2014-091739-TP	\$2.00
Total					\$52.00



PROJECT NAME

1115 11TH STREET

DATE

25 AUGUST 2014

IMAGE NAME

SITE PHOTO



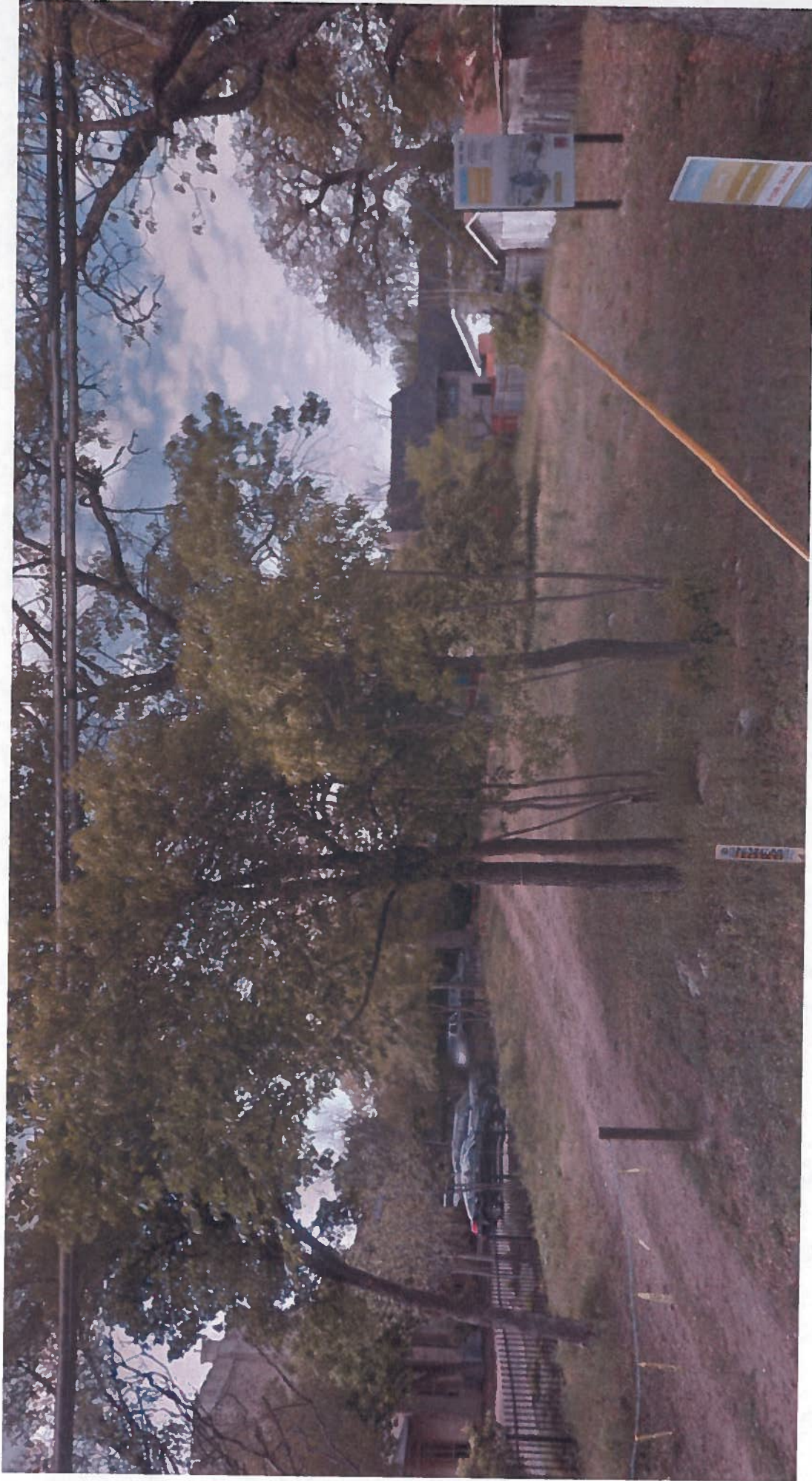
DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS

512.472.4980

207 WEST 4TH STREET

AUSTIN, TX 78701

WWW.DCARCH.COM



PROJECT NAME:

1115 11TH STREET

DATE:

25 AUGUST 2014

IMAGE NAME:

SITE PHOTO



DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS

512.472.4980

• 207 WEST 4TH STREET

• AUSTIN, TX 78701

• WWW.DCARCH.COM



PROJECT NAME:

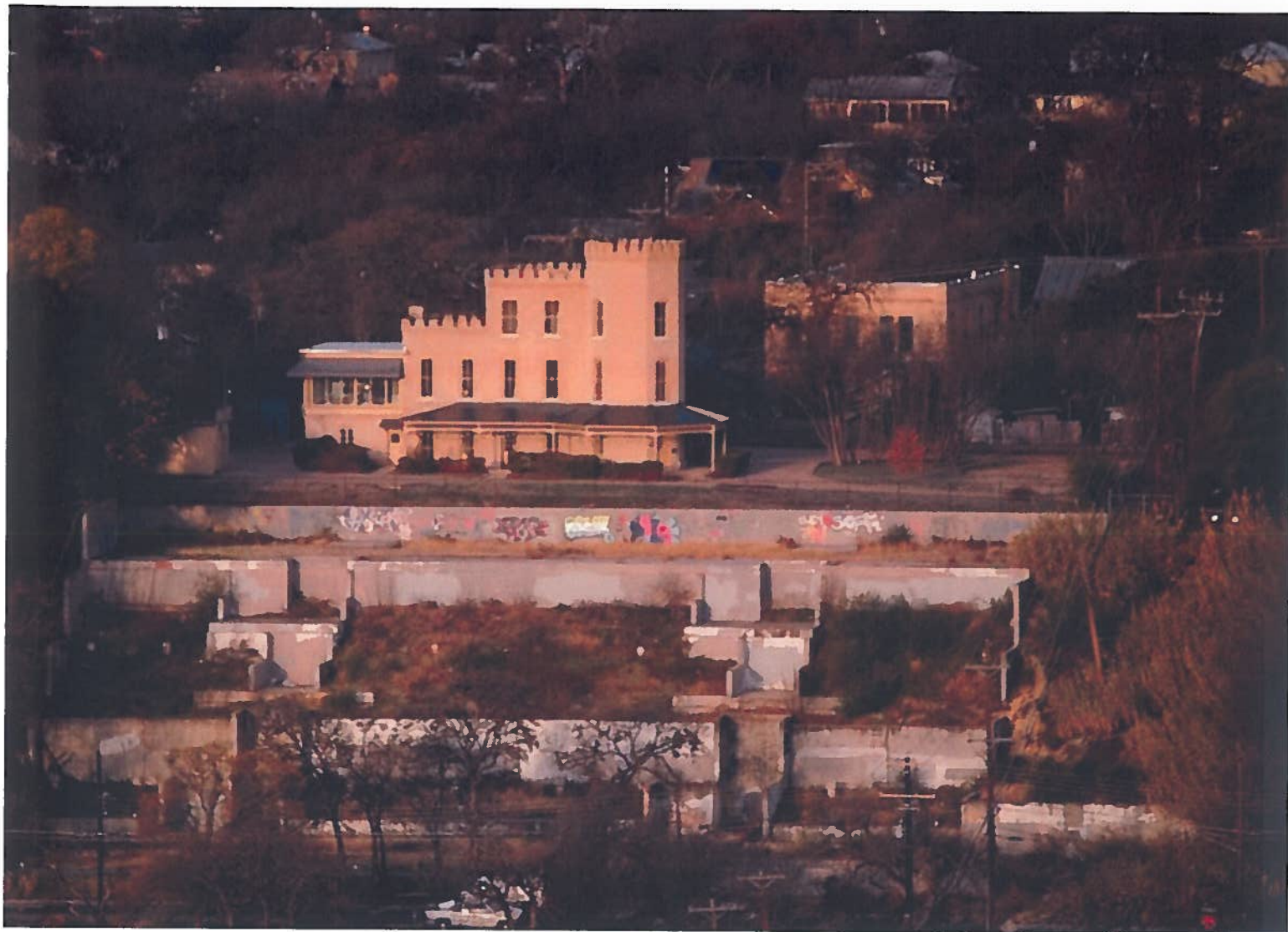
1115 11TH STREET

DATE:

25 AUGUST 2014

IMAGE NAME:

SITE PHOTO



TMI



DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS

512.472.4980

207 WEST 4TH STREET

AUSTIN, TX 78701

WWW.DICKCLARK.COM



APPROVED BY
HISTORIC LANDMARK COMMISSION

DATE: 12:37 pm, Sep 23, 2014

BY: *Steve Ladousky*
for HLC Chair

PROJECT NAME:

1115 W 11th Street - Residence

DATE:

27 August 2014

IMAGE NAME:

Alley Entry - Main Entry for Residence



DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS

512.472.4980

207 WEST 4TH STREET

AUSTIN, TX 78701

WWW.DCARCH.COM



PROJECT NAME:

1115 W 11th Street - Residence

DATE:

27 August 2014

IMAGE NAME:

Front View of Residence



DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS

512.472.4980

207 WEST 4TH STREET

AUSTIN, TX 78701

WWW.DCARCH.COM



APPROVED BY
HISTORIC LANDMARK COMMISSION

DATE: 12:37 pm, Sep 23, 2014

BY: *Steve Ladousky*
for HLC Chair

PROJECT NAME:

1115 W 11th Street - Townhomes

DATE:

27 August 2014

IMAGE NAME:

11th Street Main Entrance

WINDOWS

FLEETWOOD WINDOWS & DOORS
DARK BRONZE ANODIZED FINISH



STUCCO - UPPER PORTION

LA HABRA
SANTA BARBARA MISSION FINISH
COLOR: MESA VERDE - LIGHT



ACCENT MATERIAL

DARK WOOD SIDING & SOFFIT
IPE SIDING, CLEAR STAINED FINISH



TRIM COLOR

SHERWIN-WILLIAMS 7069 IRON ORE [FENC-
ING, PAINTED METAL FASCIA, EXPOSED STEEL
COLUMNS & BEAMS]



STONE - LOWER PORTION

4 SIDES SAWN, LUEDERS LIMESTONE
CARAMEL - LARGE BLOCK



ROOF

STANDING SEAM METAL
BERRIDGE CHARCOAL GREY



APPROVED BY
HISTORIC LANDMARK COMMISSION

DATE: 12:38 pm, Sep 23, 2014

BY: *Steve Ladousky*
for HLC Chair

PROJECT NAME:

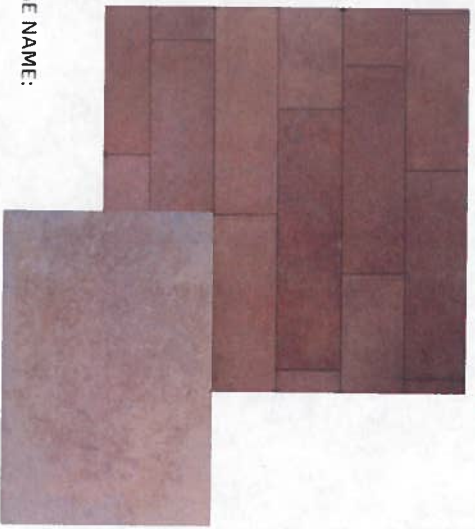
1115 W 11th St.

