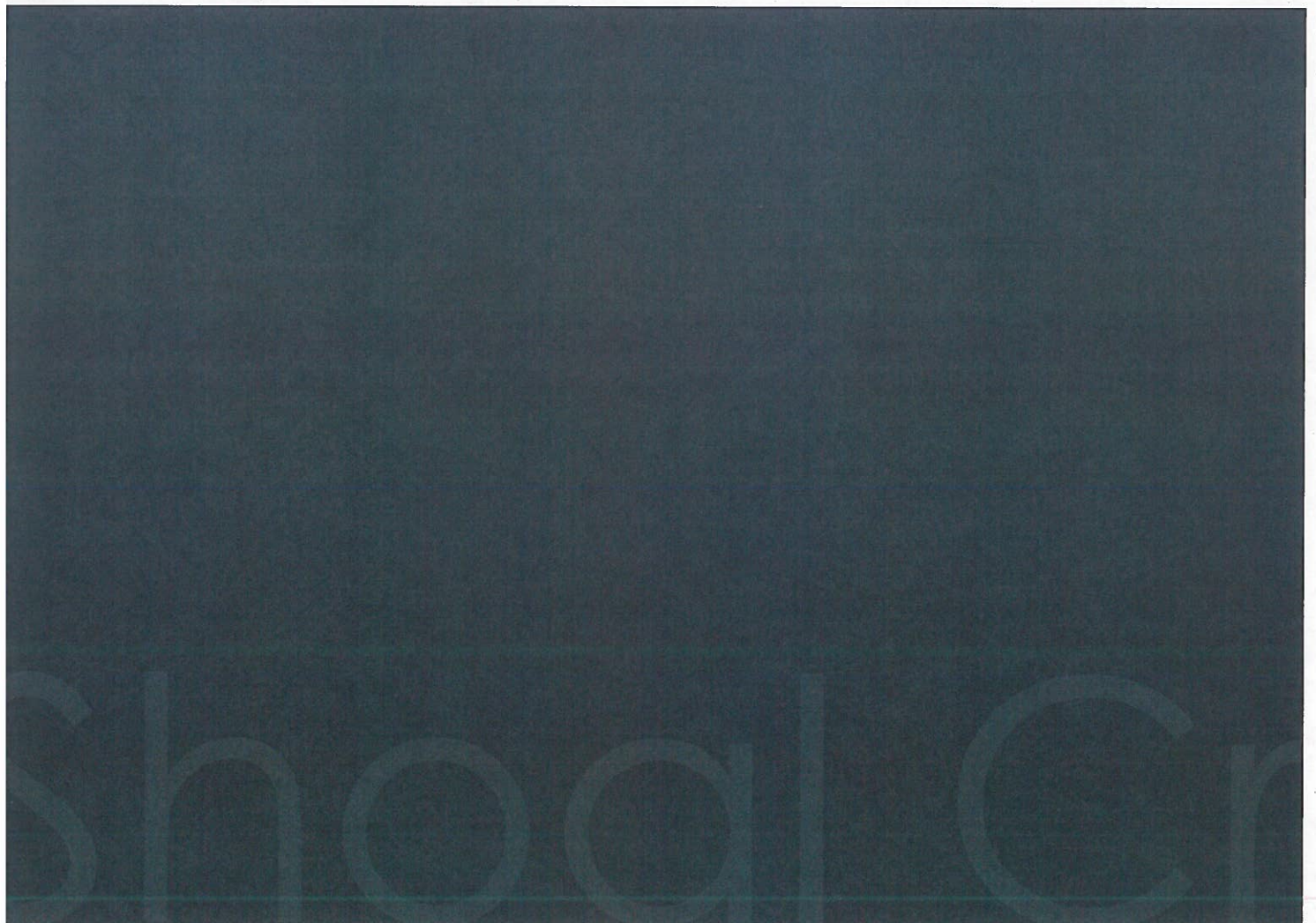

The Grove at Shoal Creek

Design Guidelines

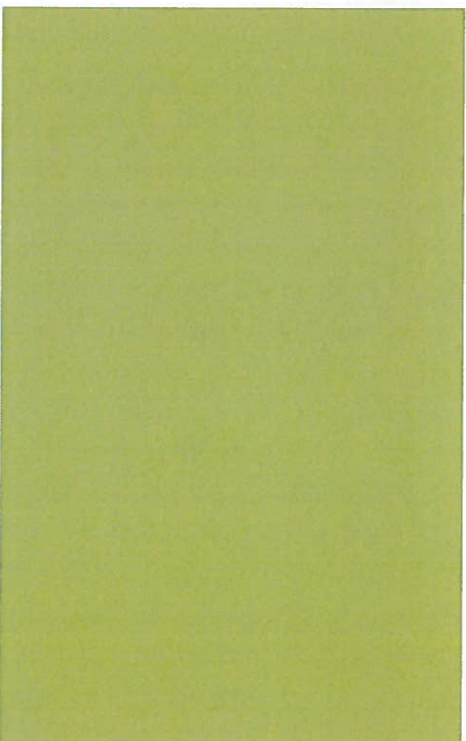
March 28, 2016







Contents

- 01. Background
 - 02. Master Plan
 - 03. Framework
 - 04. Architecture
 - 05. Landscape and Open Space
- 

1.0 BACKGROUND

1.1 The Site

The site for The Grove at Shoal Creek is an approximate 76-acre parcel in north-central Austin. The property was owned by TxDOT until ARG Bull Creek acquired the site in early 2015 and initiated the planning process that resulted in the Master Plan, Planned Unit Development (PUD) Zoning, and this document.

The Grove at Shoal Creek is surrounded by existing and established Central Austin neighborhoods including Allandale and Shoalmont to the north, Rosedale to the east, Ridgelea and Oakmont Heights to the south, and Westminster and the Post West Austin Apartments to the west. The site is accessed by Bull Creek Road to the west and 45th Street to the North, with the Mopac Freeway located just one block west of the site. There are existing CapMetro bus routes on Bull Creek Road with stops adjacent to the site. There are existing bike lanes on Bull Creek Road which are planned for improvement. The Shoal Creek Trail is also planned to eventually extend up to the project site along Shoal Creek.

Topography on the site falls from west to east, with the west end of the site occupied by existing 1-story office buildings and parking areas as well as relatively flat, undeveloped land. The east end of the site has slightly higher gradients and is dominated by a large grove of heritage oak trees as well as Shoal Creek, which is the site's eastern boundary. About 3.5 acres along Shoal Creek are in the 100-year floodplain.

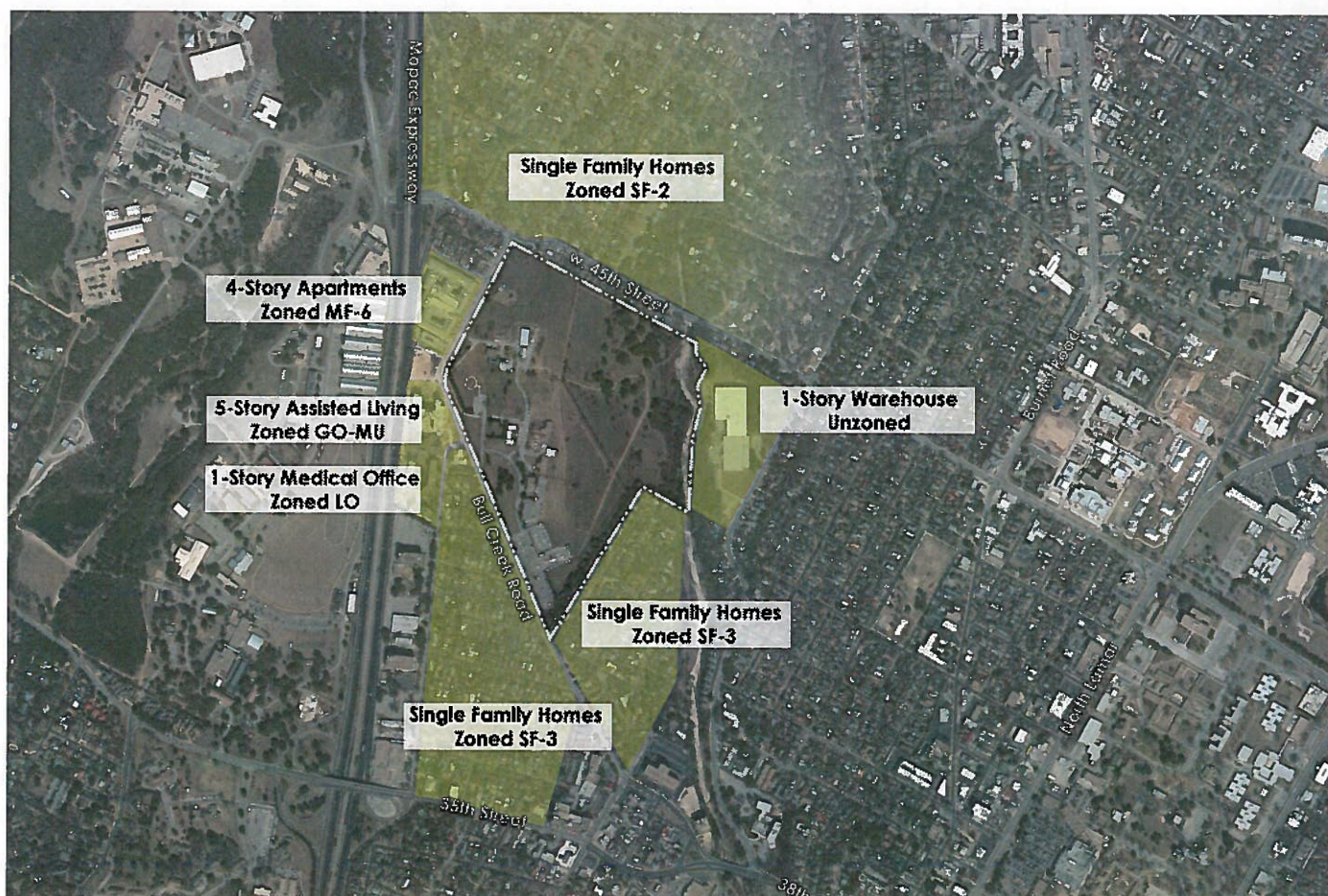


Figure 1.1: Context Map

1.2 Project History

ARG Bull Creek has put considerable effort into building a shared vision for The Grove at Shoal Creek through an inclusive and productive process. To achieve that vision, the project team has conducted an energetic community outreach program for The Grove.

