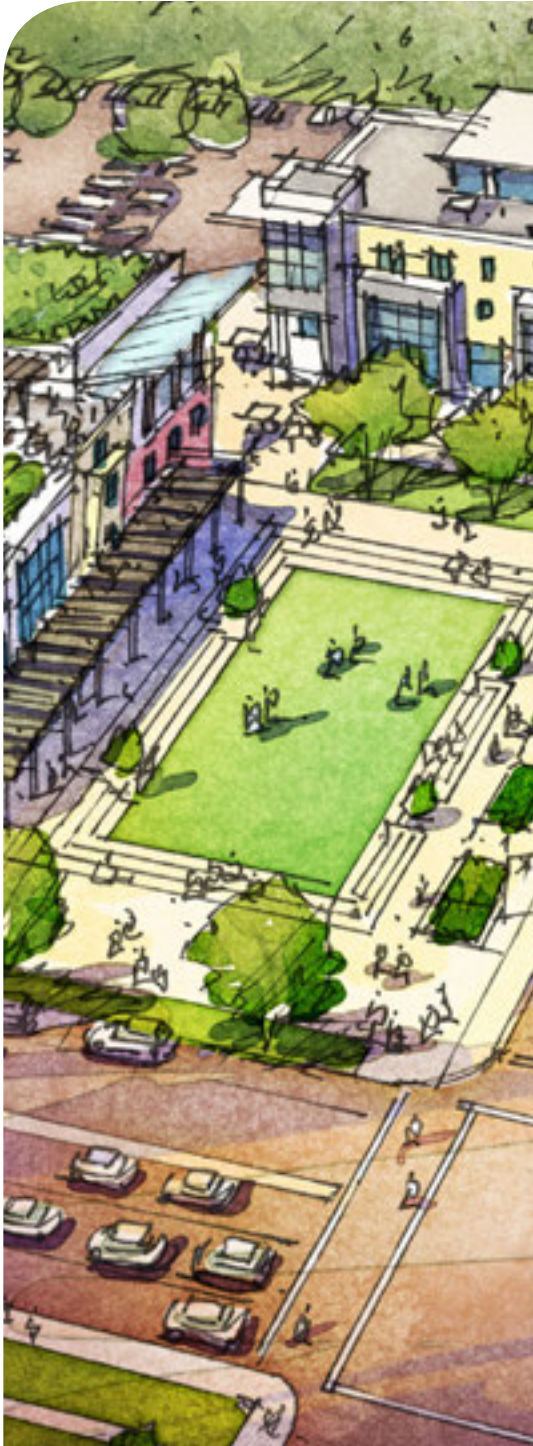




Sound Check

Charrette Final Presentation: November 21, 2015

*Includes minor revisions for spelling errors and the addition of street labels to assist in understanding images.



A Successful Week of Asking "What If?"



577 Sign Ins



22 Hours of Open Studio



A Successful Week of Asking "What If?"



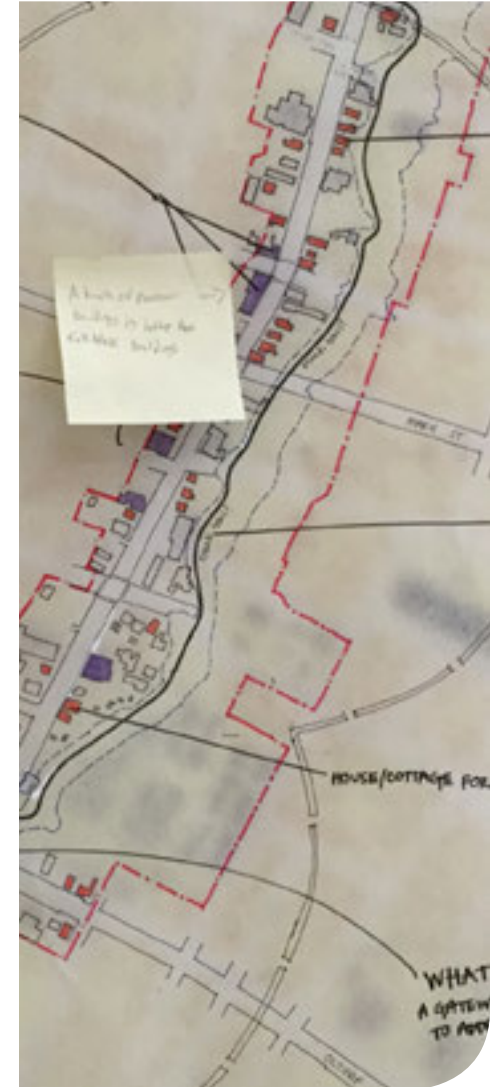
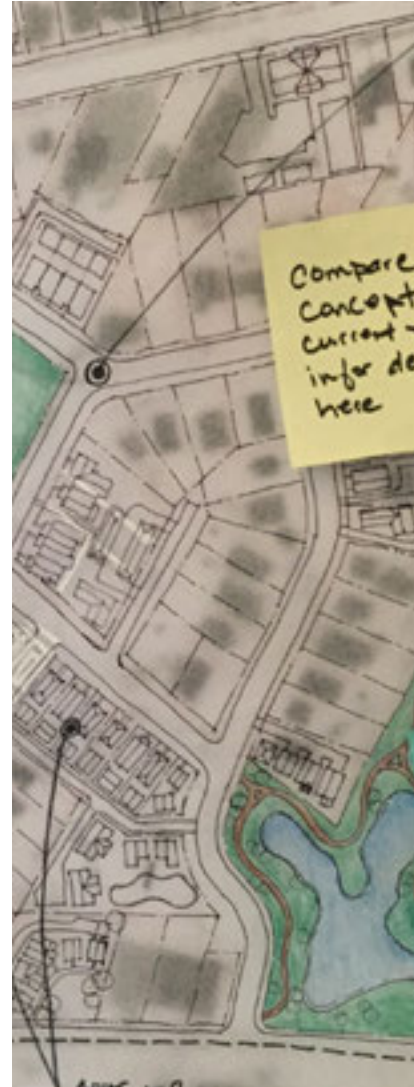
"The event has an art show-meets-neighborhood picnic vibe." -Austin Chronicle



3 Council Members
4 Planning Commissioners
7 CAG Members

Concepts Created This Week in Studio

Vetted by Attendees-Several Feedback Loops





Big Picture Thoughts: Guiding Principles

These Will Guide the CodeNext Process

Integrate a Wide Range of Affordability Tools in CodeNEXT



Initial Thoughts from This Week:

1. Entitlement Enhancements

- Continue Density Bonus programs
- Allow more units in carefully targetted areas of SF₃ zones

2. Process/Procedure Changes

- Relaxed or no site plan review process for missing middle products
- Expedited review for all affordable housing

3. Cost Reductions

- Reduced Parking
- Reduce permit, tap, impact fees for affordable units

How Many Units?



Innovative Affordability Tool: Use Density Bonus System, similar to one used in VMU, but do it within Missing Middle Housing in Carefully Selected Areas, Most likely Near Transit, Along Activity Corridors, and in Activity Centers



Integrate a Wide Range of Affordability Tools in CodeNEXT

4. Partnership Tools

- Explore/implement TIRZ to use Tax Increment in strategic corridors
- Enhance funding for Land Trusts
- Explore expanding bonus program to broader range of commercial development to capture in-lieu of funds

5. Implementation

- Identify agencies/organizations needed to secure implementing authority and program support
- Craft action steps needed for implementation
- Develop a pilot project to prove viability and set the bar for quality



Develop an Affordability Pilot Project on City-Owned Land to Validate Program



Providing Small, Multi-Unit Housing (Missing Middle) is Key



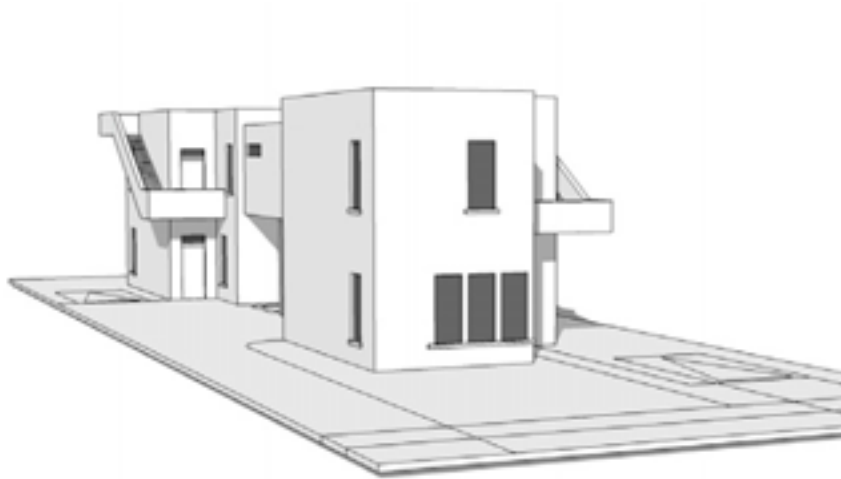
Our Initial Finding in Code Diagnosis Was Confirmed

Need to Give Careful Thought to This to Ensure Compatibility



Very Important Characteristic: Multiple Units in One Building, but it **Never Gets Bigger Than a House**

Redefining Duplex to Ensure Compatibility



Duplex as regulated
by existing
zoning=Two full size
houses on one lot



Duplex as Regulated
by Proposed Zoning=Two
units within one building
that is the scale of a
single house

Needing to Think Differently about Parking Implications

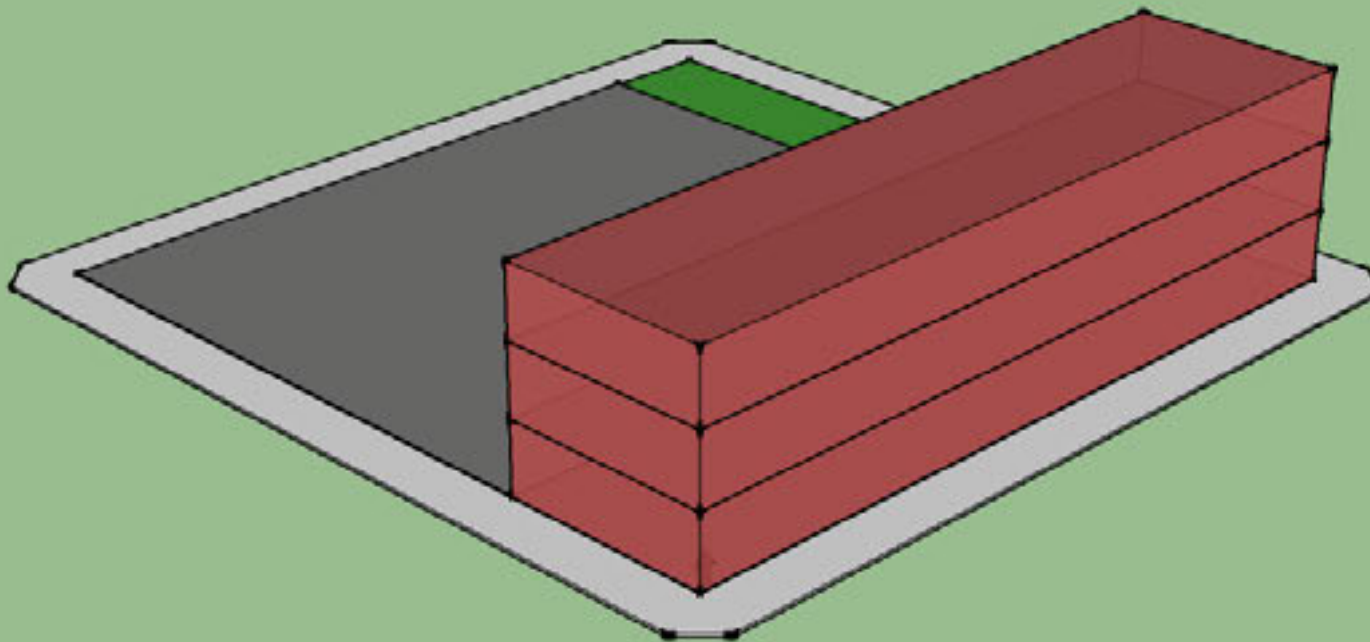


Need to Be Smart About This, but Need to Fully Take Into Account the Implications of Providing Too Much Parking