DATE:

27 August 2014

IMAGE NAME:

Materials Board





DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS

August 27, 2014

City of Austin Certificate of Appropriateness Application: Narrative

Address of historic property: 1115 W 11th Street

Brief description of proposed work: Construct a new single-family residence on vacant MF-4 zoned lot. New residence will be a 2-story, wood-framed building, approximately 3,221 sq ft, with large block Carmel Lueder's limestone with 4 sides sawn on lower portion, light stucco on upper portion, accented by large glass windows and doors and dark wood siding, a flat roof and 2nd floor balconies and glass railings for a roof deck. This single family residence for homeowner, Bob Farrell, is to be located at the narrow back portion of the site along the alley to allow for additional development of a couple of additional units on this MF-4 lot sometime in the future.

*Dick Clark + Associates responses in blue.

General Design Guidelines Response:

1. The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
 - a. There is no existing structure on lot and not in conflict with this guideline. Originally there was a duplex rental unit on this site that was accessed from both the 11th street and the alley for parking that was torn down in 2006 or 2007. The property does have a significant 42" tree along the property line with the TMI Castle on its East property line toward the back that we are working around with input from COA tree department.
2. All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
 - a. The proposed residence represents the evolution of architecture and construction methods while complimenting the historic context in mass, scale, materials, and site design. Because we are a multi-family site, with commercial and multi-family uses along 11th street and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing. Also, although we are building a single-family unit at this time because this is a multi-family site with longer term plans, we are proceeding with conceptual design and massing on the front multi-family unit so we have a cohesive plan and massing for the entire site.



3. Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
 - a. There is no existing structure on lot and not in conflict with this guideline.
4. Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
 - a. There is no existing structure on lot and not in conflict with this guideline.
5. Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
 - a. There is no existing structure on lot and not in conflict with this guideline.
6. Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
 - a. There is no existing structure on lot and not in conflict with this guideline.
7. Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
 - a. There is no existing structure on lot and not in conflict with this guideline.
8. Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
 - a. There is no existing structure on lot and not in conflict with this guideline.
9. The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
 - a. All Mechanical equipment to be concealed behind a small parapet on the roof of the residence, or on the ground level at the West side of the house.
10. Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.
 - a. There is no existing structure on lot and not in conflict with this guideline.



Preservation Plan and Design Standards:

"The historic context of the district defines the massing, scale, materials, and site design of new construction. New architecture should reflect the era of its construction. This creates a timeline of architectural style that represents the evolution of architecture and construction methods."

1. Required Standards Response:

(a) Site new construction to be compatible with surrounding contributing buildings in terms of front setback, street-front orientation, and distance from adjacent buildings.

(1) Front yard setbacks shall be consistent with historic setbacks by taking the average of the existing setbacks of contributing properties within the same blockface.

a. See site plan for the front yard setback. This property is on West 11th street and except for the TMI Castle, no other properties are on this side of the street. Our proposed house has been pushed back significantly to allow for future development on the site and we access our parking at the rear of the site from the alley with guest parking utilizing the existing curb cut and driveway in the front.

(b) Form and Architectural Style

(1) Design new buildings to be compatible with surrounding contributing buildings of similar use in terms of form, massing, proportion, and roof form.

a. The proposed residence is similar to the surrounding buildings in form, massing, proportion and roof form, proving suitable. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle.

(2) Design new buildings so that they are compatible with but discernible from historic buildings in the district. Do not replicate a historic style in new construction.

a. The proposed residence is compatible with the surrounding buildings while not replicating any certain style. The architecture reflects the era of its construction with large block caramel Lueder's limestone with 4 sides sawn on the building's ground floor portion, light stucco on upper portion, accented by large glass windows and doors and dark wood siding, a flat roof and 2nd floor balconies and roof deck reminiscent to the TMI Castle.

(3) New construction should have window-to-wall area ratios, floor-to-floor heights, fenestration patterns, and bay divisions compatible with those seen on



contributing buildings throughout the district.

- a. Because we are a multi-family site and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing. The proposed residence is masonry accented by large glass windows and doors, a flat roof, 2nd floor balconies, and a roof deck that all correlate back to the design features of the TMI Castle.

(c) Materials

(1) Select materials for new construction to be compatible with those existing in the district. Examples include but are not limited to wood siding, limestone, brick, fiber-cement siding, and stucco.

- a. The architecture reflects the era of its construction, but is also compatible with the existing buildings through use of materials already found in the district. They include large block lueder's limestone with 4 sides sawn on the building's ground floor portion, light stucco on the upper portion, and accents of large glass windows and dark wood siding.

(2) In windows, do not use false muntins attached to or inserted between insulated glass panels.

- a. No false muntins are used in the project and not in conflict with this requirement.

(3) Boxed wood chimneys are not permitted.

- a. No boxed wood chimneys are in this project and not in conflict with this requirement.

(4) Materials proposed for use but not referenced in this section will be evaluated on a case-by-case basis to determine appropriateness in the context of existing adjacent buildings. Applicant must provide justification for suitability of proposed material for use.

- a. All materials proposed for use are found in the section and not in conflict with this requirement.

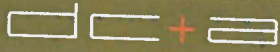
(d) For new single-family houses, a garage shall not be located less than 15 feet from the front wall of the building (excluding the porch) or 1/3 of the depth of the building from the front wall of the building, whichever is greater.

- a. The open carport is located in the rear of the lot with access from the alley and not in conflict with this requirement.

2. Recommendations/Advisory Standards:



- (a) Design the proportion of the proposed new building's front façade to be compatible with the front façade proportion of surrounding contributing buildings.
 - a. The proposed residence is similar to the surrounding buildings in the proportion of the facade. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle.
- (b) Consider use of simple hipped or gabled roof forms at the primary façade where appropriate to be compatible with existing adjacent buildings.
 - a. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle. Because we are a multi-family site, with commercial and multi-family uses along 11th street and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing because that would be inappropriate.
- (c) Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in proposed new construction to be compatible with surrounding contributing buildings.
 - a. In order to achieve an architecture that reflects the era of its construction while complementing the adjacent TMI Castle, we proposed large windows and doors that take advantage of views and day lighting through proper spacing, placement, scale, orientation, proportion, and size.
- (d) Entry porches are encouraged for new construction, if complementary to the overall design and scale of the building.
 - a. A traditional front porch was not used in the proposed residence, as this residence is the future back unit of a larger multi-unit development but we have incorporated large windows facing north and East and with a deep wrap around awning to protect them from similar to the first floor of the TMI Castle.
- (e) Protect large trees and other significant site features from damage during construction and from delayed damage due to construction activities such as root loss or compaction of the soil by equipment.
 - a. The property does have a significant 42" tree along the property line with the TMI Castle on its East property line toward the back. We have submitted a Tree Ordinance Review Application for this tree that includes several complicated structural details for tree protection where we get close to the tree, and will work diligently to protect it throughout the construction process because we believe the tree plays an important role in the final design of the residence.



(f) Consider Energy Star qualified roof products, which lower roof surface temperature and can reduce peak cooling demand by 10-15 percent. Consider adding a radiant barrier in the attic or underneath the roof deck to reduce summer heat gain and reduce air-conditioning loads.

- a. The proposed residence will have an Energy Star qualified white TPO flat roof concealed by a parapet and non-reflective, prefinished standing seam metal roof where exposed with overhangs that provide shade around the building and above strategically placed windows.

(g) Passive energy savings measures such as usable shutters and awnings are highly encouraged.

- a. Building orientation to the sun, windows and doors (size, type, and location), day lighting and shading, insulation and thermal bridging, and super-efficient, balanced ventilation systems all contribute to the overall passive energy savings measures and have been incorporated as best as possible for the proposed residence.

PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak **FOR** or **AGAINST** the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
- appearing and speaking for the record at the public hearing; and:
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
- is the record owner of property within 500 feet of the subject property or proposed development; or
- is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 14 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, visit our web site: <http://www.austintexas.gov/development>.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number(s): LHD-2014-0020

Contact: Steve Sadowsky, 512-974-6454

Public Hearing: September 22, 2014, Historic Landmark Commission

☐ I am in favor
☐ I object

Your Name (*please print*) _____

Your address(es) affected by this application _____

Signature Date

Comments: _____

If you use this form to comment, it may be returned to:

Contact: Steve Sadowsky, 512-974-6454

City of Austin

P. O. Box 1088

Austin, TX 78767-8810

Fax Number: 512-974-9104



NOTICE OF PUBLIC HEARING CERTIFICATE OF APPROPRIATENESS

Mailing Date: SEPTEMBER 12, 2014

Historic Case Number: LHD-2014-0020
Review Case Number: PR-2014-071891

Please be advised that the City of Austin has received an application for a Certificate of Appropriateness building permit for property located in a locally-designated historic district.

Applicant: Mark Vornberg, Dick Clark Architecture
Location: 1115 W 11th Street

This application is scheduled to be heard by the Historic Landmark Commission on September 22, 2014. The meeting will be held at One Texas Center, Room 325, 505 Barton Springs Road beginning at 7: 00 PM.

You are being notified because City Ordinance requires that all property owners within 500 feet, those who have a City utility service address within 500 feet and registered environmental or neighborhood organizations whose declared boundaries are within 500 feet be notified when an application is scheduled for a public hearing.

If you have any questions concerning this application, please contact Steve Sadowsky of the Planning and Development Review Department at 512-974-6454 and refer to the Case Number at the top right of this notice.

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NOTICE OF PUBLIC HEARING CERTIFICATE OF APPROPRIATENESS

Mailing Date: SEPTEMBER 12, 2014

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Review Case Number: PR-2014-071891

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Applicant: Mark Vornberg, Dick Clark Architecture

Telephone: 512-472-4980

Location: 1115 W 11th Street

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Public Hearing: September 22, 2014, Historic Landmark Commission

Your Name (please print) _____

☐ I am in favor
☐ I object

Your address(es) affected by this application _____

Signature _____

Date _____

Comments: _____

If you use this form to comment, it may be returned to:
Contact: Steve Sadowsky, 512-974-6454
City of Austin

P. O. Box 1088

Austin, TX 78767-8810

Fax Number: 512-974-9104

IMPERVIOUS COVER

SITE AREA: 13,838 SQ FT

ALLOWABLE BUILDING COVER: (40.0%): 5,535.2 SQ FT

TOTAL PROPOSED BUILDING COVER: (17.3%): 2,400.0 SQ FT

ALLOWABLE IMPERVIOUS COVER: (45.0%): 6,227.1 SQ FT

TOTAL PROPOSED IMPERVIOUS COVER: (43.4%): 6,010.0 SQ FT

FRONT YARD IMPERVIOUS COVER CALC.:

FRONT YARD AREA: 2,240 SQ FT

FRONT WALKWAY: 11 SQ FT

FRONT DRIVEWAY: 884 SQ FT

TOTAL F.Y. IMPERVIOUS: 895 SQ FT (40.0%)

BUILDING COVER BREAKDOWN:

UNIT 1 - LEVEL 1: 1,710 SQ FT

OPEN GARAGE: 330 SQ FT

OVERHANGS (NOT UNDER HABITABLE): 111 SQ FT

COVERED PORCH (UNDER HABITABLE): 249 SQ FT

SITE BREAKDOWN:

NEW UNCOVERED DRIVEWAY: 1158 SQ FT

NEW UNCOVERED STONE PAVERS: 2,093 SQ FT

NEW UNCOVERED STONE WALKWAY: 252 SQ FT

A/C PADS: 9 SQ FT

POOL COPING: 46 SQ FT

RETAINING WALLS: 52 SQ FT

F.A.R. CALCULATIONS

1ST LEVEL: 1,710 SQ FT

2ND LEVEL: 1,332 SQ FT

COVERED PORCH: (EXEMPTION) 249 SQ FT (-200 SQ FT)

OPEN GARAGE: (EXEMPTION) 330 SQ FT (-200 SQ FT)