The process began in January 2015 by surveying residents in Allandale, Bryker Woods, Highland Park West/Balcones, Oakmont Heights, Ridgelea, Rosedale, and Westminster at two workshops, and also online. Approximately 216 surveys were collected at the workshops, and 488 were taken online for a total of 704 surveys. Using these survey results, the team developed a vision for The Grove that reflects the community's collective vision in terms of its residential and commercial character, open space and the density of the development.

The team also engaged in dozens of formal meetings with various community groups and neighborhood leaders. Among these groups is the Bull Creek Road Coalition, a group formed in 2012 to help craft a vision and voice for sustainable development on the land ARG Bull Creek purchased from the State of Texas in late 2014, as well as the more recently formed Friends of The Grove.

The effort to publicize these meetings, events, and activities has included hundreds of signs and thousands of pieces of direct mail. The team has also maintained a website (www.TheGroveAtShoalCreek.com).



1.3 Using This Document

This document sets forth Design Guidelines for the design of the built environment within The Grove at Shoal Creek and is incorporated as part of the Planned Unit Development with the City of Austin. These guidelines are intended to supplement the zoning provisions of The Grove at Shoal Creek Planned Unit Development (PUD), which was adopted by the City of Austin on XXXX. The Design Guidelines will be administered by the City of Austin, through the Site Development Permit review process, and are subject to the final recommendations of the Traffic Impact Analysis (TIA).

The Design Guidelines are not intended to be prescriptive solutions that dictate a particular style, but rather performance criteria that can encourage diversity, creativity, and innovation within the framework established here. The Design Guidelines are organized into 5 Sections. This, the first Section, provides an introduction to the property and the document. Section 2 provides an overview of the overall vision and PUD Requirements. Section 3 establishes a framework of streets and transportation corridors that will form the structure of the community. This is the foundation off of which Sections 4 and 5 are built, and many of the guidelines in the other Sections are provided in relation to the framework established in Section 3. Section 4 establishes the architectural character of the community that will develop within that framework, and Section 5 establishes the landscape and open space character and establishes guidelines for lighting and signage. The NACTO Urban Street Design Guide was used as a reference in formulating the street designs in these guidelines and may be a useful guide in determining appropriate solutions for conditions not specifically addressed here.

2.0 THE PLAN

2.1 Vision

The Grove at Shoal Creek is envisioned as a legacy-quality neighborhood and model for innovative mixed-use urban infill development. This vision of community has three primary components: equity, economy, and ecology:



Build Bull Creek as a **legacy-quality neighborhood;**
a model for sustainable and innovative mixed-use
urban infill development.

Figure 2.1: Vision Diagram

2.2 Guiding Principles

Based on that vision, the development team for The Grove at Shoal Creek developed the following Guiding Principles for the project. These principals where considered in developing the Master Plan and this document.

2.2.1 Create an inviting and integrated project that enhances the experience of the site and its surroundings

2.2.2. Develop a comprehensive built environment with high-quality parks and open spaces shaped by massing and appropriately scaled to their context

2.2.3 Establish a vibrant, people-oriented development pattern that promotes connectivity and prioritizes pedestrian and bicycle circulation over cars

2.2.4 Establish a restorative approach to the development of the site by integrating sustainable strategies and honoring the history and natural character of the land

2.2.5. Create an economically viable development model that maximizes the mix of uses and captures the essence of Austin living.

2.2.6 Shift the conventional interaction between developer and neighborhood to a shared-purpose relationship

2.3 Development Districts

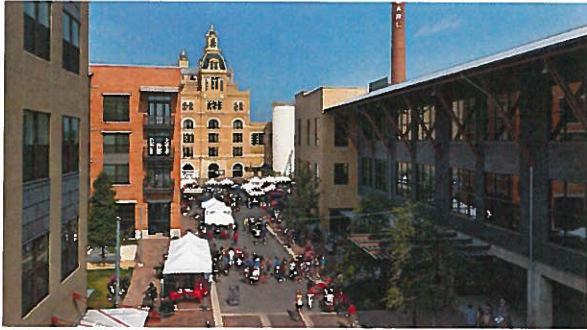
The project is composed of two development districts and a number of park and open space elements. The Development District Map below shows the conceptual layout of these districts on the site. For each building or project on the site, the applicant may select the most appropriate district for the desired use. As described in Section 4, the Architectural Design Guidelines for that building will be based on the selected district.

The Development District Map shown here is conceptual in nature and is not intended as a regulating document. Land Use regulations shall be governed by the approved Land Use Plan in the PUD zoning ordinance approved by the city of Austin on XXXX. Each building or project may select the most appropriate district for the desired project if the project is located in a Tract where that district is allowed, as described in 2.3 below.



Figure 2.3: Development District Map

2.4 Description of Development Districts



2.4.1 The Mixed-Use District. The heart of the master plan, this district contains a vibrant mix of uses which may include retail, office, high-density residential, live/work, and/or congregate care. This district is allowed in Tracts B, F, and G of the Land Use Plan.



2.4.2 The Residential District. This district contains a mix of for-sale and rental housing products including detached residential, townhomes, row houses, live-work units, stacked flats, and apartments. This district is allowed in all Tracts of the Land Use Plan.



2.4.3 Parks and Open Space. The parks and open space component of The Grove at Shoal Creek shall consist, at a minimum, of the Signature Park, Pocket Park, Greenbelt, Plaza, and Bull Creek Road Trail, with approximate locations and sizes as depicted in Figure 2.3.

2.5 Planned Unit Development Land Use Plan

The Land Use Plan, shown here for reference, as adopted in the City's zoning ordinance, provides the land use regulations for the project and asserts the site development regulations for each tract, including height, FAR, setbacks, and impervious cover limitations for each parcel.

