

**ZONING AND PLATTING COMMISSION SITE PLAN  
CONDITIONAL USE PERMIT REVIEW SHEET**

**CASE NUMBER:** SPC-2015-0211C      **ZAP COMMISSION DATE:** April 5, 2016

**PROJECT NAME:** New Travis County Medical Examiner Building

**ADDRESS:** 7723 Springdale Road

**AREA:** 3.304 acres

**COUNCIL DISTRICT:** 1

**APPLICANT:** Travis County – Facilities Management (Roger El Khoury)  
1010 Lavaca Street, Suite 400  
Austin, Texas 78701  
(512) 854-9661

**AGENT:** Travis County – Facilities Management (Roger El Khoury)  
1010 Lavaca Street, Suite 400  
Austin, Texas 78701  
(512) 854-9661

**PROPOSED DEVELOPMENT:**

The request is to approve a Conditional Use Permit for a new 53,627-square-foot, two story medical examiner building for Travis County.

**EXISTING ZONING:** P (Public)

**NEIGHBORHOOD ORGANIZATION:**

Austin Heritage Tree Foundation  
Austin Independent School District  
Austin Neighborhoods Council  
Bike Austin  
Bluebonnet Hills Association  
Del Valle Community Coalition  
Friends of Austin Neighborhoods  
Friends of the Emma Barrientos MACC  
L.B.J. Neighborhood Association  
SELTEXAS  
Sierra Club, Austin Regional Group  
The Real Estate Council of Austin, Inc

**AREA STUDY:** N/A

**WATERSHED:** Walnut Creek (Suburban)

**APPLICABLE WATERSHED ORDINANCE:** Current/ Comprehensive Watershed Ordinance

**CAPITOL VIEW:** N/A

**T.I.A.:** Not Required

**SUMMARY STAFF RECOMMENDATION:**

Staff recommends approval of the conditional use permit. The site plan will comply with all requirements of the Land Development Code prior to its release.

**CASE MANAGER:** Christine Barton-Holmes      Telephone: (512)974-2788  
Christine.Barton-Holmes@austintexas.gov

**PROJECT INFORMATION:**

**ZONING:** P (Limits of Construction – 3.354 acres)

**MAX. BLDG. CVRG:** N/A

**PROP. BLDG. CVRG:** 21.3% (30,678 sf)

**PARKING:** 93 spaces required/provided

**MAX. IMP. CVRG:** N/A

**PROP. IMPERV. CVRG.:** 66.4% (2.193 acres)

**EXIST/PROPOSED USE:** Undeveloped/Medical Examiner Building

**SUMMARY COMMENTS ON SITE PLAN:**

**Land Use:** The applicant is requesting approval of a Conditional Use Permit for the New Travis County Medical Examiner Building. All sites zoned P (Public) over one acre in size require a Conditional Use Permit, according to the Land Development Code section 25-2-625. The site will fully comply with all requirements prior to permit release.

**Transportation:** A traffic impact analysis was not required. All transportation comments are cleared.

**Environmental:**

The site is located within the Walnut Creek watershed, which is classified as a Suburban Watershed.

**CONDITIONAL USE PERMIT REVIEW AND EVALUATION CRITERIA**

The following evaluation is included to provide staff position on each point of the conditional use permit criteria. Section 25-5-145 of the Land Development Code states: “The Commission shall determine whether the proposed development or use of a conditional use site plan complies with the requirements of this section.

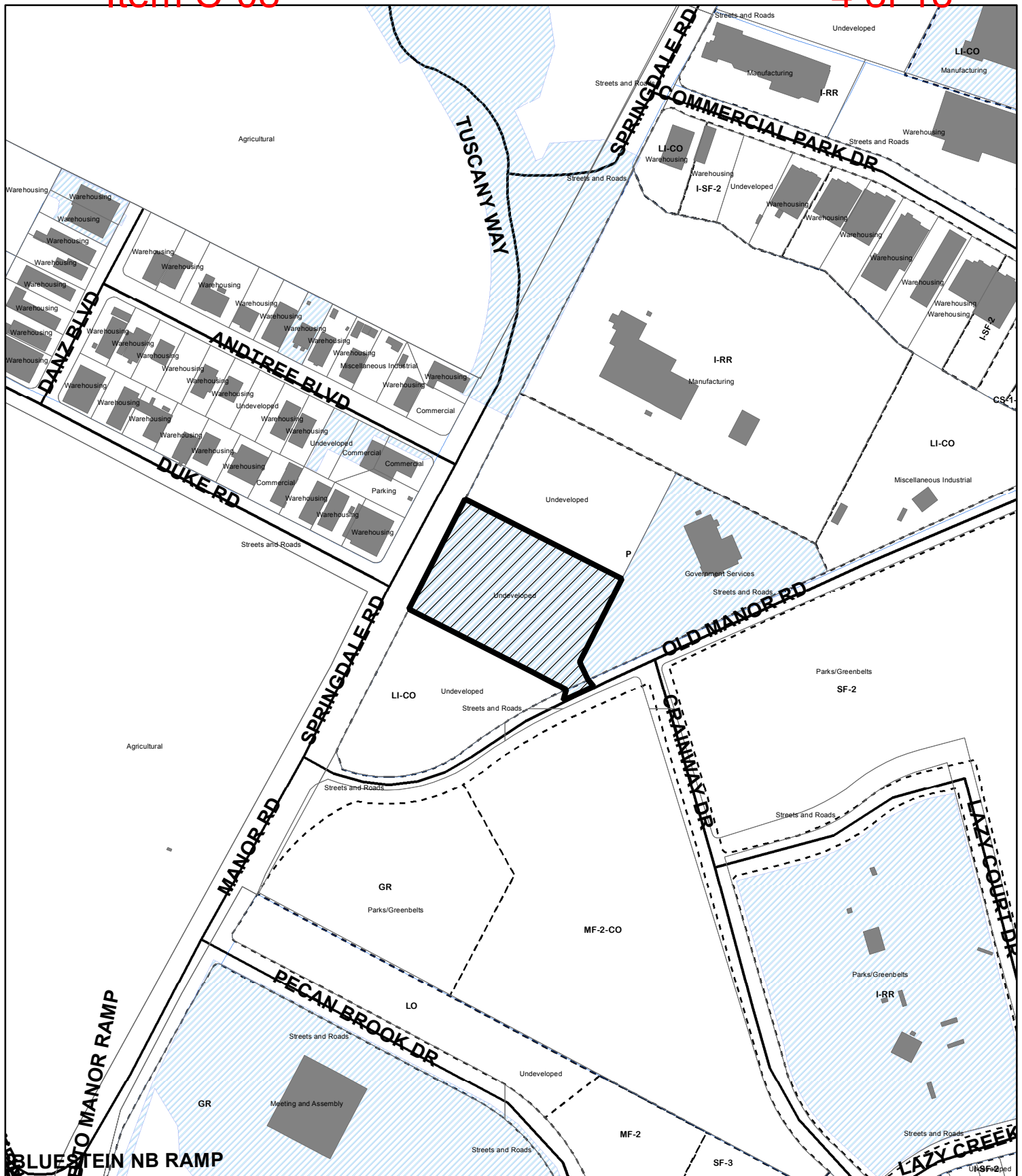
**A conditional use site plan must:**

- 1. Comply with the requirements of this title;** Staff response: This application complies with the requirements of this title.
- 2. Comply with the objectives and purposes of the zoning district;** Staff response: This application complies with the objectives and purposes of the zoning district.
- 3. Have building height, bulk, scale, setback, open space, landscaping, drainage, access, traffic circulation, and use that are compatible with the use of an abutting site;** Staff response: This application is compatible with the abutting sites in all of these cases.
- 4. Provide adequate and convenient off-street parking and loading facilities;** Staff response: The site plan complies with off-street parking and loading facility requirements.
- 5. Reasonably protect persons and property from erosion, flood, fire, noises, glare, and similar adverse effects;** Staff response: The proposed project does not contribute to any of these adverse effects.

**A Conditional Use Site Plan May Not:**

- 1. More adversely affect an adjoining site than would a permitted use;** Staff response: The site plan will conform with all regulations and standards established by the Land Development Code. This proposed site plan does not more adversely affect an adjoining site than would a permitted use.
- 2. Adversely affect the safety or convenience of vehicular or pedestrian circulation, including reasonably anticipated traffic and uses in the area;** Staff response: Access is limited into the site, and surrounding vehicular circulation in the area of the project is not anticipated to have any detriment of safety or convenience.
- 3. Adversely affects an adjacent property or traffic control through the location, lighting, or type of signs;** Staff response: No signage or lighting is proposed that would affect adjacent properties or traffic control.

**D.** A site plan may not adversely affect the public health, safety, or welfare, or materially injure property. If the Land Use Commission determines that a site plan has an adverse effect or causes a material injury under this subsection, the Land Use Commission shall identify the adverse effect or material injury.