TOTAL PROPOSED: 3,221.0 SQ FT (0.233)

TOTAL ALLOWED: 5,535.2 SQ FT (0.400)



DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS
512.472.4980 • WWW.DCARCH.COM
207 WEST 4TH STREET • AUSTIN, TX 78703

CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF THE
ARCHITECT AND MAY ONLY BE USED IN
CONJUNCTION WITH THIS PROJECT

SEAL



08/27/2014
PROJECT

FARRELL RESIDENCE

1115 W 11TH STREET
AUSTIN, TEXAS 78703

DRAWN BY
HC

SET ISSUE

06/27/2014 - PERMIT

REVISIONS

1 08/28/14 PERMIT RESPONSE #1

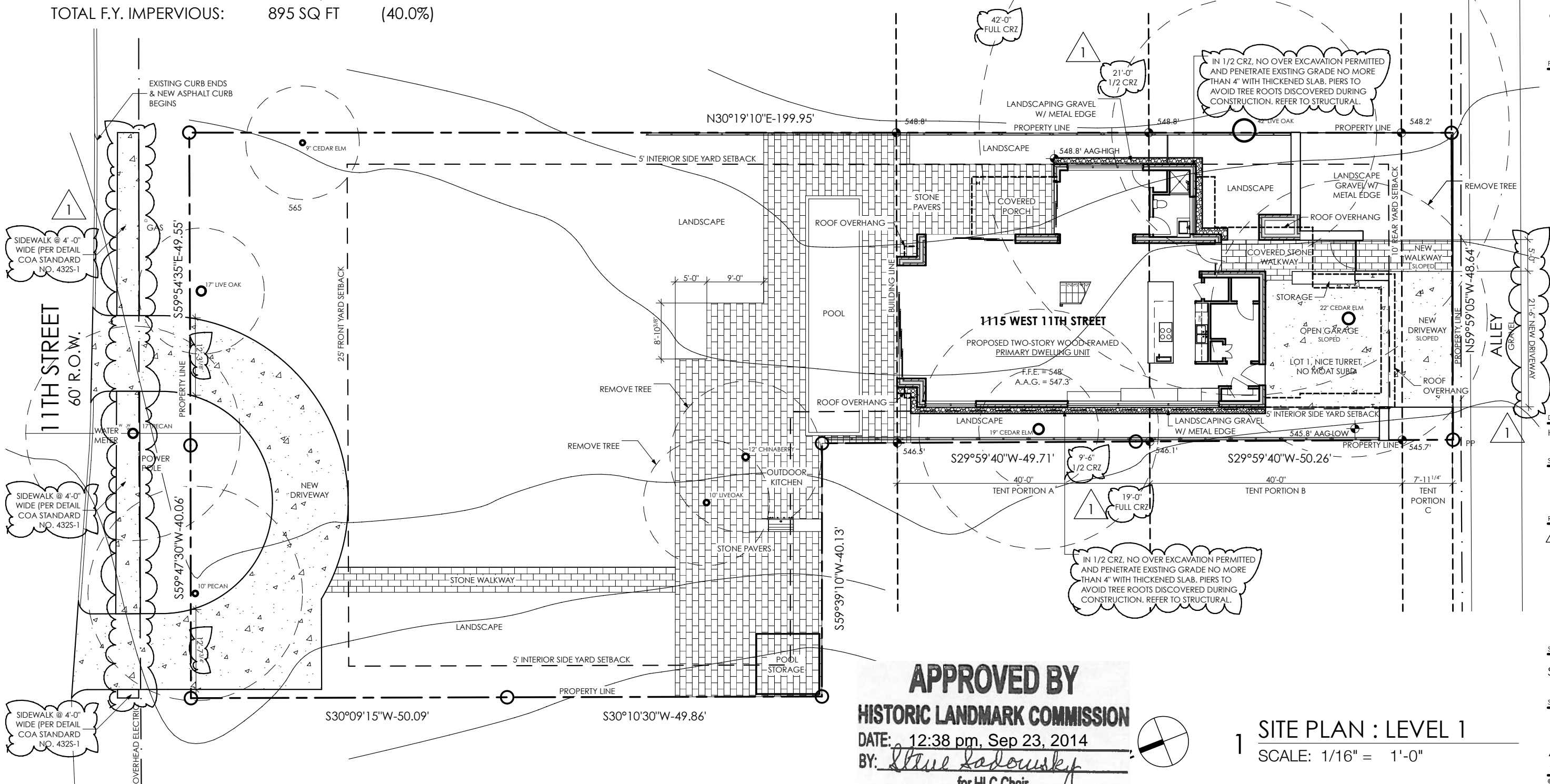
SHEET TITLE

SITE PLAN

SHEET:

A0.3a

Wednesday, August 27, 2014 1:42 PM
© 2014 DICK CLARK ARCHITECTURE



APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 12:38 pm, Sep 23, 2014
BY: *Steve Lodowsky*
for HLC Chair

1 SITE PLAN : LEVEL 1
SCALE: 1/16" = 1'-0"

CAUTION: DO NOT SCALE DRAWINGS
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SEAL



08/27/2014
PROJECT

FARRELL RESIDENCE
1115 W 11TH STREET
AUSTIN, TEXAS 78703

DRAWN BY
HC

SET ISSUE

06/27/2014 - PERMIT

REVISIONS
1 08/28/14 PERMIT RESPONSE #1

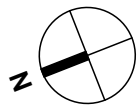
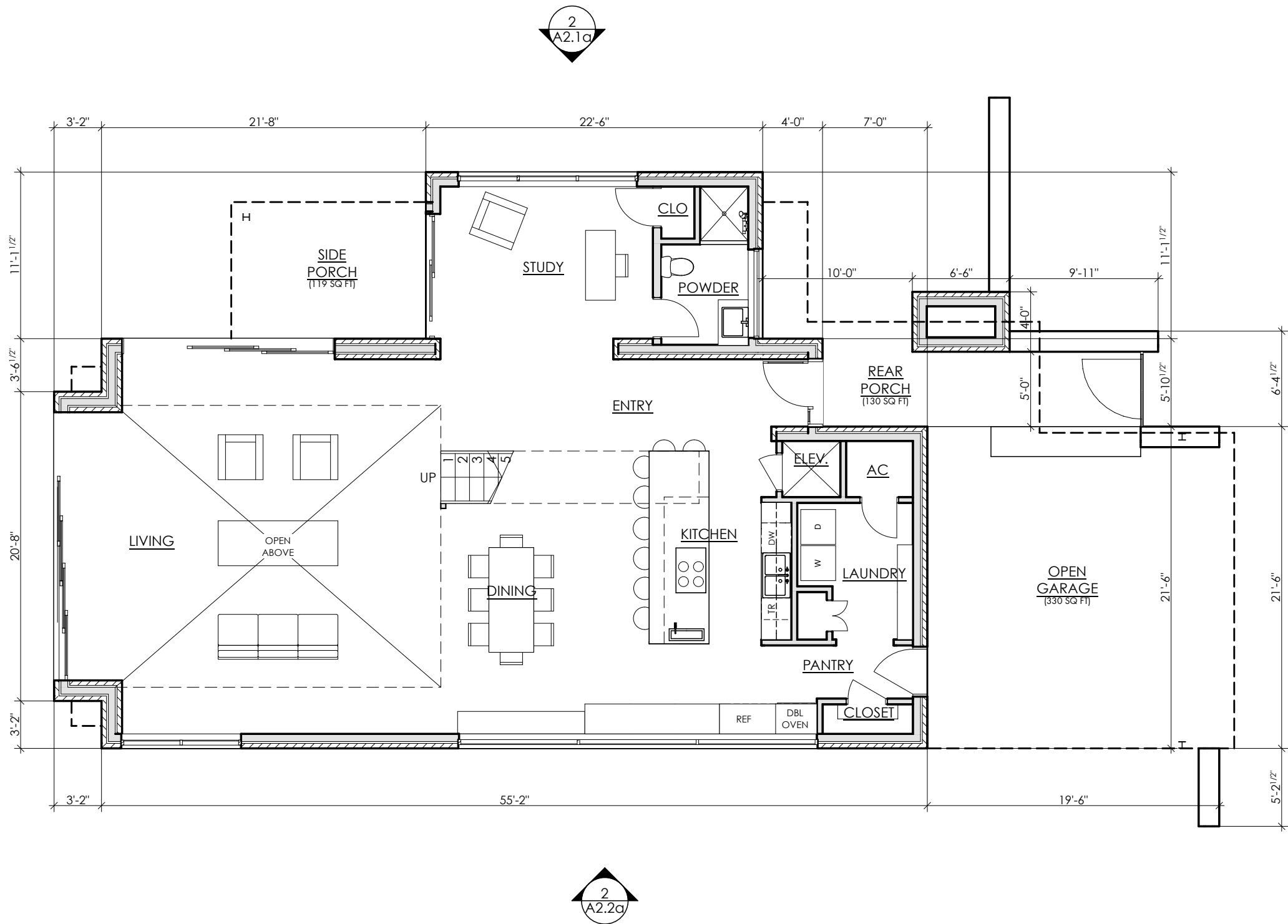
SHEET TITLE

FLOOR PLAN : LEVEL 1

SHEET :

A1.1a

Wednesday, August 27, 2014 | 2:55 PM
© 2014 DICK CLARK ARCHITECTURE



1 FLOOR PLAN : LEVEL 1
SCALE: 1/8" = 1'-0"

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SEAL



08/27/2014

PROJECT

FARRELL RESIDENCE

1115 W 11TH STREET
AUSTIN, TEXAS 78703

DRAWN BY

HC

SET ISSUE

06/27/2014 - PERMIT

REVISIONS

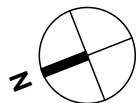
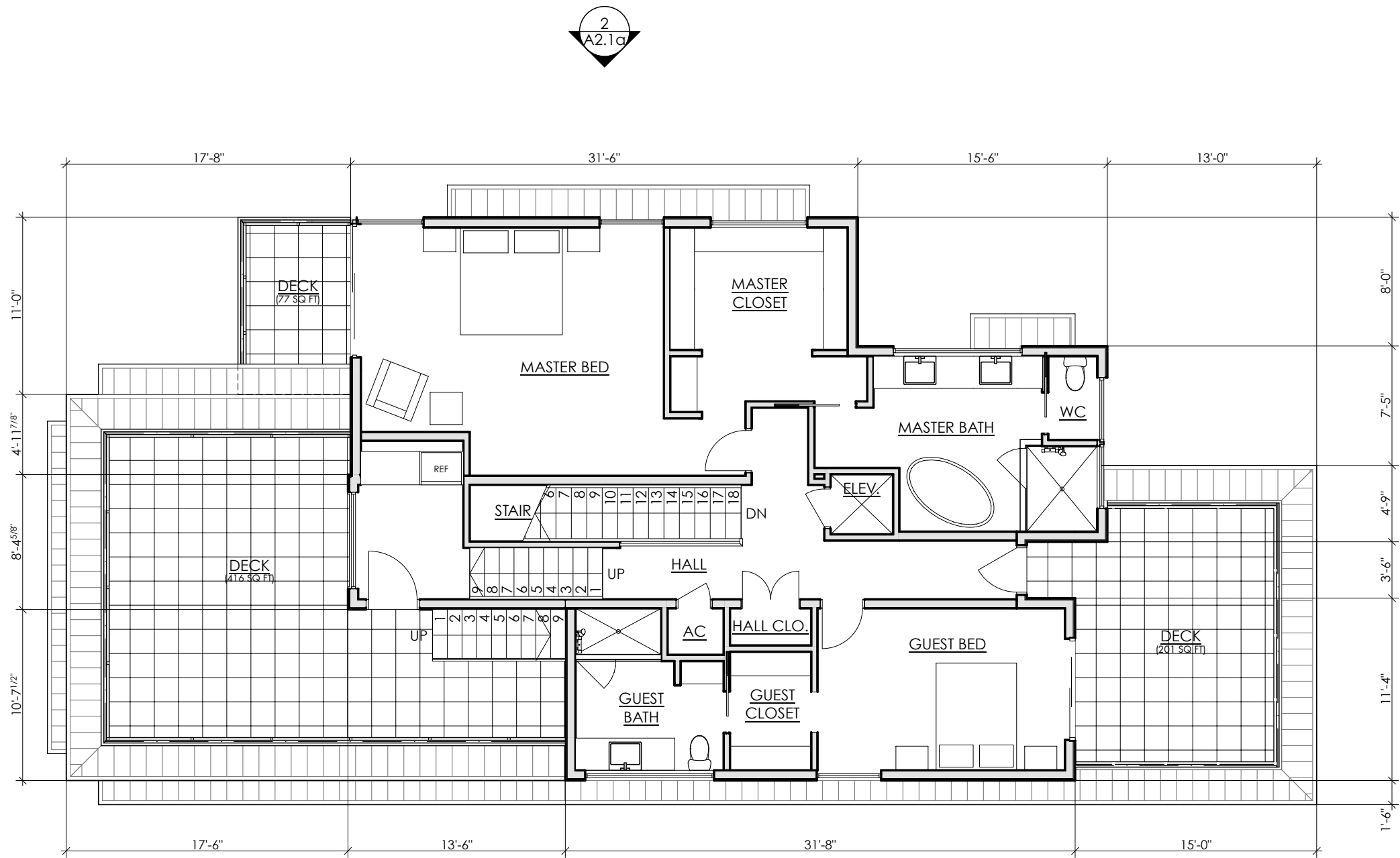
SHEET TITLE