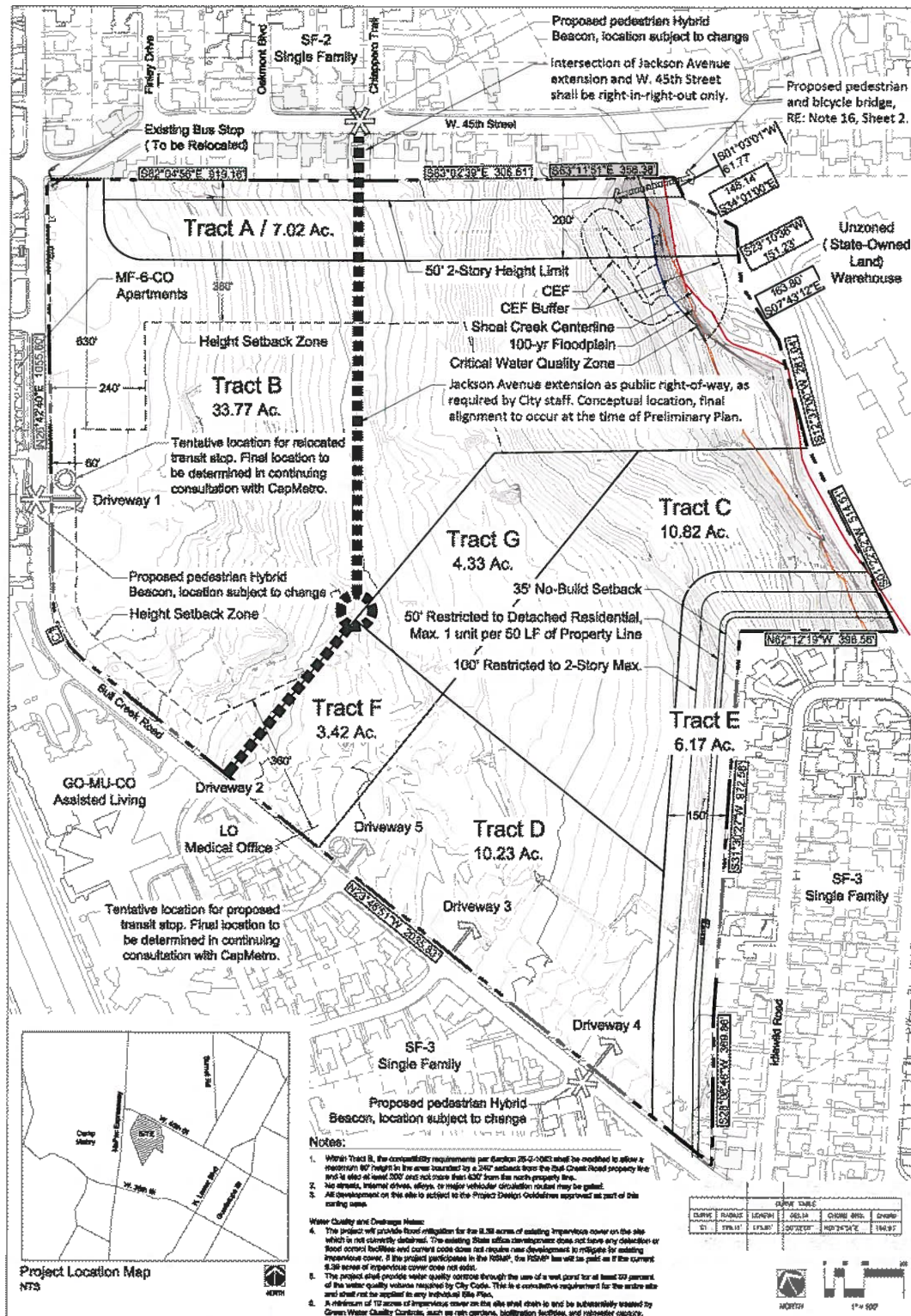


Figure 2.5: Planned Unit Development Land Use Plan

TRACTS A & E							
Condominium Residential							
Duplex Residential							
Family Home							
Group Home, Class I (Limited)							
Public Primary Education Facilities							
Public Secondary Education Facilities							
Religious Assembly							
Retirement Housing (Small Site)							
Short-Term Rental							
Single-Family Attached Residential							
Single-Family Residential							
Small Lot Single-Family Residential							
Townhouse Residential							
Two-Family Residential							
TRACT B							
Administrative & Business Offices							
Art Gallery							
Art Workshop							
Automotive Rentals							
Automotive Sales (max. 3000 SF)							
Automotive Washing (accessory only)							
Business or Trade School							
Business Support Services							
Cocktail Lounge							
College & University Facilities							
Commercial Off-Street Parking							
Community Garden							
Community Recreation (Private)							
Community Recreation (Public)							
Condominium Residential							
Congregate Living							
Consumer Convenience Services							
Consumer Repair Services							
Counseling Services							
Cultural Services							
Day Care Services (Commercial)							
Day Care Services (General)							
Day Care Services (Limited)							
Duplex Residential							
Family Home							
Financial Services							
Food Preparation							
Food Sales							
General Retail Sales (Convenience)							
General Retail Sales (General)							
Group Home, Class I (Limited)							
Hospital (General)							
Hospital Services (Limited)							
Hotel/Motel							
Indoor Entertainment							
Indoor Sports & Recreation							
Liquor Sales							
Medical Offices (all sizes)							
Mobile Food Establishments							
Multifamily Residential							
Off-Site Accessory Parking							
Outdoor Sports & Recreation							
Personal Improvement Services							
Personal Services							
Pet Services							
Printing & Publishing							
Private Primary Education Facilities							
Private Secondary Education Facilities							
Professional Office							
Public Primary Education Facilities							
Public Secondary Education Facilities							
Religious Assembly							
Research Services							
Restaurant (General)							
Restaurant (Limited)							
Retirement Housing (Small Site)							
Safety Services							
Short-Term Rental							
Single-Family Attached Residential							
Single-Family Residential							
Small Lot Single-Family Residential							
Software Development							
Theater							
Townhouse Residential							
Two-Family Residential							
Urban Farm							
TRACT C							
Community Garden							
Condominium Residential							
Congregate Living							
Duplex Residential							
Family Home							
Group Home, Class I (Limited)							
Multifamily Residential							
Off-Site Accessory Parking							
Public Primary Education Facilities							
Public Secondary Education Facilities							
Religious Assembly							
Retirement Housing (Small Site)							
Short-Term Rental							
Single-Family Attached Residential							
Single-Family Residential							
Small Lot Single-Family Residential							
Townhouse Residential							
Two-Family Residential							
Urban Farm							
TRACT D							
Community Garden							
Condominium Residential							
Congregate Living							
Duplex Residential							
Family Home							
Group Home, Class I (Limited)							
Multifamily Residential							
Off-Site Accessory Parking							
Public Primary Education Facilities							
Public Secondary Education Facilities							
Religious Assembly							
Retirement Housing (Small Site)							
Short-Term Rental							
Single-Family Attached Residential							
Single-Family Residential							
Small Lot Single-Family Residential							
Townhouse Residential							
Two-Family Residential							
Urban Farm							
TRACT F&G							
Administrative & Business Offices							
Art Gallery							
Art Workshop							
Community Garden							
Condominium Residential							
Congregate Living							
Counseling Services							
Cultural Services							
Day Care Services (Commercial)							
Day Care Services (General)							
Day Care Services (Limited)							
Duplex Residential							
Family Home							
Financial Services							
Group Home, Class I (Limited)							
Hospital (General)							
Hospital Services (all sizes)							
Multifamily Residential							
Off-Site Accessory Parking							
Personal Services							
Pet Services							
Private Primary Education Facilities							
Private Secondary Education Facilities							
Professional Office							
Public Primary Education Facilities							
Public Secondary Education Facilities							
Religious Assembly							
Retirement Housing (Small Site)							
Short-Term Rental							
Single-Family Attached Residential							
Single-Family Residential							
Small Lot Single-Family Residential							
Software Development							
Townhouse Residential							
Two-Family Residential							
Urban Farm							
OPEN SPACE							
Drainage, Detention & Water Quality Facilities							
Park (Private Ownership, Privately Maintained, Publicly Accessible)							

SITE DEVELOPMENT REGULATIONS							
	TRACT A	TRACT B	TRACT C	TRACT D	TRACT E	TRACT F	TRACT G
Minimum Lot Size in a.f.	3,000	3,000	3,000	3,000	3,000	3,000	3,000
Minimum Lot Width	30'	30'	30'	30'	30'	30'	30'
Maximum Height	40'	65' ⁽¹⁾	40' ⁽¹⁾	40' ⁽¹⁾	35'	40' ⁽¹⁾	60'
Minimum Setbacks from Public Streets ⁽²⁾							
Front Yard	10'	0'	10'	0'	10'	0'	0'
Street Side Yard	10'	0'	10'	0'	10'	0'	0'
Minimum Interior Yard Setbacks							
Interior Side Yard	0'	0'	0'	0'	0'	0'	0'
Rear Yard	0'	0'	0'	0'	0'	0'	0'
Maximum Floor Area Ratio ⁽³⁾	0.75:1	1.5:1	0.75:1	1:1	0.75:1	1:1	1:1
Impervious Cover Maximum ⁽⁴⁾	55%	NA ⁽⁵⁾	NA ⁽⁵⁾	NA ⁽⁵⁾	55%	NA ⁽⁵⁾	NA ⁽⁵⁾
Building Coverage Maximum ⁽⁶⁾	45%	NA ⁽⁵⁾	NA ⁽⁵⁾	NA ⁽⁵⁾	45%	NA ⁽⁵⁾	NA ⁽⁵⁾
Maximum Residential Units	87	NA ⁽⁵⁾	NA ⁽⁵⁾	NA ⁽⁵⁾	77	NA ⁽⁵⁾	NA ⁽⁵⁾

(1) Up to 5% of Tract B is permitted to be up to 75' in height. This additional height is permitted only within the Height Setback Zone, as shown on the LUP Plan. Height on Tract B may not exceed 5-stories.

(2) Within 100 feet of Tract G, height may be increased to a maximum of 60' for an Affordable Housing development with the project's Affordable Housing Program. A minimum of 25% of the residential units in a building must be affordable under the project's Affordable Housing Program in order for that building to qualify for the height exception. Building height will be required to comply with City of Austin Comprehensibility Standards.

(3) Tracts B, C, D, F, and G do not have individual impervious cover, building coverage, or lot coverage, but they are subject to the overall site, building coverage, and lot coverage as stated in notes 2 and 6, above.

(4) The maximum setback from Bull Creek Road is 15' for all tracts.

(5) Approx-of-Way delineated from a given tract shall still be included in the total site area to calculate Site Development Regulations including FAR, Impervious Cover, Building Coverage, and Dwelling Units.

Figure 2.5.1: PUD Regulation

3.0 FRAMEWORK

3.1 Intent

Section 3 of The Grove at Shoal Creek Design Guidelines establishes standards and requirements for the framework of streets, sidewalks, paths, trails, alleys, and other circulation routes. These Framework Elements will organize the site and define not only the site's transportation system, but also some of its most important public spaces and pedestrian environments. The intent of this Section is to:



3.1.1 Create a basic framework for organizing the site and ensuring that buildings and other elements can relate appropriately to the street to create a cohesive visual identity and attractive street scene;



3.1.2 Ensure efficient pedestrian, bicycle, and vehicular circulation that is people-oriented, promotes connectivity, and prioritizes pedestrian and bicycles circulation over cars;

3.1.3 Create a high-quality street environment with street trees and properly scaled roadways and sidewalks;

3.1.4 Add urbanity to the street by providing opportunities for pedestrian friendly uses within and adjacent to the street;

3.1.5 Ensure that adequate vehicular parking is accommodated and well integrated into the street environment;



3.1.6 Provide opportunities for the integration of green infrastructure into the street environment;

3.1.7 Ensure that The Grove at Shoal Creek is developed as a comprehensive built environment.



3.2 Using This Section

This Section provides a Master Framework Plan indicating the overall layout of streets and other circulation patterns on the site. Each street, alley, or trail indicated on the Master Framework Plan is keyed to a specific cross section defining its dimensions, characteristics, and features.