More Parking=Less Affordable

Option 1: 2 Parking Spaces/Unit Required

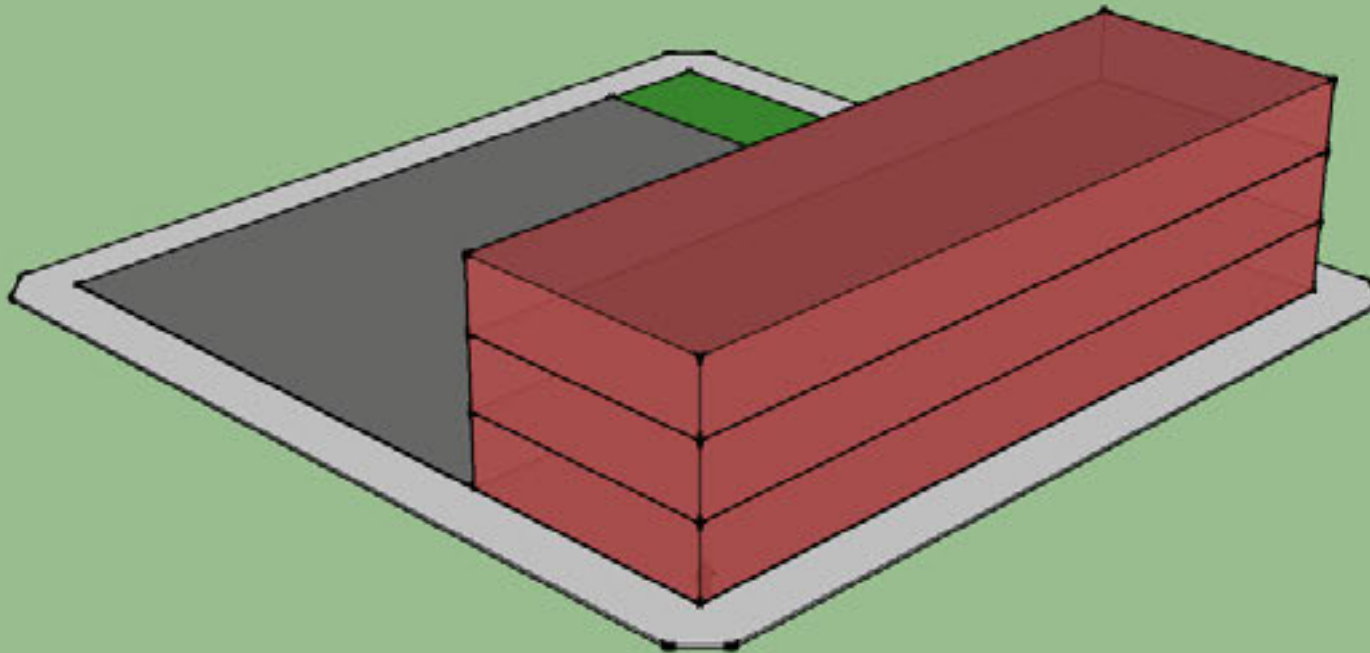
Rent: \$1,404/Month



More Parking=Less Affordable

Option 2: 1.5 Parking Spaces/Unit Required

Rent: \$1,296/Month

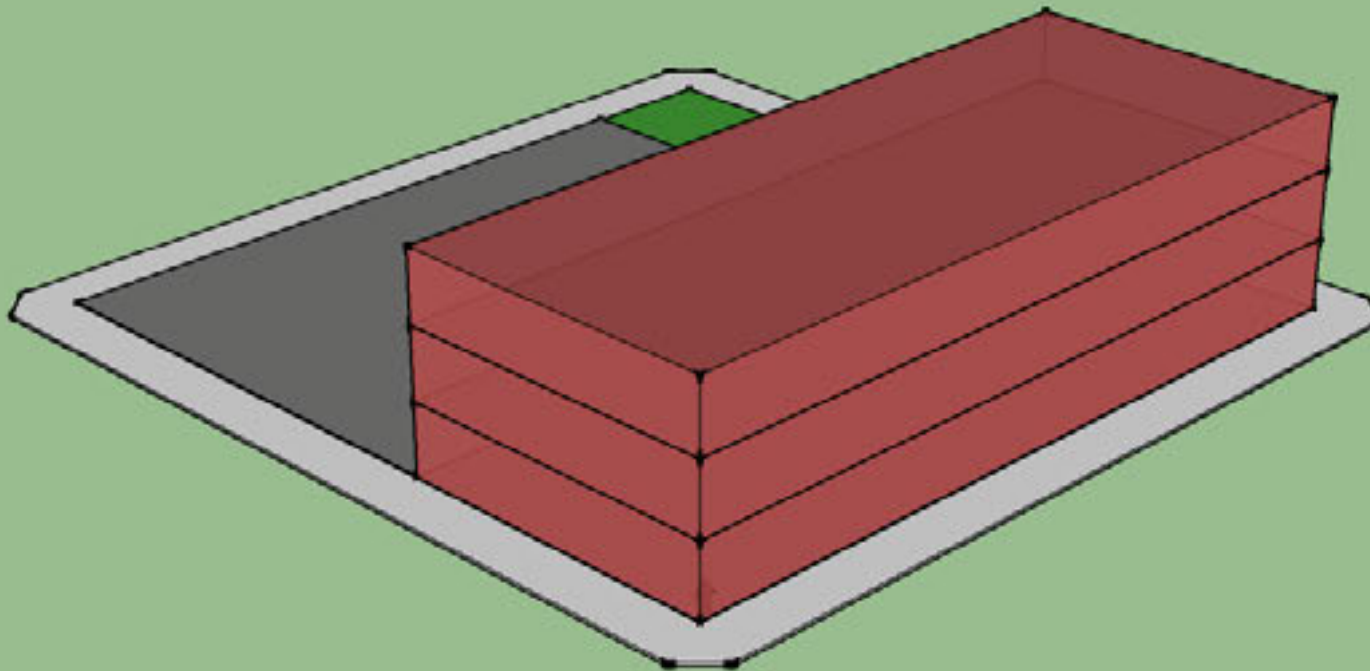


Income Required for affordability: \$47,000

More Parking=Less Affordable

Option 3: 1 Parking Space/Unit Required

Rent: \$1,195/Month

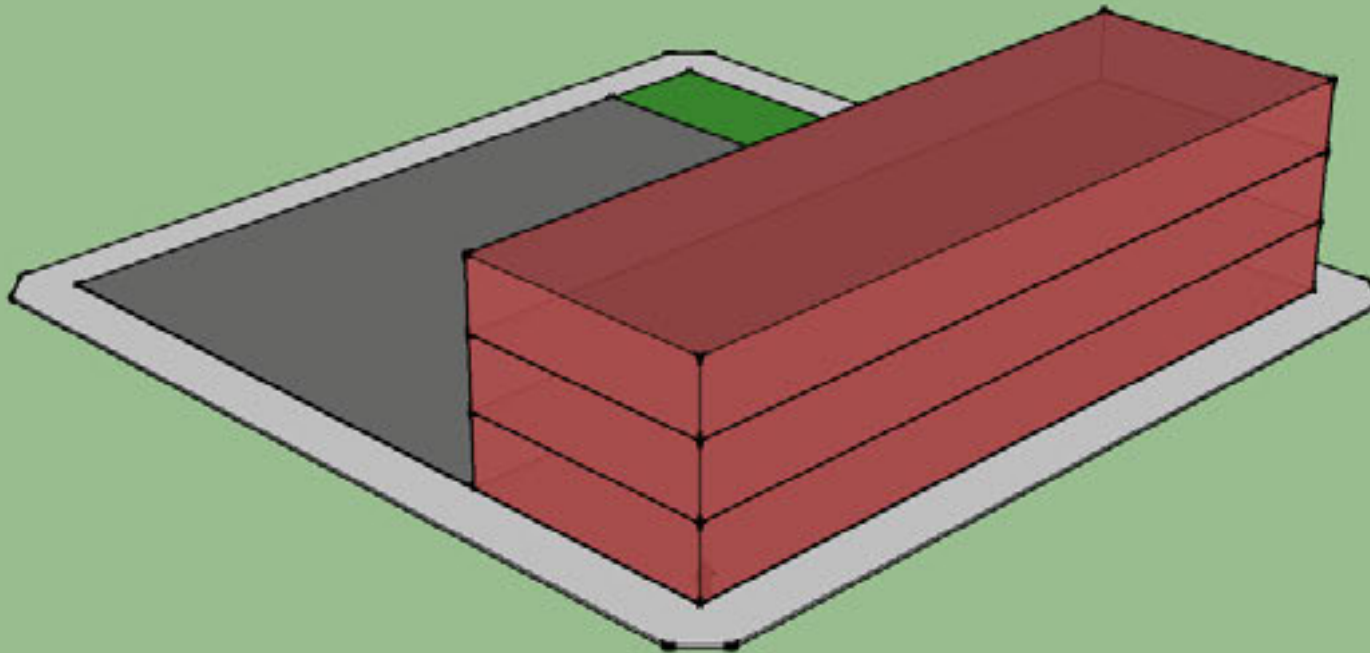


Income Required for affordability: \$43,000

More Parking=Less Affordable

Option 4: .5 Parking Space/Unit Required

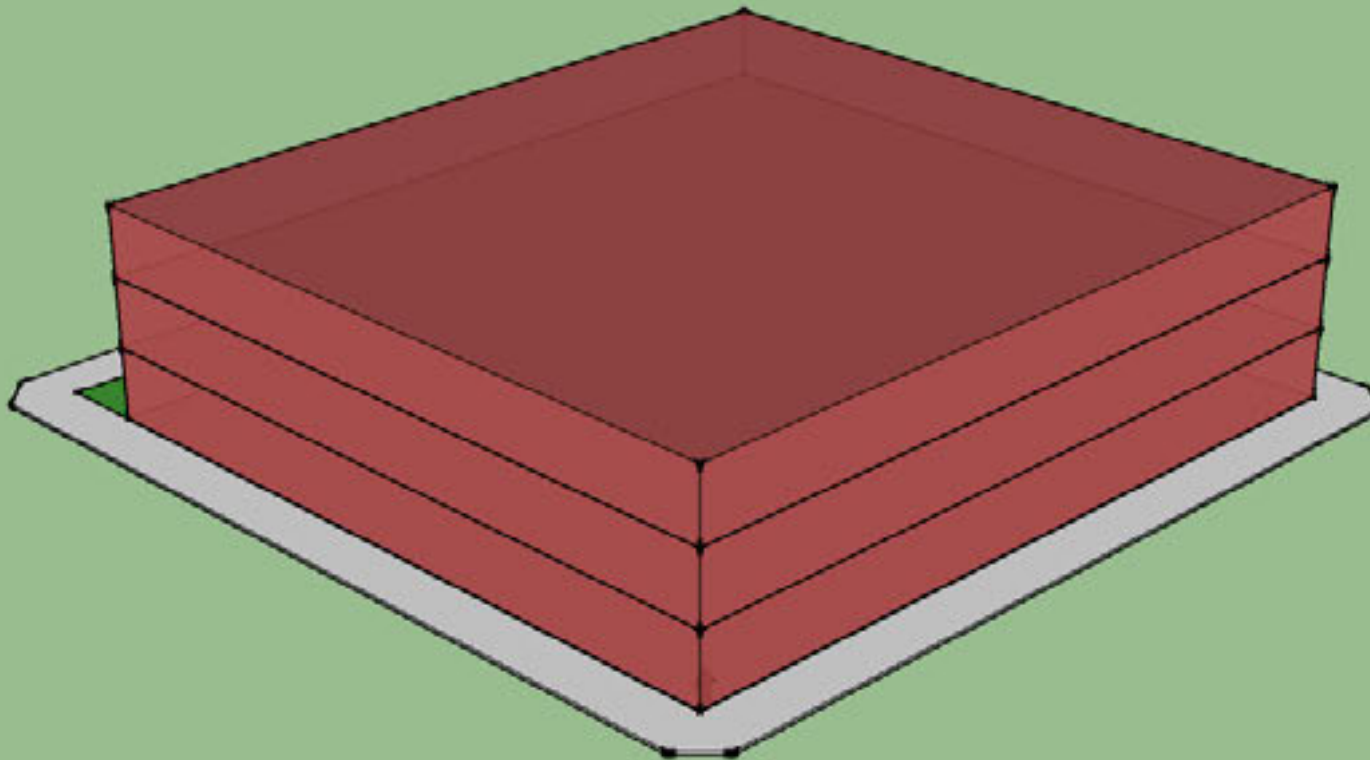
Rent: \$1,094/Month



Income Required for affordability: \$39,000

More Parking=Less Affordable

Option 5: No On-Site Parking Required



Income Required for affordability: \$36,000

More Parking=Increased Flooding



Sharpen Compatability While Reinforcing the Intent



“Objective 1.2: Preserve South First Street..Height Setbacks Will Help Create Transition...Bouldin Creek Nhood

Develop a Context-Based Approach to Street Design

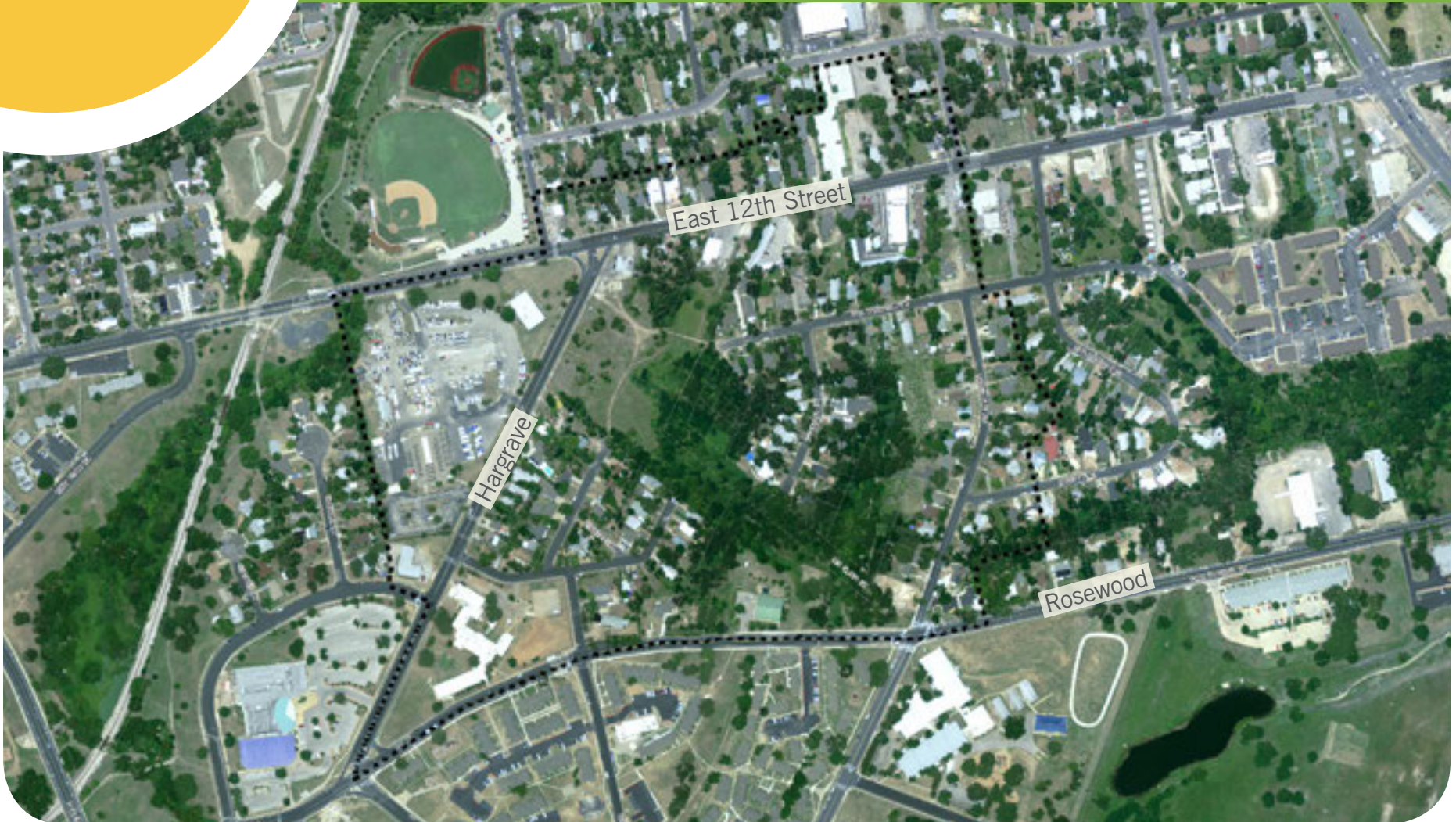


Focus Areas

Testing the Draft Coding Concepts Through
Application to Various Types of Contexts

