

GREEN PASTURES

811 West Live Oak Street
Austin, TX 78704

PROJECT TEAM

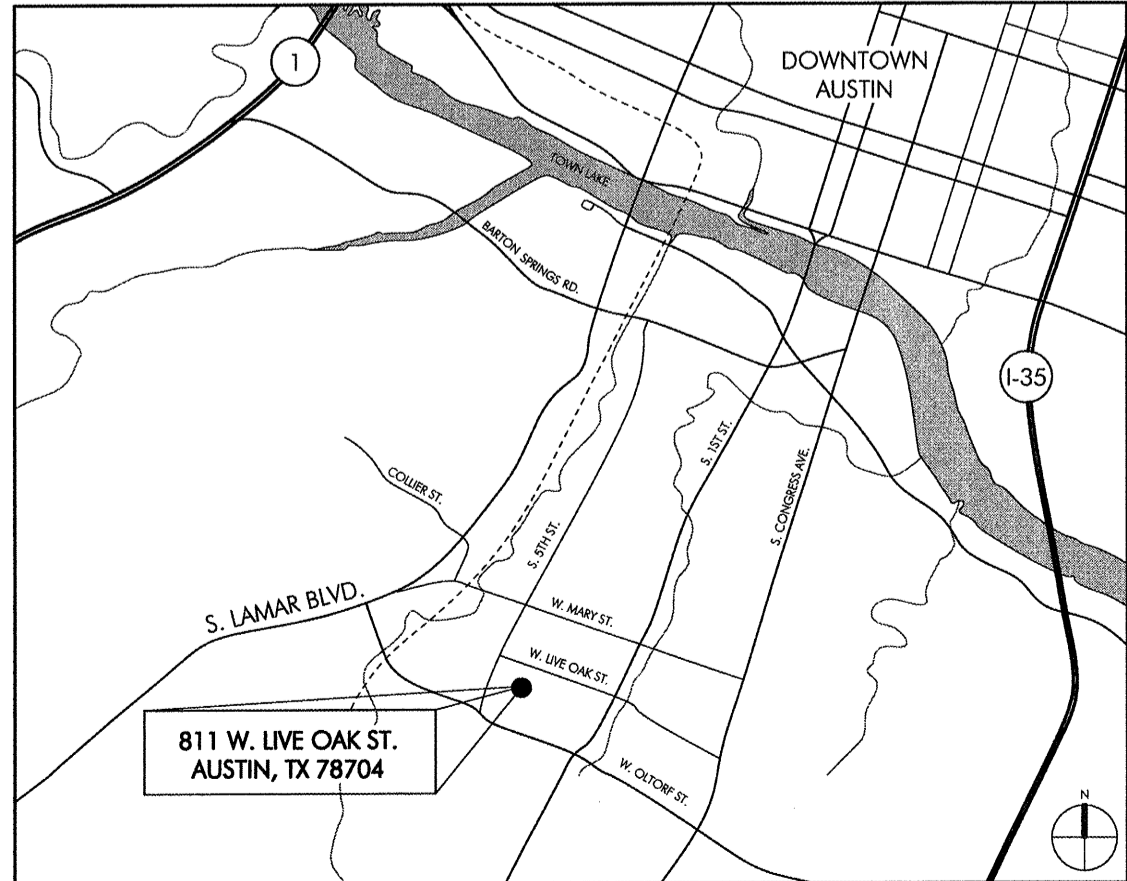
OWNER: GREG PORTER AC 811 W LIVE OAK, LLC 1500 TRAVIS HEIGHTS BLVD. AUSTIN, TEXAS 78704	ARCHITECT: CLAYTON & LITTLE ARCHITECTS 1001 EAST 8TH STREET AUSTIN, TEXAS 78702 CONTACT: GEORGE WILCOX, AIA EMAIL: george@claytonandlittle.com PHONE: (512) 477.1727 x212 FAX: (512) 477.9876	LANDSCAPE ARCHITECT: MARK WORD DESIGN PO BOX 41718 AUSTIN, TX 78704 CONTACT: SARAH CARR EMAIL: sarah@markworddesign.com PHONE: (512) 440.0013 FAX: (512) 532.6146	INTERIOR DESIGN: JOEL MOZERSKY DESIGN CONTACT: JOEL MOZERSKY EMAIL: joel@joelmozersky.com PHONE: (512) 913.3732
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RENDERING



VICINITY MAP

(FOR LOCATION WITHIN THE DEVELOPMENT, RE: SITE PLAN/A1.0)



SYMBOL LEGEND

	ELEVATION SYMBOL
	SECTION SYMBOL
	PARTITION TYPE SYMBOL
Room name 	ROOM NAME & NUMBER SYMBOL
	DOOR NUMBER SYMBOL
	DETAIL SYMBOL
	WINDOW SYMBOL

SITE INFORMATION

SITE INFORMATION TAKEN FROM SURVEY PERFORMED BY KGBE ENGINEERING ON 08/12/2015 UNDER THE SUPERVISION OF ABRAM C. DASHNER, RPLS NO. 5901, KGBE ENGINEERING, 105 W. RIVERSIDE DRIVE, SUITE 110, AUSTIN TX 78704.

LEGAL DESCRIPTION

LOTS 1-4 & 10-11 BLK 8 & LOT 13 & PT LOT 12 BLK 10 DAVIS & DAWSON & LOTS 8-9 BLK 10 BOULDIN SOUTH EXTENSION & ABS 8 SUR 20 DECKER 1 ACR 3.429 & VAC ALLEY (Per TCAD) AND LOT 1 BLK H LOMA LUNDA (per TCAD)

ZONING & HISTORIC INFORMATION

PROPERTY CONTAINS MULTIPLE LOTS WITH VARYING ZONING DESIGNATIONS. REFER TO SITE PLAN. (GR-MU-H-CO-NP, GR-MU-CO-NP, SF-3-NP)
BOULDIN CREEK NEIGHBORHOOD PLAN
LEGAL JURISDICTION: CITY OF AUSTIN, TRAVIS COUNTY, TEXAS
THE SITE IS ON THE NATIONAL REGISTER OF HISTORIC PLACES, IS A REGISTERED TEXAS HISTORIC LANDMARK AND IS A CITY OF AUSTIN HISTORIC LANDMARK.