Jaskcon Avenue will be a publicly dedicated street within The Grove at Shoal Creek. All other streets in The Grove at Shoal Creek will be privately owned and maintained but permanently accessible to the public. This means there is no public right-of-way, except for Bull Creek Road and Jackson Avenue. Instead, this document defines a "Street Zone" for each street, as well as supplemental "Greenway Zones" in certain instances. These zones establish the area in which the Framework Section sets the design standards. Other Sections of this document will set the Design Standards for spaces and elements outside the Street Zone, and may set standards for how those elements shall relate to the street using the Street Zone as a boundary line.

For the Retail Main Street, Green Streets, Secondary Retail Streets, and Residential Streets, the following additional standards apply:

1. Public access and utility easements (where needed) shall be provided for the entirety of the private street lengths, granting control to the City of Austin of all traffic elements for intersections between public right-of-way and any private streets/driveways within the development.
2. These streets shall be designed to include 50 feet minimum tangent for intersection approaches and a 100 feet minimum centerline radius for horizontal curves. Horizontal geometry for these streets may be varied with approval of the Director.

Dimensions are provided in the roadway sections that follow. These dimensions are labeled as follows:

- Min: Represents the minimum allowable dimension for this feature or space
- Max: Represents the maximum allowable dimension for this feature or space
- Approx: This dimension is approximate and may be modified as needed by the design team

Tree spacing is also provided within the roadway sections. In all areas, tree spacings are meant to represent an average spacing, and this average applies only to the length of the street between intersections. Tree spacing may be regular or irregular as appropriate to the individual design of the street and the limitations of utility locations, driveway locations, existing trees, and other existing or planned obstacles that may interfere with tree placement. Street trees are generally located in a planting zone that is a minimum of 7' wide. The planting zone shall be continuous and located adjacent to the curb. Utility compatible trees may be substituted for shade trees where utility conflicts exist. In some cases, trees may be provided adjacent to the Street Zone where utility and/or driveway conflicts prevent the placement of the tree within the street zone.

Rain gardens and biofiltration facilities are also shown in many of these sections. The feasibility of these features is subject to a number of engineering factors outside of the scope of these Design Guidelines including slope, utility conflicts, etc. While the PUD ordinance requires a certain amount of these facilities, and these facilities are generally allowable as shown and desired where feasible, they are not required in any given Street Zone or street section. Rather, the commitments made in the zoning ordinance to provide a certain percentage of the site's water quality through innovative water quality controls and to drain a certain percentage of the site's streets directly into rain gardens or other landscape features will dictate the minimum requirements for these features.

3.3 Master Framework Plan

The Master Framework Plan provides an overview of the possible layout of streets and other framework elements. Certain elements of the Master Framework Plan are considered Primary Framework Elements. The general location and orientation of these Primary Framework Elements should be followed only minor variations as appropriate to improve alignments or traffic performance and optimize building parcels. By contrast final alignment and orientation of the Secondary Framework Elements is flexible and may vary from the Master Framework Plan so long as the final arrangement still creates a well-connected framework consistent with the intent of this Section.

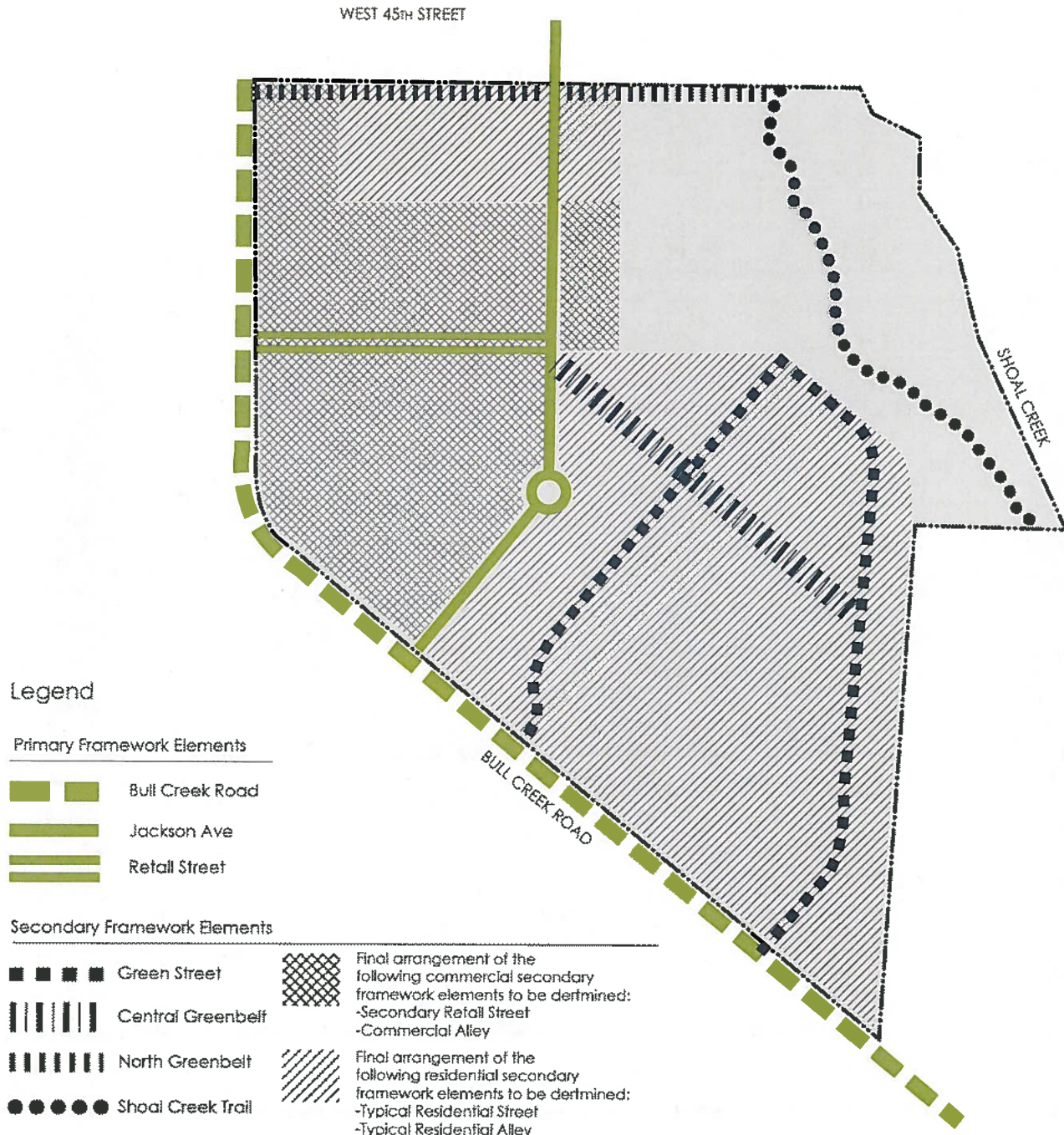


Figure 3.3: Master Framework Plan

3.4 Primary Framework Elements

3.4.1 Bull Creek Road

The intent of Bull Creek Road is to create a high-quality edge for the project that is inviting and provides exceptional facilities for pedestrians and bicyclists. These standards define the relationship of the site and the Bull Creek Road Trail to Bull Creek Road. The final design of the roadway within the right-of-way will be determined by the project's Traffic Engineer and is not governed by this document.