1

12th and Hargrave



12th and Hargrave: Overall Plan



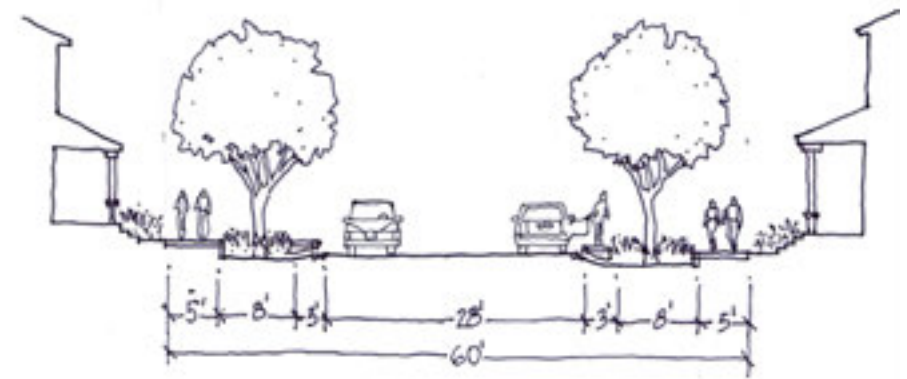
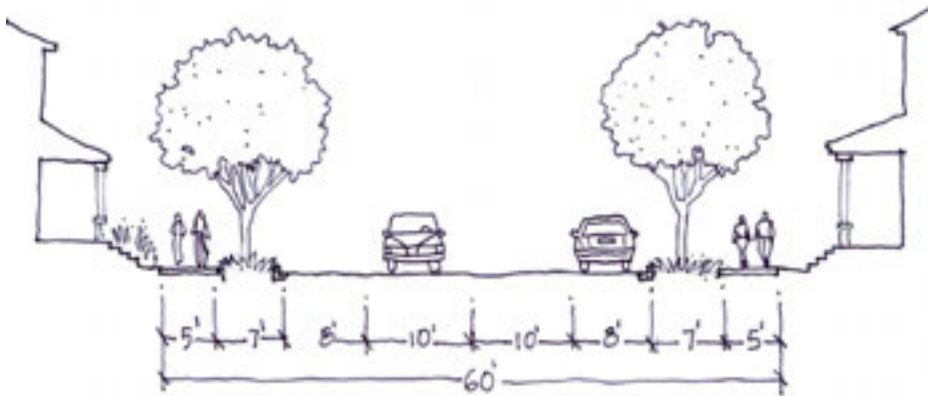
12th and Hargrave: Illustrative Plan



12th and Hargrave: Illustrative Plan



12th and Hargrave: Street Design

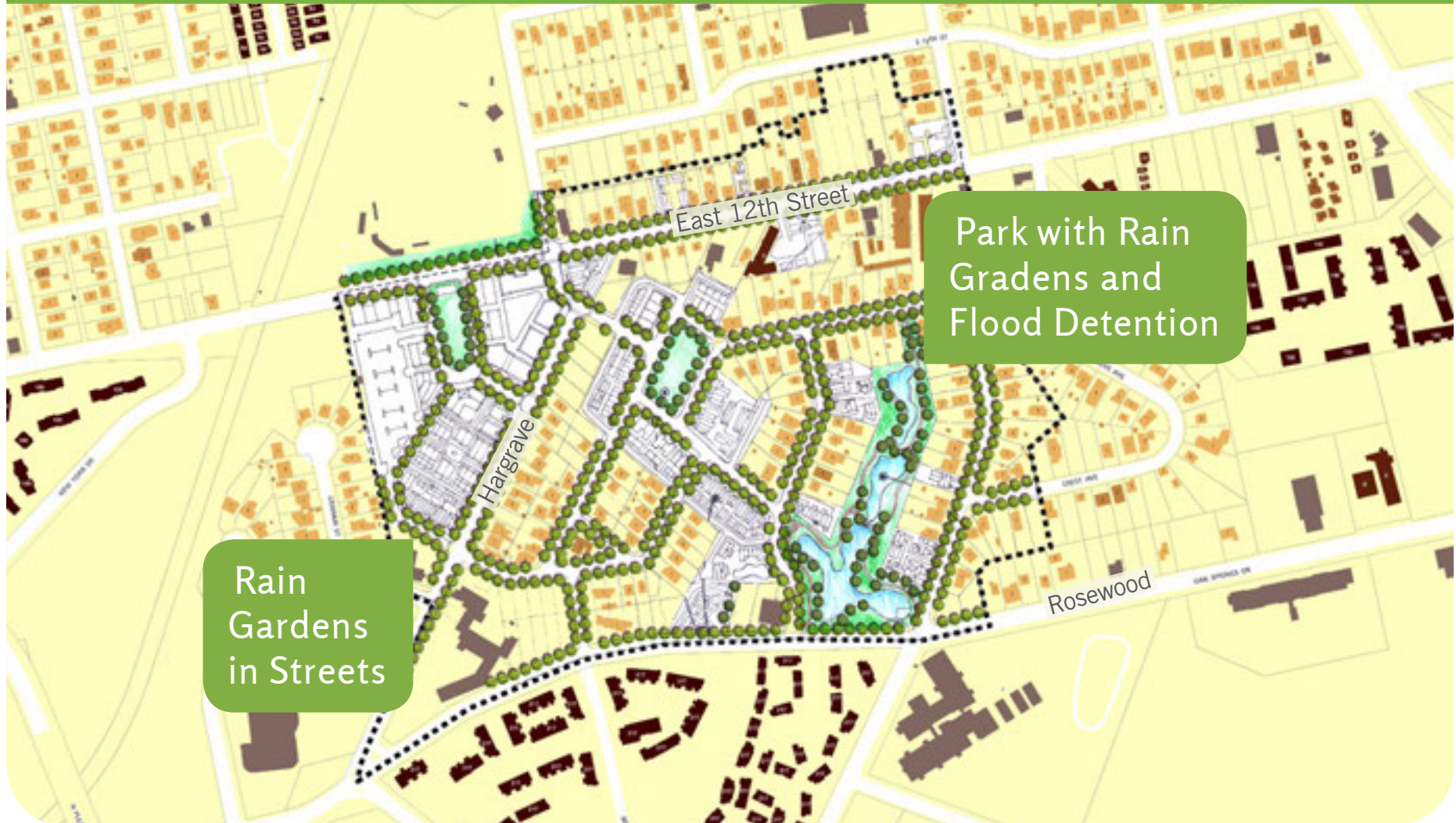


Neighborhood
Street



Neighborhood Street
with Rain Gardens

12th and Hargrave: Water Quality and Flood Mitigation



12th and Hargrave: Compatibility / Transitions



12th and Hargrave: Zoning Map Test

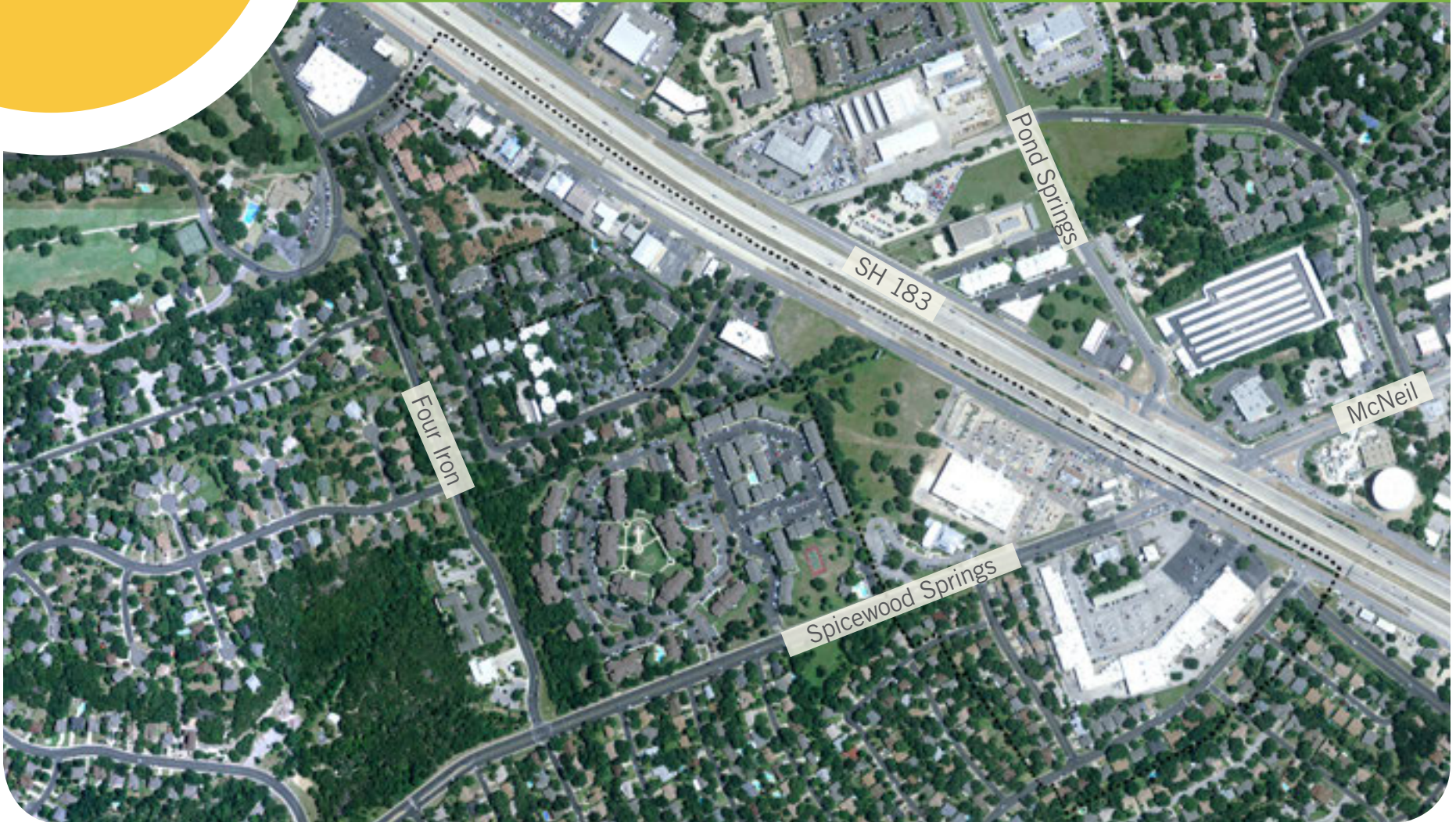
Transect Key

	T5 Main Street
	T5 Neighborhood Medium
	T5 Neighborhood Low
	T4 Main Street
	T4 Neighborhood Medium
	T4 Neighborhood Low
	T3 Neighborhood High
	T3 Neighborhood Medium
	T3 Edge