GENERAL NOTES

1. THE CONTRACTOR, IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THESE CONTRACT DOCUMENTS, SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR AND SUPERVISION REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN AND WHICH CAN BE REASONABLY INFERRED TO BE REQUIRED, IN A GOOD WORKMANLIKE MANNER.
2. SUBMISSION OF A BID BY THE CONTRACTOR WILL SIGNIFY THAT THE SITE WAS INSPECTED BY THE APPROPRIATE PERSONNEL AND WORK ASSOCIATED WITH DEALING WITH THE EXISTING CONDITIONS HAS BEEN INCORPORATED INTO THE BID. FAILURE TO OBSERVE THE EXISTING CONDITIONS WILL NOT BE A BASIS FOR ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL VISIT THE JOB SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND VERIFY ANY DISCREPANCIES.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES. PROCEEDING WITH WORK SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR THAT ALL CONDITIONS ARE CORRECT AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY.
4. DO NOT SCALE DRAWINGS; IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
5. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ACTS, COVENANTS, ETC. HAVING JURISDICTION.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, INSPECTION FEES, AND DEPOSITS REQUIRED FOR THE INSTALLATION OF ALL WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL FOR LOCAL INSPECTIONS AND OBTAIN APPROVAL FROM CITY INSPECTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSURANCE AND NECESSARY INCIDENTALS.
7. GENERAL CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING PROPERTY UTILITIES PRIOR TO PERFORMING ANY WORK, AND GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WITH EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION PHASES.
8. A HAZARDOUS MATERIALS REPORT HAS BEEN PROVIDED BY OWNER, WHO WILL CONTRACT DIRECTLY WITH GC FOR REMOVAL. THE WORK INDICATED HEREIN AND IN RELATED SPECIFICATIONS (INCLUDING REQUIRED DEMOLITION WORK) DOES NOT ADDRESS THE PRESENCE OF ASBESTOS. THE ARCHITECT IS NOT INVOLVED IN THE REMOVAL, TREATMENT, OR IDENTIFICATION OF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL IN ANY WAY.
9. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL DEMOLISHED MATERIALS. THE CONTRACTOR SHALL VERIFY ANY REGULATIONS, LAWS AND/OR ORDINANCES AFFECTING THE METHODS OF DEMOLITION AND THE DISPOSAL OF WASTE MATERIALS. THE OWNER ASSUMES NO LIABILITY FOR EXTRA WORK OR ADDITIONAL COMPENSATION DUE TO FAILURE OF THE CONTRACTOR OR SUBCONTRACTORS TO COMPLY WITH APPLICABLE REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND PERSONNEL DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, EXCAVATION PROTECTION, SCAFFOLDING, JOB SITE SAFETY, ETC. OBSERVATION VISITS TO THE SITE BY ARCHITECT, OWNER, OWNERS REP. OR ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.
11. IT IS THE INTENT OF THE OWNER AND ARCHITECT THAT THIS PROJECT COMPLY WITH THE ADA AND TEXAS ACCESSIBILITY STANDARDS.
12. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL AGREE TO WARRANTY THE WORK, INCLUDING BOTH MATERIALS AND WORKMANSHIP, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. CONTRACTOR SHALL REMEDY, AT NO EXPENSE TO THE OWNER, ANY DEFECTS IN THE WORK WHICH BECOME APPARENT DURING THE WARRANTY PERIOD.
13. SEAL ALL CRACKS AROUND STRUCTURAL MEMBERS, BRACING, PIPES, CONDUITS, DUCTS AND BETWEEN WALLS AND ROOF DECK WHERE AIR INFILTRATION BETWEEN CONDITIONED AND NON-CONDITIONED (EXTERIOR) SPACES MAY OCCUR (I.E. SEAL THE BUILDING ENVELOPE).
14. CONCEAL ALL PIPING IN FINISHED WALLS. WHERE PIPING IS TOO LARGE, WALLS ARE TO BE FURRED OUT THE MINIMUM DIMENSION REQUIRED TO CONCEAL PIPING. INFORM ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
15. FIRE EXTINGUISHERS SHALL BE PURCHASED AND INSTALLED BY THE CONTRACTOR PER LOCAL FIRE DEPARTMENT AND BUILDING CODE REQUIREMENTS.

HISTORICAL NOTES

1. THIS PROPERTY IS A CITY OF AUSTIN LANDMARK, A RECORDED TEXAS HISTORIC LANDMARK, AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. **EXTREME** CARE SHALL BE TAKEN TO PROTECT AND PRESERVE THIS STRUCTURE DURING ALL PHASES OF WORK. IF ANY UNFORESEEN CONDITIONS ARISE, STOP WORK AND CONTACT THE ARCHITECT IMMEDIATELY. IT IS THE INTENT OF THE ARCHITECT AND OWNER THAT ALL WORK SHALL CONFORM WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING AND RECONSTRUCTING HISTORIC BUILDINGS. CONTRACTOR SHOULD BE FAMILIAR WITH THESE GUIDELINES. (THESE CAN BE FOUND AT: WWW.NPS.GOV/HPS/TPS/STANDGUIDE.) ALL PROPOSED DEMOLITION AND RENOVATION WORK HAS BEEN REVIEWED AND APPROVED BY THE TEXAS HISTORICAL COMMISSION. ALL SPECIFIED INSPECTIONS AND METHODS MUST BE STRICTLY ADHERED TO. ALL WORK WILL BE CLOSELY MONITORED ON SITE BY THE TEXAS HISTORICAL COMMISSION.
2. ALL WORK AS IT PROGRESSES MAY BE REVIEWED BY THE TEXAS HISTORIC COMMISSION. GC TO MAKE HIMSELF AVAILABLE AS NEEDED FOR REVIEWS AS WORK PROGRESSES.
3. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
5. PATCH, REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.
6. THE CONTRACTOR SHALL TAKE GREAT CARE TO MINIMIZE DAMAGE TO EXISTING PLANTS TO REMAIN. SUSPENDED PLATFORMS AND EQUIPMENT THAT ARE LOWERED TO THE GROUND SHALL BE PLACED ON BLOCKS TO MINIMIZE THE DISTURBED FOOTPRINT AREA.
7. FOR MORE INFORMATION REGARDING DEMOLITION, REFER TO SHEET D1.1.

INDEX OF DRAWINGS

G1.0	COVER SHEET
L1.1	LANDSCAPE PLAN
A1.0	SITE PLAN
D1.1	SELECTIVE DEMOLITION PLAN - FIRST FLOOR PLAN
D1.2	SELECTIVE DEMOLITION PLAN - SECOND FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR MATERIALS
A2.2	EXTERIOR PERSPECTIVE
A2.3	EXTERIOR PERSPECTIVE

AREA CALCULATIONS

LOT SIZE - 247,553 S.F.	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR CONDITIONED	8,673 S.F.	749 S.F.	9,422 S.F.
1ST FLOOR COVERED PATIO (UNCONDITIONED)	1,263 S.F.	380 S.F.	1,643 S.F.
2ND FLOOR CONDITIONED	2,594 S.F.	0 S.F.	2,594 S.F.
2ND FLOOR BALCONY (UNCONDITIONED)	104 S.F.	0 S.F.	104 S.F.
CONDITIONED TOTAL			12,016 S.F.
UNCONDITIONED TOTAL			1,747 S.F.

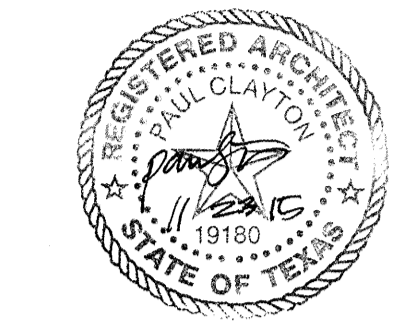
CODE ANALYSIS

BUILDING CODE:	INTERNATIONAL EXISTING BUILDING CODE - 2012 W/LOCAL AMENDMENTS INTERNATIONAL BUILDING CODE - 2012 W/LOCAL AMENDMENTS THE ADMINISTRATIVE MANUAL AND THE BUILDINGS CRITERIA MANUAL (FOR FOOD ESTABLISHMENTS) NATIONAL ELECTRICAL CODE - 2011 W/ LOCAL AMENDMENTS UNIFORM MECHANICAL CODE - 2012 W/ LOCAL AMENDMENTS UNIFORM PLUMBING CODE - 2012 W/LOCAL AMENDMENTS INTERNATIONAL FIRE CODE - 2012 W/ LOCAL AMENDMENTS INTERNATIONAL PROPERTY MAINTENANCE CODE - 2012 W/ LOCAL AMENDMENTS INTERNATIONAL ENERGY CONSERVATION CODE - 2012 TEXAS ACCESSIBILITY STANDARDS - 2012
BUILDING DESCRIPTION:	EXISTING 2 STORY, FULLY SPRINKLERED WOOD FRAMED RESTAURANT & EVENT CENTER
OCCUPANCY CLASSIFICATION:	GROUP A-2
EXISTING BUILDING ALTERATION LEVEL:	LEVEL 2
TYPE OF CONSTRUCTION:	TYPE V-A
CONDITIONED AREA:	12,634 S.F.
FIRE SPRINKLER:	FULLY SPRINKLERED
FIRE ALARM:	NO
PROPOSED USE:	NO CHANGE, RESTAURANT & EVENT CENTER
APPROVED SITE PLAN:	SITE PLAN EXEMPTION FOR 811 W. LIVE OAK