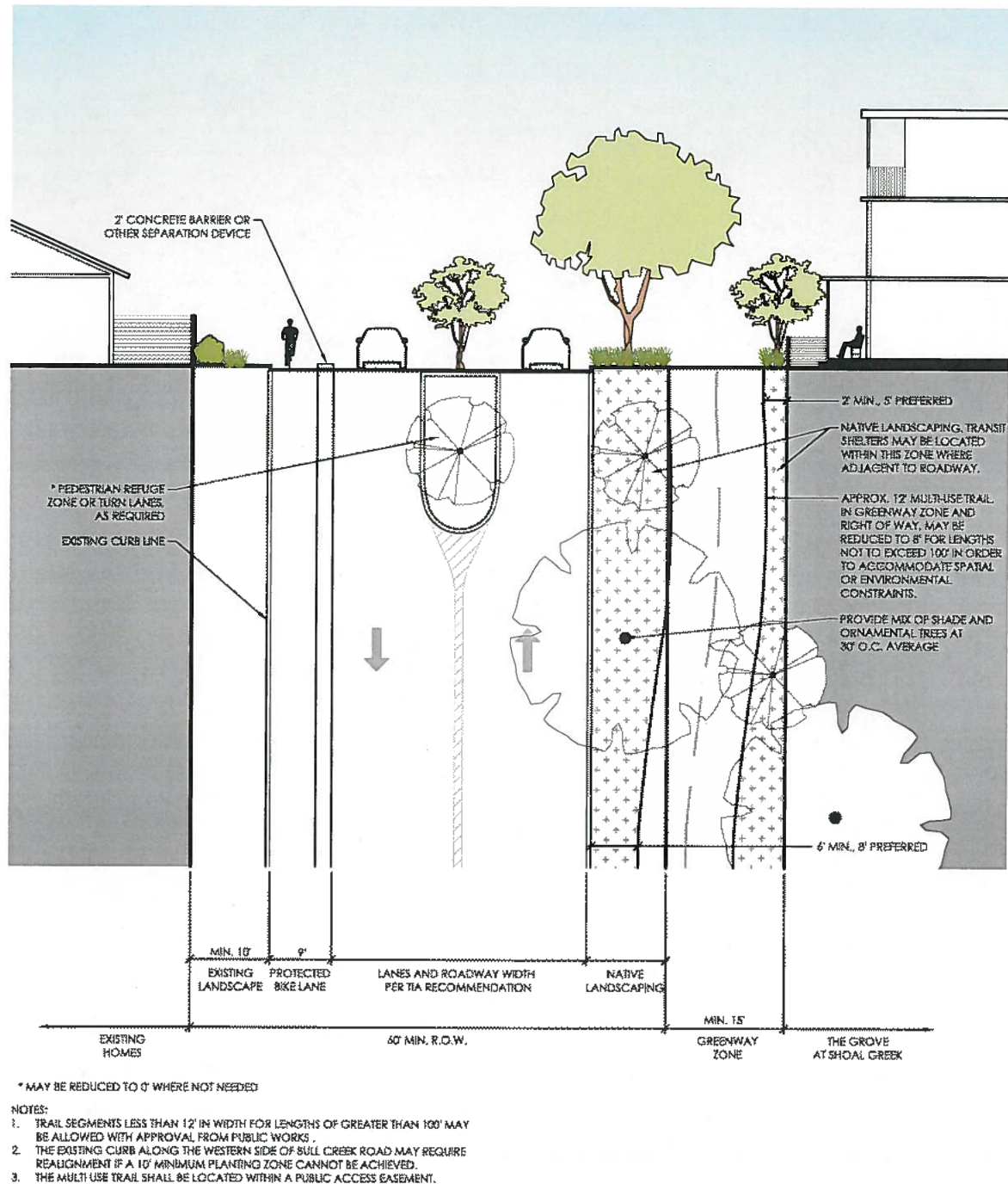
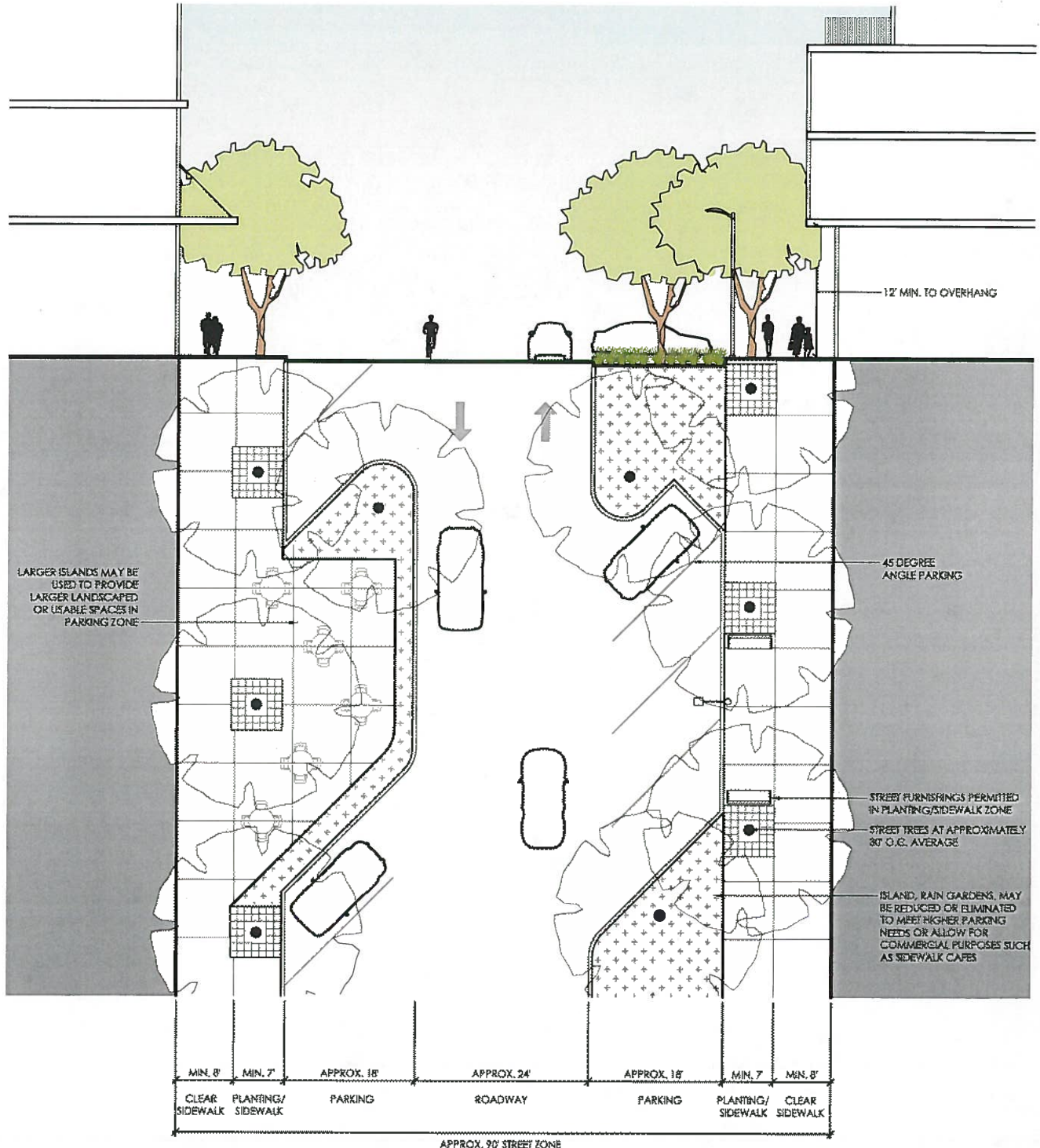


Figure 3.4.1: Bull Creek Road

3.4.2 Retail Main Street

The intent of the Retail Main Street is to create a wide, comfortable pedestrian environment that is conducive to successful retail uses and promotes interaction between users.



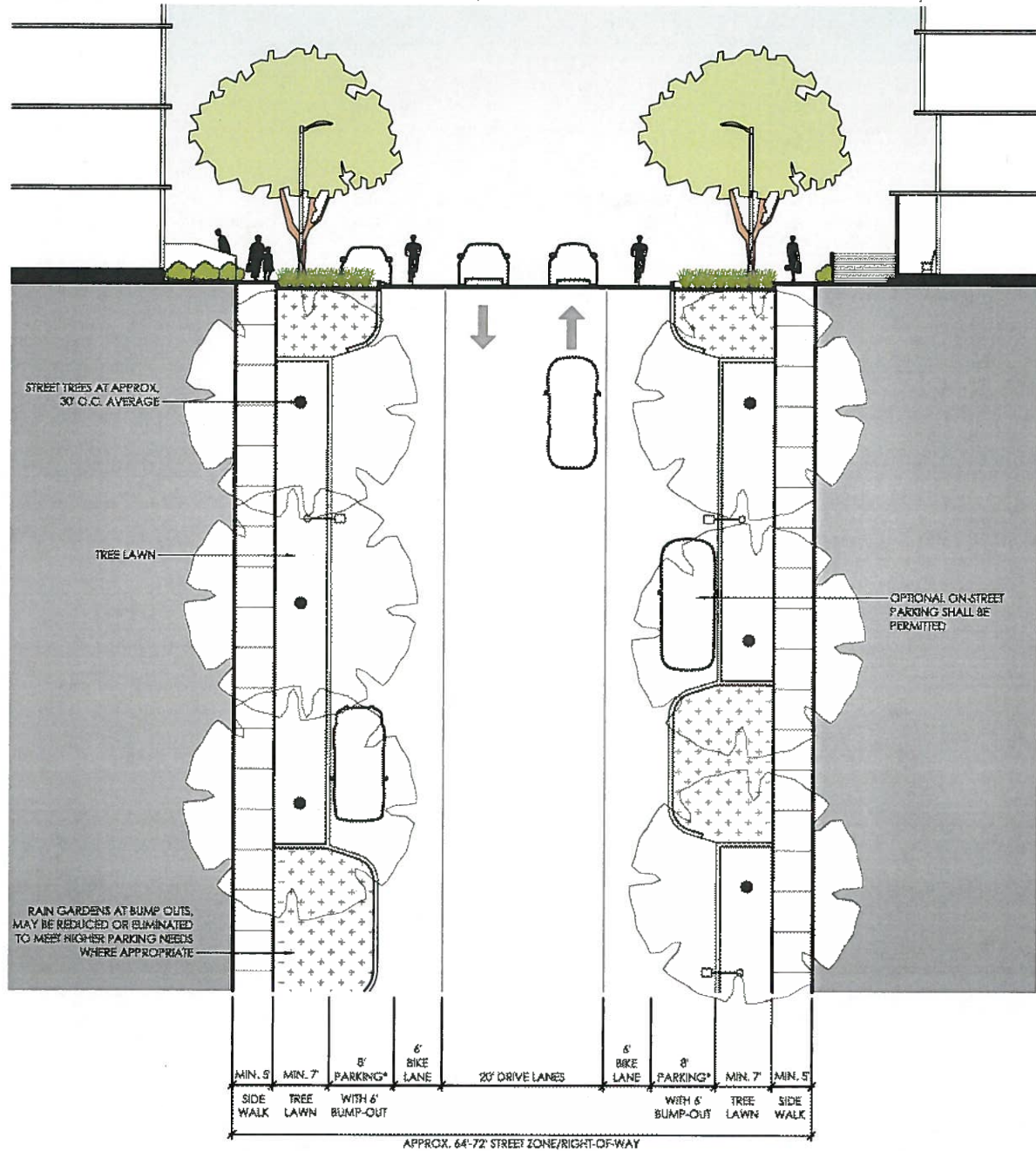
NOTES:

1. WHERE HEAD IN OR BACK IN ANGLE PARKING IS USED ALONG THE STREET, THERE MAY BE A MAXIMUM OF 7 CONSECUTIVE PARKING SPACES. A MINIMUM 5' BREAK WITH PLANTINGS OR SIDEWALK AMENITIES MUST SEPARATE THESE LENGTHS OF PARKING.