FLOOR PLAN : LEVEL 2

SHEET :

A1.2.a

Wednesday, August 27, 2014 | 2:55 PM
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1 FLOOR PLAN : LEVEL 2
SCALE: 1/8" = 1'-0"



Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

The Historic Landmark Commission (HLC) reviews proposed exterior and site changes to City Historic Landmarks and properties in Local Historic Districts to assist owners in retaining the character-defining architectural features of important historic sites and districts. An approved Certificate of Appropriateness from the HLC is required in advance of performing all non-routine exterior and site work, including installation of signage. Your building permit will not be released without an approved Certificate of Appropriateness review by the City HPO or the HLC.

A Certificate of Appropriateness is required for all non-routine exterior work, including alterations to historic materials or the visual appearance of a site or building façade. These include additions to existing buildings, construction of new buildings, re-painting of Landmarks with new colors, changes in roof color or materials, major landscape work including pools, and changes in sidewalks and driveways. HLC review is usually not required for ordinary maintenance work such as re-painting with existing colors and performing routine repairs using like materials. Please check with the City HPO if you are uncertain whether a historic review is required.

Submit your building permit application for zoning review first, and provide a copy of the reviewed and stamped application and site plan to the City HPO prior to review by the HLC to ensure that your plans conform to all applicable zoning regulations. **If a modification is required from the Residential Design and Compatibility Commission or Board of Adjustments, that approval must be obtained prior to review by the HLC.** This form does not substitute for other required permit review applications.

The City HPO may approve certain minor projects without a review by the HLC. Minor projects include the construction of one-story rear additions of less than 600 square feet, two-story additions not visible from the street, and pools, decks, fences, back porch enclosures or other minor features

Submittal Requirements:

1. One set of dimensioned building plans, with the scale indicated on each sheet, including elevations, floor plan, site plan or layout, and a roof plan. Plans must indicate all proposed exterior and site changes (additions, alterations, new construction, or demolition). For changes and additions, the plan set must show existing and proposed conditions. Mechanical and electrical plans are not necessary.
 - a. Elevation sheets must specify all exterior building materials and finishes to be used, i.e., siding, roofing, windows, doors, fences, etc.
 - b. For review purposes electronic submittal of plans in PDF format is preferred. If hard copies are submitted original plans should be no larger than 11" x 17" and be of a good, reproducible quality. If you require a full-size set, these will be stamped for approval after review by the City HPO or HLC.
 - c. Material samples, specifications or manufacturer information may be requested by staff.
2. Color photographs of the structure and site. Include overall elevation views and close-ups of all affected areas being modified. Digital images submitted electronically are preferred

Submittal Process:

1. Apply for a city building, demolition, and/or relocation permit and obtain zoning compliance approval from City Zoning Review staff.
2. Complete the application for a Certificate of Appropriateness for a City Landmark or Local Historic District with all required information, plans, and photographs, and review fee, payable by check to the City of Austin.
3. Submit all application materials to the City HPO per the submittal deadline schedule available on the HPO web site or at the HPO office.

Preliminary Review by Certificate of Appropriateness Committee: The Certificate of Appropriateness Committee is made up of three members of the HLC. Applicants may have their projects reviewed by this Committee prior to submitting for final review by the HLC. The Committee provides informal review of projects, may suggest revisions to plans and specifications to meet standards, and makes recommendations to the full HLC regarding applications.

Historic Landmark Commission Meetings: The HLC generally meets on the fourth Monday of every month at 7:00 p.m., unless otherwise announced. Applicants or their agent are advised to attend the meeting to present information to the Commission and to answer any questions the Commission may have regarding the project. Failure to attend a Commission meeting may result in a postponement or denial of your application.

Reviewed plans: Once reviewed by the HLC, the HPO staff will provide stamped copies of the reviewed plans to the applicant within 10 days after the meeting, unless further information is required by the Commission for release of the permit. No permit will be released until the required review by the City HPO or the HLC is complete, and no work may commence until the applicant obtains necessary permit(s).

Fees: All applications for review must be accompanied with the appropriate review fee per the City's permit fee schedule. If the application requires review by the Historic Landmark Commission an additional notification fee must be paid as well.



Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

GENERAL DESIGN GUIDELINES USED FOR REVIEW OF CERTIFICATES OF APPROPRIATESS FOR CITY LANDMARKS

The following guidelines, based upon the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, are used to review projects in the National Register Historic Districts:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
- Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

DESIGN STANDARDS USED FOR REVIEW OF CERTIFICATES OF APPROPRIATESS FOR PROPERTIES IN LOCAL HISTORIC DISTRICTS

Applications for Certificates of Appropriateness for properties in Local Historic Districts are reviewed based on the Preservation Plan and Design Standards adopted for each Local Historic District.



Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

Permit Information

For Office Use Only	BP- _____ PR- _____ C14H/LHD - _____
	Property Name or LHD: _____ Contributing/Non-contributing _____
	<input type="checkbox"/> RELEASE PERMIT <input type="checkbox"/> DO NOT RELEASE
	<div style="text-align: center;"> APPROVED BY HISTORIC LANDMARK COMMISSION DATE: 12:38 pm, Sep 23, 2014 BY: <i>Steve Ladousky</i> for HLC Chair </div> <div style="display: flex; justify-content: space-between;"> <div>HISTORIC PRESERVATION OFFICE</div> <div>FEE PAID: \$ _____</div> </div> <div style="display: flex; justify-content: space-between;"> <div>DATE: _____</div> </div>

Property Information

Address: _____

Scope of Work

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone: _____

Email: _____

Owner

Name: _____

Address: _____

City/Zip: _____

Phone: _____

Email: _____

Architect or Contractor Information

Company: _____

Address: _____

City/Zip: _____

Phone: _____

Owner's Signature

Date

Applicant's Signature

Date



August 27, 2014

City of Austin Certificate of Appropriateness Application: Narrative

Address of historic property: 1115 W 11th Street

Brief description of proposed work: Construct a new single-family residence on vacant MF-4 zoned lot. New residence will be a 2-story, wood-framed building, approximately 3,221 sq ft, with large block Carmel Lueder's limestone with 4 sides sawn on lower portion, light stucco on upper portion, accented by large glass windows and doors and dark wood siding, a flat roof and 2nd floor balconies and glass railings for a roof deck. This single family residence for homeowner, Bob Farrell, is to be located at the narrow back portion of the site along the alley to allow for additional development of a couple of additional units on this MF-4 lot sometime in the future.

**Dick Clark + Associates responses in blue.*

General Design Guidelines Response:

1. The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
 - a. *There is no existing structure on lot and not in conflict with this guideline. Originally there was a duplex rental unit on this site that was accessed from both the 11th street and the alley for parking that was torn down in 2006 or 2007. The property does have a significant 42" tree along the property line with the TMI Castle on its East property line toward the back that we are working around with input from COA tree department.*
2. All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
 - a. *The proposed residence represents the evolution of architecture and construction methods while complimenting the historic context in mass, scale, materials, and site design. Because we are a multi-family site, with commercial and multi-family uses along 11th street and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing. Also, although we are building a single-family unit at this time because this is a multi-family site with longer term plans, we are proceeding with conceptual design and massing on the front multi-family unit so we have a cohesive plan and massing for the entire site.*



3. Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
 - a. There is no existing structure on lot and not in conflict with this guideline.
4. Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
 - a. There is no existing structure on lot and not in conflict with this guideline.
5. Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
 - a. There is no existing structure on lot and not in conflict with this guideline.
6. Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
 - a. There is no existing structure on lot and not in conflict with this guideline.
7. Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
 - a. There is no existing structure on lot and not in conflict with this guideline.
8. Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
 - a. There is no existing structure on lot and not in conflict with this guideline.
9. The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
 - a. All Mechanical equipment to be concealed behind a small parapet on the roof of the residence, or on the ground level at the West side of the house.
10. Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.
 - a. There is no existing structure on lot and not in conflict with this guideline.



Preservation Plan and Design Standards:

“The historic context of the district defines the massing, scale, materials, and site design of new construction. New architecture should reflect the era of its construction. This creates a timeline of architectural style that represents the evolution of architecture and construction methods.”

1. Required Standards Response:

- (a) Site new construction to be compatible with surrounding contributing buildings in terms of front setback, street-front orientation, and distance from adjacent buildings.
 - (1) Front yard setbacks shall be consistent with historic setbacks by taking the average of the existing setbacks of contributing properties within the same blockface.
 - a. See site plan for the front yard setback. This property is on West 11th street and except for the TMI Castle, no other properties are on this side of the street. Our proposed house has been pushed back significantly to allow for future development on the site and we access our parking at the rear of the site from the alley with guest parking utilizing the existing curb cut and driveway in the front.
- (b) Form and Architectural Style
 - (1) Design new buildings to be compatible with surrounding contributing buildings of similar use in terms of form, massing, proportion, and roof form.
 - a. The proposed residence is similar to the surrounding buildings in form, massing, proportion and roof form, proving suitable. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle.
 - (2) Design new buildings so that they are compatible with but discernible from historic buildings in the district. Do not replicate a historic style in new construction.
 - a. The proposed residence is compatible with the surrounding buildings while not replicating any certain style. The architecture reflects the era of its construction with large block caramel Lueder's limestone with 4 sides sawn on the building's ground floor portion, light stucco on upper portion, accented by large glass windows and doors and dark wood siding, a flat roof and 2nd floor balconies and roof deck reminiscent to the TMI Castle.
 - (3) New construction should have window-to-wall area ratios, floor-to-floor heights, fenestration patterns, and bay divisions compatible with those seen on



contributing buildings throughout the district.

- a. Because we are a multi-family site and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing. The proposed residence is masonry accented by large glass windows and doors, a flat roof, 2nd floor balconies, and a roof deck that all correlate back to the design features of the TMI Castle.