Architects
Clayton&Little

1001 East 8th Street
Austin, Texas 78702
512.477.1727

www.claytonandlittle.com



FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

Green Pastures
811 W. Live Oak St.
Austin, TX 78704

PHASE 1

DATE	ISSUED FOR
11.19.15	HLC SUBMITTAL

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Clayton & Little Architects
PROJECT NUMBER: 1530

COVER SHEET

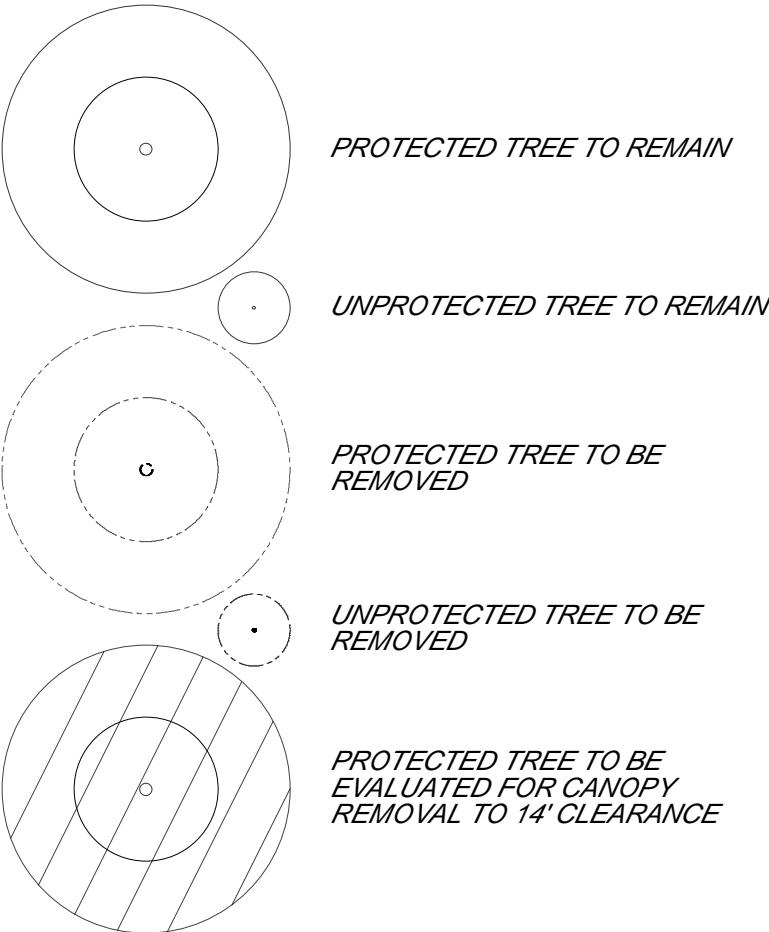
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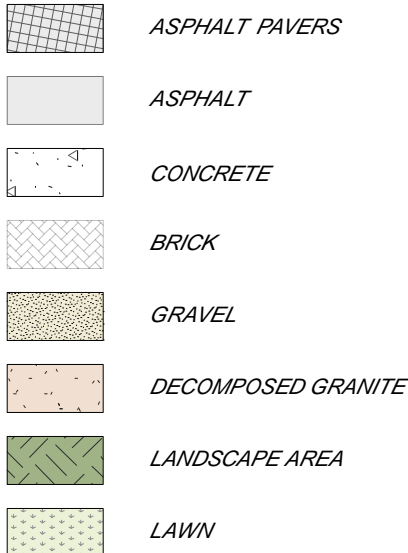


NON-BUILDING IMPERVIOUS COVER		
1	GR-H	SQUARE FOOTAGE
TOTAL GR-H AREA		191444.94
ASPHALT		21748.01
SPECIAL PAVR		152.55
CONCRETE		953.22
BRICK		9.35
LANDSCAPE WALLS		330.58
DG PARKING		13586.22
TOTAL GR IMPERVIOUS AREA		41807.56
2	GR	SQUARE FOOTAGE
TOTAL GR AREA		29151.95
ASPHALT		3381.17
TOTAL GR IMPERVIOUS AREA		3381.17
3	SF-3 (NORTH)	SQUARE FOOTAGE
TOTAL SF-3 NORTH AREA		17415.17
CONCRETE		483.97
TOTAL SF-3 NORTH IMPERVIOUS AREA		483.97
4	SF-3 (SOUTH)	SQUARE FOOTAGE
TOTAL SF-3 SOUTH AREA		8892.41
TOTAL SF-3 SOUTH IMPERVIOUS AREA		0

TREE LEGEND



LEGEND



NOTE: FOR TREE CARE NOTES, SEE L.O.D. OR CONTACT THE CONSULTING ARBORIST VINCENT DEBROCK OF HERITAGE TREE CARE (512) 921-8452

mark
word
DESIGN

Mark Word Design
PO Box 41718
Austin, Texas 78704
TEL (512) 440-0013 FAX (512) 532-6146

GREEN PASTURES
811 WEST LIVE OAK AUSTIN TX 78704

SCHEMATIC SITE PLAN
Not for permitting or construction

Issued / Revised
Date Issued For
08.06.2015 REVIEW
11.17.2015 REVIEW

SCALE AS MARKED WHEN
PRINTED ON 24X36
HALF SCALE WHEN
PRINTED ON 12X18

Owner Project No.:
Architect's Project No.:
Drawn By:

LANDSCAPE PLAN

L 1.1

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	WOOD FLOORING
	WOOD DECKING
	TILE
	CARPET
	CONCRETE
	BRICK PAVERS

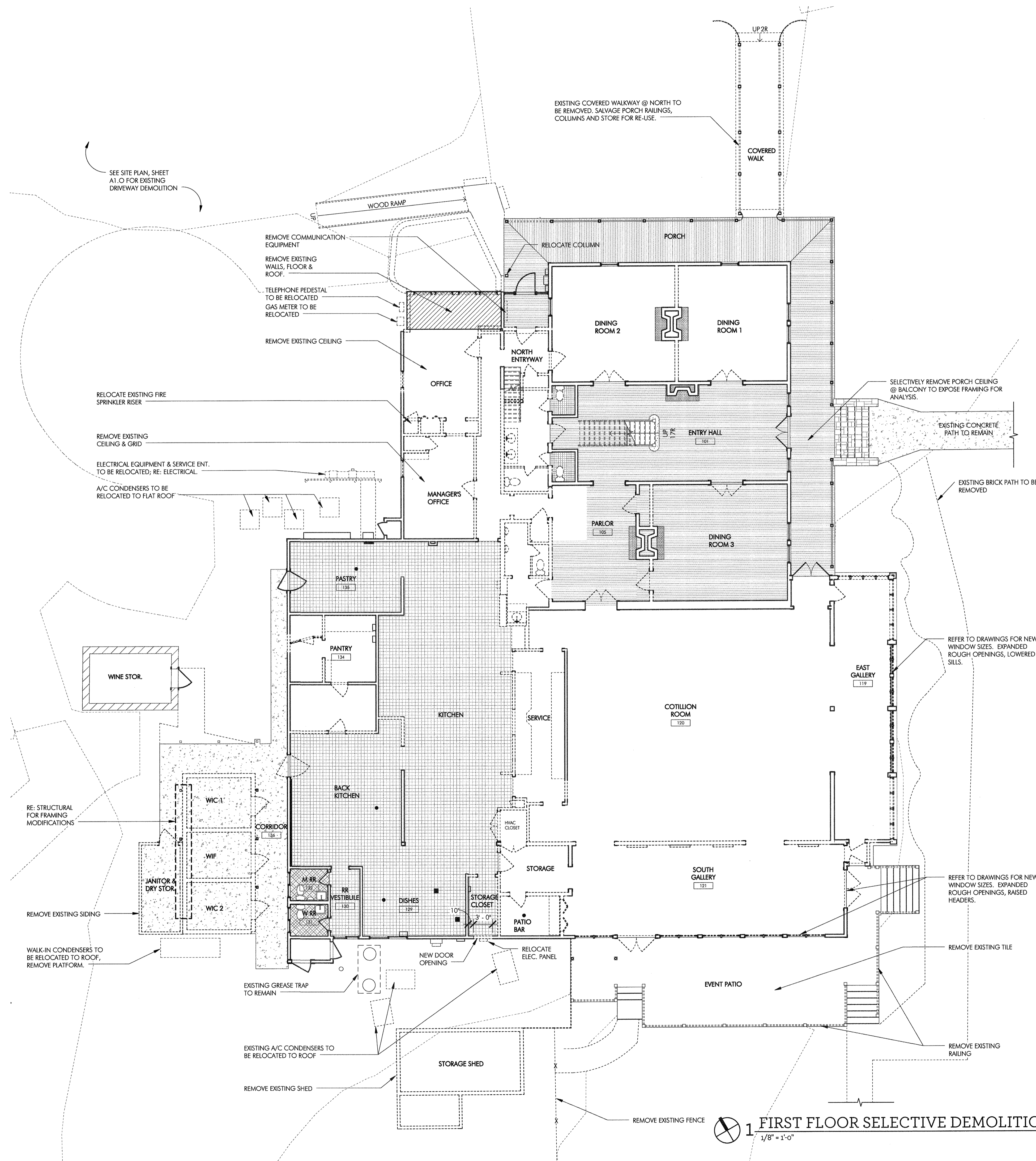
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2. CONTRACTOR TO COORDINATE HAZARDOUS MATERIAL ABATEMENT PRIOR TO GENERAL DEMOLITION.
3. REFERENCE HISTORICAL NOTES ON COVER SHEET.
4. THE DEMOLITION STAGE IS CRITICAL TO THE SUCCESS OF THIS PROJECT AND MUST BE CONSIDERED A STAGE OF DISCOVERY. EXTREME CARE MUST BE TAKEN, ESPECIALLY IN AREAS OF QUESTION TO NOT DESTROY ORIGINAL MATERIALS. RECKLESS DESTRUCTION OF SALVAGEABLE, RE-USEABLE ORIGINAL MATERIALS WILL NOT BE ALLOWED AND GC WILL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED MATERIALS.
5. THE INTENT OF THE DEMOLITION PLAN IS TO REMOVE ALL ITEMS NOT REQUIRED FOR THE FINISHED PROJECT; OR THAT IS IN CONFLICT WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE/RELOCATE ALL SUCH ITEMS AS REQUIRED FOR CONSTRUCTION.
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7. SALVAGE ALL DOORS & DOOR HARDWARE, LIGHT FIXTURES & ALL ITEMS NOTED ON DEMOLITION PLAN. REVIEW WITH ARCHITECT & OWNER TO DETERMINE ITEMS FOR REUSE.
8. ITEMS NOTED TO BE SAVED OR SALVAGED FOR REUSE ARE TO BE STORED ON SITE, FOR REUSE BY THE OWNER OR GENERAL CONTRACTOR AT THIS SITE. ALL ITEMS NOTED REMOVE/RETAIN FOR FUTURE USE SHALL BE PHOTOGRAPHED IN PLACE, CLEARLY LABELED AND STORED.
9. PATCH , REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES IDENTICATED.
10. PROTECT EXISTING TREES TO CARE OF AUSTIN STANDARDS. CONTACT OWNERS ARBORIST FOR ANY TREE WORK:
Vincent Debrock, Heritage Tree Care, 512.921.8452
11. REMOVE ROTTED WOOD WHEN ENCOUNTERED. DOCUMENT EXISTING CONDITION FOR REPLACEMENT. REVIEW SCOPE WITH ARCHITECT PRIOR TO REMOVAL.
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19. POTABLE WATER AND ELECTRICITY WILL BE PROVIDED BY THE OWNER AS NEEDED FOR DEMOLITION & CONSTRUCTION PHASES.

3811 W. Live Oak St.
Austin, TX 78704

DATE	ISSUED FOR
11.19.15	HLC SUBMITTAL

PROJECT NUMBER: 1530

D1.1



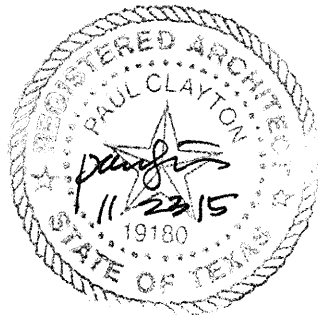
DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
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- WOOD FLOORING
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- TILE
- CARPET
- CONCRETE
- BRICK PAVERS

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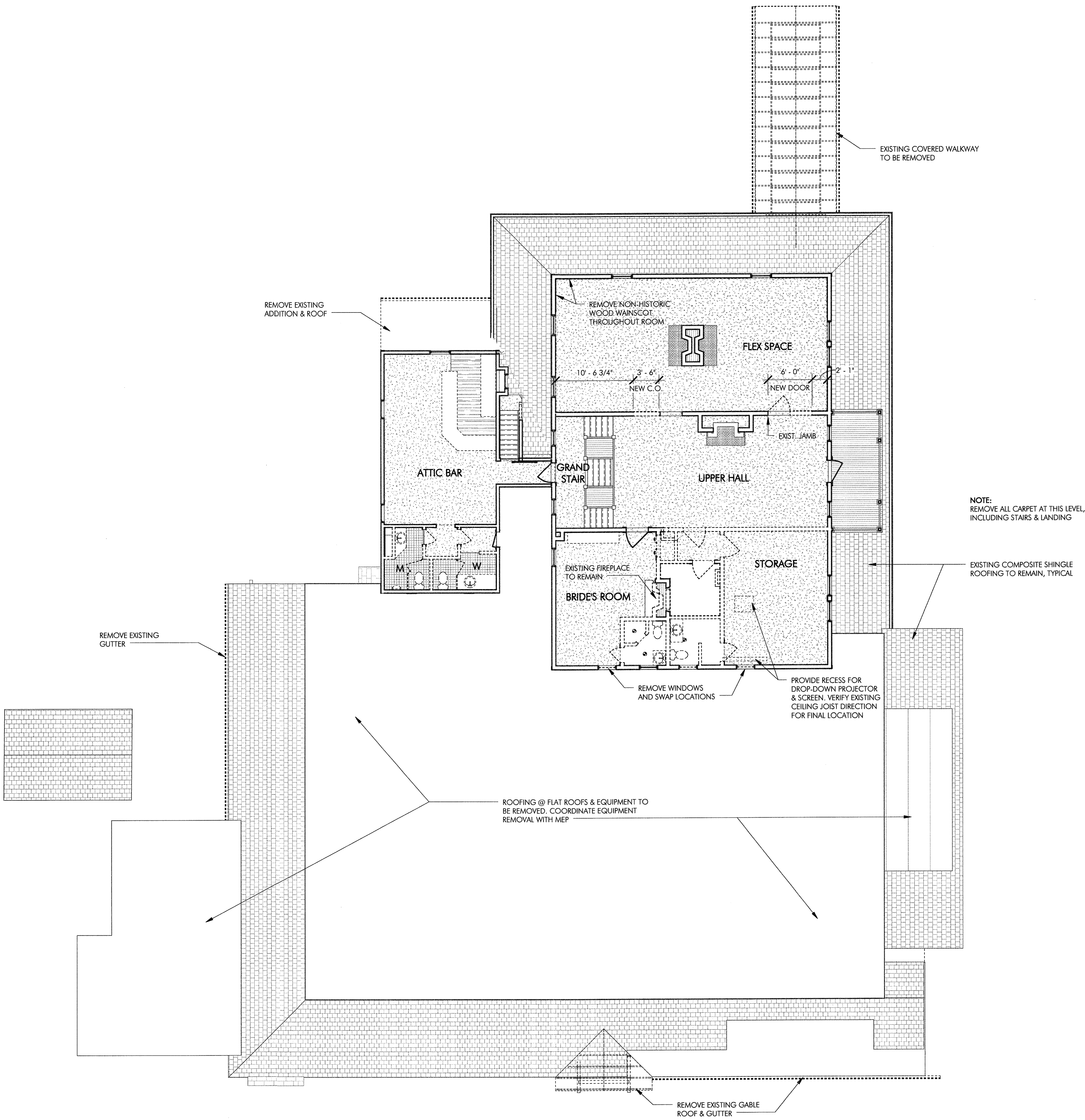