Figure 3.4.2: Retail Main Street

3.4.3 Jackson Avenue Extension

The Jackson Avenue Extension is the site's primary collector road. The intent is to accommodate a larger volume of vehicular traffic than the site's other roadways while still promoting a high quality pedestrian environment. Two potential sections are provided to allow for options with how this street deals with bicycles. A minimum of



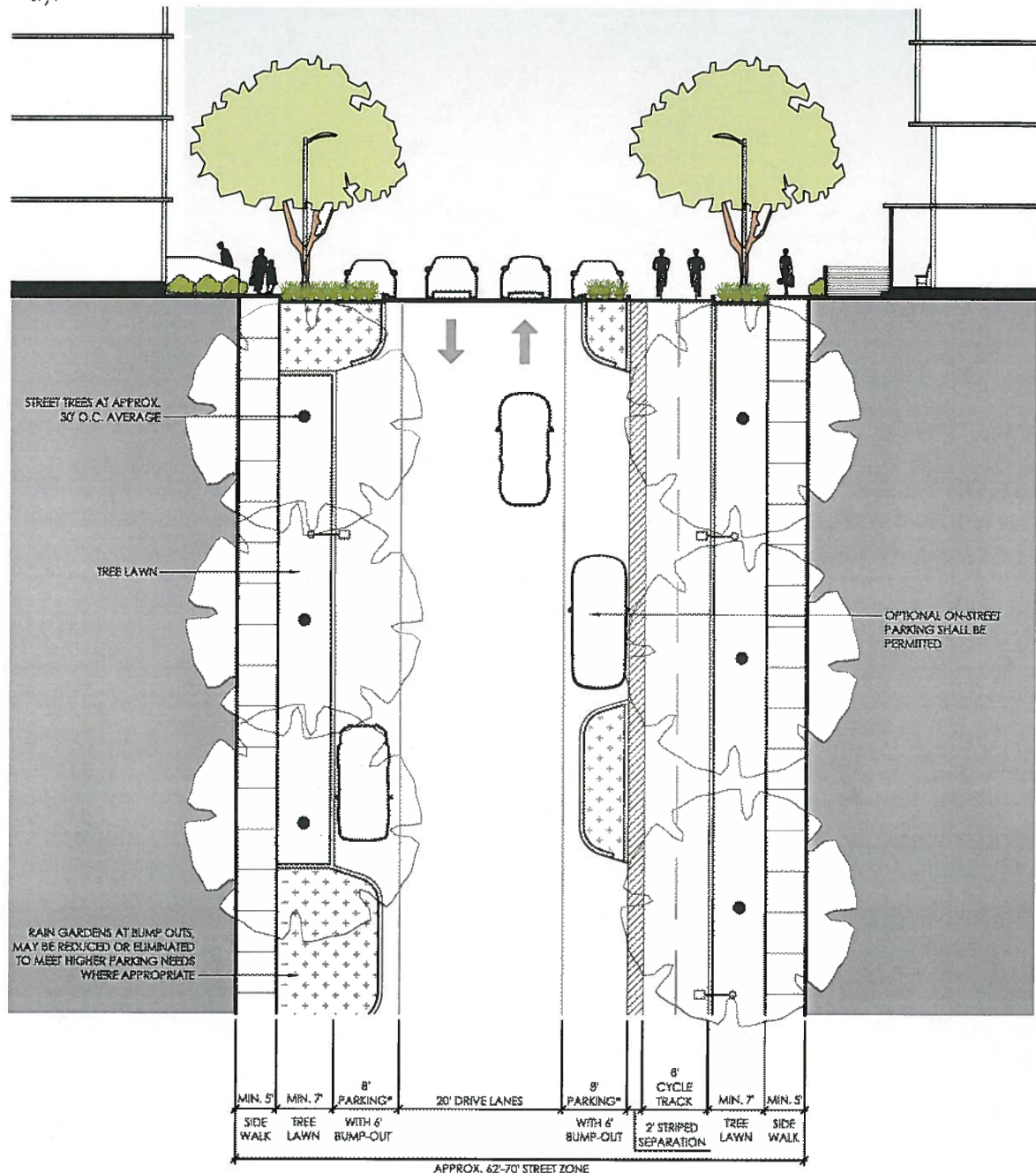
*SEE NOTE 1, BELOW

NOTES:

1. PARKING ZONE IS OPTIONAL AND MAY BE REMOVED FROM SECTION. IF PARKING IS REMOVED, BIKE LANE MAY BE REDUCED TO 5' WIDTH. THIS WILL REDUCE THE OVERALL WIDTH OF THE STREET ZONE BY 9'.
2. DEDICATED RIGHT-OF-WAY SHALL BE A MINIMUM OF 64'. IF OVERALL STREET ZONE IS LARGER THAN 64' THE ADDITIONAL WIDTH MAY BE INCLUDED IN THE RIGHT-OF-WAY OR THROUGH EASEMENTS.
2. ELEMENTS OF THE STREET ZONE INCLUDING SIDEWALKS, TREE LAWN, AND CYCLE TRACK MAY OCCUR OUTSIDE OF THE DEDICATED RIGHT-OF-WAY SO LONG AS AN APPROPRIATE EASEMENT IS PROVIDED.

Figure 3.4.3.a: Jackson Avenue Extension

62' of right-of-way shall be dedicated for Jackson Avenue. If the total Roadway Zone exceeds 62' of width, the applicant may choose to dedicate additional right-of-way or to dedicate public access easements for the remainder of the street zone. All roadway paving and bike lane / cycle track paving must be contained within the right-of-way.



*SEE NOTE 1. BELOW

NOTES:

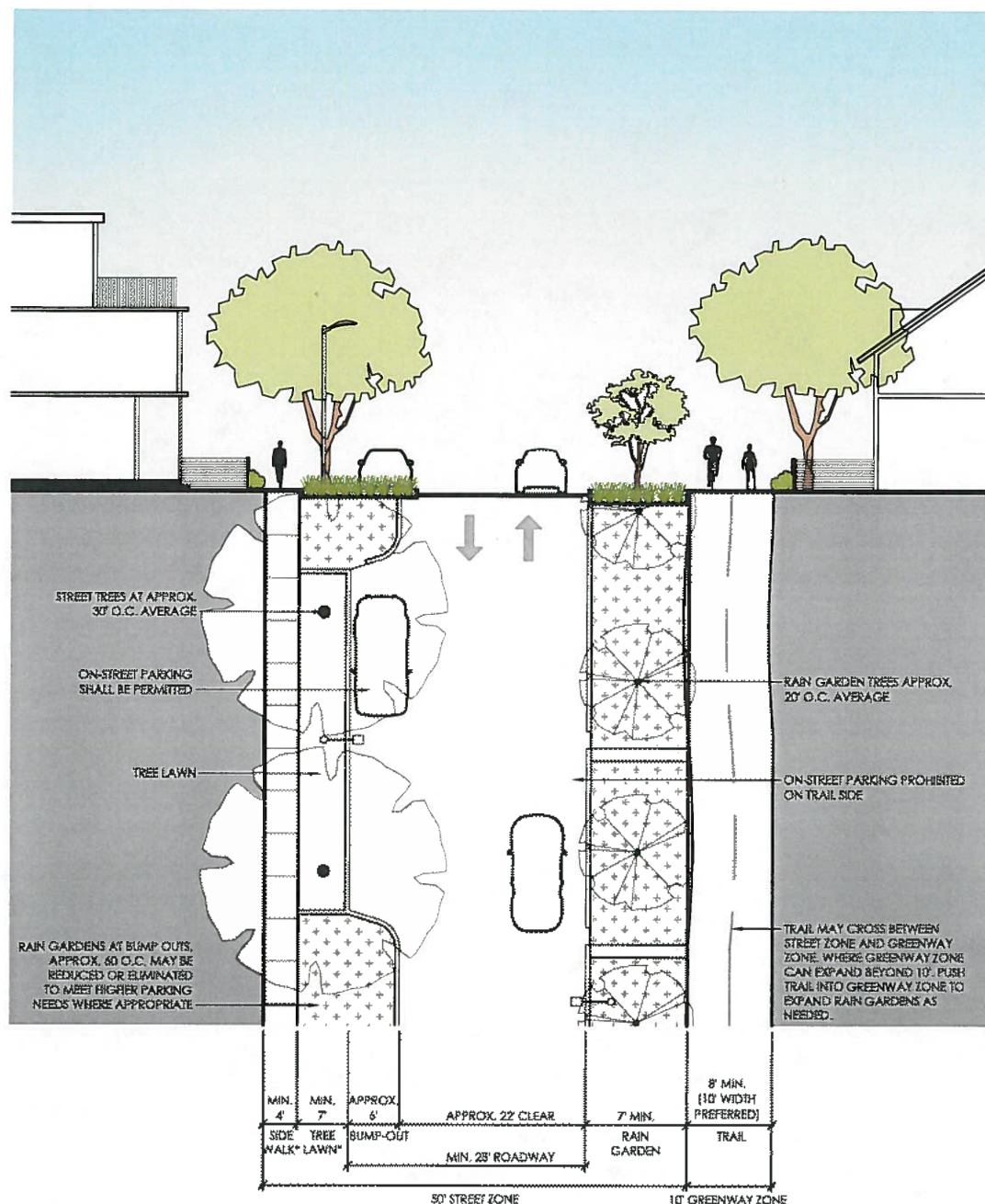
1. PARKING ZONE IS OPTIONAL AND MAY BE REMOVED FROM SECTION. IF PARKING IS REMOVED, BIKE LANE MAY BE REDUCED TO 5' WIDTH. THIS WILL REDUCE THE OVERALL WIDTH OF THE STREET ZONE BY 9'.
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2. ELEMENTS OF THE STREET ZONE INCLUDING SIDEWALKS, TREE LAWN, AND CYCLE TRACK MAY OCCUR OUTSIDE OF THE DEDICATED RIGHT-OF-WAY SO LONG AS AN APPROPRIATE EASEMENT IS PROVIDED.