SITE PLAN

CASE#: SPC-2015-0211C

ADDRESS: 7723 Springdale Road

CASE NAME: Travis County Medical Examiners Bldg

MANAGER: Christine Barton-Holmes



SUBJECT TRACT

ZONING BOUNDARY

0 160 320 640 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

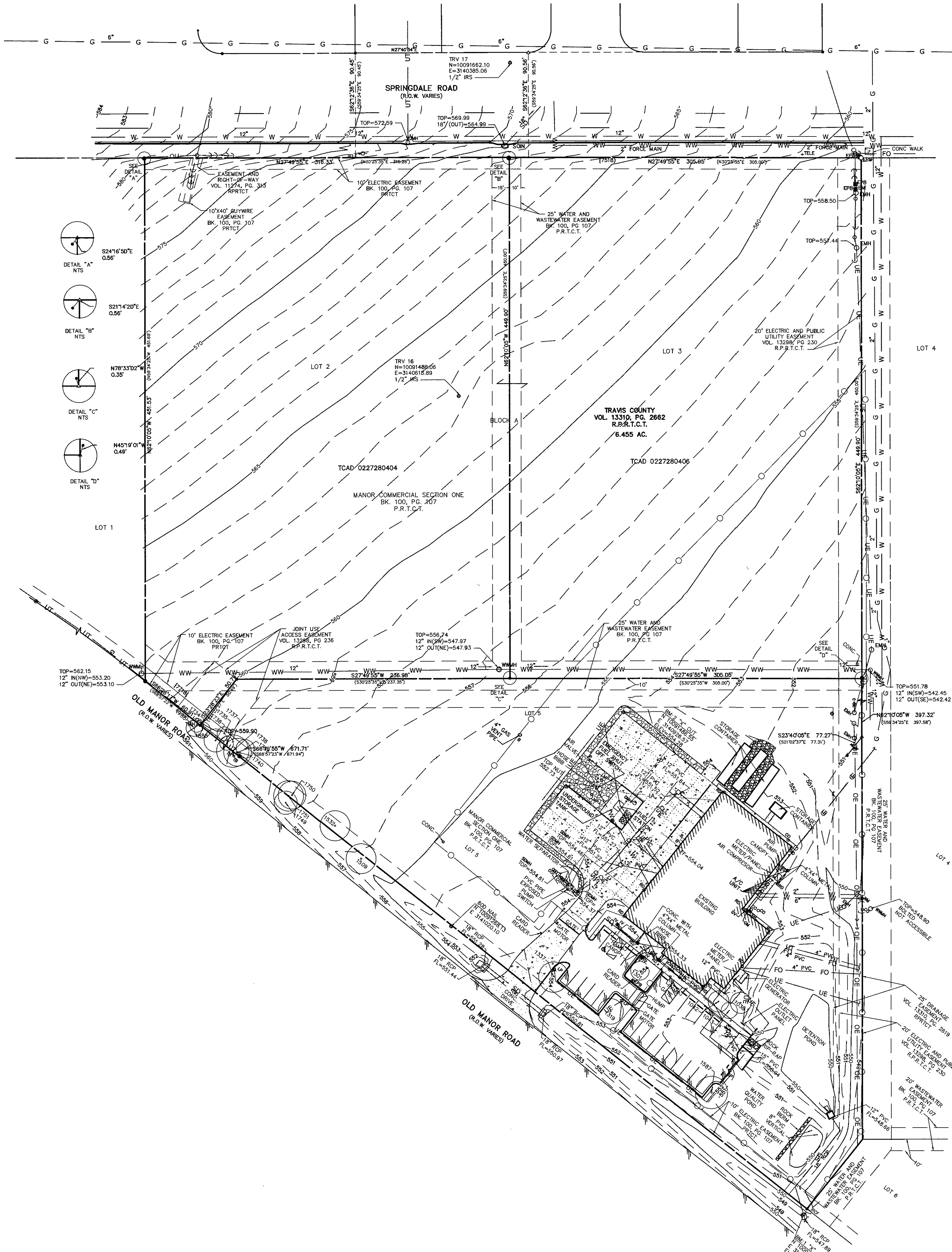


OPERATOR: Christine Barton-Holmes









COORDINATE AND BEARING BASIS:  
COORDINATES SHOWN ARE MODIFIED FROM TEXAS STATE PLANE,  
CENTRAL ZONE, NAD 83 (CDRS 2011), FOR GRID COORDINATES.  
DYNAMIC SURFACE COORDINATES BY 1,000,000. ALL DISTANCES  
SHOWN ARE SURFACE DISTANCES.

VERTICAL BASIS:  
BM 5 REDUNDANT ON TRAVIS COUNTY STARLIGHT, 7800 OLD  
MANOR ROAD, SITE PLAN NUMBER SP-98-00660, AND SHOWN  
ON MANOR COMMERCIAL SECTION ONE PLAT, REDUCED IN BOOK  
100, PAGE 107.  
ELEVATION=550.44

THE LOCATIONS AND SIZE OF EXISTING UNDERGROUND UTILITIES  
SHOWN ON THIS DRAWING ARE FROM RECORDS WHICH MAY NOT  
BE ENTIRELY ACCURATE AND FROM SURFACE EVIDENCE AS  
SURVEYED ON THE GROUND.

ONLY 6" TREES AND LARGER ARE SHOWN ON THIS DRAWING

BM: "A" CUT ON NORTHWEST CORNER OF THE MOST NORTHERLY  
HELIPAD.  
ELEVATION=554.38

BM: "B" CUT IN NORTH SIDE OF STORM DRAIN INLET ON EAST  
SIDE OF SPRINGDALE APPROX. 70' SOUTH OF ANDREE BLVD.  
ELEVATION = 559.90

A NOTICE CONCERNING CONSTRUCTION OF SUBDIVISION  
IMPROVEMENTS RECORDED IN VOL. 13307, PG. 1 (R.P.R.T.C.T.)  
APPLIES TO THIS TRACT.

LEGEND	
●	CONTROL POINT (SIZE/TYPE NOTED)
△	CALCULATED POINT
●	1/2" IRON PIPE FOUND
●	1/2" IRON ROD FOUND
○	5/8" IRON ROD WITH WMM CAP SET
○	POWER POLE
—	OUT WIRE
○	ELECTRIC MANHOLE
○	ELECTRIC METER
○	ELECTRIC PULL BOX
○	TELEPHONE MANHOLE
○	TELEPHONE MARKER
○	STORM DRAIN INLET
○	WASTEWATER MANHOLE
○	CHAINLINK FENCE
○	OVERHEAD ELECTRIC LINE
○	OVERHEAD ELECTRIC AND CABLE LINES
○	UNDERGROUND CABLE LINE
○	GAS LINE
○	EDGE OF ASPHALT
○	CONCRETE
○	TREE
PRCT	PLAT RECORDS TRAVIS CO. TX.
RPRCT	REAL PROPERTY RECORDS TRAVIS CO. TX.

TREE TABLE	
TREE #	DESCRIPTION
1888	6" Hackberry

CURVE TABLE				
CURVE	RADIUS	DELTA	ARC	BEARING
C1	1376.10'	12°45'46"	306.53'	S59°50'03"W
	(1376.10')	(12°45'50")	(306.56')	(S59°50'13"W)

TREE TABLE FROM MENDEZ SURVEY,  
SIGNED 1/27/2015 (SEE SHEET 3 OF 20)

TREE TABLE	
TREE #	DESCRIPTION
1038	8(3/3/3/3/3)" Grape Myrtle
1042	8(3/3/3/3/3)" Grape Myrtle
1043	7(3/3/2/2/2)" Grape Myrtle
1587	14" Live Oak
1301	8(5/5/5)" Live Oak
1749	10" Hackberry
1500	13" Hackberry
1319	11(5/4/4/3)" Live Oak
1337	13(6/7/7)" Live Oak
1532	13" Mesquite Honey
1733	7" Hackberry
1734	7" Hackberry
1735	6" Hackberry
1736	10(4/4/3/2/2)" Hackberry
1737	6" Hackberry
1738	14" Mesquite Honey
1739	8" Hackberry
1740	12" Hackberry
1750	12" Mesquite Honey
1751	13" Mesquite Honey

SITE PLAN RELEASE

Sheet 4 of 27

FILE NUMBER: SPC-2015-0211C

EXPIRATION DATE: NOV 7, 2015

CASE MANAGER: CHRISTINE BARTON-HOLMES

APPLICATION DATE: MAY 8, 2015

APPROVED ADMINISTRATIVELY ON:

APPROVED BY PLANNING COMMISSION ON:

APPROVED BY CITY COUNCIL ON:

under Section 112 of Chapter 25-5 of the Austin City Code.

Director, Watershed Protection and Development Review Department

DATE OF RELEASE: \_\_\_\_\_

Rev. 1: \_\_\_\_\_

Rev. 2: \_\_\_\_\_

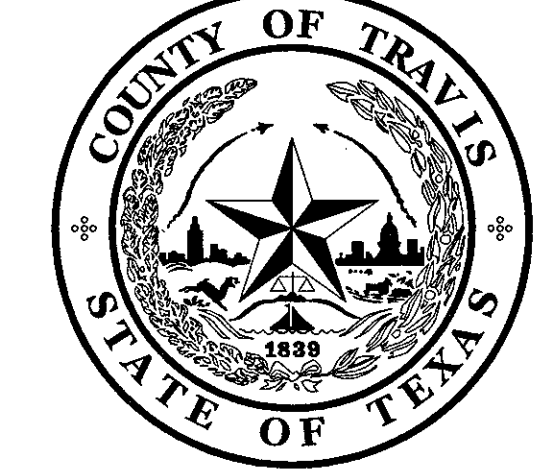
Rev. 3: \_\_\_\_\_

Zoning: "P"

Correction 1

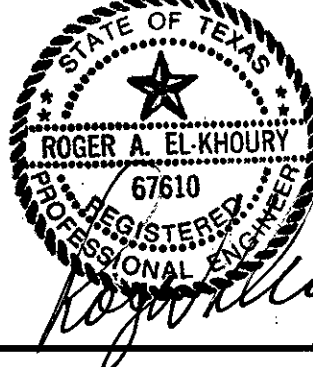
Correction 2

Correction 2



TRAVIS COUNTY  
FACILITIES MANAGEMENT DEPARTMENT

Roger A. El Khoury, M.S., P.E., Director  
1010 Lavaca St., Suite 400  
P.O. Box 1748  
Austin, Texas 78767  
Phone (512) 854-9661  
Fax (512) 854-9226



NEW MEDICAL EXAMINER  
BUILDING

7723 Springdale Road, Austin, TX 78724

Date:	Description:
06OCT2015	BID / PERMIT SET

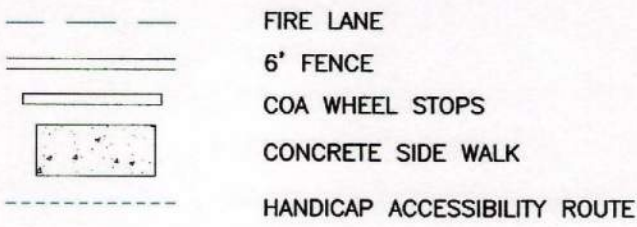
PROJECT NO: MEDEX-15-14C-1N  
CONTRACT NO:  
SCALE: 1" = 50'  
DRAWN BY: M.A.  
CHECKED BY: R.E.K.