(c) Materials

(1) Select materials for new construction to be compatible with those existing in the district. Examples include but are not limited to wood siding, limestone, brick, fiber-cement siding, and stucco.

- a. The architecture reflects the era of its construction, but is also compatible with the existing buildings through use of materials already found in the district. They include large block lueder's limestone with 4 sides sawn on the building's ground floor portion, light stucco on the upper portion, and accents of large glass windows and dark wood siding.

(2) In windows, do not use false muntins attached to or inserted between insulated glass panels.

- a. No false muntins are used in the project and not in conflict with this requirement.

(3) Boxed wood chimneys are not permitted.

- a. No boxed wood chimneys are in this project and not in conflict with this requirement.

(4) Materials proposed for use but not referenced in this section will be evaluated on a case-by-case basis to determine appropriateness in the context of existing adjacent buildings. Applicant must provide justification for suitability of proposed material for use.

- a. All materials proposed for use are found in the section and not in conflict with this requirement.

(d) For new single-family houses, a garage shall not be located less than 15 feet from the front wall of the building (excluding the porch) or 1/3 of the depth of the building from the front wall of the building, whichever is greater.

- a. The open carport is located in the rear of the lot with access from the alley and not in conflict with this requirement.

2. Recommendations/Advisory Standards:



- (a) Design the proportion of the proposed new building's front façade to be compatible with the front façade proportion of surrounding contributing buildings.
 - a. The proposed residence is similar to the surrounding buildings in the proportion of the facade. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle.
- (b) Consider use of simple hipped or gabled roof forms at the primary façade where appropriate to be compatible with existing adjacent buildings.
 - a. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle. Because we are a multi-family site, with commercial and multi-family uses along 11th street and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing because that would be inappropriate.
- (c) Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in proposed new construction to be compatible with surrounding contributing buildings.
 - a. In order to achieve an architecture that reflects the era of its construction while complementing the adjacent TMI Castle, we proposed large windows and doors that take advantage of views and day lighting through proper spacing, placement, scale, orientation, proportion, and size.
- (d) Entry porches are encouraged for new construction, if complementary to the overall design and scale of the building.
 - a. A traditional front porch was not used in the proposed residence, as this residence is the future back unit of a larger multi-unit development but we have incorporated large windows facing north and East and with a deep wrap around awning to protect them from similar to the first floor of the TMI Castle.
- (e) Protect large trees and other significant site features from damage during construction and from delayed damage due to construction activities such as root loss or compaction of the soil by equipment.
 - a. The property does have a significant 42" tree along the property line with the TMI Castle on its East property line toward the back. We have submitted a Tree Ordinance Review Application for this tree that includes several complicated structural details for tree protection where we get close to the tree, and will work diligently to protect it throughout the construction process because we believe the tree plays an important role in the final design of the residence.



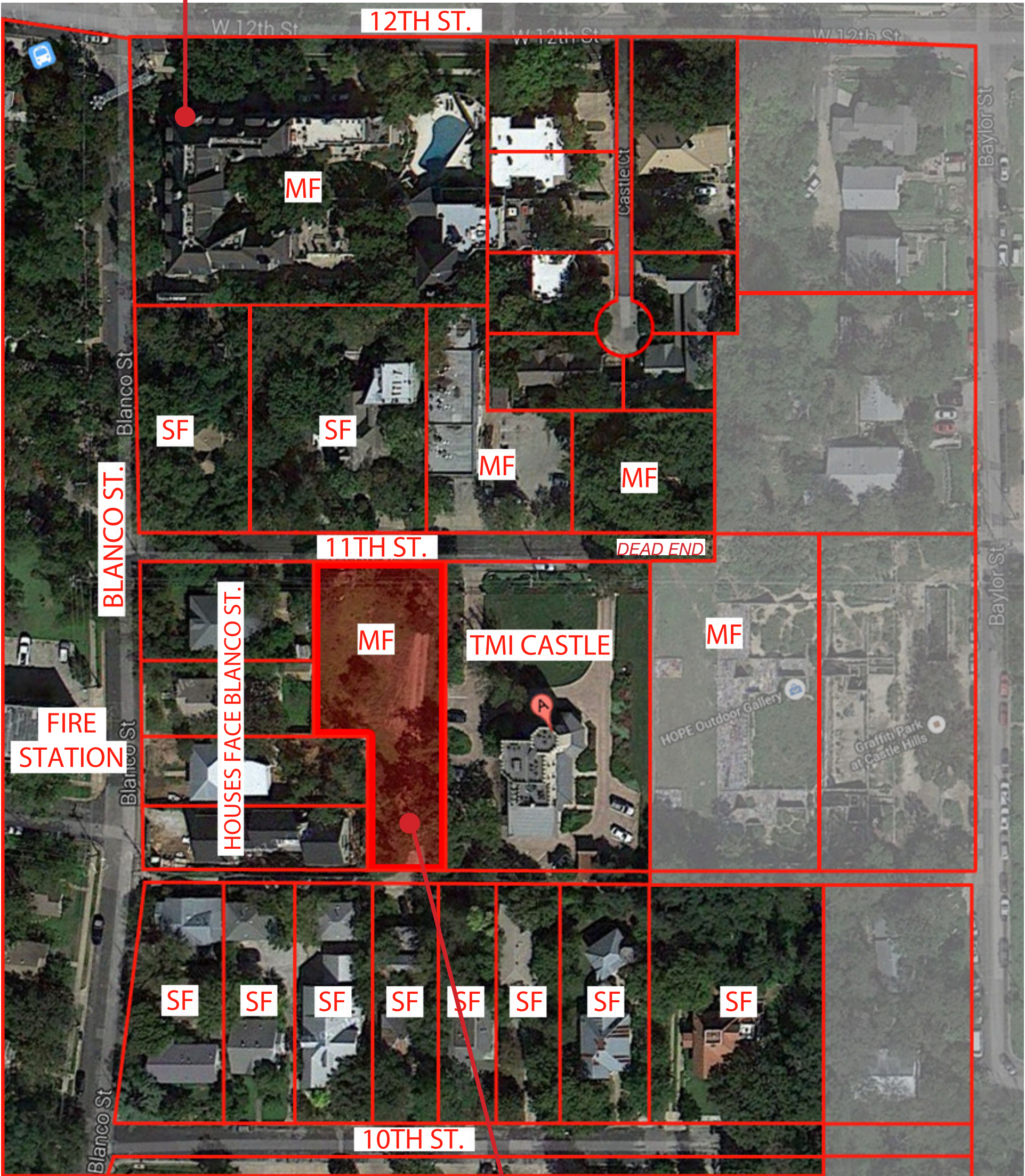
(f) Consider Energy Star qualified roof products, which lower roof surface temperature and can reduce peak cooling demand by 10-15 percent. Consider adding a radiant barrier in the attic or underneath the roof deck to reduce summer heat gain and reduce air-conditioning loads.

- a. The proposed residence will have an Energy Star qualified white TPO flat roof concealed by a parapet and non-reflective, prefinished standing seam metal roof where exposed with overhangs that provide shade around the building and above strategically placed windows.

(g) Passive energy savings measures such as usable shutters and awnings are highly encouraged.

- a. Building orientation to the sun, windows and doors (size, type, and location), day lighting and shading, insulation and thermal bridging, and super-efficient, balanced ventilation systems all contribute to the overall passive energy savings measures and have been incorporated as best as possible for the proposed residence.

CASTLE HILL HISTORIC DISTRICT



1115 W 11TH ST.
PROPOSED LOT

PROJECT NAME:

1115 W 11TH ST.

DATE:

27 August 2014

IMAGE NAME:

Castle Hill Historic District

IMPERVIOUS COVER

SITE AREA: 13,838 SQ FT

ALLOWABLE BUILDING COVER: (40.0%): 5,535.2 SQ FT
TOTAL PROPOSED BUILDING COVER: (17.3%): 2,400.0 SQ FT

ALLOWABLE IMPERVIOUS COVER: (45.0%): 6,227.1 SQ FT
TOTAL PROPOSED IMPERVIOUS COVER: (43.4%): 6,010.0 SQ FT

FRONT YARD IMPERVIOUS COVER CALC.:

FRONT YARD AREA: 2,240 SQ FT
FRONT WALKWAY: 11 SQ FT
FRONT DRIVEWAY: 884 SQ FT
TOTAL F.Y. IMPERVIOUS: 895 SQ FT (40.0%)

BUILDING COVER BREAKDOWN:

UNIT 1 - LEVEL 1: 1,710 SQ FT
OPEN GARAGE: 330 SQ FT
OVERHANGS (NOT UNDER HABITABLE): 111 SQ FT
COVERED PORCH (UNDER HABITABLE): 249 SQ FT

SITE BREAKDOWN:

NEW UNCOVERED DRIVEWAY: 1158 SQ FT
NEW UNCOVERED STONE PAVERS: 2,093 SQ FT
NEW UNCOVERED STONE WALKWAY: 252 SQ FT
A/C PADS: 9 SQ FT
POOL COPING: 46 SQ FT
RETAINING WALLS: 52 SQ FT

F.A.R. CALCULATIONS

1ST LEVEL: 1,710 SQ FT
2ND LEVEL: 1,332 SQ FT
COVERED PORCH: (EXEMPTION) 249 SQ FT (-200 SQ FT)
OPEN GARAGE: (EXEMPTION) 330 SQ FT (-200 SQ FT)

TOTAL PROPOSED: 3,221.0 SQ FT (0.233)
TOTAL ALLOWED: 5,535.2 SQ FT (0.400)



DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS
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207 WEST 4TH STREET • AUSTIN, TX 78703