Figure 3.4.3.b: Jackson Avenue Extension

3.5 Secondary Framework Elements

3.5.1 Green Streets

The sites Green Streets are designed to accommodate safe movement through the site and to the park for pedestrians and cyclists in particular. They also form a key element in the site's green infrastructure system.



NOTES:

1. A 5' MINIMUM SIDEWALK AND A 7' MINIMUM TREE LAWN ARE REQUIRED IF THE ROADWAY ABUTS A NON-RESIDENTIAL USE.
2. WHERE THE ROADWAY ABUTS A PARK, THE REQUIRED SIDEWALK OR TRAIL MAY BE LOCATED WITHIN THE PARK SO LONG AS IT IS LOCATED WITHIN 15' OF THE ROADWAY.
3. WHERE THE ROADWAY ABUTS A PARK, HEAD-IN OR ANGLED PARKING MAY REPLACE PARALLEL PARKING. IN THESE CASES, THE STREET ZONE WILL NEED TO EXPAND AS NECESSARY TO ACCOMMODATE THIS PARKING LAYOUT.

Figure 3.5.1: Green Streets

3.5.2 Central Greenbelt

The Central Greenbelt links the pedestrian and mixed-use zones of the site, and is designed to promote casual interaction between residents and visitors to the site.

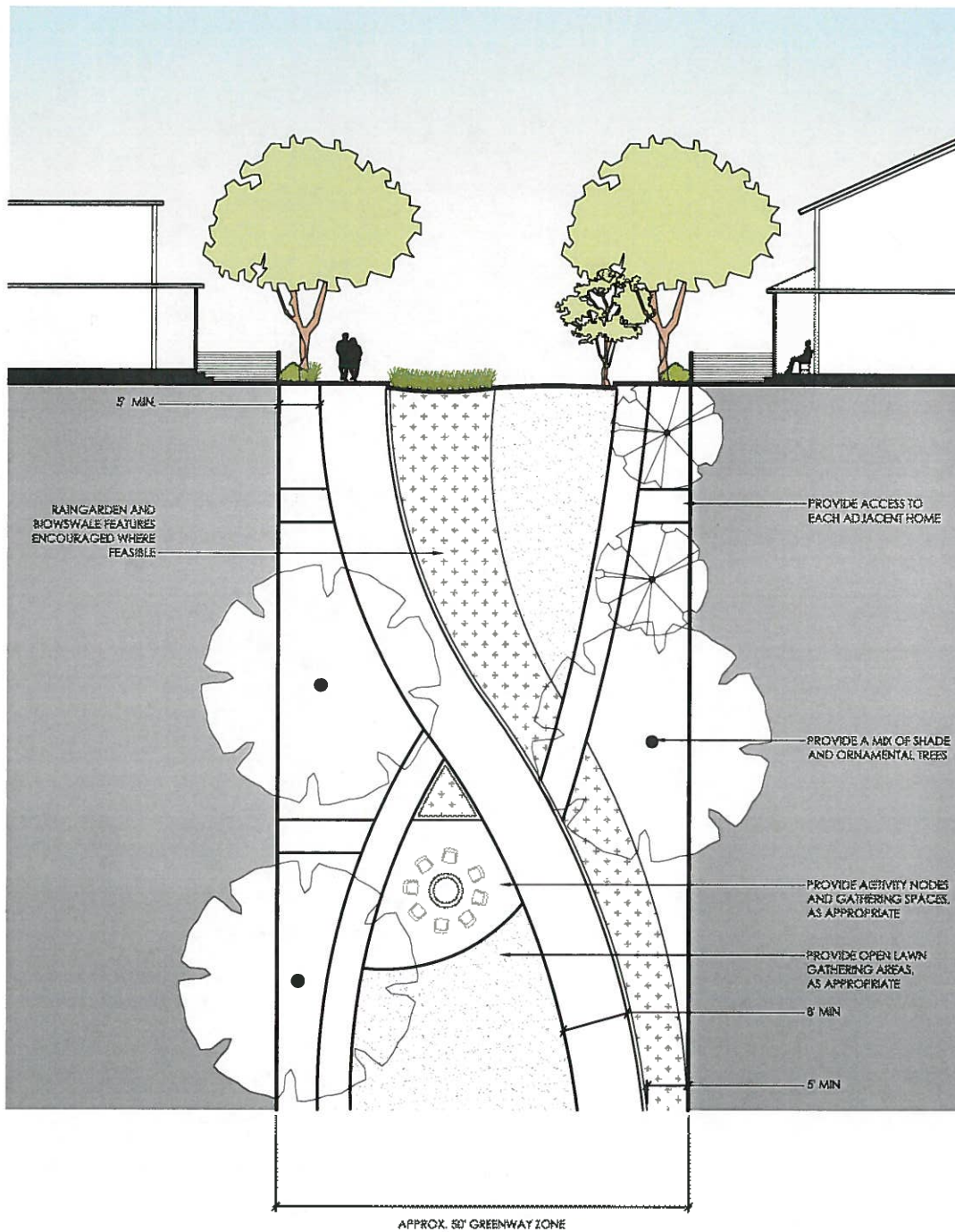
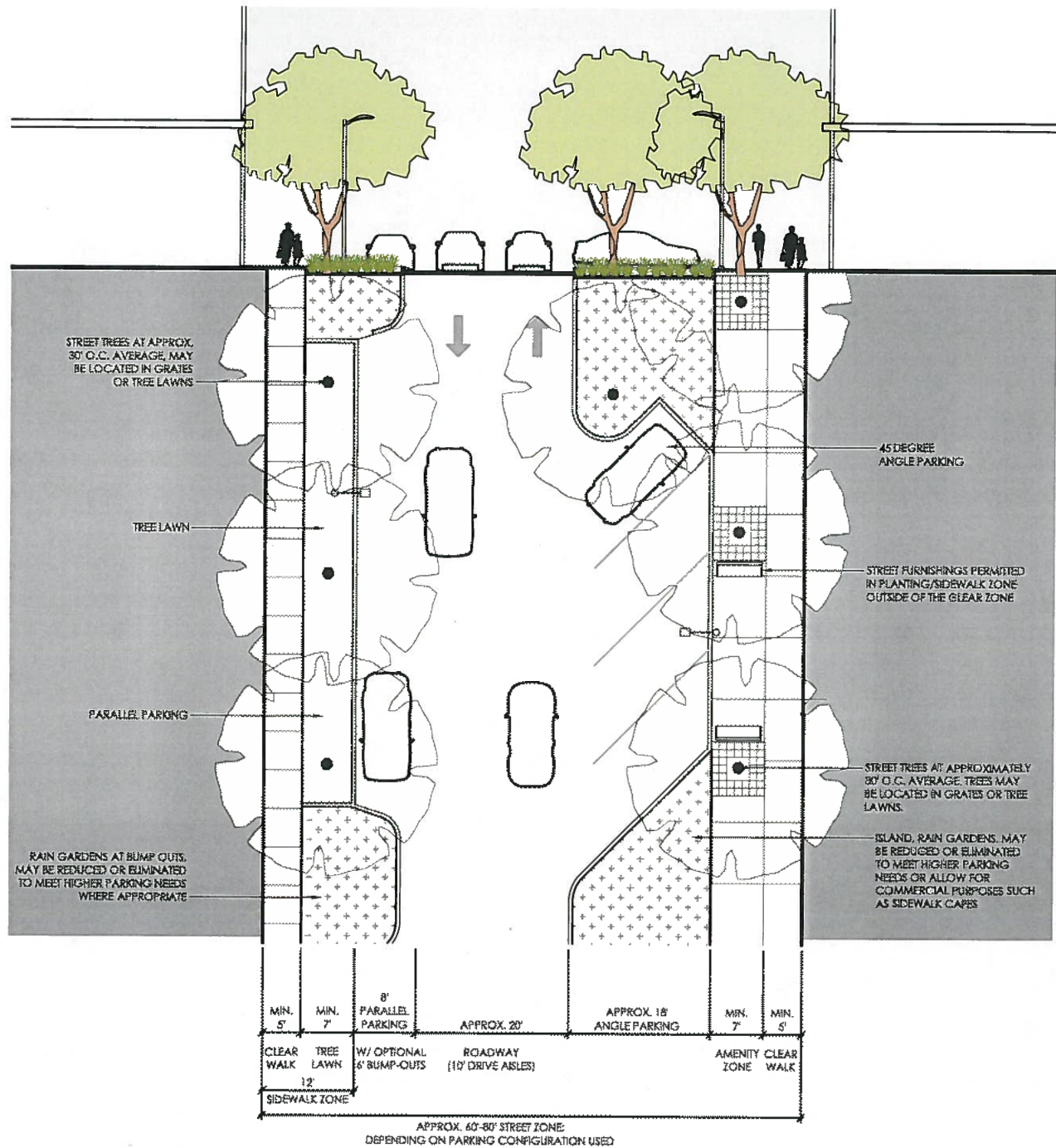


Figure 3.5.2: Central Greenbelt

3.5.3 Secondary Retail Street

The Secondary Retail Street is designed to accommodate a higher volume of parking within the Street Zone while still maintaining a street-like character. Either head-in angled or parallel parking options may be used on either side of the street.