2

SH 183 @ Spicewood/McNeil



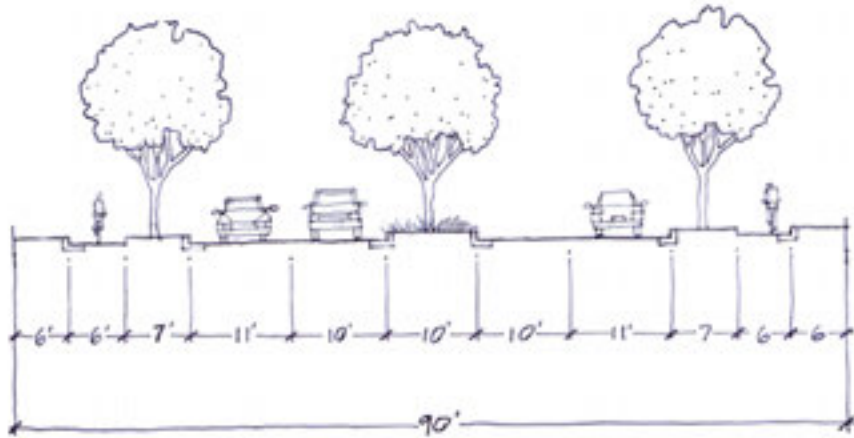
SH 183 @ Spicewood/McNeil: Overall Plan



SH 183 @ Spicewood/McNeil: Illustrative Plan



SH 183 @ Spicewood/McNeil: Street Design



Spicewood



Slip Road

SH 183 @ Spicewood/McNeil: Water Quality and Flood Mitigation



SH 183 @ Spicewood/McNeil: Water Quality and Flood Mitigation



SH 183 @ Spicewood/McNeil: Intensity Map

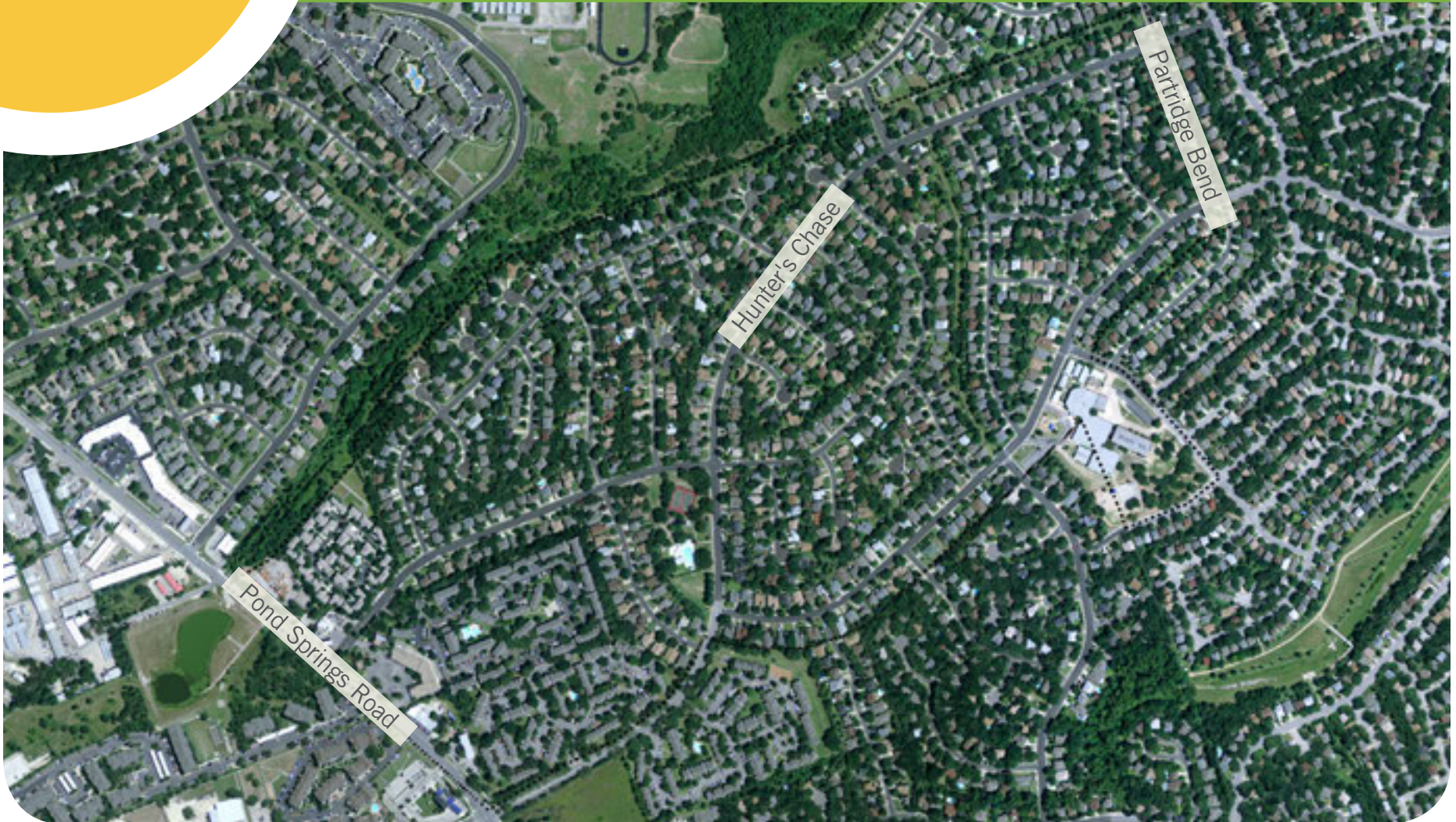


SH 183 @ Spicewood/McNeil: Zoning Map Test



3

SH 183 Subdivision



SH 183 Subdivision: Parks, Open Space and Waterways

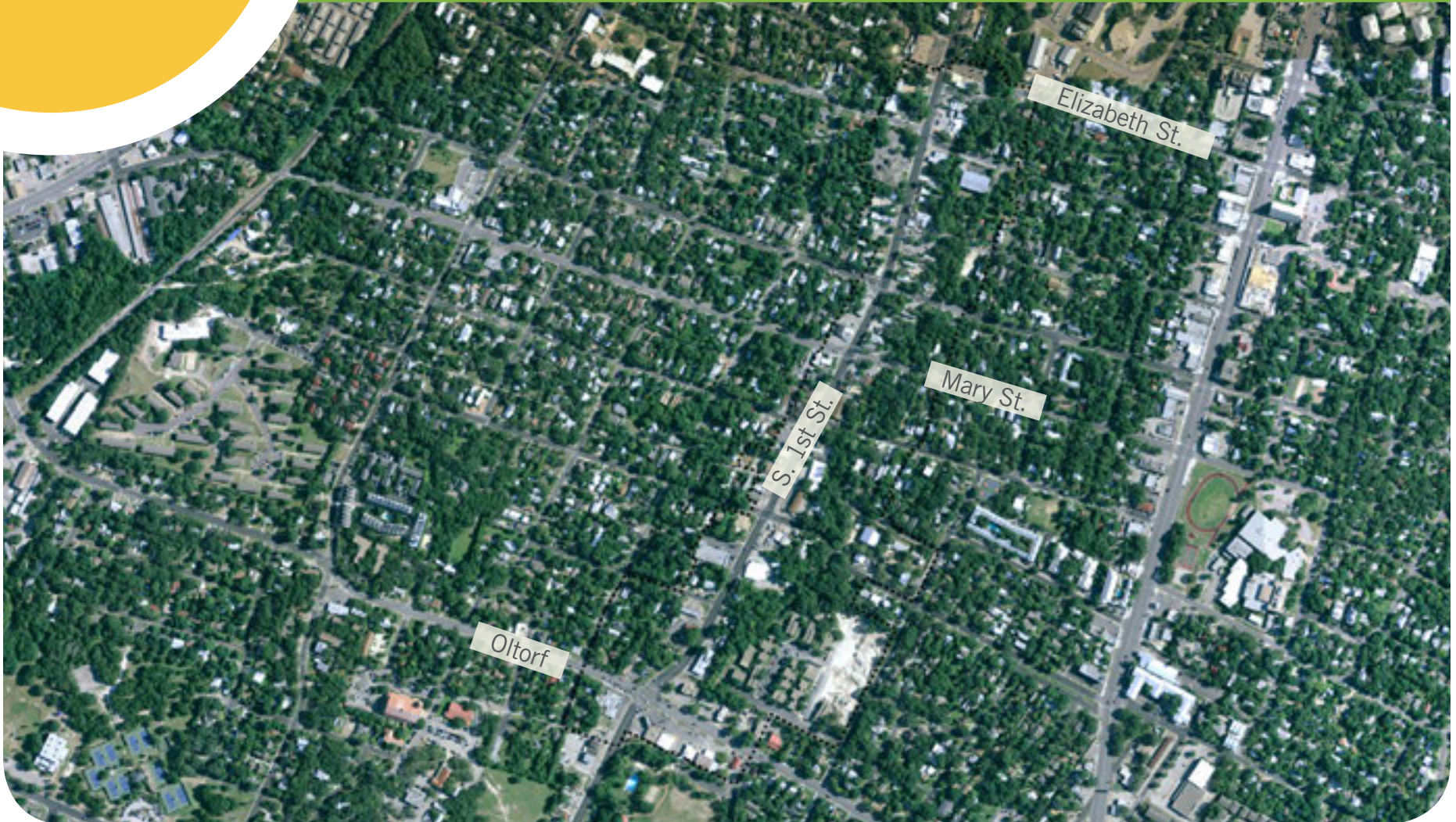


SH 183 Subdivision: Zoning Map Test



4

South 1st @ Oltorf



South 1st @ Oltorf: Illustrative Plan



South 1st @ Oltorf: Overall Plan



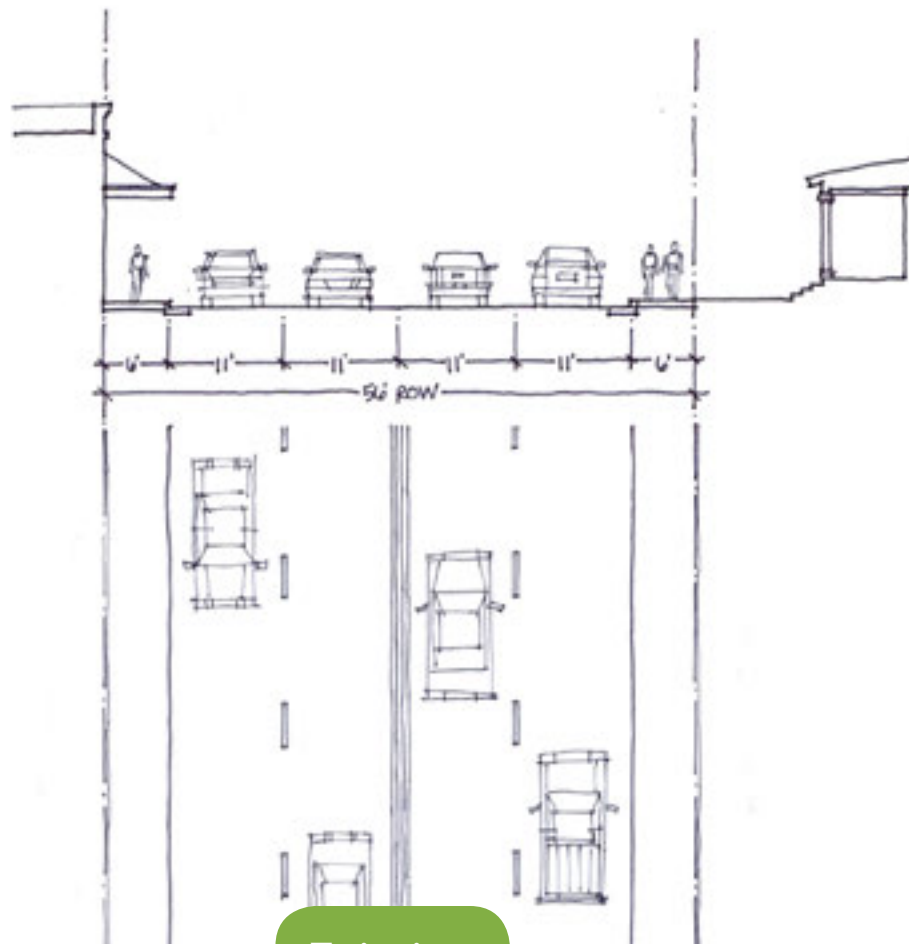
South 1st @ Oltorf: Overall Plan



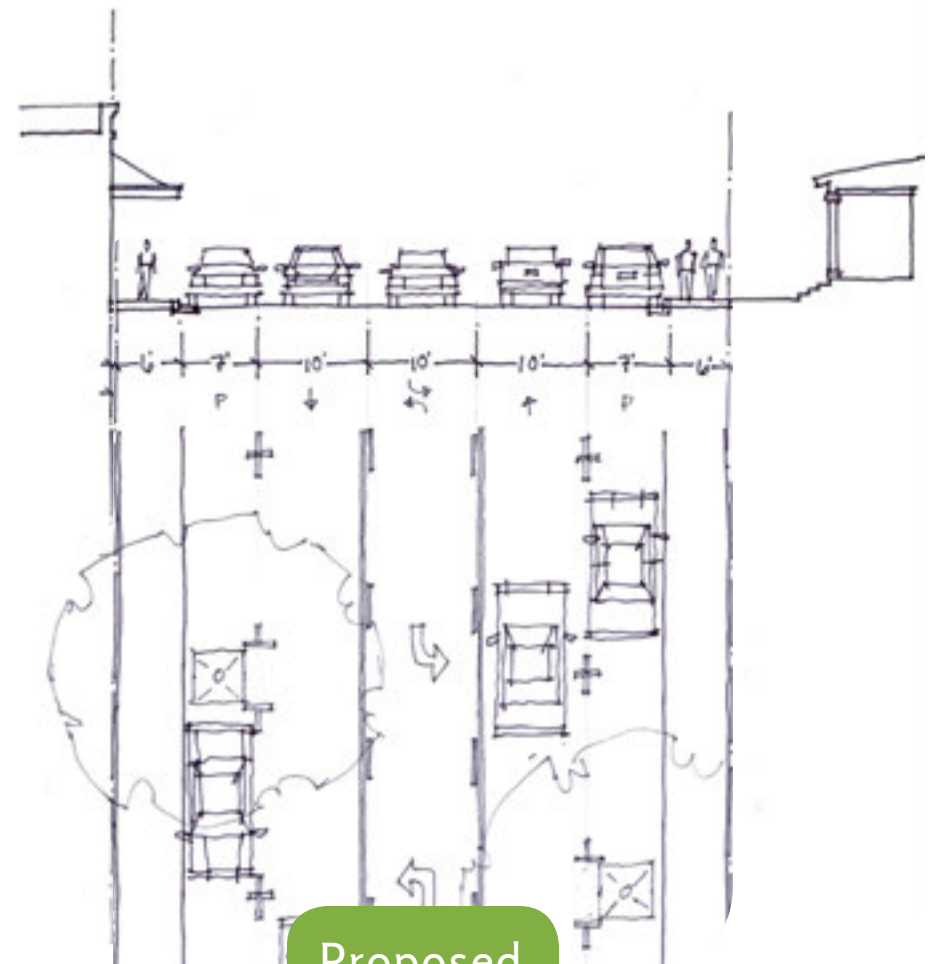
South 1st @ Oltorf: Overall Plan



South 1st @ Oltorf: South 1st Street Design



Existing



Proposed

South 1st @ Oltorf: Existing Conditions S. 1st @ Mary Street



South 1st @ Oltorf: Additional Commercial Cottage



South 1st @ Oltorf: Additional Commercial 2-story Cottage



South 1st @ Oltorf: Additional 3-story Main Street Building



South 1st @ Oltorf: Zoning Map Test

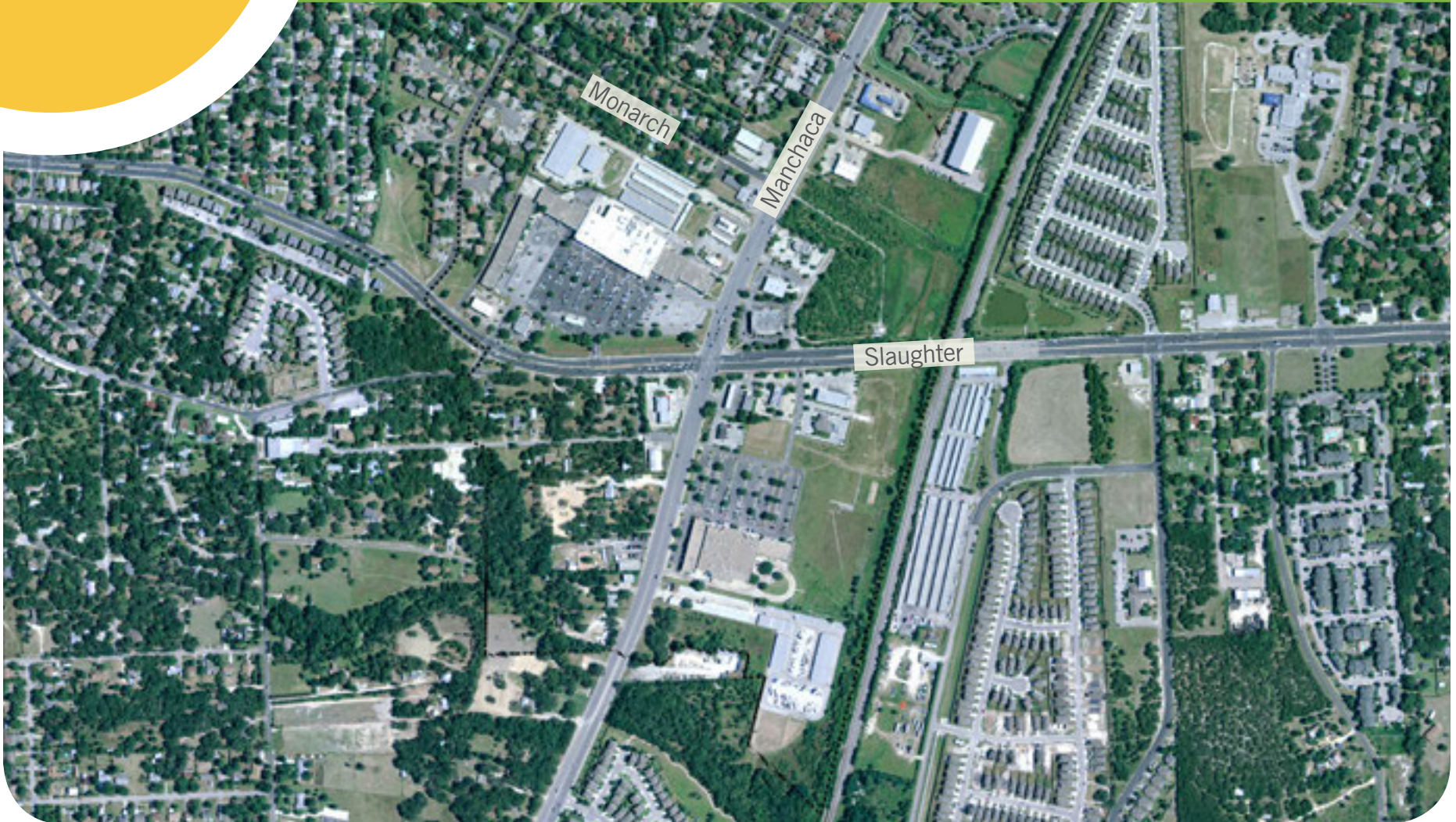
Transect Key

	T5 Main Street
	T5 Neighborhood Medium
	T5 Neighborhood Low
	T4 Main Street
	T4 Neighborhood Medium
	T4 Neighborhood Low
	T3 Neighborhood High
	T3 Neighborhood Medium
	T3 Edge