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1 SECOND FLOOR SELECTIVE DEMOLITION PLAN
1/8" = 1'-0"

Green Pastures

811 W. Live Oak St.
Austin, TX 78704

PHASE 1

DATE	ISSUED FOR
11.19.15	HLC SUBMITTAL

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Clayton & Little Architects

PROJECT NUMBER: 1590

SELECTIVE DEMOLITION PLAN -
SECOND FLOOR

D1.2

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	WOOD FLOORING
	WOOD DECKING
	TILE
	CARPET
	CONCRETE
	BRICK PAVERS

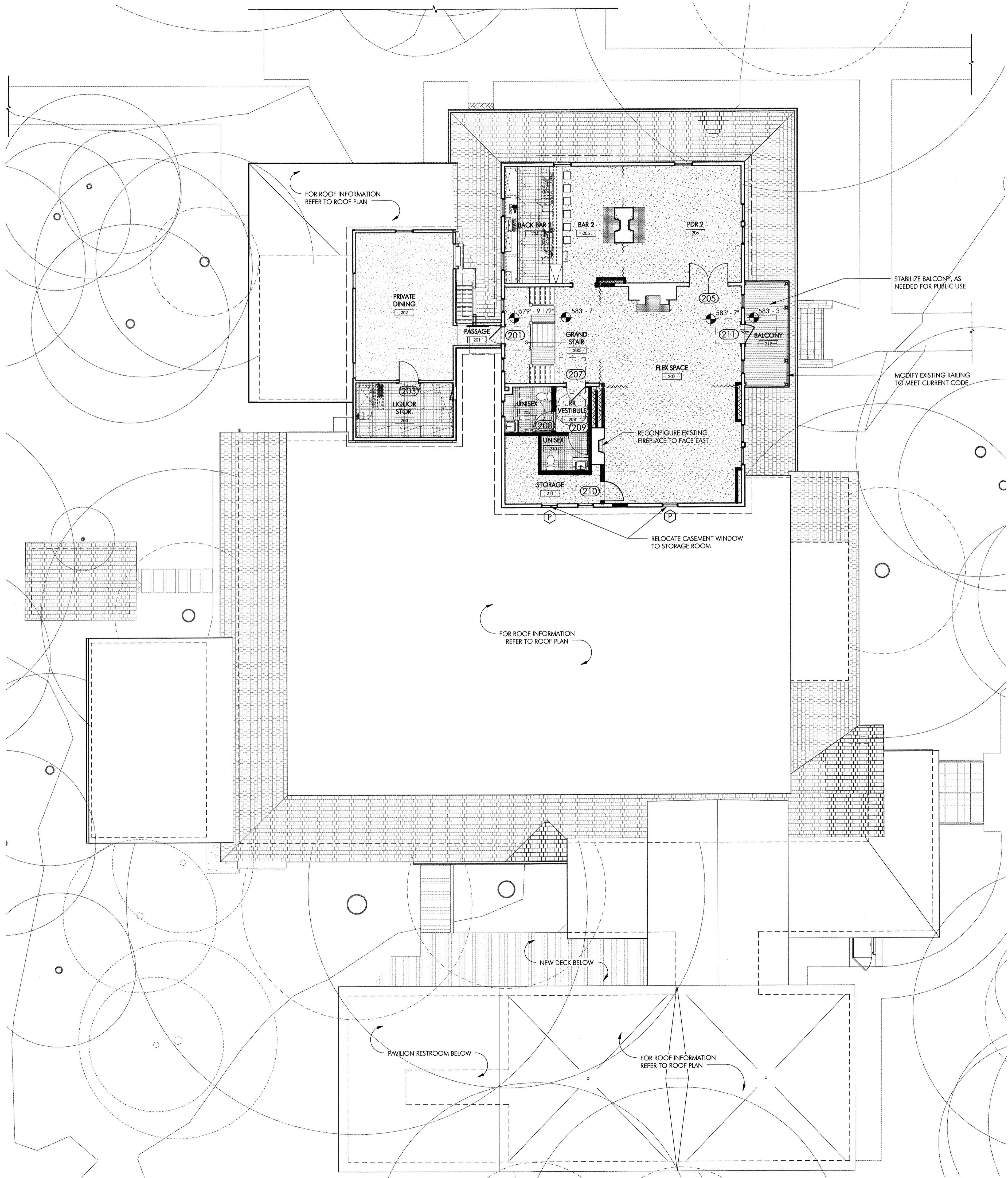
1. ALL HAND SINKS SHALL BE SUPPLIED WITH HOT (100°F MIN.) AND COLD WATER. WATER SHALL BE DELIVERED UNDER PRESSURE THROUGH A THERMAL MIXING VALVE. ALL HAND SINKS SHALL DRAIN TO THE SEWER, RE: PLUMBING.
2. ALL THREADED HOSE BIBS INSIDE AND OUTSIDE THE ESTABLISHMENT SHALL HAVE AN ATMOSPHERIC VACUUM BREAKER OR BACKFLOW PREVENTION DEVICE.
3. DRAIN LINES FROM CULINARY SINKS, ICE MACHINES, ICE STORAGE BINS AND WARE WASHING SINKS SHALL BE PROVIDED WITH AT LEAST ONE INCH AIR GAP, AND BE DRAINED TO AN APPROVED WASTEWATER SYSTEM, RE: PLUMBING.
4. REFER TO PLUMBING DRAWINGS FOR GREASE WASTE INFORMATION.
5. ALL REFRIGERATION EQUIPMENT TO BE CAPABLE OF MAINTAINING HAZARDOUS FOODS AT OR BELOW 41°F. REFER TO EQUIPMENT CUT SHEETS.
6. DUMPSTERS ARE SHOWN ON SITE PLAN.
7. ALL RESTROOMS TO HAVE FORCED AIR VENTILATION TO THE OUTSIDE AND SOLID, SELF-CLOSING DOORS.