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SEAL



08/27/2014
PROJECT

FARRELL RESIDENCE
1115 W 11TH STREET
AUSTIN, TEXAS 78703

DRAWN BY
HC

SET ISSUE

06/27/2014 - PERMIT

REVISIONS

1 08/28/14 PERMIT RESPONSE #1

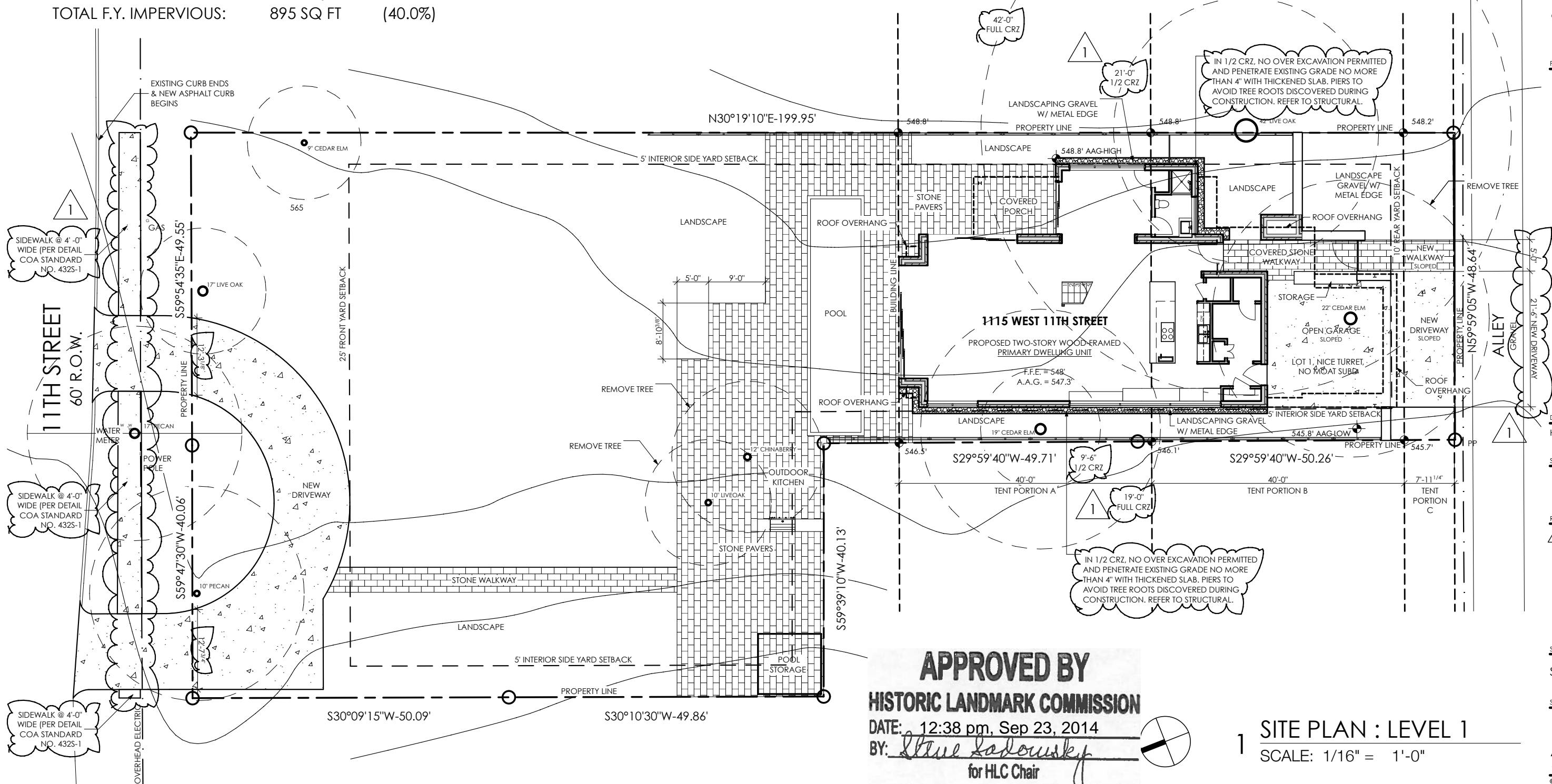
SHEET TITLE

SITE PLAN

SHEET :

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PROJECT

FARRELL RESIDENCE

1115 W 11TH STREET
AUSTIN, TEXAS 78701

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SET ISSUE

08/27/2014

REVISIONS

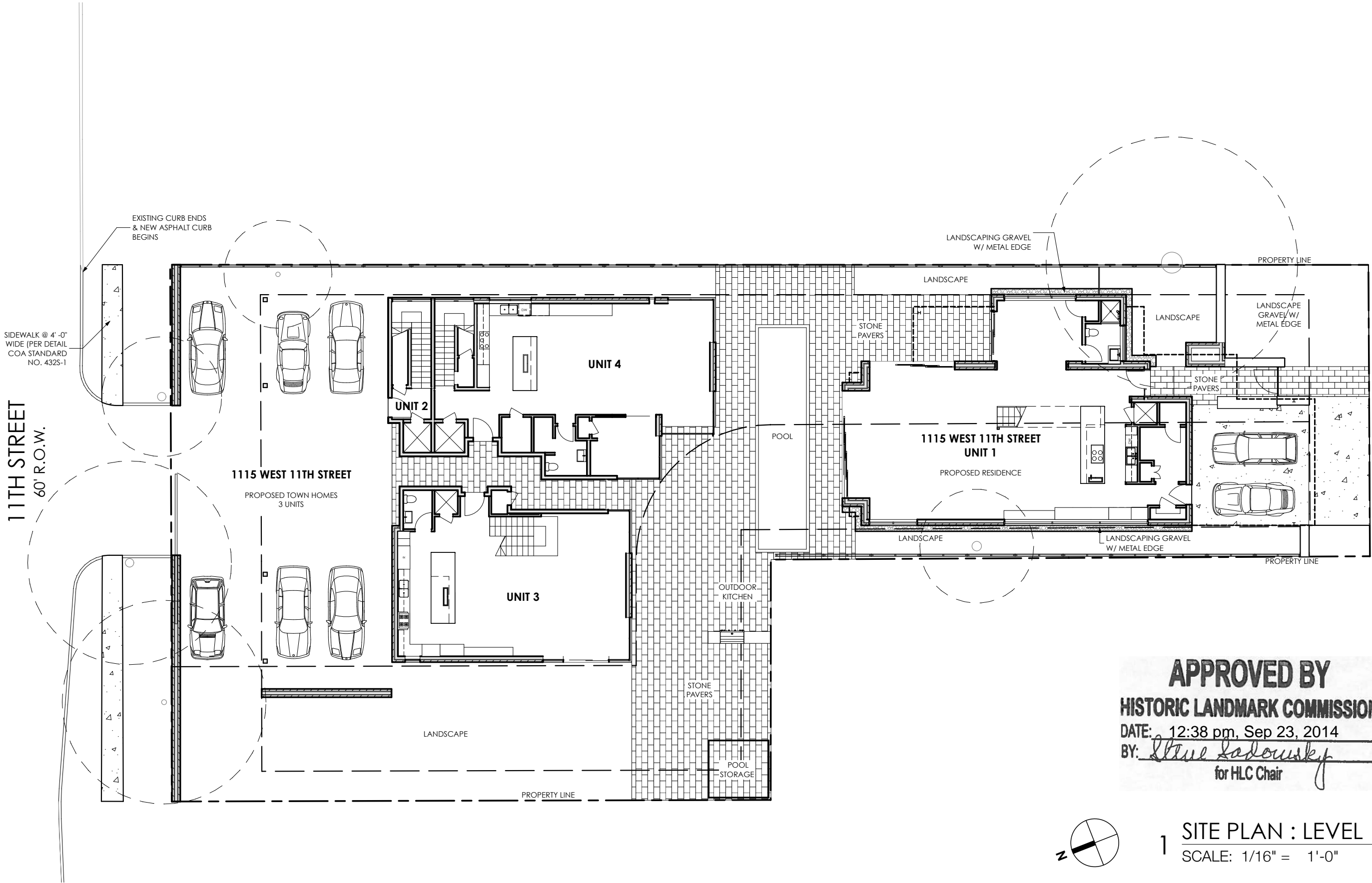
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SITE PLAN - PHASE 2

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08/27/2014
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REVISIONS
1 08/28/14 PERMIT RESPONSE #1

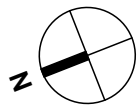
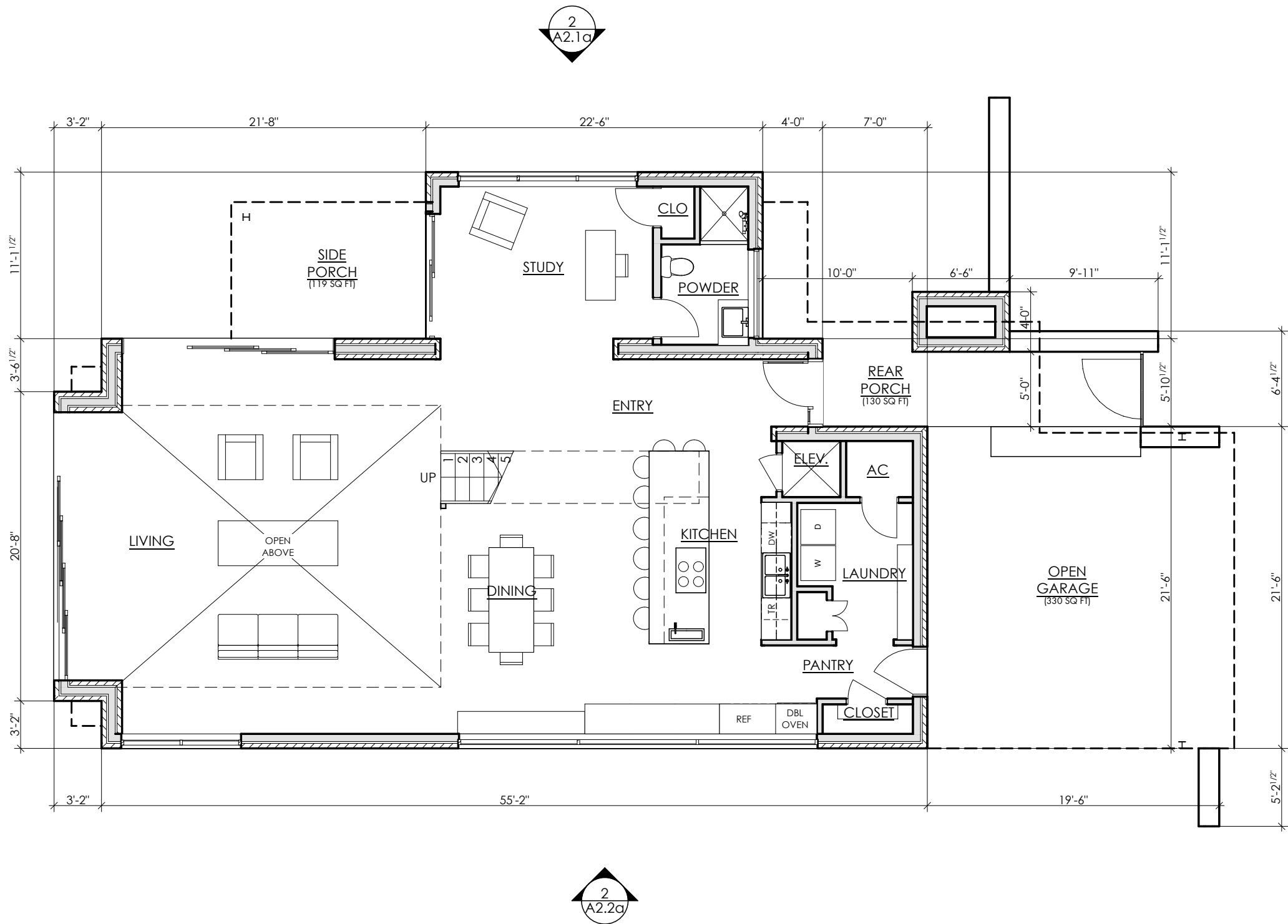
SHEET TITLE

FLOOR PLAN : LEVEL 1

SHEET :

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1 FLOOR PLAN : LEVEL 1
SCALE: 1/8" = 1'-0"