5

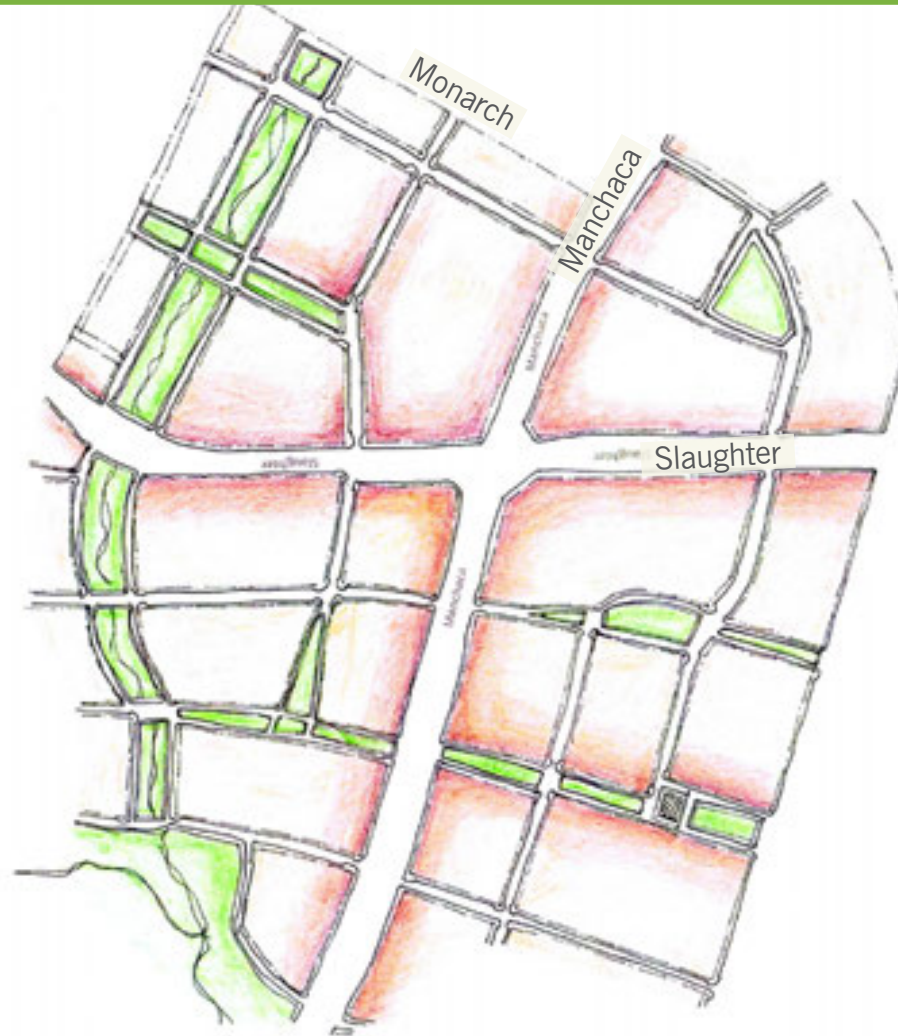
Manchaca @ Slaughter



Manchaca @ Slaughter: Illustrative Plan



Manchaca @ Slaughter: Overall Plan

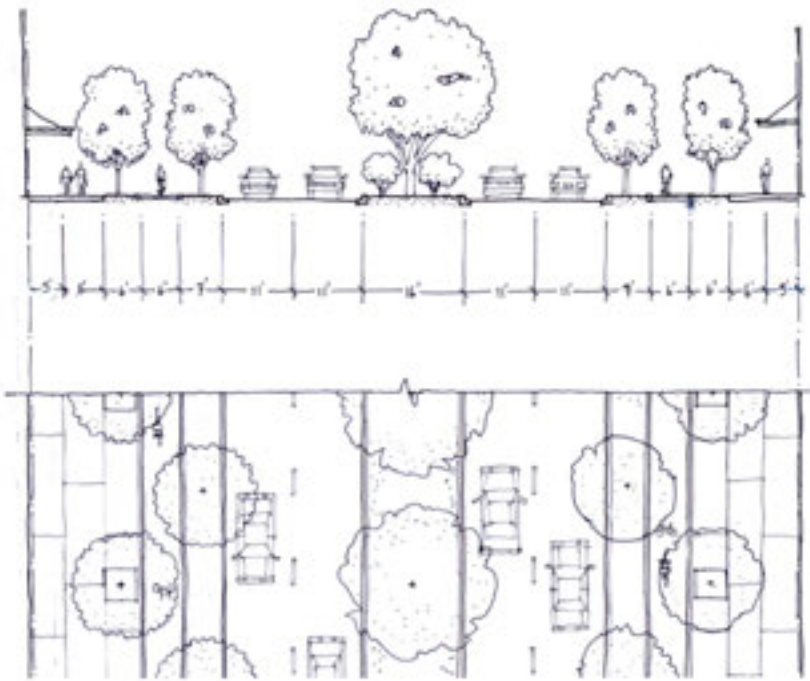


Manchaca @ Slaughter: Zoning Map Test

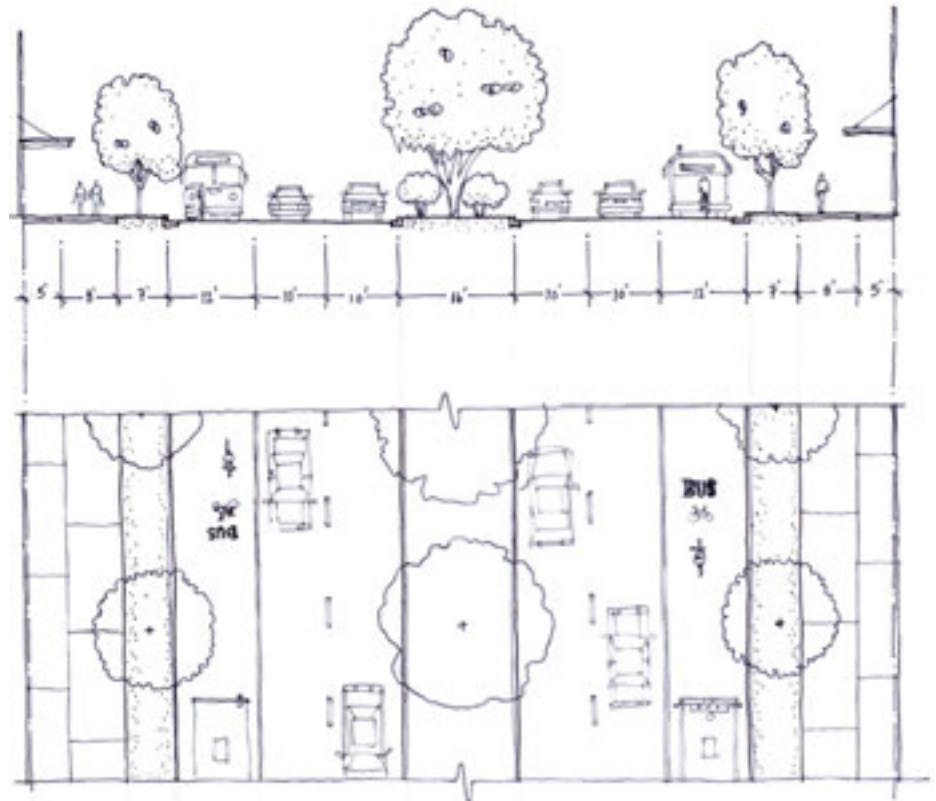
Transect Key



Manchaca @ Slaughter: Street Design

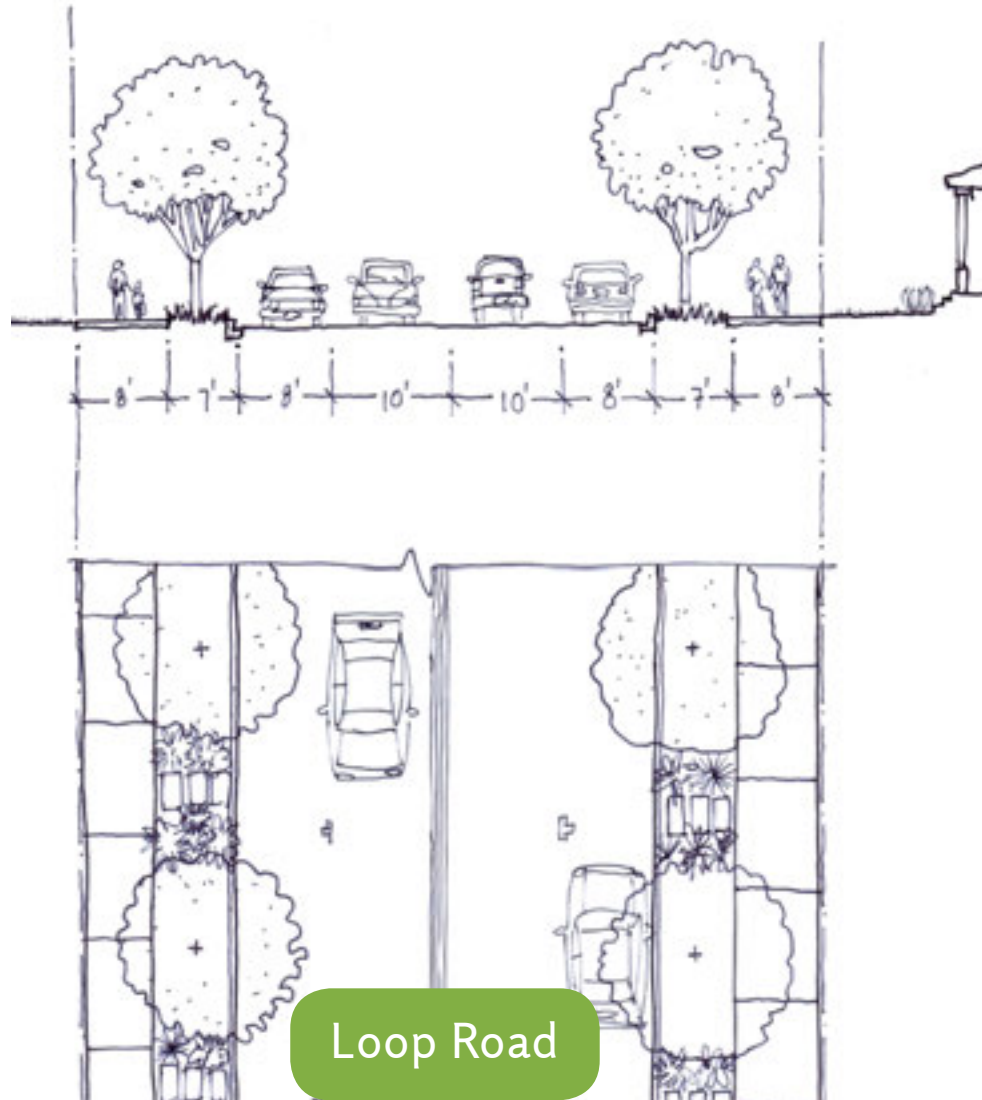


Manchaca



Slaughter

Manchaca @ Slaughter: Street Design



Manchaca @ Slaughter: Water Quality and Flood Mitigation



Manchaca @ Slaughter: Compatibility / Transitions

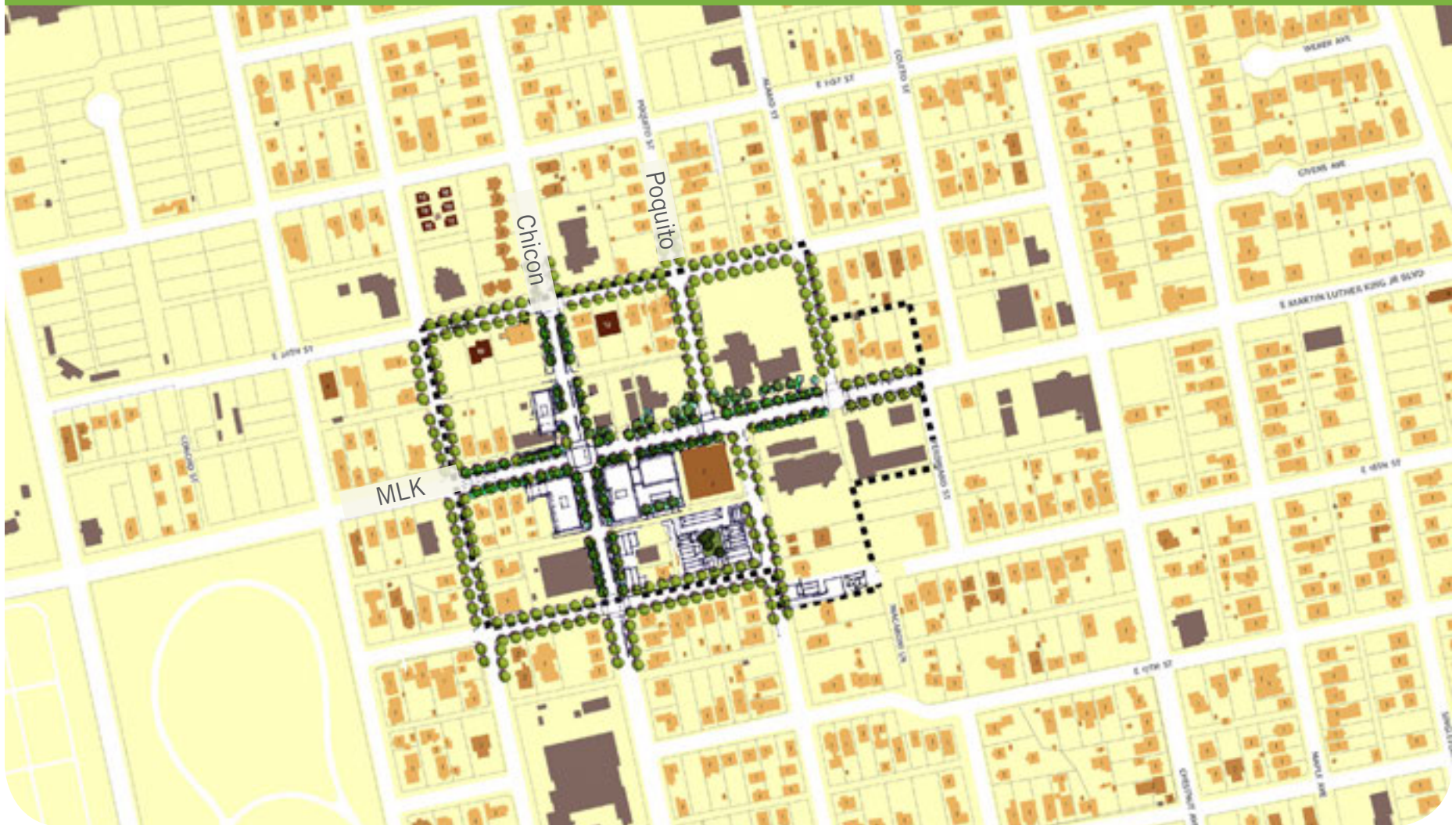


6

MLK @ Chicon



MLK @ Chicon: Illustrative Plan



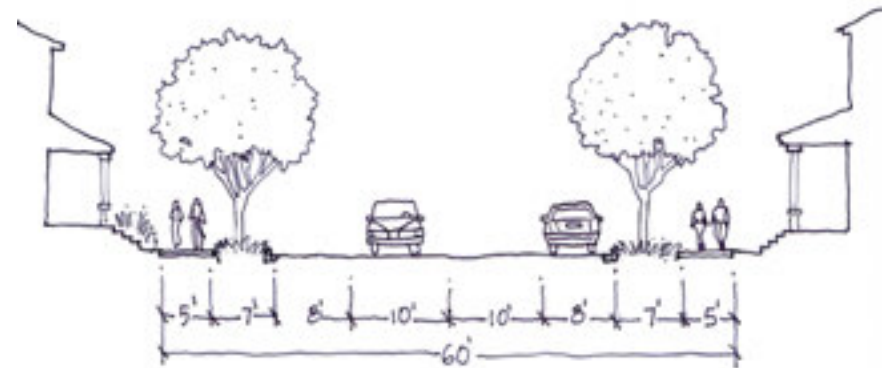
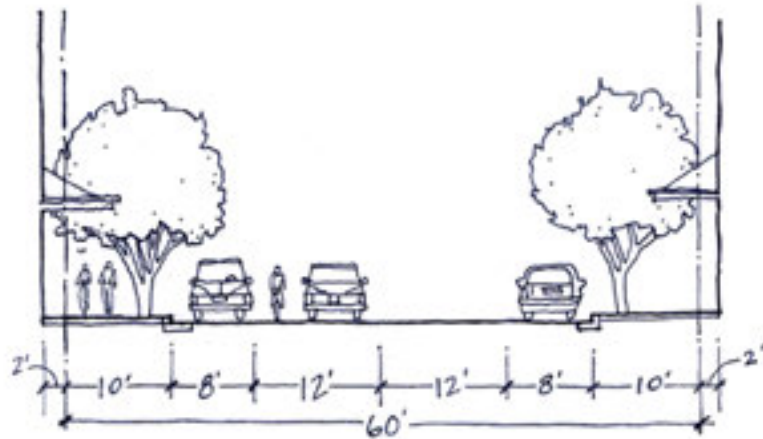