SHEET TITLE  
OVER ALL  
EXISTING  
SURVEY

SHEET NUMBER  
C4.0  
Sheet 4 of 27



LEGEND



NOTES:

1. CONTRACTOR SHALL CALL ONE CALL CENTER (472-2822) FOR UTILITY LOCATION PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W.
2. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE ON THE R.O.W.
3. CONTRACTOR WILL BE RESPONSIBLE FOR DEMOLITION OF ANY EXISTING ASPHALT OR CONCRETE WHICH INTERFERES WITH CONSTRUCTION PER THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ITS APPROPRIATE REMOVAL AND DISPOSAL.
4. ALL DIMENSIONS AND RADII TO FACE OF CURB, UNLESS OTHERWISE NOTED.
5. ALL RADII ARE 5', UNLESS OTHERWISE NOTED.
6. PAINT CURB OR PAVING FOR FIRE ZONE/ TOW AWAY ZONE AS SHOWN ON PLAN. STENCILED LETTERS PER C.O.A. A.F.D. REQUIREMENTS.
7. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
8. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A CONCRETE PERMIT IS REQUIRED.
9. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50. [TAS 4.3.7.]
10. PROVIDE STANDARD C.O.A. WHEEL STOPS FOR PARKING SPACES ADJACENT TO SIDEWALKS AS SHOWN ON THIS PLAN.
11. PLAN NORTH IS FOR REFERENCE ONLY.
12. FOR DRIVEWAY CONSTRUCTION: THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGES TO UTILITIES.
13. SEE ARCHITECTURAL DRAWINGS FOR ACTUAL DIMENSIONS.
14. NEW PARKING AREA SHALL BE CLASS A 4000 PSI WITH #3 REBARS AT 18" ON CENTERS IN BOTH DIRECTIONS. THE STEEL SHOULD BE PLACED BETWEEN UPPER 1/3 AND 1/2 OF THE PAVEMENT THICKNESS.
15. CONTROL JOINT FOR CONCRETE PAVEMENT SHOULD BE SPACED NO GREATER THAN 16 FEET. SAWCUT CONTROL JOINTS SHOULD BE CUT WITHIN 6 TO 12 HOURS OF CONCRETE PLACEMENT. SAWCUT JOINT DEPTHS SHOULD BE AT LEAST 1/4 OF THE SLAB THICKNESS.
16. PAVEMENT AREA GENERAL FILL SHOULD EXHIBIT A MAXIMUM PI OF 45 OR LESS. THE GENERAL FILL SHOULD BE COMPACTED TO MINIMUM OF 96 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED MOISTURE/DENSITY RELATION (ASTM D 1557) AT -3 TO +3 PERCENT OF OPTIMUM MOISTURE CONTENT. THE GENERAL FILL SHOULD BE EXTENDED 18" BEYOND THE PAVEMENT OUTLINE.
17. MOISTURE CONDITIONED SUBGRADE - EXPOSED SOIL SUBGRADE AREA SHOULD BE SCARIFIED TO DEPTH OF 6 INCHES. MOISTURE ADJUSTED AND THEN RECOMPACTED TO AT LEAST 96 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698. AND SHOULD BE MOISTURE CONDITIONED TO BETWEEN +2 AND +6 PERCENT OF OPTIMUM MOISTURE. CARE SHOULD BE TAKEN SUCH THAT THE SUBGRADE DOES NOT DRY OUT OR BECOME SATURATED PRIOR TO PAVEMENT CONSTRUCTION.
18. CONTRACTOR TO PAINT WHEEL STOPS OR FACE OF CURB AS RESERVED, VISITOR, OR STAFF PER FACILITY MANAGERS DIRECTION.
19. ALL LANDSCAPED AREAS ARE TO BE PROTECTED BY SIX-INCH WHEEL CURBS, WHEEL STOPS OR OTHER APPROVED BARRIERS AS PER ECM 2.4.7.
20. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E.2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP / LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
21. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.
22. COMPLIANCE WITH THE COMMERCIAL AND MULTI-FAMILY RECYCLING ORDINANCE IS MANDATORY FOR MULTI-FAMILY COMPLEXES AND BUSINESS AND OFFICE BUILDINGS.
23. NO BUILDINGS EXIST WITHIN 50' OF THIS TRACT.
24. POWER OPERATED GATES ACROSS FIRE ACCESS ROADS MUST BE EQUIPPED WITH GATE OPERATORS LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION MUST BE DESIGNED, CONSTRUCTED AND INSTALLED PER ASTM F2200. A MANUAL MEANS OF OPENING THE GATE IN THE EVENT OF POWER LOSS IS REQUIRED.
25. THIS PROJECT PROVIDES AT LEAST TWO OPTIONS TO IMPROVE CONNECTIVITY AS PER TABLE 'B' IN ACCORDANCE WITH SECTION 2.3.2 OF SUBCHAPTER E OF THE L.D.C. THE OPTIONS PROVIDED INCLUDE:
  1. LOCKER ROOMS AND SHOWERS (FOR EACH GENDER) ARE PROVIDED FOR EMPLOYEE USE TO ENCOURAGE PHYSICAL FITNESS AND MULTI-MODAL OPPORTUNITIES.
  2. BICYCLE PARKING IS INCREASED BY 10% (TWO RACKS ADDED).

ROOF DRAIN NOTE:  
ROOF DOWNSPOUTS MUST DRAIN TO THE PARKING AREAS OR TO THE STORM SEWER CONVEYING TO THE WATER QUALITY POND.

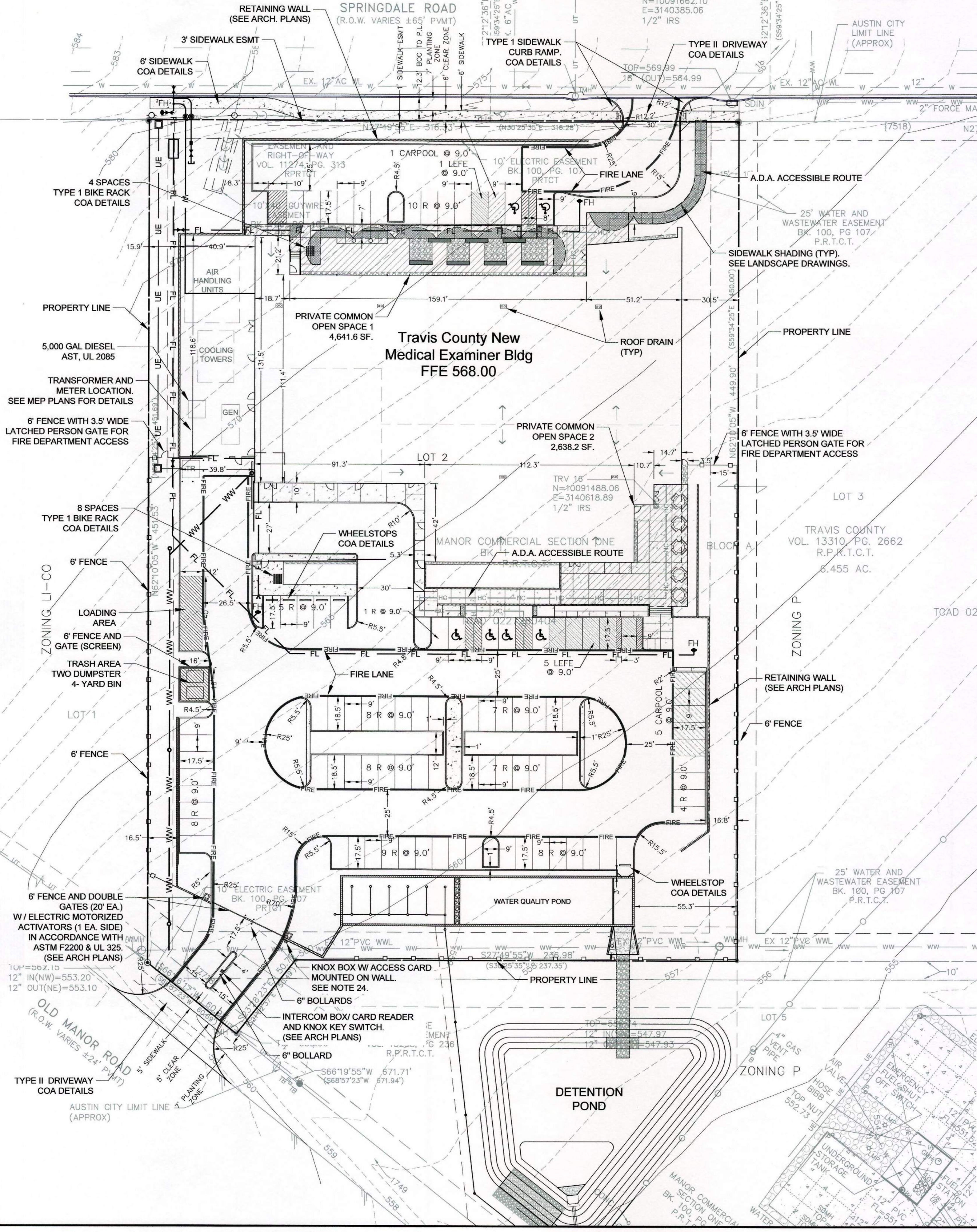
THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.

- EXTERNAL LIGHTING:
1. BUILDING LIGHTING WILL BE SHOWN IN THE BUILDING DESIGN REVIEW STAGE.
  2. ALL LIGHTING MUST BE ZERO FOOTCANDLES AT THE NEIGHBORS' PROPERTY LINE.
  3. ALL LIGHTING MUST BE HOODED AND SHIELDED.

THE LOCATION AND TYPE OF UTILITIES AND UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

ALL INTERNAL UTILITY LINES WILL BE LOCATED IN DRIVE AISLES OR INTERNAL CIRCULATION ROUTES.

SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREA SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.