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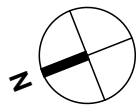
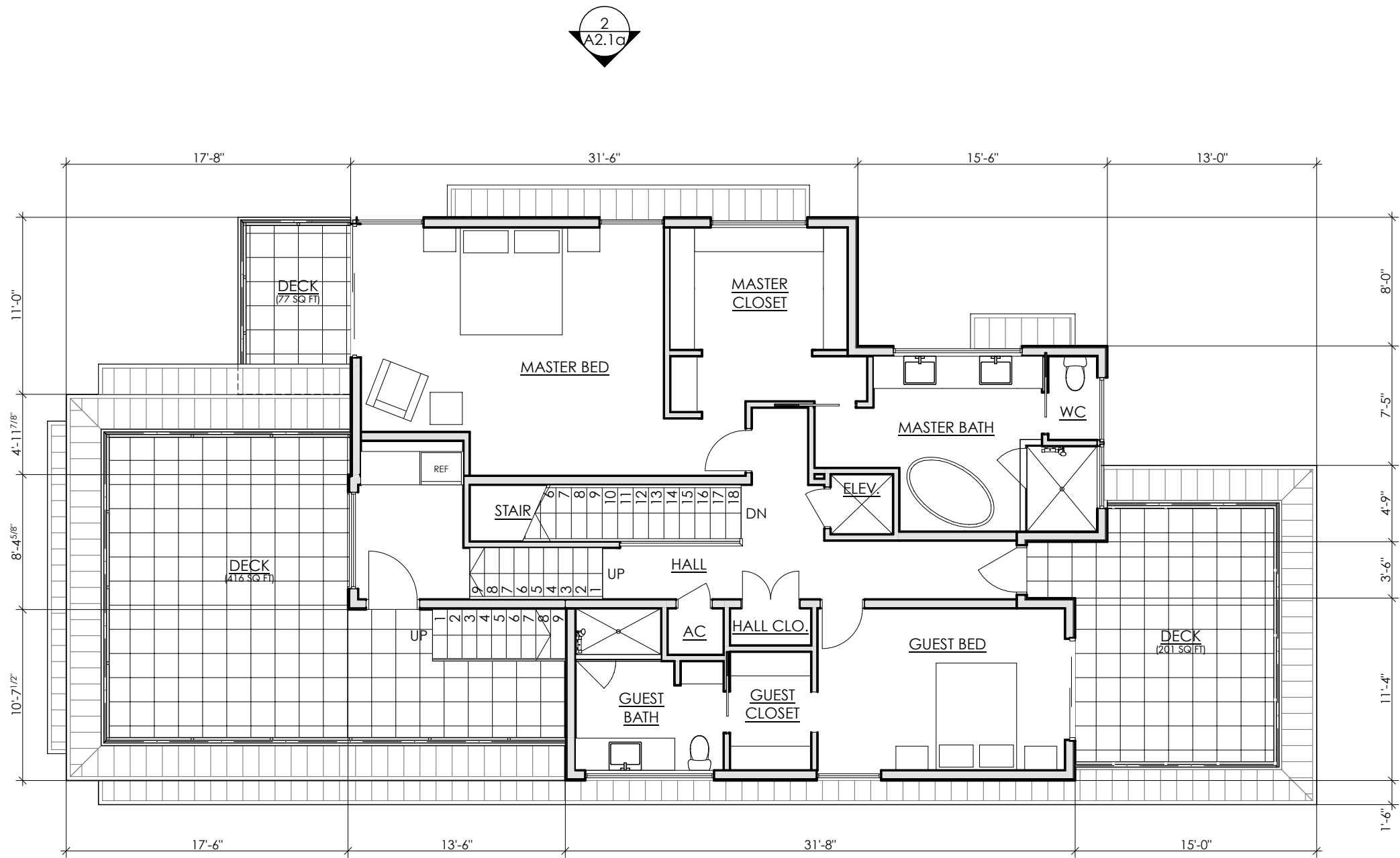
SHEET TITLE

FLOOR PLAN : LEVEL 2

SHEET :

A1.2.a

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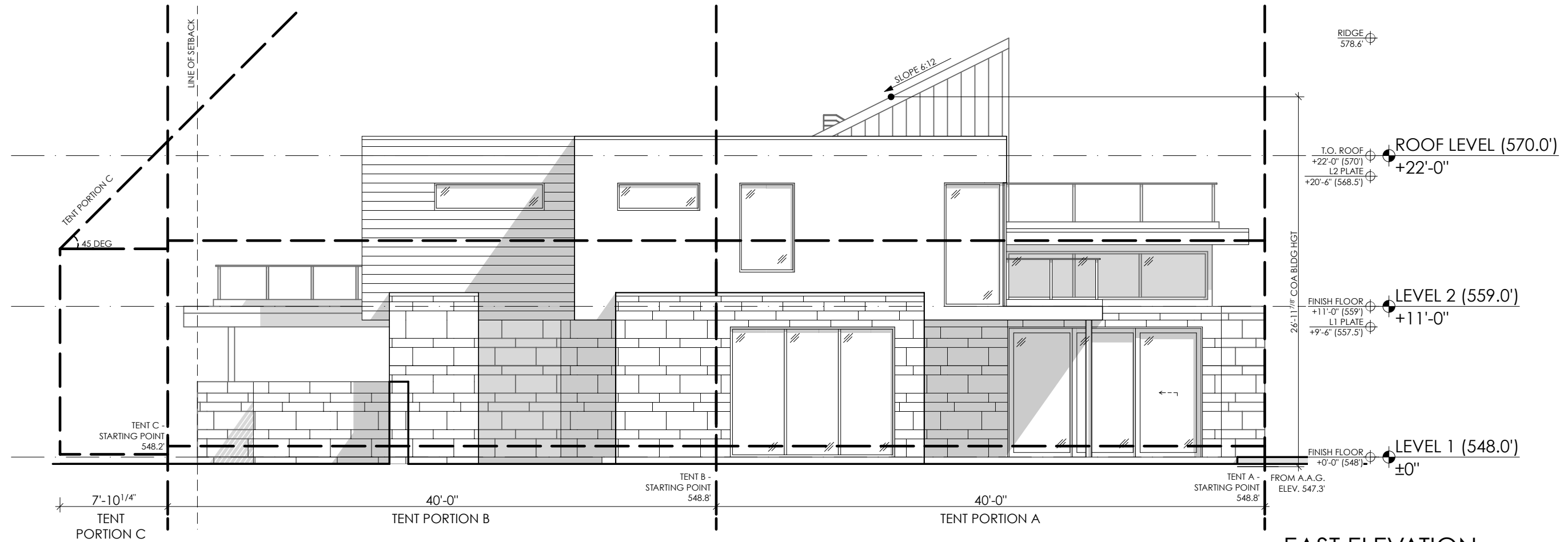
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EXTERIOR ELEVATIONS

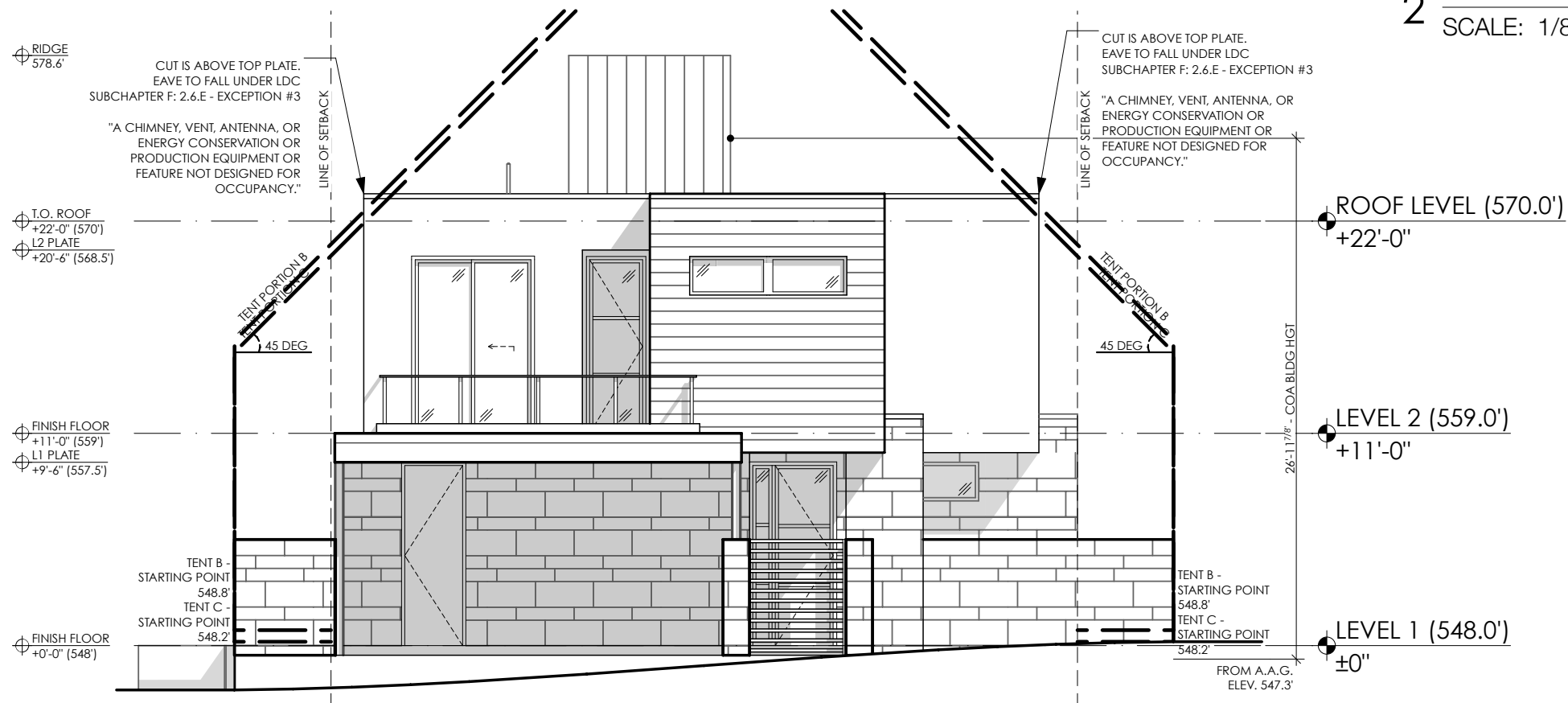
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2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 12:38 pm, Sep 23, 2014
BY: *Steve Ladousky*
for HLC Chair

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FARRELL RESIDENCE

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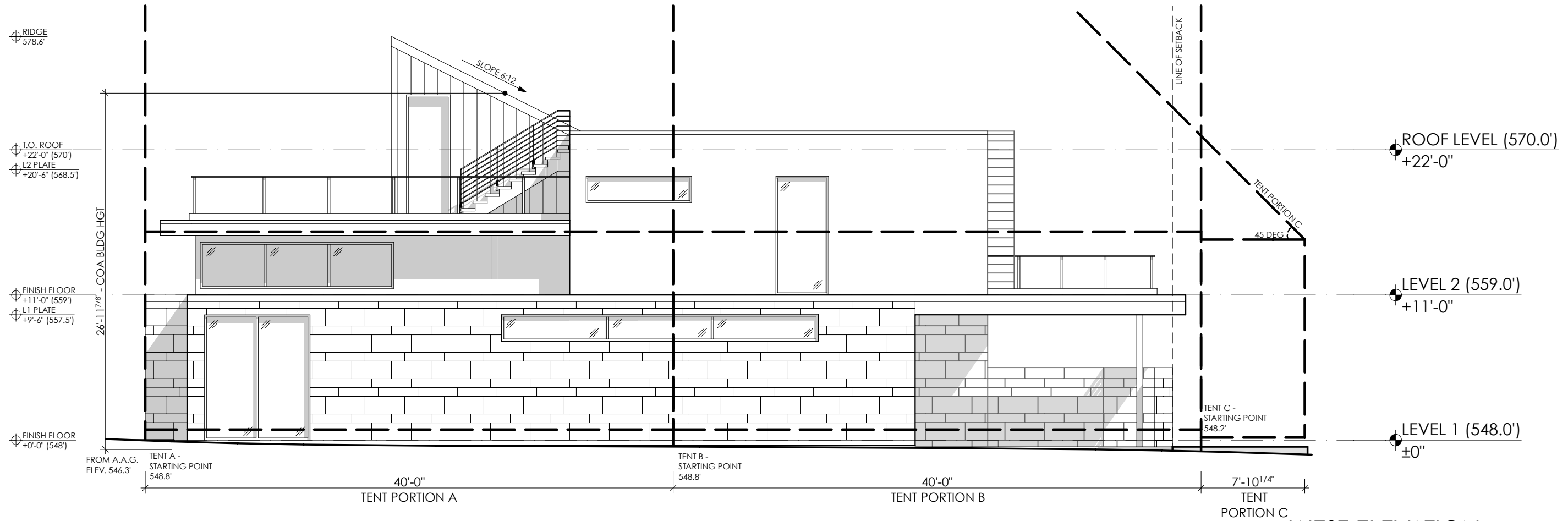
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EXTERIOR ELEVATIONS