MLK @ Chicon: Illustrative Plan



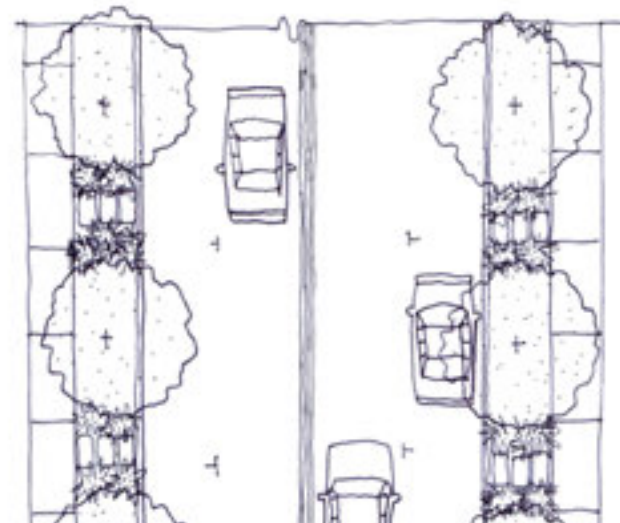
MLK @ Chicon: Zoning Map Test



MLK @ Chicon: Street Design



MLK



Neighborhood Green Street

MLK @ Chicon: Existing Conditions View



MLK @ Chicon: Existing Conditions View



What if Development Was Kept Small?



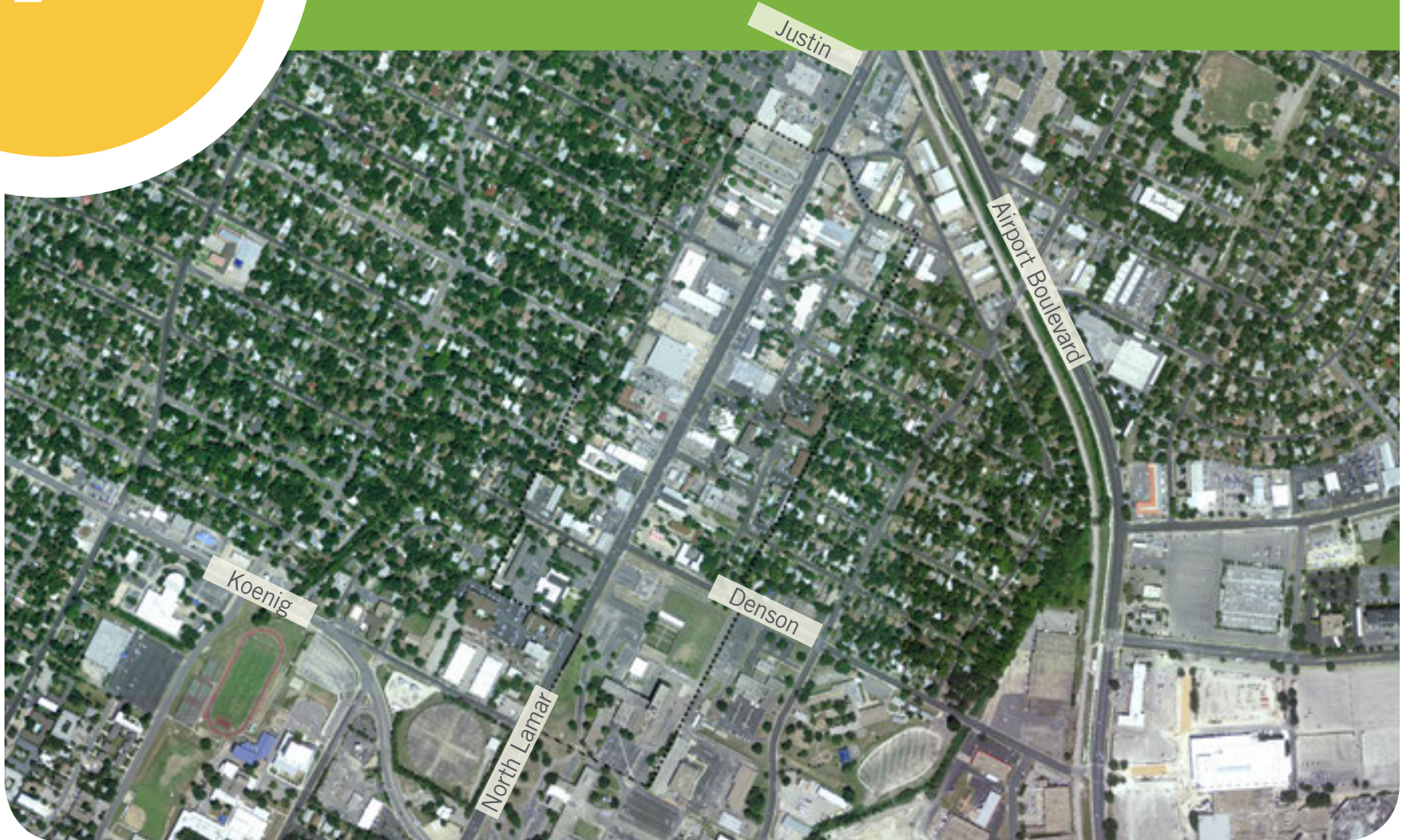
What if Bigger, But Still Compatible Buildings Brought Affordability?



This Could Entail Simply Mapping a T5 Main Street Zone Rather than a T4 Main Street

7

North Lamar @ Justin Lane



North Lamar @ Justin Lane: Illustrative Plan



North Lamar @ Justin Lane: Intensity Map



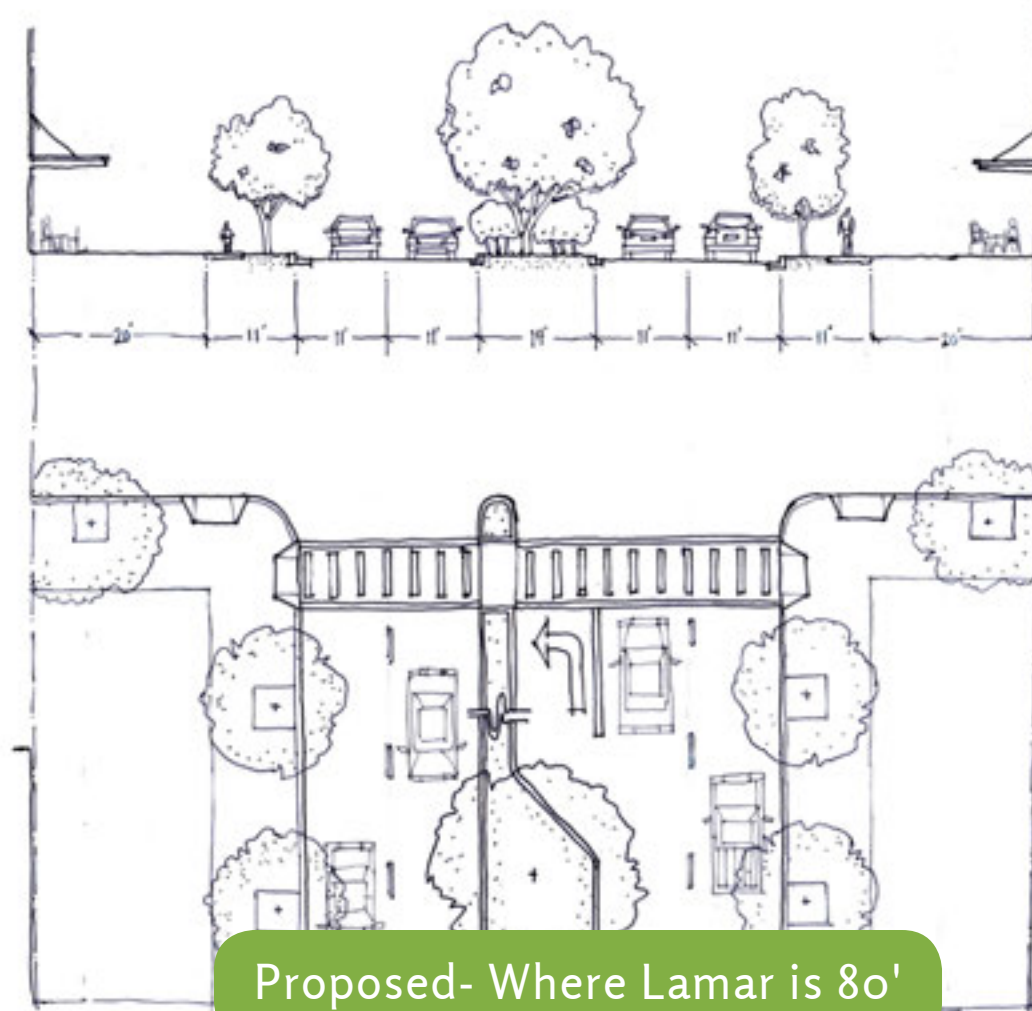
North Lamar @ Justin Lane: Zoning Test Map