Request for Special Parking Determination

Applicant's Name: Mina Awadalla, P.E. Phone No: 512-854-4929

Location: Travis County Medical Examiner Building:  Date: 4/13/15

Proposed Uses	Type	Staff	Parking Ratio	Office Use Only	
				Required	Provided
Staff	82	1 staff	15.0	62.0	
Visitors	15	1 staff	15.0	15.0	
Law Enforcement	5	1 staff	15.0	5.0	
Mortuary	5	1 staff	15.0	5.0	
Medical Examiner Vehicles	6	1 staff	15.0	6.0	
Total				93	
Total Parking Required				93	

Other Information:

Completed By: Amber Michell Phone: (512) 375-1428 Date: 4/13/2015

NEW BUILDING SUMMARY

BUILDING	TRAVIS COUNTY MEDICAL EXAMINER
BUILDING USE=	MEDICAL EXAMINER
GROSS SQUARE FOOTAGE=	53,627 S.F.
FLOOR-TO-AREA RATIO=	0.37
NUMBER OF STORIES=	2
FINISHED FLOOR ELEVATION=	568.00
ACTUAL HEIGHT=	37'-4"
FOUNDATION TYPE=	CONCRETE SLAB

PARKING SUMMARY

TOTAL BUILDINGS COVER = 53,627 S.F.  
BUILDINGS USE: MEDICAL EXAMINER

TYPE	REQ'D	PROVIDED
REGULAR	77	77
COMPACT	0	0
LEFE	4	4
CARPOOL	6	6
HANDICAP	6	6
TOTAL	93	93
BIKE RACK	12 SPCS	12

SITE SUMMARY (EXISTING)

EXISTING CONDITION	SF.	AC.	%
TOTAL SITE AREA	143,922	3.304	
BUILDINGS COVER	0,000	0.000	0.00%
ASPHALT COVER	0,000	0.000	0.00%
CONCRETE COVER	0,000	0.000	0.00%
TOTAL IMPERVIOUS COVER	0,000	0.000	0.00%

SITE SUMMARY (PROPOSED)

EXISTING CONDITION	SF.	AC.	%
TOTAL SITE AREA	143,922	3.304	
BUILDINGS COVER	30,678	0.704	21.3%
ASPHALT COVER	0,000	0.000	0.00%
CONCRETE COVER	64,842	1.489	45.1%
TOTAL IMPERVIOUS COVER	95,520	2.193	66.4%

PROPOSED	CONCRETE PARKING
CONCRETE PAVEMENT	6" CONCRETE CLASS A 4000 PSI COMPACTED GENERAL FILL AS NEEDED PER GRADING PLANS 6" MOISTURE CONDITIONED SUB-GRADE

OPEN SPACE CALCULATIONS

GROSS SITE AREA = 143,922 SF  
REQ'D OPEN SPACE = 143,922 x 5% = 7,196.1 SF

PRIVATE COMMON OPEN SPACE 1 = 4,641.6 SF  
PRIVATE COMMON OPEN SPACE 2 = 2,638.2 SF  
TOTAL OPEN SPACE PROVIDED = 7,279.8 SF

SITE PLAN RELEASE

FILE NUMBER: SPC-2015-0211C EXPIRATION DATE: NOV 7, 2015

CASE MANAGER: CHRISTINE BARTON-HOLMES APPLICATION DATE: MAY 8, 2015

APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_

APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_

APPROVED BY CITY COUNCIL ON: \_\_\_\_\_

under Section 112 of Chapter 25-5 of the Austin City Code.

Director, Watershed Protection and Development Review Department

DATE OF RELEASE: \_\_\_\_\_ Zoning: "P"

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 2 \_\_\_\_\_



TRAVIS COUNTY  
FACILITIES MANAGEMENT DEPARTMENT

Roger A. El Khoury, M.S., P.E., Director  
1010 Lavaca St., Suite 400  
P.O.Box 1748  
Austin, Texas 78767  
Phone (512) 854-9661  
Fax (512) 854-9226



NEW MEDICAL EXAMINER  
BUILDING

7723 Springdale Road, Austin, TX 78724

Date:	Description:
06OCT2015	BID / PERMIT SET
PROJECT NO:	MEDEX-15-14C-1N
CONTRACT NO:	
SCALE:	1" = 30'
DRAWN BY:	M.A.
CHECKED BY:	R.E.K.
SHEET TITLE	

OVER ALL  
SITE PLAN

SHEET NUMBER  
**C5.0**  
Sheet 5 of 27



APPENDIX P-2 - CITY OF AUSTIN STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION

- ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
- PROTECTIVE FENCES SHALL BE ERRECTED ACCORDING TO CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
- PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIP LINES.
- PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE), FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
  - A SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
  - ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL), OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST.
  - C WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
  - D OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
- EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
  - A WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED.
  - B WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE).
  - C WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
  - D WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST AT 974-1876 TO DISCUSS ALTERNATIVES.SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED.
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FT (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
- TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
- PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (RIPPING OF BRANCHES, ETC.).
- ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST).
- DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

SPECIAL CONSTRUCTION TECHNIQUES ECM 3.5.4(D)

PRIOR TO EXCAVATION WITHIN TREE DRIP LINES OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.

IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH A MINIMUM OF 12 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. IN AREAS WITH HIGH SOIL PLASTICITY GEOTEXTILE FABRIC, PER STANDARD SPECIFICATION 620S, SHOULD BE PLACED UNDER THE MULCH TO PREVENT EXCESSIVE MIXING OF THE SOIL AND MULCH. ADDITIONALLY, MATERIAL SUCH AS PLYWOOD AND METAL SHEETS, COULD BE REQUIRED BY THE CITY ARBORIST TO MINIMIZE ROOT IMPACTS FROM HEAVY EQUIPMENT. ONCE THE PROJECT IS COMPLETED, ALL MATERIALS SHOULD BE REMOVED, AND THE MULCH SHOULD BE REDUCED TO A DEPTH OF 3 INCHES.

PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.

WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

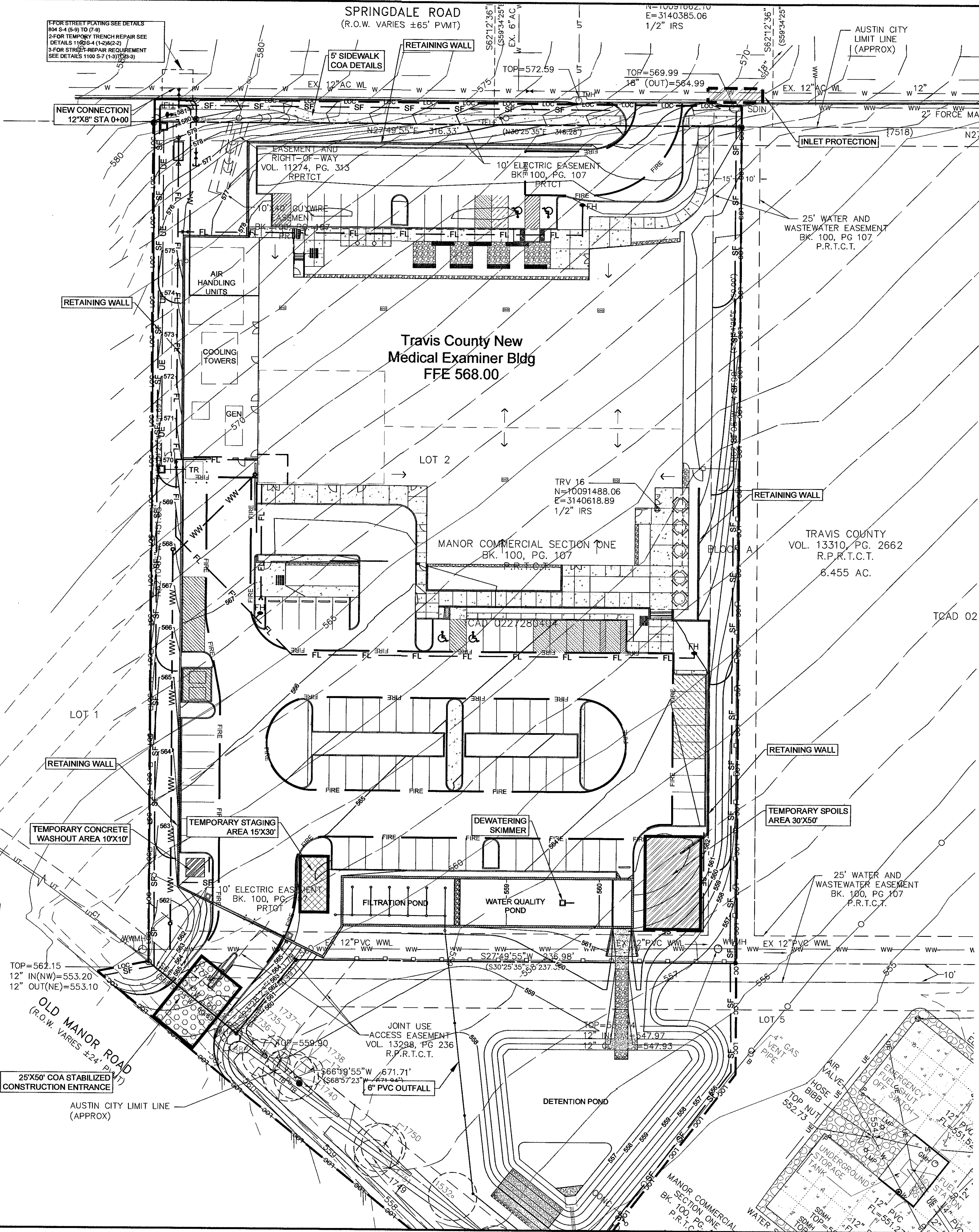
EROSION/SEDIMENTATION CONTROL NOTES:

- REFER TO EROSION/SEDIMENTATION CONTROL AND TREE AND NATURAL AREA PROTECTION NOTES ON SHEET C2.0.
- THE ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD/ AND/ OR MODIFY EROSION/SEDIMENTATION CONTROL ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN'S RULES AND REGULATIONS.
- THIS SITE DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN.
- IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEED TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING.
- CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY ENVIRONMENTAL INSPECTOR.
- THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY.
- FOR CONCRETE WASHOUT AREA DETAIL SEE GENERAL DETAILS SHEET C15.
- FOR MORE DETAILS ABOUT THE EROSION / SEDIMENTATION CONTROL SEE THE SWPPP.
- THE SPECIFICATION FOR THE REQUIRED 6" TOPSOIL:

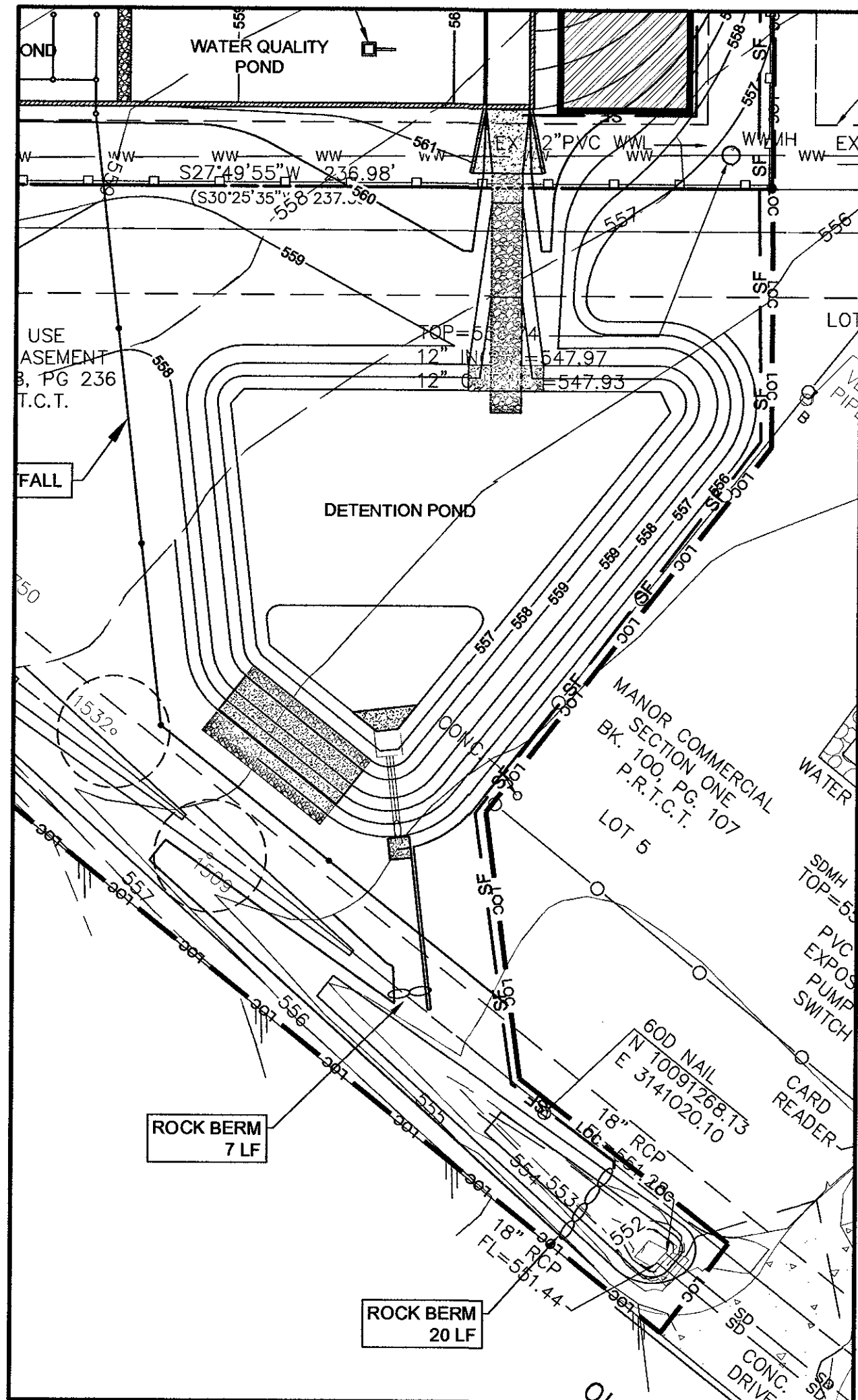
The topsoil shall be composed of 3 parts of soil mixed with 1 part Compost, by volume. The compost shall be Dillo Dirt or an equal approved by the Engineer, or designated representative. The approved equal, if used, shall meet the definition of compost (as defined by the U.S. Composting Council). The soil shall be locally available native soil that meets the following specifications:

- Shall be free of trash, weeds, deleterious materials, rocks, and debris.
- 100% shall pass through a 0.375-inch (3/8") screen.
- Soil Texture class to be Loam, Sandy Clay Loam, or Sandy Loam in accordance with the USDA texture triangle. Soil known locally as "red death" or Austin Sandy Loam is not an allowable soil. Textural composition shall meet the following criteria:

Texture Class	Minimum	Maximum
Clay	5%	25%
Silt	10%	50%
Sand	30%	80%



- LEGEND**
- LOC LIMIT OF CONSTRUCTION
  - SF SILT FENCE
  - STABILIZED CONSTRUCTION ENTRANCE
  - T-T TREE PROTECTION
  - ROCK BERM
  - TREE TO BE REMOVED



SUMMARY OF EROSION / SEDIMENTATION CONTROLS

AREA WITHIN LIMIT OF CONSTRUCTION  
SILT FENCE - STANDARD  
SILT FENCE - HOOK  
STABILIZED CONSTRUCTION ENTRANCE  
INLET PROTECTION  
ROCK BERM

187,968 S.F.  
663 LF  
889 LF  
1 EA  
1 EA  
27 LF

TREE TABLE

NOTE: ALL TREES LISTED ARE TO BE REMOVED

TREE NO.	DESCRIPTION
1038	9(3/3/3/3) GRAPE MYRTLE
1042	9(3/3/3/3) GRAPE MYRTLE
1509	13" HACKBERRY
1532	15" MESQUITE HONEY
1733	7" HACKBERRY
1734	7" HACKBERRY
1735	6" HACKBERRY
1736	10(4/4/3/2) HACKBERRY
1737	6" HACKBERRY
1738	14" MESQUITE HONEY
1739	8" HACKBERRY
1740	12" HACKBERRY
1750	12" MESQUITE HONEY
1751	13" MESQUITE HONEY

SITE PLAN RELEASE

Sheet 6 of 27

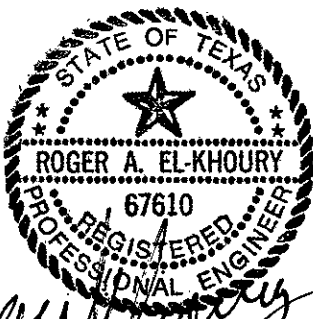
FILE NUMBER: SPC-2015-0211C EXPIRATION DATE: NOV 7, 2015  
CASE MANAGER: CHRISTINE BARTON-HOLMES APPLICATION DATE: MAY 8, 2015  
APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_  
APPROVED BY CITY COUNCIL ON: \_\_\_\_\_  
under Section 112 of Chapter 25-5 of the Austin City Code.

Director, Watershed Protection and Development Review Department  
DATE OF RELEASE: \_\_\_\_\_  
Rev. 1 \_\_\_\_\_ Correction 1 Zoning: "P"  
Rev. 2 \_\_\_\_\_ Correction 2  
Rev. 3 \_\_\_\_\_ Correction 2



TRAVIS COUNTY  
FACILITIES MANAGEMENT DEPARTMENT

Roger A. El Khoury, M.S., P.E., Director  
1010 Levea St., Suite 400  
P.O. Box 1748  
Austin, Texas 78767  
Phone (512) 854-9661  
Fax (512) 854-9226



NEW MEDICAL EXAMINER  
BUILDING

7723 Springdale Road, Austin, TX 78724

Date: Description:

06OCT2015 BID / PERMIT SET

PROJECT NO: MEDEX-15-14C-1N

CONTRACT NO:

SCALE: 1" = 30'

DRAWN BY: M.A.

CHECKED BY: R.E.K.