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A1.1

1 FIRST FLOOR PLAN
1/8" = 1'-0"

11/23/2015 11:01:07 AM



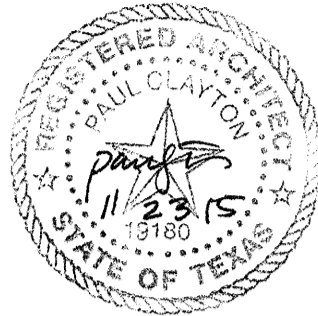
DRAWING LEGEND

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	WOOD FLOORING
	WOOD DECKING
	TILE
	CARPET
	CONCRETE
	BRICK PAVERS

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FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

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PHASE 1

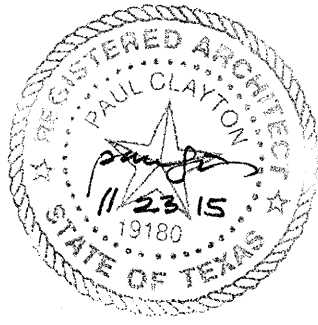
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SECOND FLOOR PLAN

1 SECOND FLOOR PLAN
1/8" = 1'-0"

A1.2



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ROOF PLAN

A1.3

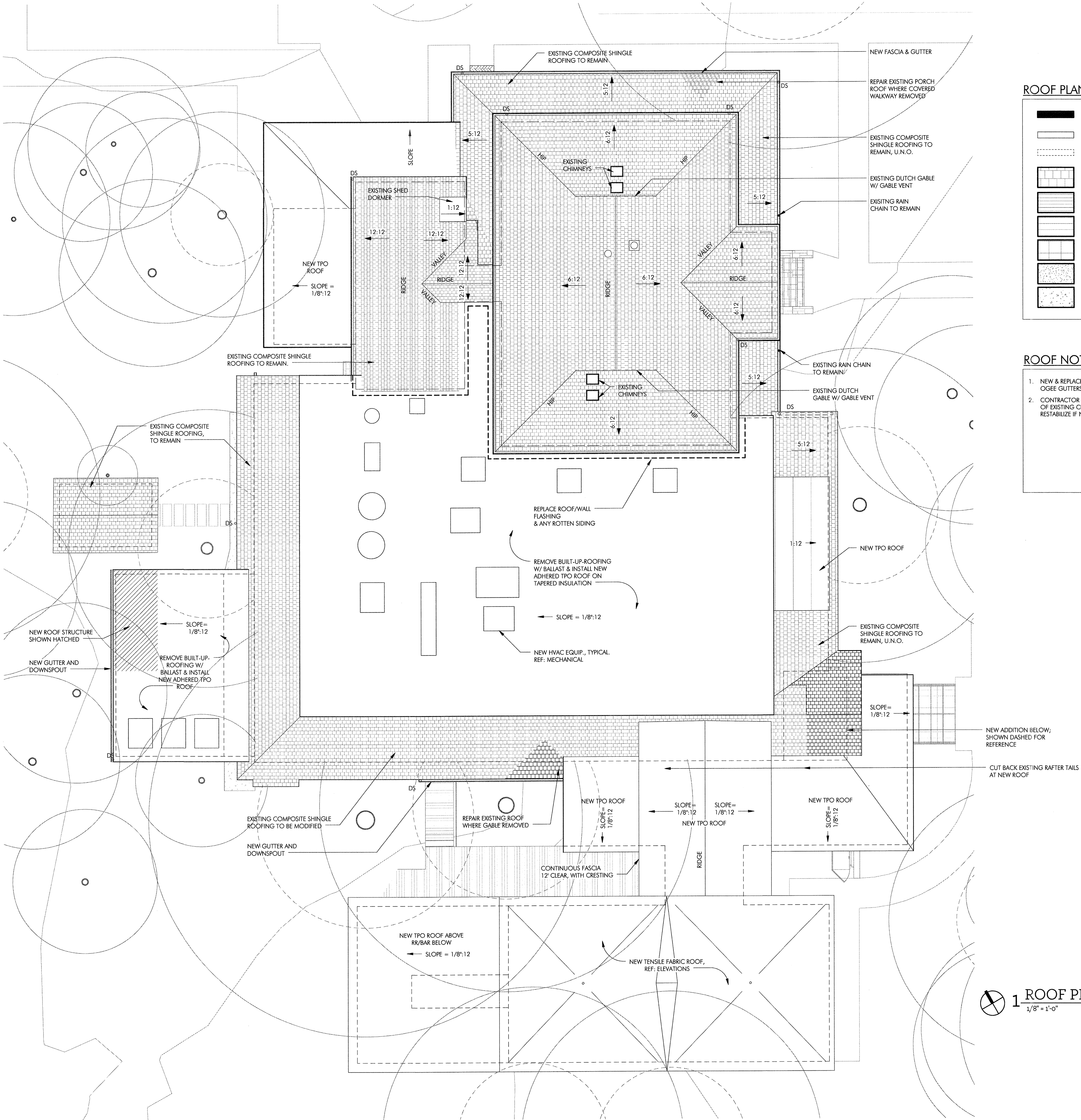
ROOF PLAN LEGEND

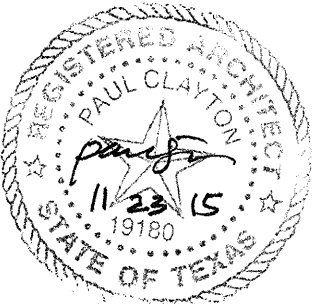
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- COMPOSITE SHINGLE ROOFING
- WOOD FLOORING
- WOOD DECKING
- TILE
- CARPET
- CONCRETE

ROOF NOTES

- NEW & REPLACED GUTTERS TO BE PREFINISHED OGEE GUTTERS TO MATCH EXISTING, TYPICAL.
- CONTRACTOR TO REPORT ON CONDITION OF EXISTING CHIMNEYS. REPOINT, REPAIR & RESTABILIZE IF NECESSARY

1 ROOF PLAN
1/8" = 1'-0"





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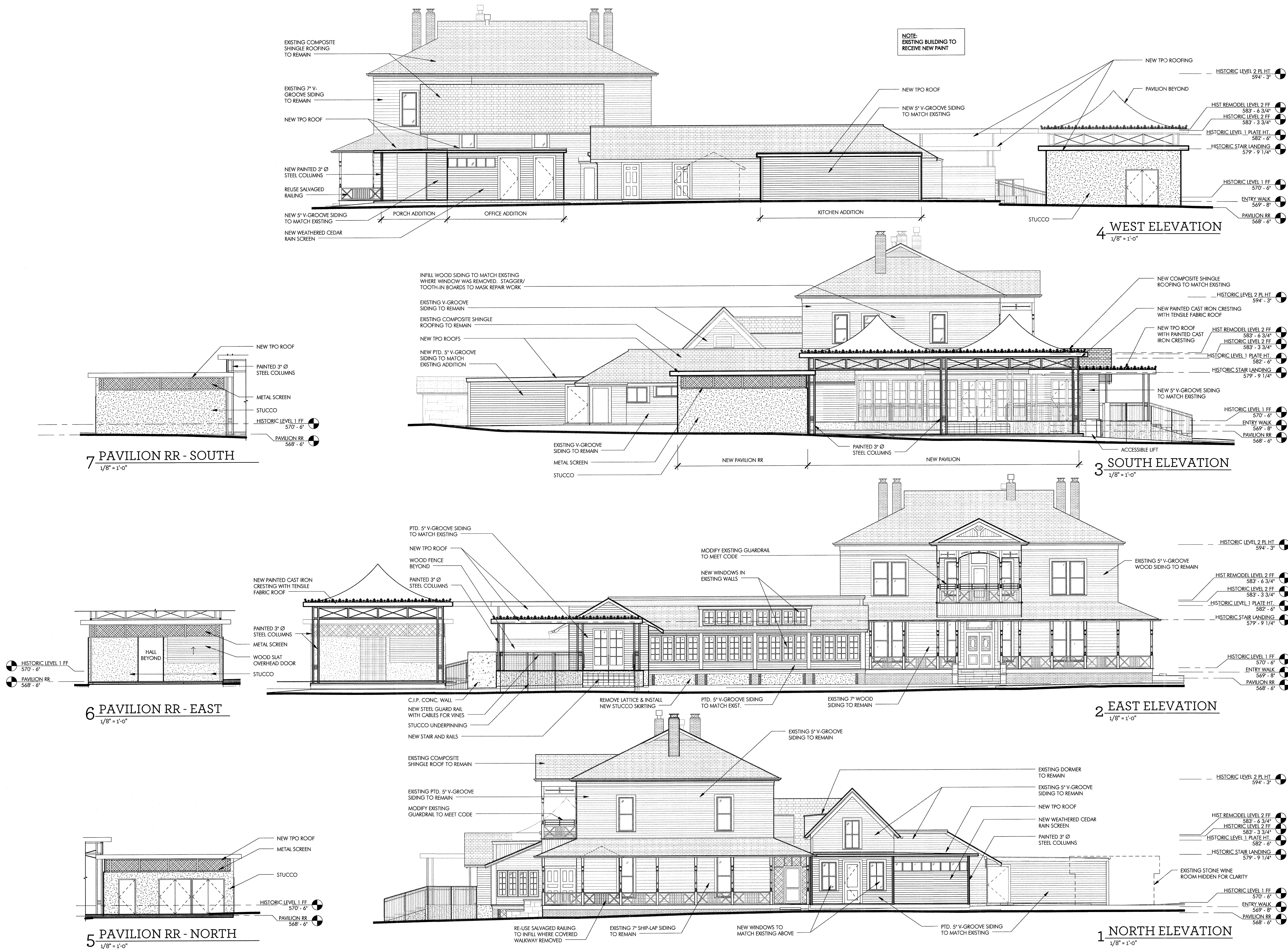
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EXTERIOR ELEVATIONS