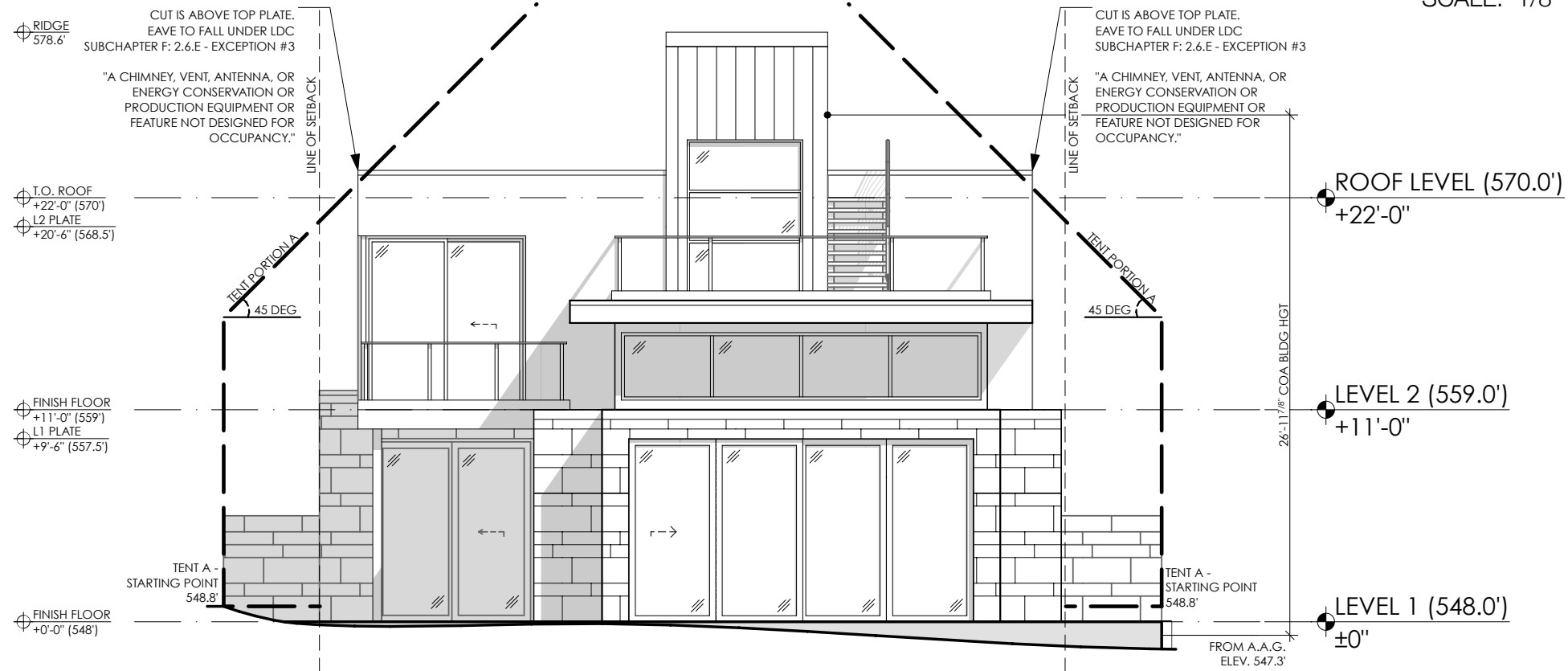
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2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 12:39 pm, Sep 23, 2014
BY: *Blue Ladovsky*
for HLC Chair



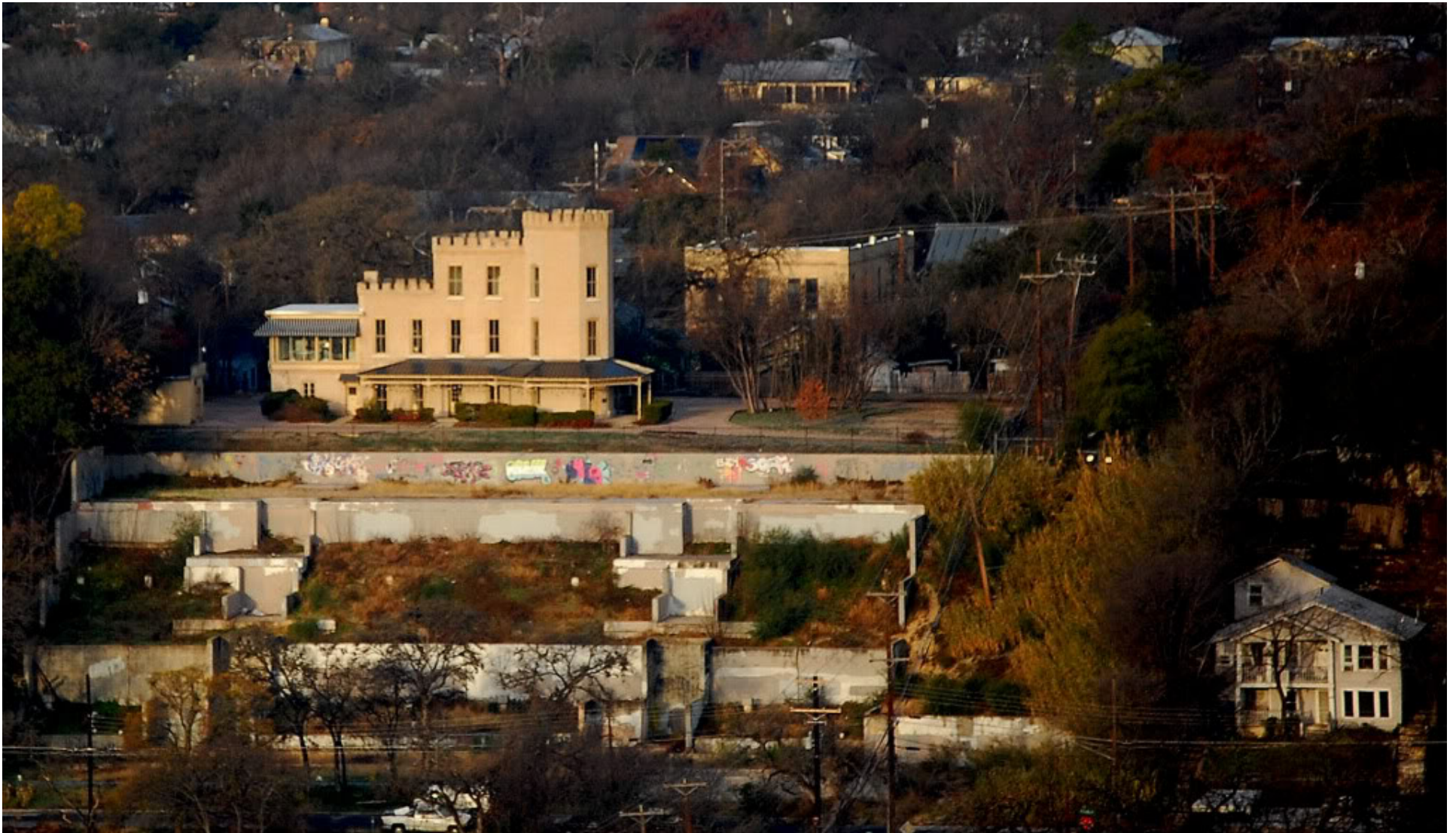
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207 WEST 4TH STREET

AUSTIN, TX 78701

WWW.DCARCH.COM



PROJECT NAME:

1115 W 11th Street

DATE:

27 August 2014

IMAGE NAME:

TMI Castle



PROJECT NAME:

1115 11TH STREET

DATE:

25 AUGUST 2014

IMAGE NAME:

SITE PHOTO



PROJECT NAME:

1115 11TH STREET

DATE:

25 AUGUST 2014

IMAGE NAME:

SITE PHOTO



PROJECT NAME:

DATE:

IMAGE NAME:

1115 11TH STREET

25 AUGUST 2014

SITE PHOTO



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

IMAGE NAME:

ALLEY ENTRY - MAIN ENTRY TO RESIDENCE

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 12:39 pm, Sep 23, 2014
BY: *Steve Ladousky*
for HLC Chair



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

IMAGE NAME:

FRONT VIEW OF RESIDENCE

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 12:39 pm, Sep 23, 2014
BY: *Steve Ladousky*
for HLC Chair



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

IMAGE NAME:

11TH STREET - MAIN ENTRANCE TO TOWN HOMES

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE: 12:39 pm, Sep 23, 2014
BY: *Steve Ladousky*
for HLC Chair



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

IMAGE NAME:

Site rendering from neighboring backyards



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

IMAGE NAME:

Phase 2 - Site rendering from neighboring backyards



DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS

512.472.4980

207 WEST 4TH STREET

AUSTIN, TX 78701

WWW.DCARCH.COM



WINDOWS

FLEETWOOD WINDOWS & DOORS
DARK BRONZE ANODIZED FINISH



STUCCO - UPPER PORTION

LA HABRA

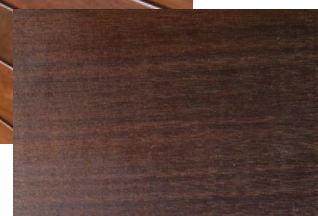
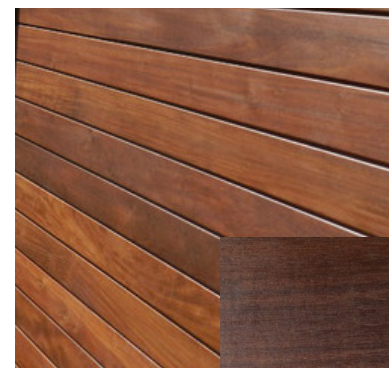
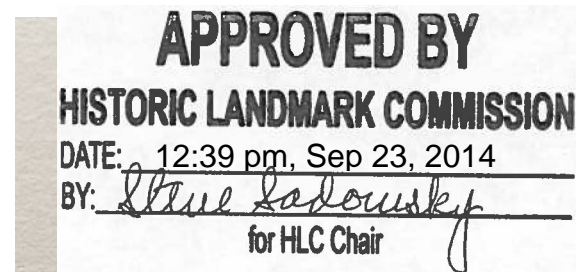
SANTA BARBARA MISSION FINISH

COLOR: MESA VERDE - LIGHT

ACCENT MATERIAL

DARK WOOD SIDING & SOFFIT

IPE SIDING, CLEAR STAINED FINISH



TRIM COLOR

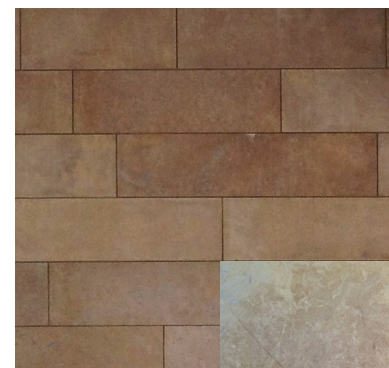
SHERWIN-WILLIAMS 7069 IRON ORE [FENC-
ING, PAINTED METAL FASCIA, EXPOSED STEEL
COLUMNS & BEAMS]



STONE - LOWER PORTION

4 SIDES SAWN, LUEDERS LIMESTONE

CARAMEL - LARGE BLOCK



ROOF

STANDING SEAM METAL
BERRIDGE CHARCOAL GREY



PROJECT NAME:

1115 W 11th St.

DATE:

27 August 2014

IMAGE NAME:

Materials Board