Transect Key

	T5 Main Street
	T5 Neighborhood Medium
	T5 Neighborhood Low
	T4 Main Street
	T4 Neighborhood Medium
	T4 Neighborhood Low
	T3 Neighborhood High
	T3 Neighborhood Medium
	T3 Edge



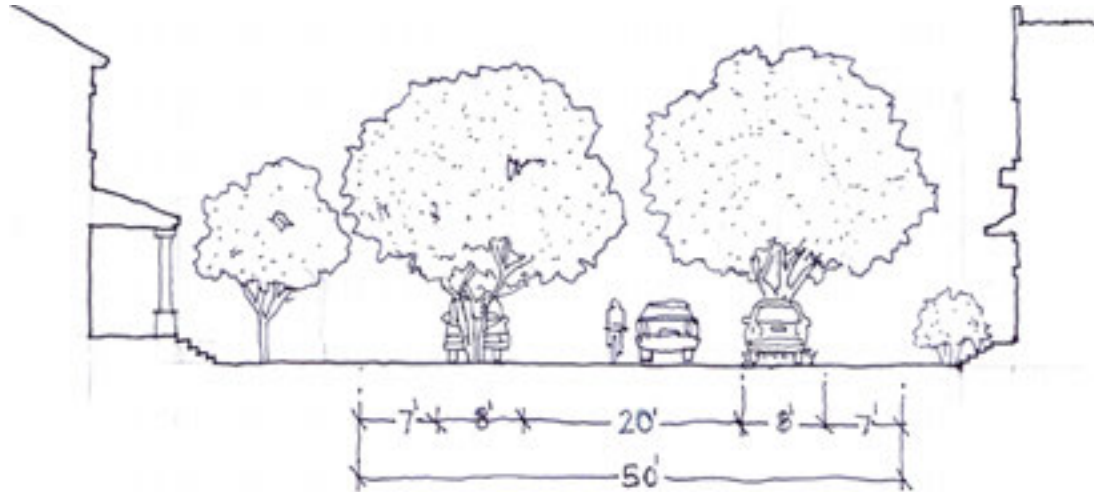
North Lamar @ Justin Lane: Street Design



North Lamar @ Justin Lane: Street Design



North Lamar @ Justin Lane: Street Design



Shared Green Street



North Lamar @ Justin Lane: Existing Conditions View

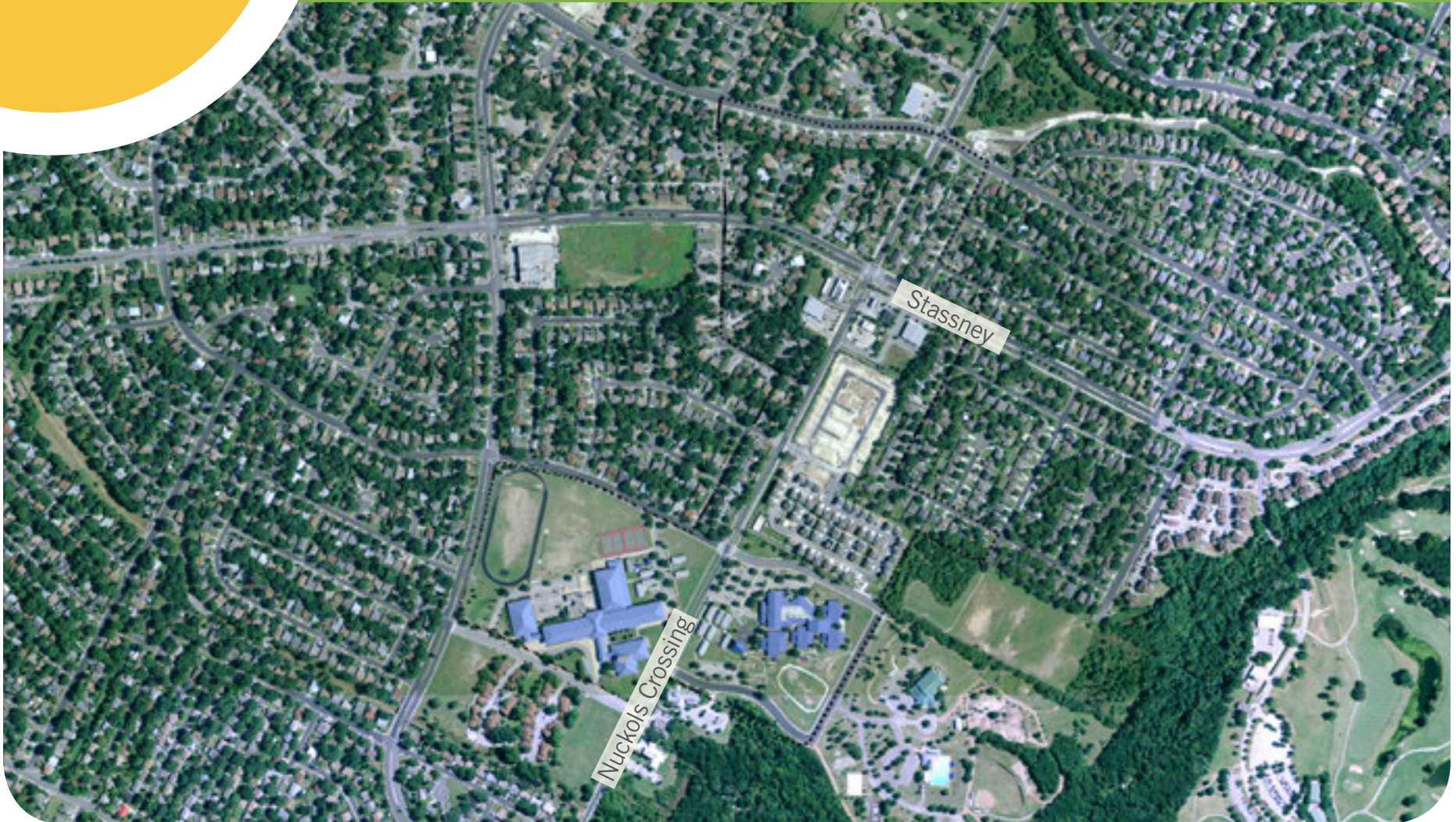


North Lamar @ Justin Lane: Transition



8

Stassney @ Nuckols Crossing



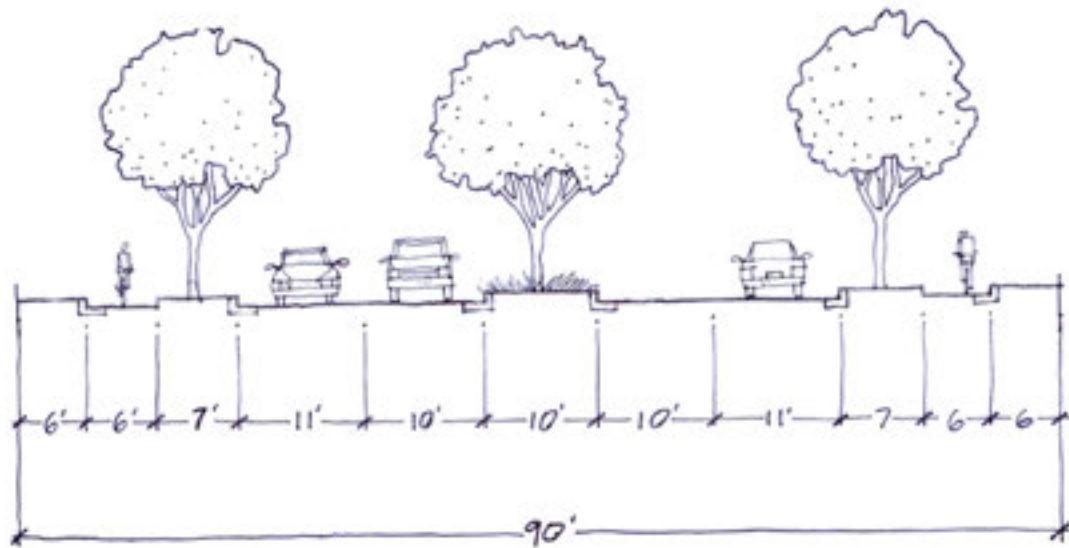
Stassney @ Nuckols Crossing: Overall Plan



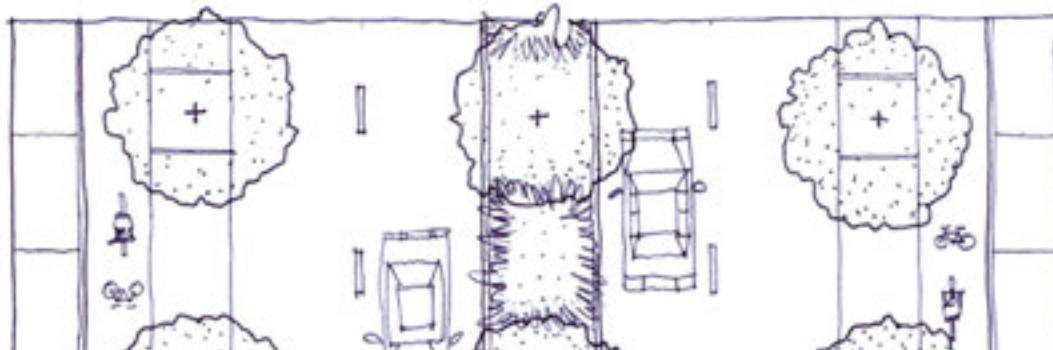
Stassney @ Nuckols Crossing: Illustrative Plan



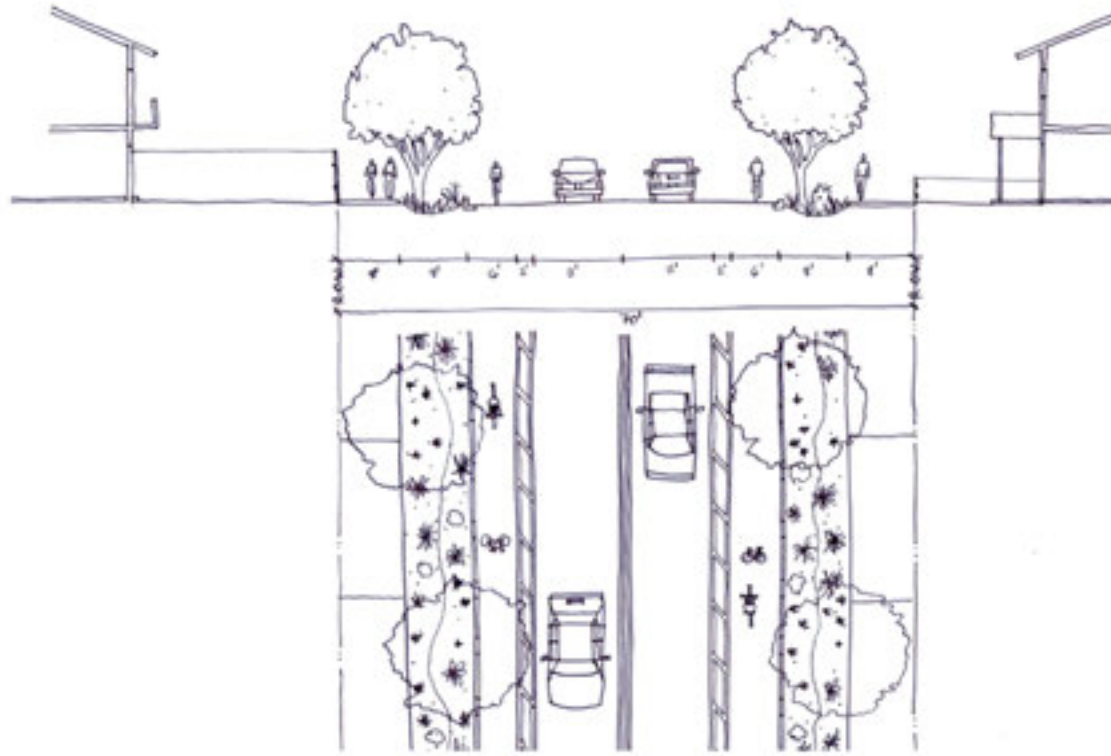
Stassney @ Nuckols Crossing: Street Design