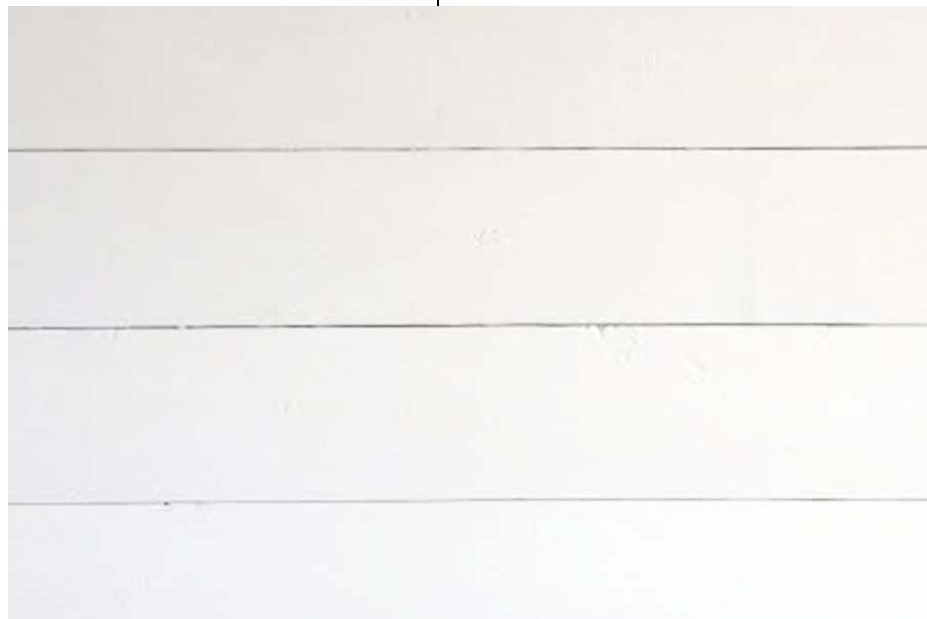
A2.0



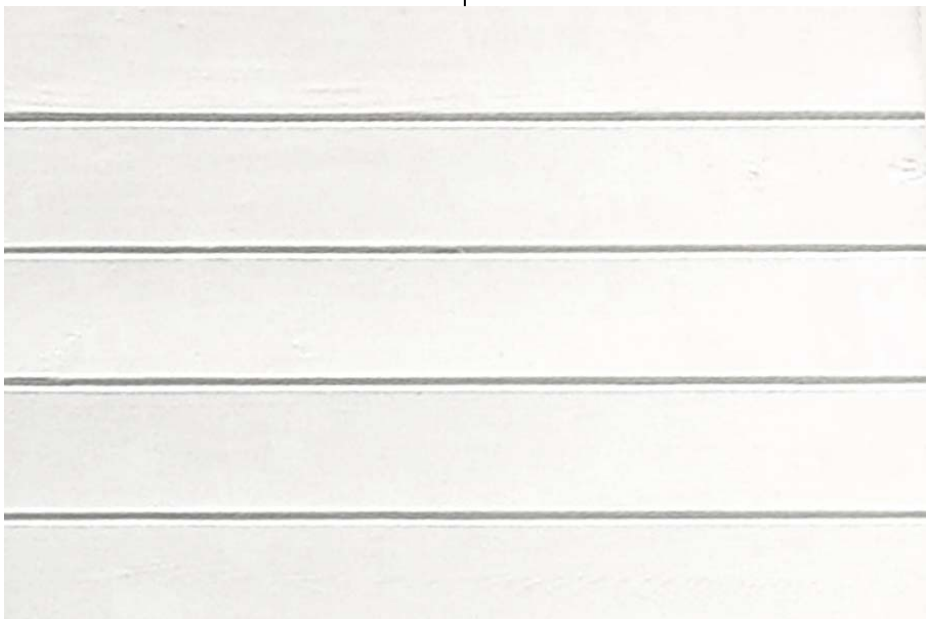


NORTH ELEVATION

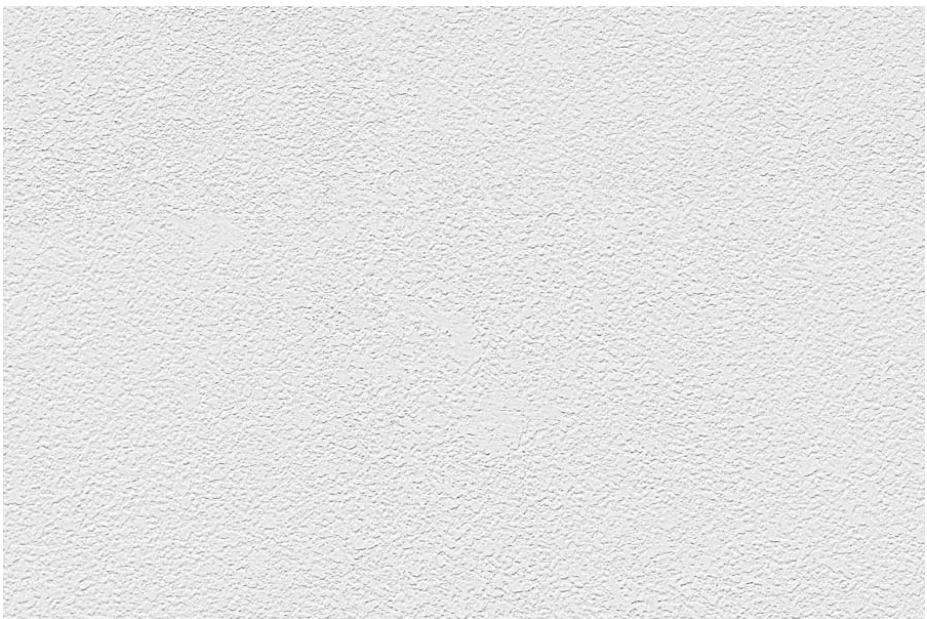
NTS



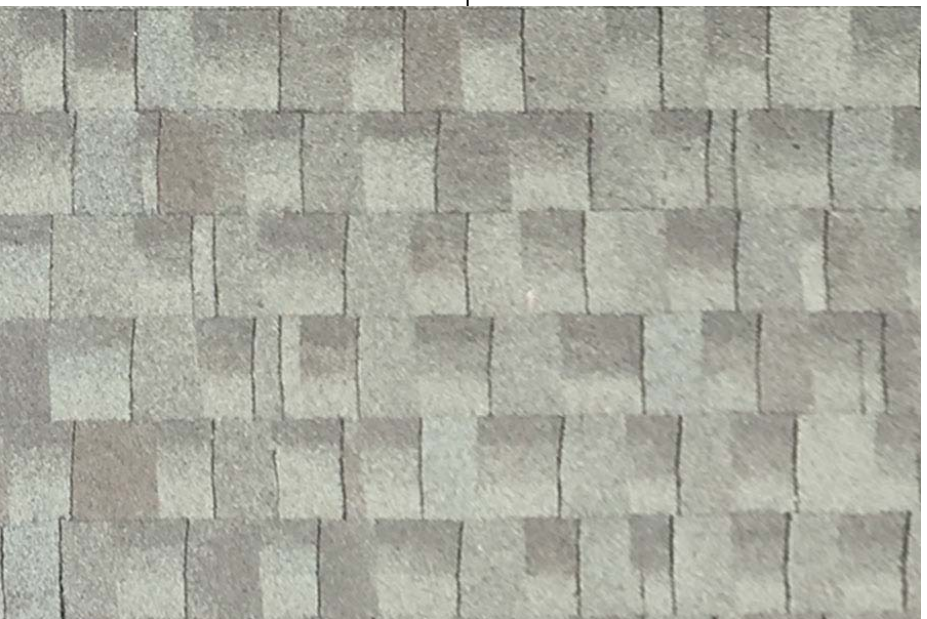
EXISTING PAINTED WOOD SIDING,
7" SMOOTH SHIPLAP, WHITE



EXISTING PAINTED WOOD SIDING,zz
5" V-GROOVE, WHITE



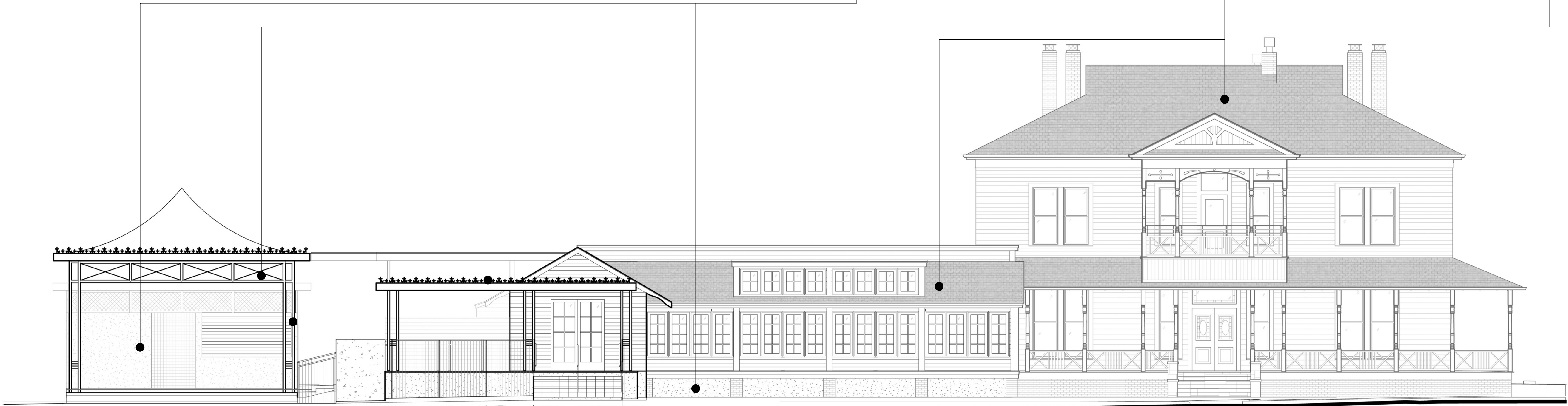
SMOOTH STUCCO WITH
INTEGRAL COLOR, WHITE



EXISTING COMPOSITE SHINGLES,
NEW TO MATCH



PAINTED CAST IRON/STEEL