SHEET TITLE

EROSION / SEDIMENTATION  
CONTROL PLAN

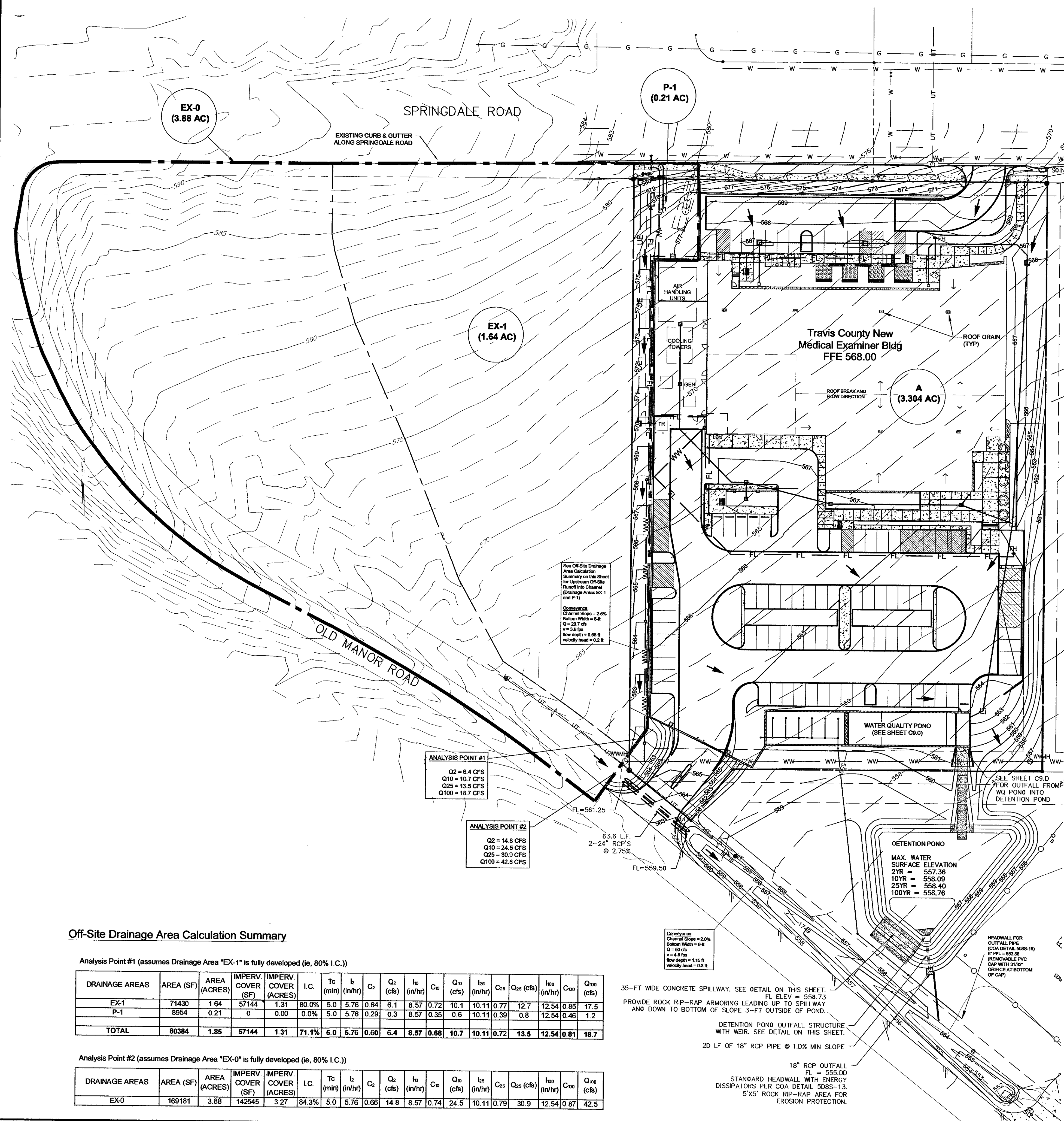
SHEET NUMBER

C6.0

Sheet 6 of 27

SPC-2015-0211C





## EXISTING DRAINAGE

TOTAL SITE AREA = 3.304 ACRES  
 TOTAL PROPOSED IMPERVIOUS COVER AREA = 2.193 ACRES = 66.4%  
 LAND ZONING IS PUBLIC (P).  
 FROM THE AUSTIN - LAND DEVELOPMENT (25-2-625-0-2) PUBLIC (P) DISTRICT REGULATIONS.  
 FOR SITE OF ONE ACRES OR MORE, THE SITE DEVELOPMENT REGULATIONS ARE ESTABLISHED BY THE APPROVAL OF CONDITIONAL USE SITE PLAN.

**IMPERVIOUS COVER (EXISTING)**  
 \* BEFORE 1998 (THE APPROVED SITE PLAN SP-98-0366D)

EXISTING CONDITION	TOTAL (ac.)
TOTAL SITE AREA	3.304
BUILDINGS COVER	0.000
ASPHALT COVER	0.000
CONCRETE COVER	0.000
TOTAL IMPERVIOUS COVER	0.000
% IMPERVIOUS COVER	0.00%

**IMPERVIOUS COVER (PROPOSED)**  
 \* PROPOSED 2015

PROPOSED CONDITION	TOTAL (ac.)
TOTAL SITE AREA	3.304
BUILDINGS COVER	0.704
ASPHALT COVER	1.489
CONCRETE COVER	1.111
TOTAL IMPERVIOUS COVER	2.193
% IMPERVIOUS COVER	66.4%

## PROPOSED DRAINAGE

PROPOSED RUNOFF COEFFICIENT(C) FOR AREA (A):

COVER TYPE (AREA A)	AREA (ac.)	CN
BUILDING COVER (ACRES)	0.704	98
ASPHALT COVER (ACRES)	0.000	98
CONCRETE COVER (ACRES)	1.489	98
LANDSCAPE COVER (ACRES)	1.111	78
TOTAL	3.304	91.3

EXISTING RUNOFF COEFFICIENT(C) FOR AREA (A):

COVER TYPE (AREA A)	AREA (ac.)	CN
BUILDING COVER (ACRES)	0.000	98
ASPHALT COVER (ACRES)	0.000	98
CONCRETE COVER (ACRES)	0.000	98
LANDSCAPE COVER (ACRES)	3.304	78
TOTAL	3.304	78

## EXISTING ON-SITE AREA TO DETENTION POND

DRAINAGE AREAS	AREA (SF)	AREA (ACRES)	IMPERV. COVER (SF)	IMPERV. COVER (ACRES)	I.C.	Tc (hr)	IMPERV. CN	PERVIOUS CN	CN
Site	143934	3.304	0	0.000	0.0%	0.14	98.00	78.00	78.0

## PROPOSED ON-SITE AREA TO DETENTION POND

DRAINAGE AREAS	AREA (SF)	AREA (ACRES)	IMPERV. COVER (SF)	IMPERV. COVER (ACRES)	I.C.	Tc (hr)	IMPERV. CN	PERVIOUS CN	CN
Site	143934	3.304	95527	2.193	66.4%	0.13	98.00	78.00	91.3

## SCS METHOD OUTPUT FROM PONDPACK (EXISTING)

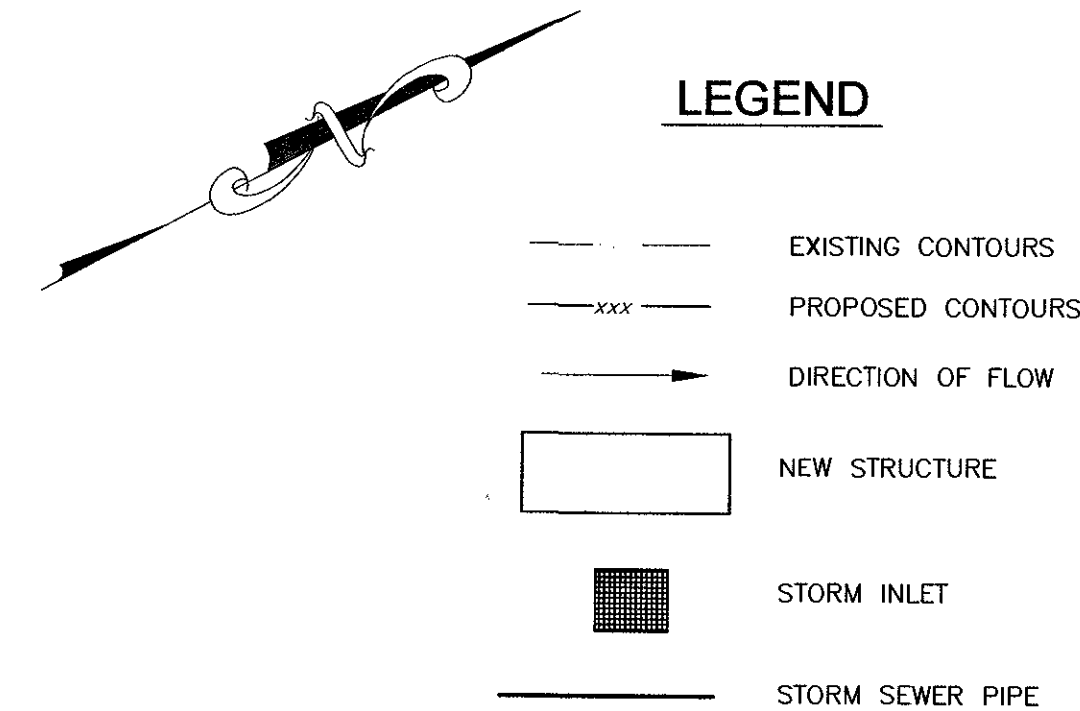
DRAINAGE AREAS	2yr (cfs)	10yr (cfs)	25yr (cfs)	100yr (cfs)
Site	4.60	11.60	15.90	23.20

## SCS METHOD OUTPUT FROM PONDPACK (PROPOSED; NO DETENTION)

DRAINAGE AREAS	2yr (cfs)	10yr (cfs)	25yr (cfs)	100yr (cfs)
Site	7.90	15.50	19.80	26.80

## SCS METHOD OUTPUT FROM PONDPACK (PROPOSED; NO DETENTION)

DRAINAGE AREAS	2yr (cfs)	10yr (cfs)	25yr (cfs)	100yr (cfs)
Site	4.58	11.10	15.27	23.00



## APPENDIX Q-2

## IMPERVIOUS COVER

## WATER QUALITY TRANSITION ZONE

WATER QUALITY TRANSITION ZONE OUTSIDE OF 100-YEAR FLOODPLAIN (NON-FP WQTZ) = 0 ACRES

## ALLOWABLE IMPERVIOUS COVER

IMPERVIOUS COVER ALLOWED AT 0 % x NON-FP WQTZ = 0 ACRES

IMPERVIOUS COVER ALLOWED AT 80 % x NET SITE AREA = 2.64 ACRES

TOTAL IMPERVIOUS COVER ALLOWED = 2.64 ACRES

## ALLOWABLE IMPERVIOUS COVER BREAKDOWN BY SLOPE CATEGORY

TOTAL ACREAGE 15% - 25% = 0.02 X 10% = 0.002

IMPERVIOUS COVER IN NON-FP WQTZ = 0 ACRES = 0 %

IMPERVIOUS COVER IN UPLANDS ZONE = 2.193 ACRES = 66.4 %

TOTAL PROPOSED IMPERVIOUS COVER = 2.193 ACRES

## PROPOSED IMPERVIOUS COVER ON SLOPES

SLOPE CATEGORIES	ACRES	IMPERVIOUS COVER		DRIVEWAYS / ROADWAYS ACRES
		ACRES	% OF CATEGORY	
0 - 15%	3.27	0.7040	21.53%	0.489
15% - 25%	0.02	0.0000	0.00%	0.000
25% - 35%	0.01	0.0000	0.00%	0.000
OVER 35%	0.00	0.0000	0.00%	0.000
<b>TOTAL SITE AREA</b>	<b>3.30</b>			

## NOTE:

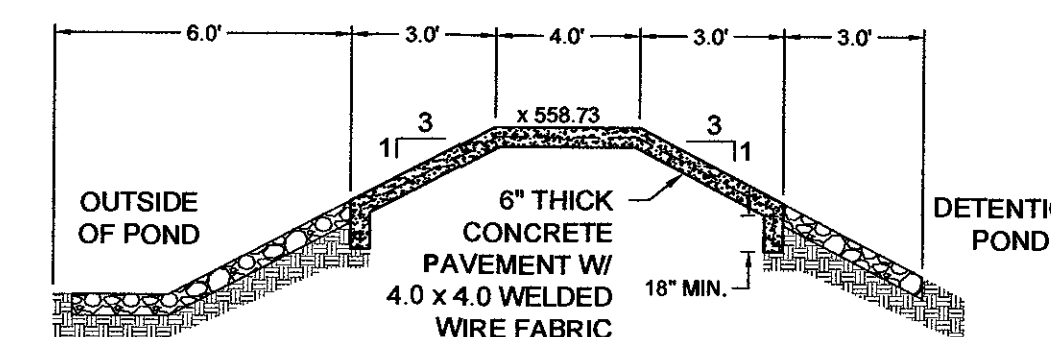
THIS SITE IS ZONED "P".