Stassney



Stassney @ Nuckols Crossing: Street Design



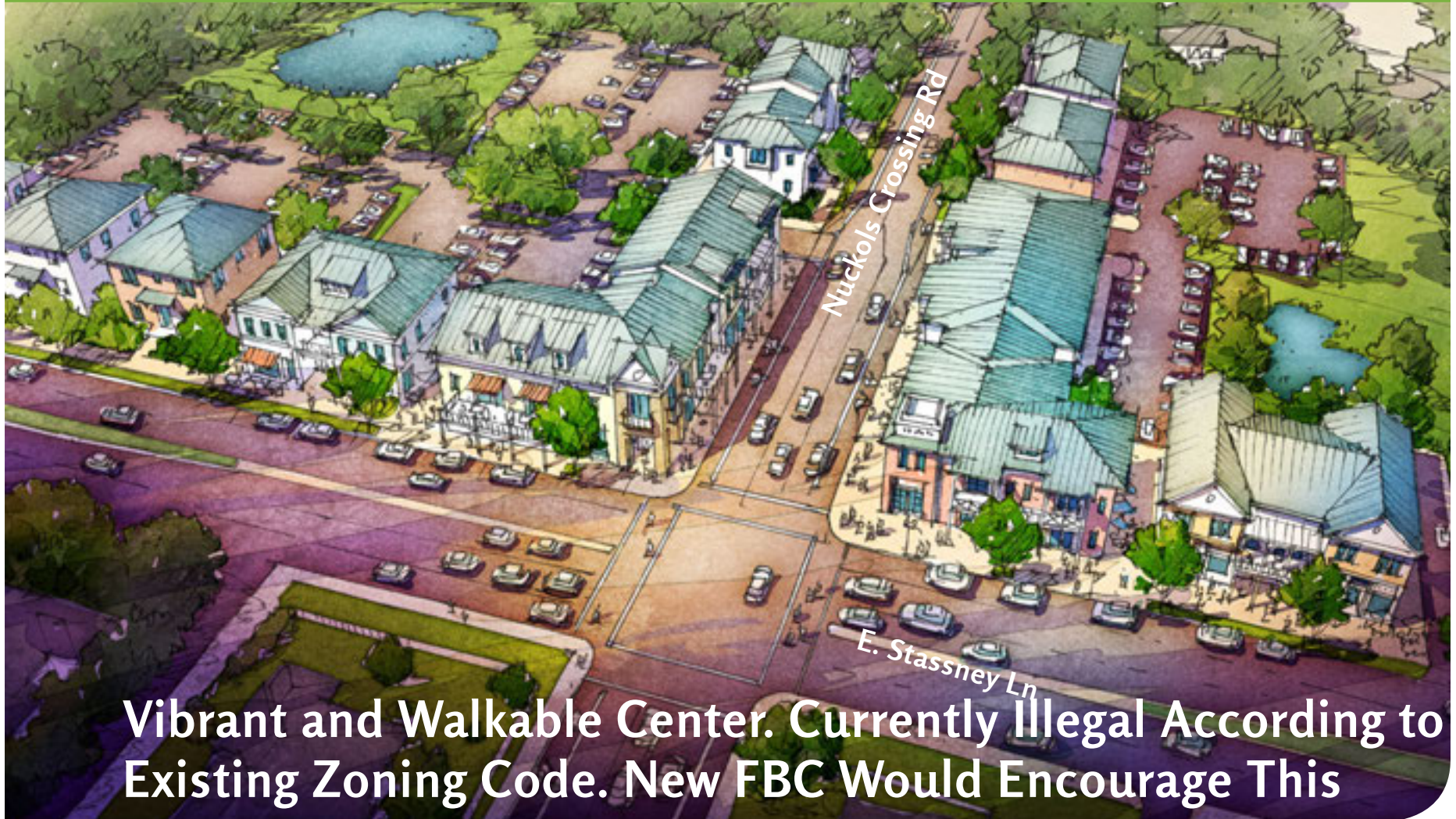
Nuckols

Stassney @ Nuckols Crossing: Existing Conditions View



Placeless and Auto-Dependent, but Allowed By-Right
Under Current Zoning Code

Stassney @ Nuckols Crossing: What if...



Vibrant and Walkable Center. Currently Illegal According to Existing Zoning Code. New FBC Would Encourage This

Stassney @ Nuckols Crossing: What if...

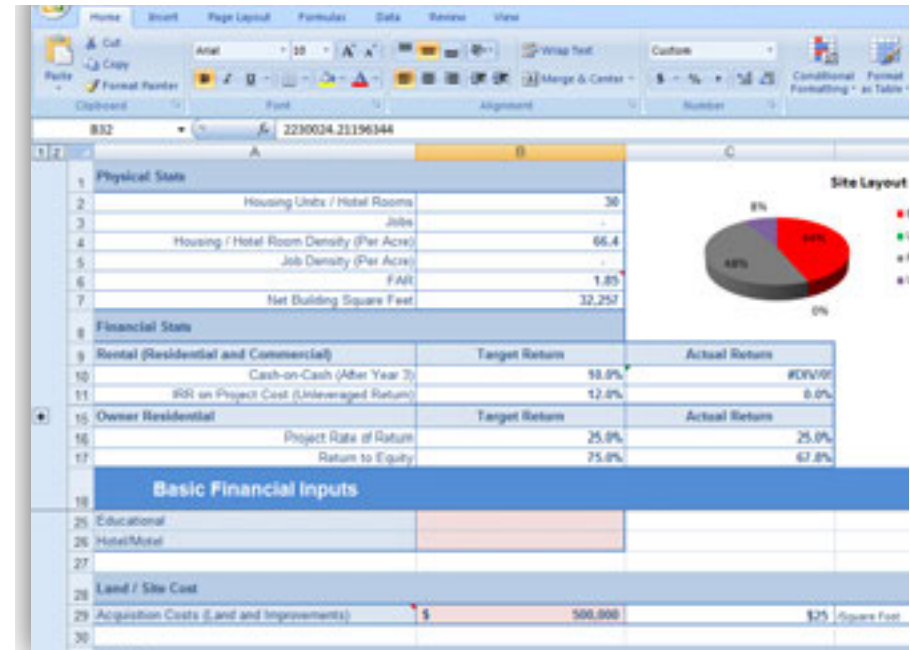


Code Refinements

Envision Tomorrow Allowed us To Do a True Sound Check

Sample of What Was Tested:

1. Draft Form-Based Standards (Height, Setbacks, etc. For Each Zone)
2. Off-Street Parking Requirements
3. On-Site Flood Mitigation
4. Economic Feasibility
5. Affordability



Indicators/Outputs

Housing Mix and Affordability

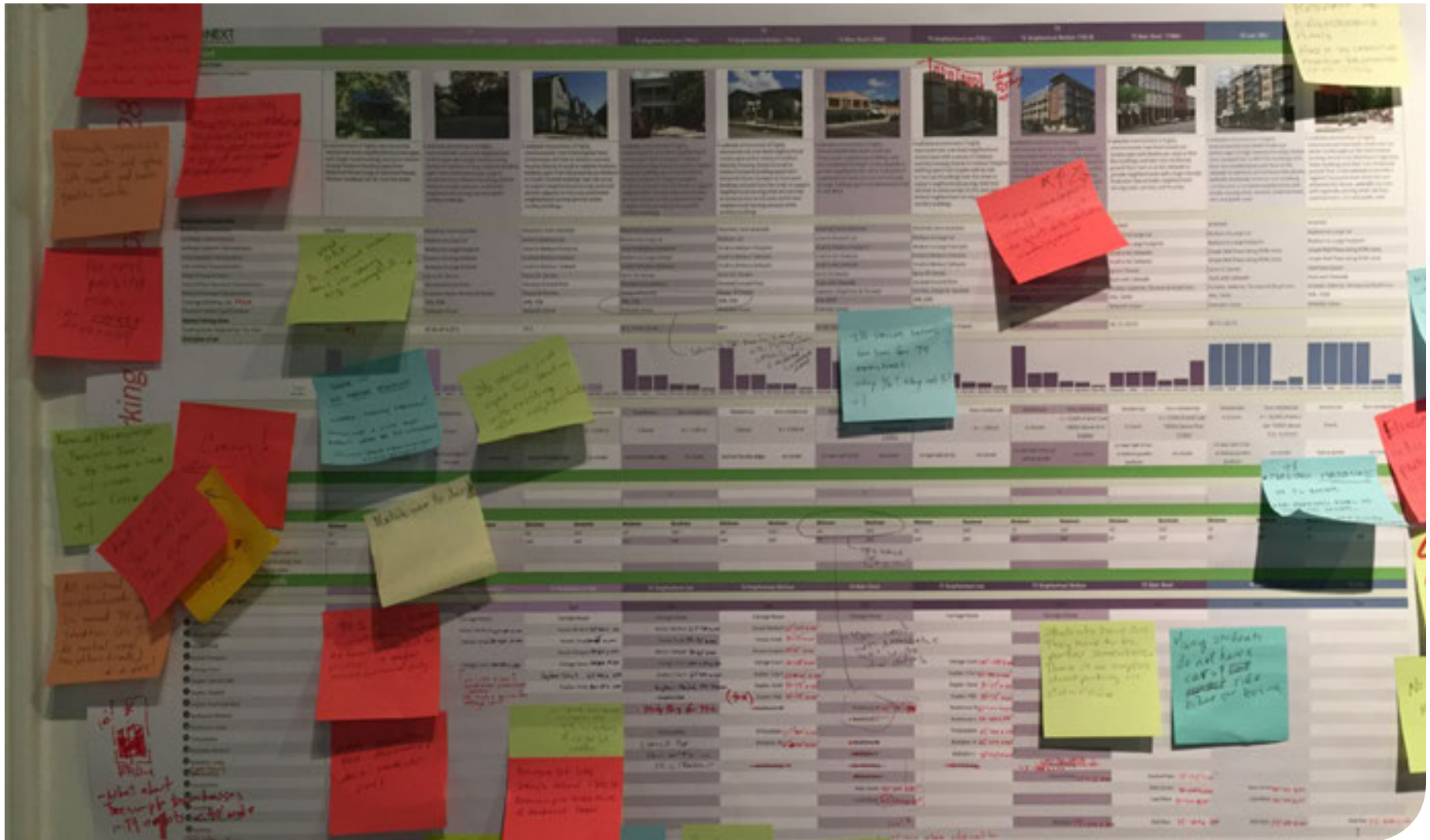
Water Consumption

Change in Impervious Surface

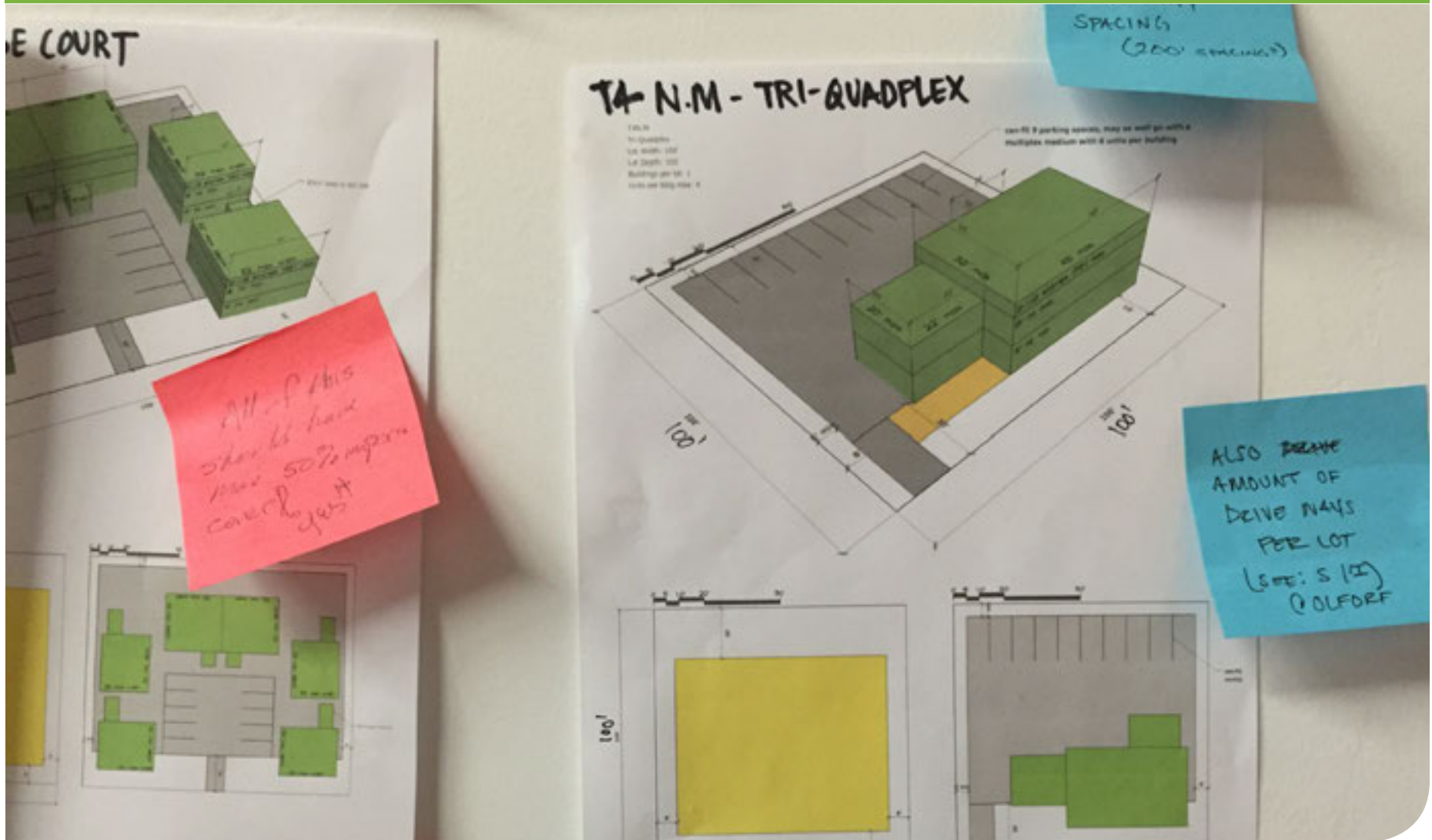
Access to Walkable Retail

Walking Access to Schools, Transit, Parks, and Schools

Testing Form-Based Code Content



Testing Form-Based Code Content





Conclusion/Next Steps

Providing a Hamlet Center for a Suburban Neighborhood

Outreach and Engagement Will Continue

KEY

Writing code (ongoing)

The CodeNEXT team – City staff and consultants – are drafting the technical code required to bring to life the community values from Imagine Austin, the Listening to the Community Report, Code Diagnosis, and Community Character Manual.

Community Walks (ongoing)

Explore together how we experience Austin and how the code impacts people on the ground in our built and natural environments.

Road Show (ongoing)

By request. We'll come to your small group for an informal update and conversation.

Code Advisory Group meetings

Monthly opportunities to follow CodeNEXT, hear presentations, and present your issues, likes and dislikes. The Advisory Group is made up of Austin residents appointed by Council.

CodeUPDATE

Large-format public presentations on code development and key topics.

Coffee & CodeNEXT (ongoing)

A fun, low-key way to interact with the CodeNEXT team.

CodeNEXT: SOUND CHECK Nov. 16-21

Technical Checkpoint: The team will spend an intensive week "test driving" draft development standards in representative places all over Austin, looking for bugs, unintended outcomes, and portions needing refinement. Austinites can participate and see "under the hood."

Public Draft Code

The entire draft code will be published for public review and feedback.