CRESTING & COLUMNS, DARK GREY



EAST ELEVATION

NTS

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EXTERIOR MATERIALS

A2.1



VIEW OF NEW HOTEL ENTRY FROM NORTHWEST

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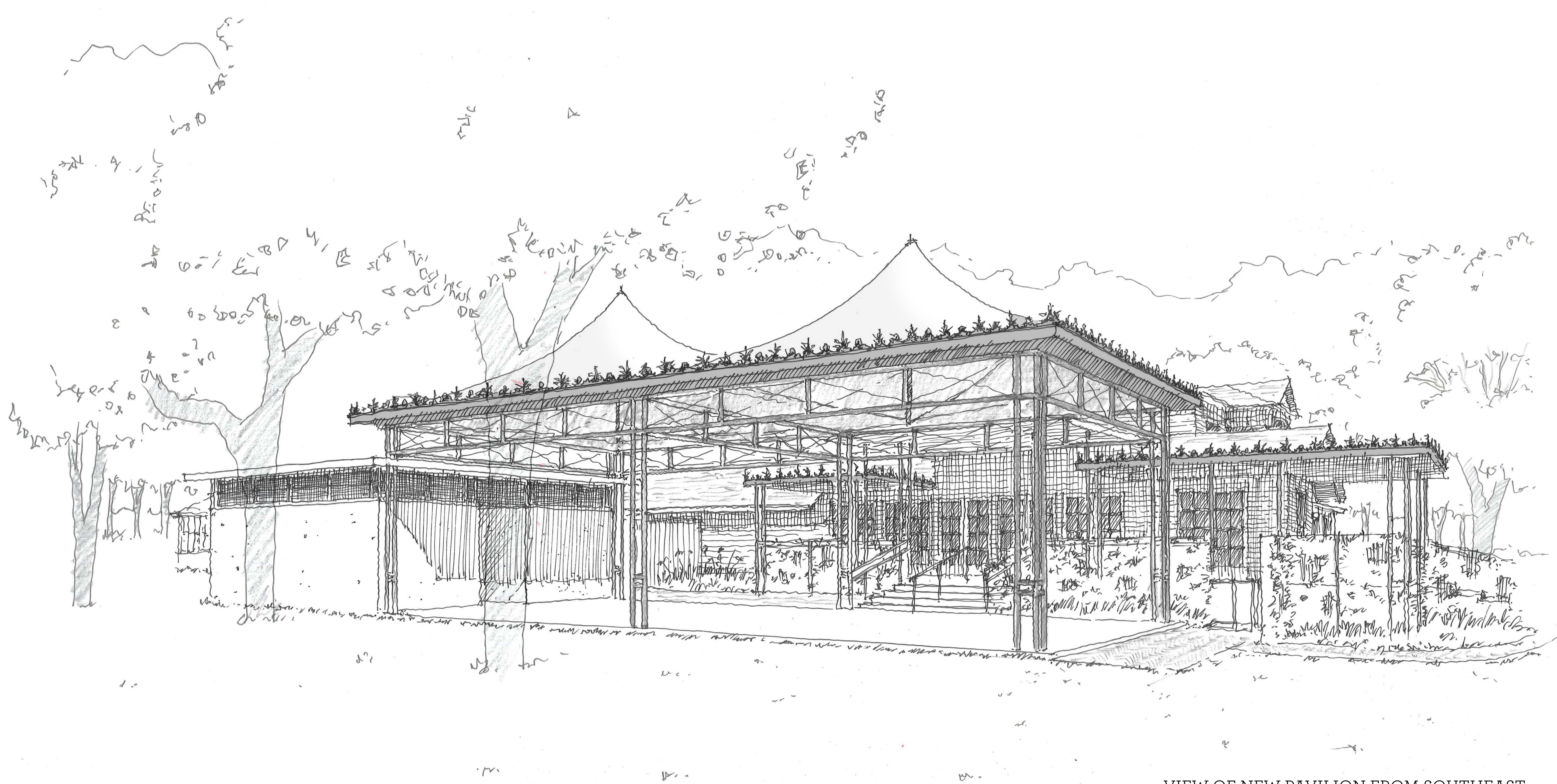
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PERSPECTIVE RENDERING



VIEW OF NEW PAVILION FROM SOUTHEAST

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PERSPECTIVE RENDERING