ALLOWABLE IMPERVIOUS COVER FOR THE TOTAL SITE IS TO BE DETERMINED WITH CONDITIONAL USE PERMIT.

ASSUME 80% ALLOWABLE IMPERVIOUS COVER.

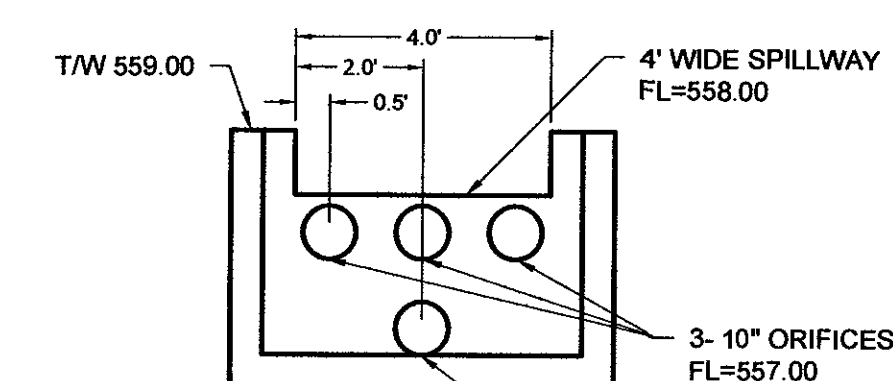
## BLOCKED ORIFICE CONDITION ANALYSIS (PER DCM 8.3.3.A)

DETENTION POND CLASS	SMALL (DA < 25 AC)	NORMAL		BLOCKED
	FLOW	23.D CFS		26.1 CFS
	FREEBOARD	D.24 FT		D.D1 FT



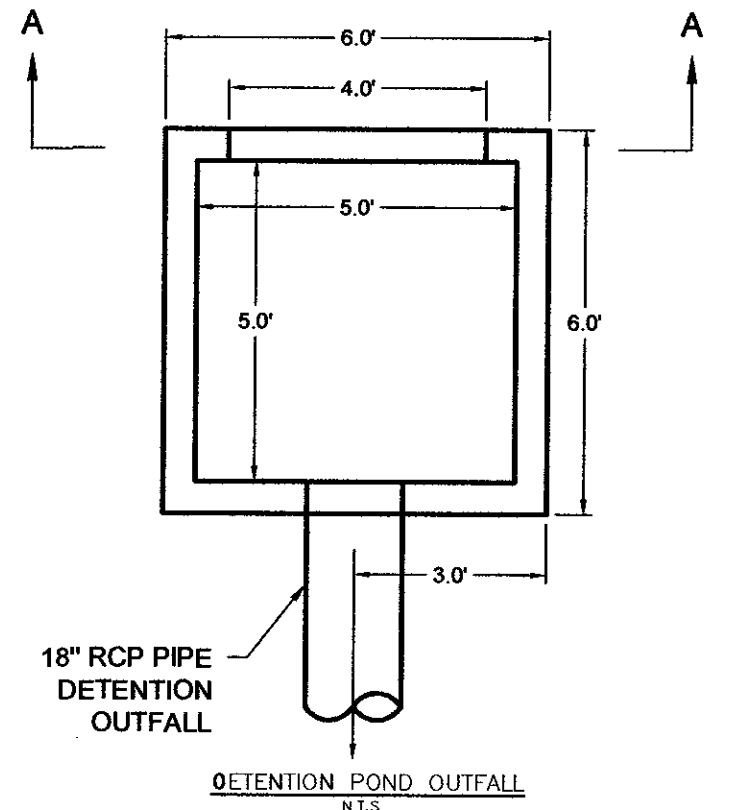
## DETENTION POND CONCRETE SPILLWAY DETAIL

N.T.S.



## OUTFALL WEIR (SECTION A-A)

N.T.S.



THE LOCATION AND TYPE OF UTILITIES AND UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

—UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS, AND PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT, THE DESIGN ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DETENTION AND FILTRATION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS.

—CONTRACTOR SHALL CALL ONE CALL CENTER (472-2822) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W.

## SITE PLAN RELEASE

Sheet 7 of 27

FILE NUMBER: SPC-2015-0211C

EXPIRATION DATE: NOV 7, 2015

CASE MANAGER: CHRISTINE BARTON-HOLMES APPLICATION DATE: MAY 8, 2015

APPROVED ADMINISTRATIVELY ON:

APPROVED BY PLANNING COMMISSION ON:

APPROVED BY CITY COUNCIL ON:

under Section 112 of Chapter 25-5 of the Austin City Code.

Director, Watershed Protection and Development Review Department

DATE OF RELEASE

Zoning: "P"

Rev. 1

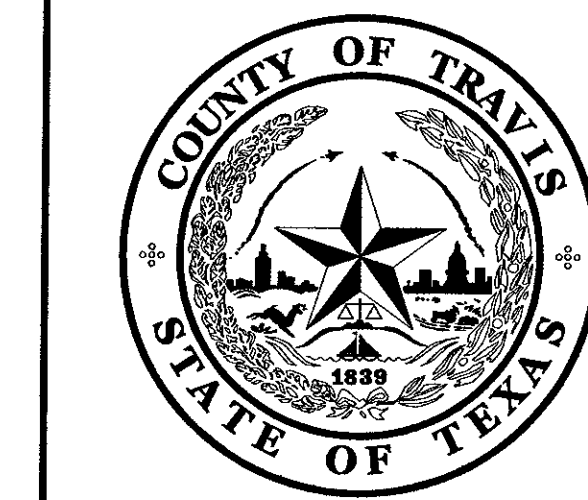
Correction 1

Rev. 2

Correction 2

Rev. 3

Correction 3



## TRAVIS COUNTY

## FACILITIES MANAGEMENT DEPARTMENT

Roger A. El Khoury, M.S., P.E., Director

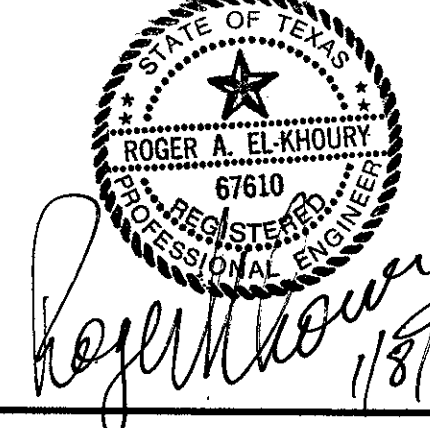
1010 Lavaca St., Suite 400

P.O. Box 1748

Austin, Texas 78767

Phone (512) 854-9661

Fax (512) 854-9226



## NEW MEDICAL EXAMINER BUILDING

7723 Springdale Road, Austin, TX 78724

Date:	Description:
08OCT2015	BID / PERMIT SET

PROJECT NO: MEDEX-15-14C-1N

CONTRACT NO:

SCALE: 1" = 40'

DRAWN BY: M.A.

CHECKED BY: R.E.K.

## SHEET TITLE

## DRAINAGE PLAN &amp; CALCULATIONS

## SHEET NUMBER

C7.0

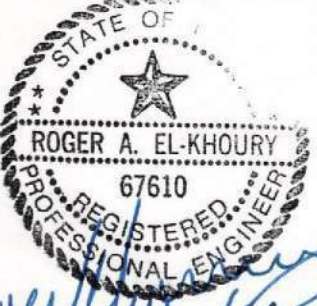
Sheet 7 of 27

SPC-2015-0211C





TRAVIS COUNTY  
FACILITIES MANAGEMENT DEPARTMENT  
Roger A. El Khoury, M.S., P.E., Director  
1010 Lavaca St., Suite 400  
P.O. Box 1748  
Austin, Texas 78767  
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NEW MEDICAL EXAMINER  
BUILDING

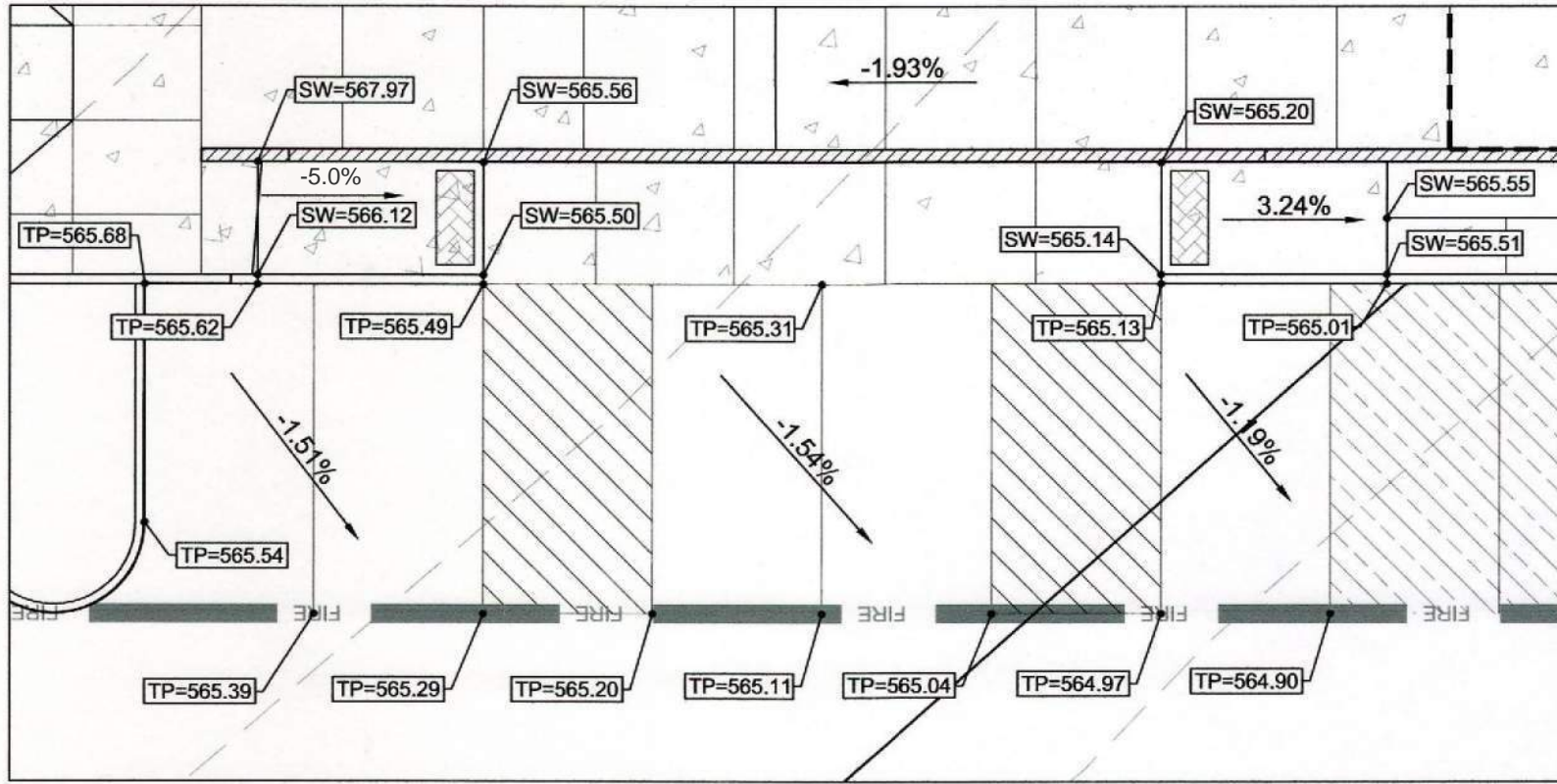
7723 Springdale Road, Austin, TX 78724

Date:	Description:
06OCT2015	BID / PERMIT SET

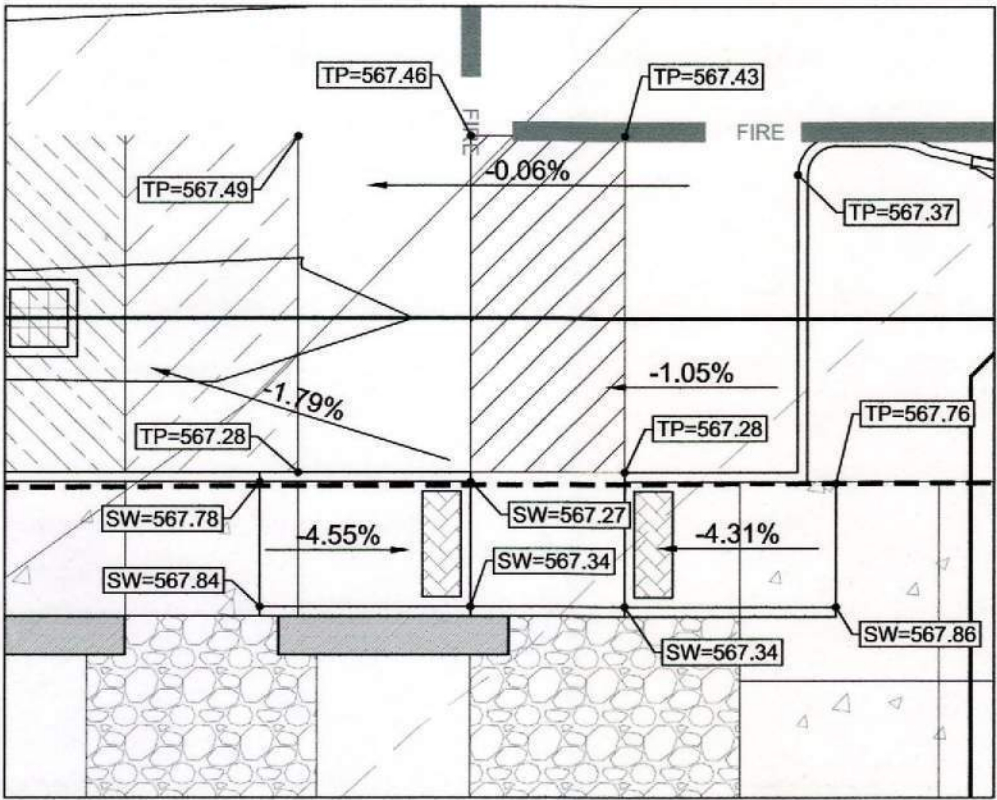
PROJECT NO: MEDEX-15-14C-1N  
CONTRACT NO:  
SCALE: 1" = 30'  
DRAWN BY: M.A.  
CHECKED BY: R.E.K.

SHEET TITLE  
OVERALL  
SITE GRADING  
PLAN

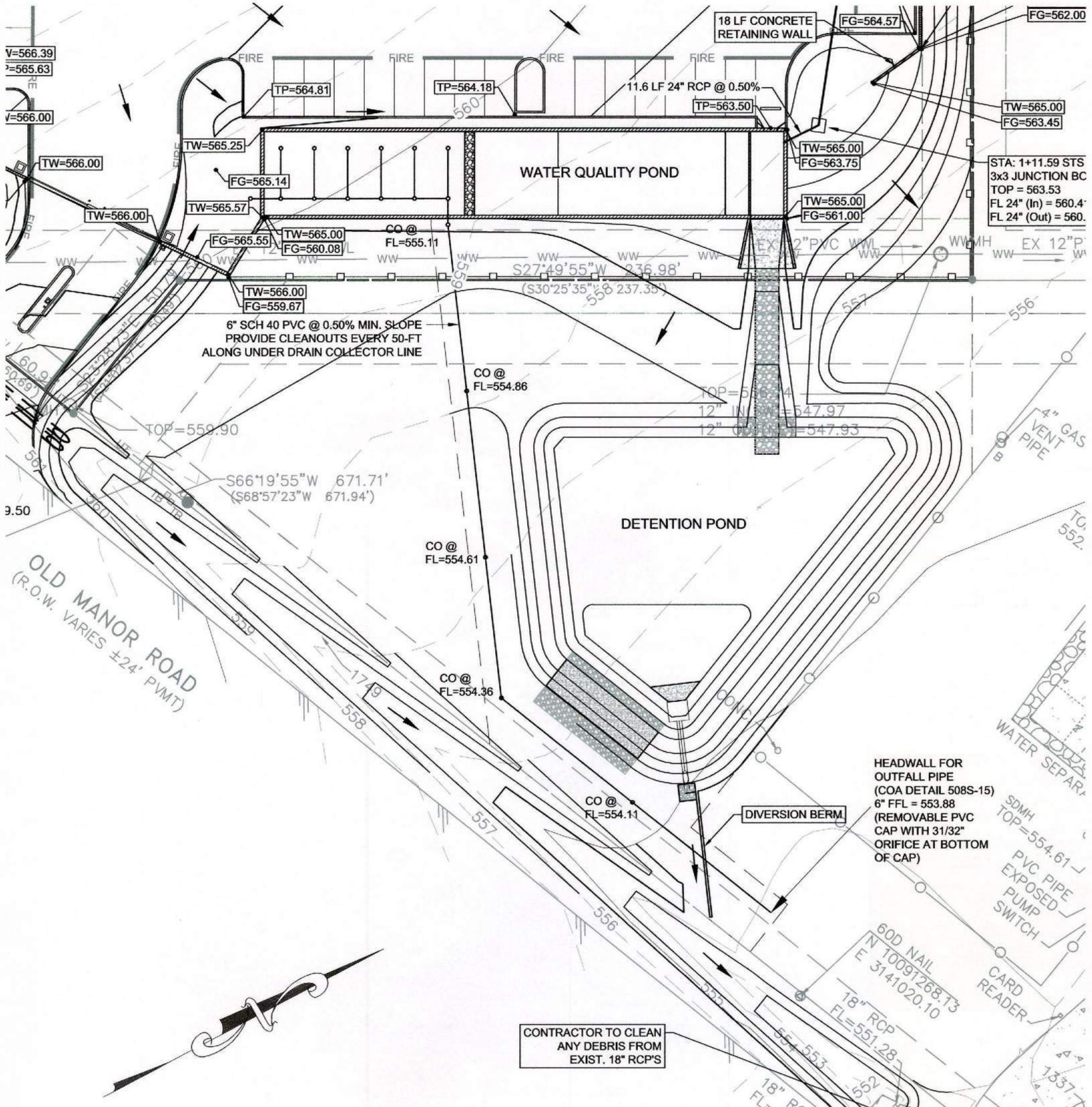
SHEET NUMBER  
C8.0  
Sheet 8 of 27



SOUTH PARKING HC GRADING DETAIL  
SCALE: 1" = 10'



NORTH PARKING HC GRADING DETAIL  
SCALE: 1" = 10'



Pipe Capacity Calculations

Capacity of One (1) 24" Pipe:

Manning's Equation  
 $Q = (1.49 / n) AR^{2/3} S^{1/2}$

Where,  
 $n = 0.012$  (RCP pipe)  
 $A = 3.14 \text{ sq. ft. (24" pipe)}$   
 $R = A/P = 3.14 / 6.28 = 0.5$   
 $S = 0.0275$  (2.75%)

Thus,  $Q = 40.75 \text{ cfs}$

Two (2) 24" pipes =  $40.75 \times 2 = 81.50 \text{ cfs}$

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- DIRECTION OF FLOW
- NEW STRUCTURE

NOTE:  
SEE ARCHITECT PLANS FOR RETAINING WALLS AND  
DOWNSPOUT DETAILS.

SITE PLAN RELEASE

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CASE MANAGER: CHRISTINE BARTON-HOLMES APPLICATION DATE: MAY 8, 2015  
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DATE OF RELEASE \_\_\_\_\_ Zoning: "P"  
Rev. 1 \_\_\_\_\_ Correction 1  
Rev. 2 \_\_\_\_\_ Correction 2  
Rev. 3 \_\_\_\_\_ Correction 2