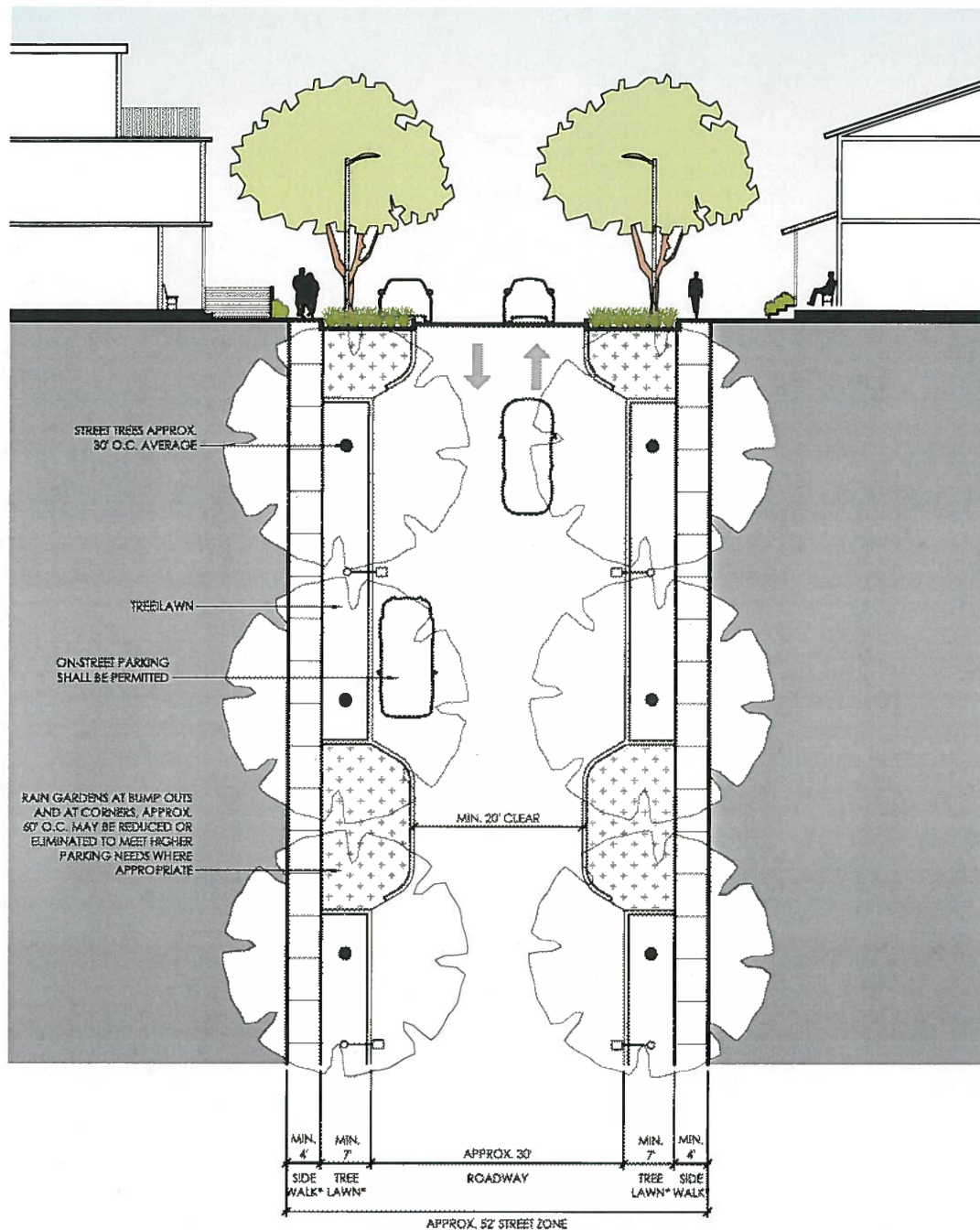
NOTES:

1. ANY COMBINATION OF THE TWO PARKING CONFIGURATIONS (PARALLEL OR ANGLED) AND TWO SIDEWALK CONFIGURATIONS (TREE LAWN OR TREE GRATES) SHOWN ABOVE MAY BE USED.

Figure 3.5.3: Secondary Retail Street

3.5.4 Residential Streets

The residential streets are designed to create a high quality residential street that will moderate traffic speeds, allow for convenient guest parking, and integrate street trees and green infrastructure into the streetscape.

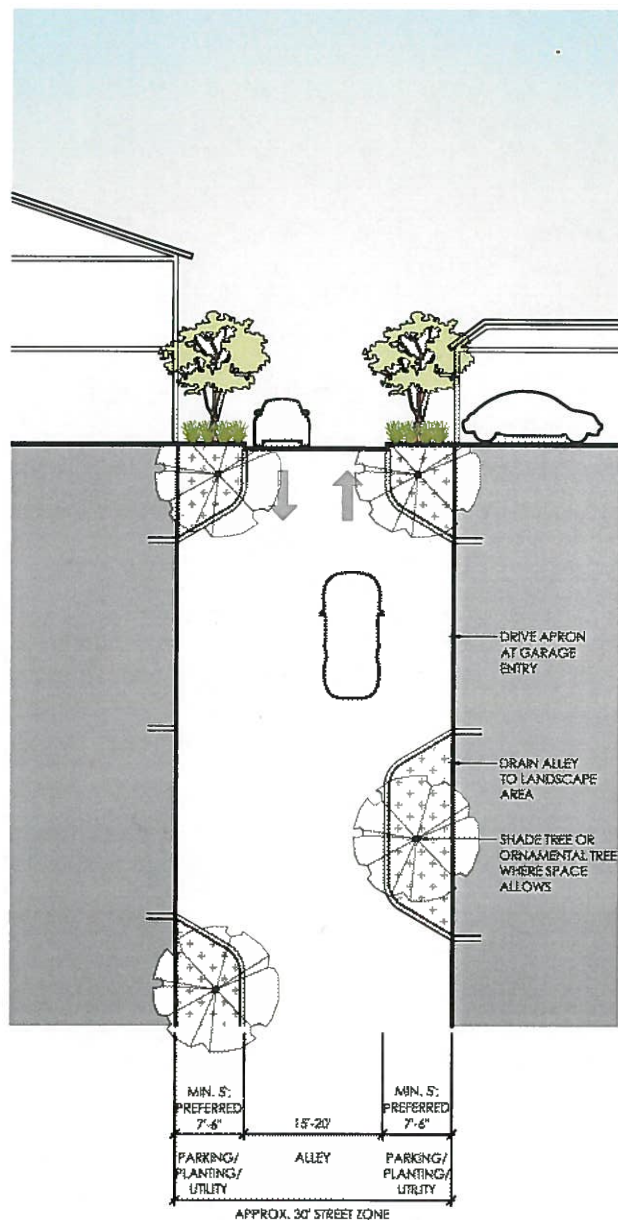


- NOTES:
1. A 5' MINIMUM SIDEWALK AND A 7' MINIMUM TREE LAWN ARE REQUIRED IF THE ROADWAY ABUTS A NON-RESIDENTIAL USE.
 2. WHERE THE ROADWAY ABUTS A PARK, THE REQUIRED SIDEWALK OR TRAIL MAY BE LOCATED WITHIN THE PARK SO LONG AS IT IS LOCATED WITHIN 15' OF THE ROADWAY.
 3. WHERE THE ROADWAY ABUTS A PARK, HEAD-IN OR ANGLED PARKING MAY REPLACE PARALLEL PARKING. IN THESE CASES, THE STREET ZONE WILL NEED TO EXPAND AS NECESSARY TO ACCOMMODATE THIS PARKING LAYOUT.
 4. THERE SHALL BE A MAXIMUM OF 200' BETWEEN BUMP-OUTS WHERE THERE IS ON STREET PARKING.

Figure 3.5.4: Residential Streets

3.5.5 Typical Residential Alley

The intent of the typical alley is to provide a functional alley that maximizes the visual appeal and integrates as much landscaping as possible. The smaller pavement section should be used wherever feasible and expanded where necessary for fire access.



- NOTES:
1. ALLEY WIDTH SHALL BE 20' WHERE FIRE ACCESS IS REQUIRED.
 2. ALLEY WIDTHS LESS THAN 16' ARE INTENDED FOR ONE-WAY TRAFFIC. DIRECTIONAL SIGNAGE IS REQUIRED AT ALLEY ACCESS POINTS FOR ONE-WAY ALLEYS.

3.5.6 Commercial Alley

Commercial Alleys are allowable at The Grove at Shoal Creek and are generally encouraged where they would minimize the conflicts and visual impacts created by the service functions and utility requirements of retail and other commercial buildings. A specific section is not provided for Commercial Alleys, but they should generally be designed similar to the residential alleys to include as much landscaping as feasible.

Figure 3.5.5: Typical Residential Alley

3.5.7 North Greenbelt Trail

The North Greenbelt trail will provide convenient access to the Signature Park and function as an east/west pedestrian and bicycle path on the south side of 45th Street (south of the existing homes). An optional 12' wide alley may be provided along the north property line to provide access to the existing homes which front on 45th Street at the developer's discretion and may be constructed only if allowed by the City of Austin. If the alley is constructed additional building setback from the north property line may be required to ensure the greenway zone still meets the minimum acreage designated in the Parks Plan for the North Greenbelt.

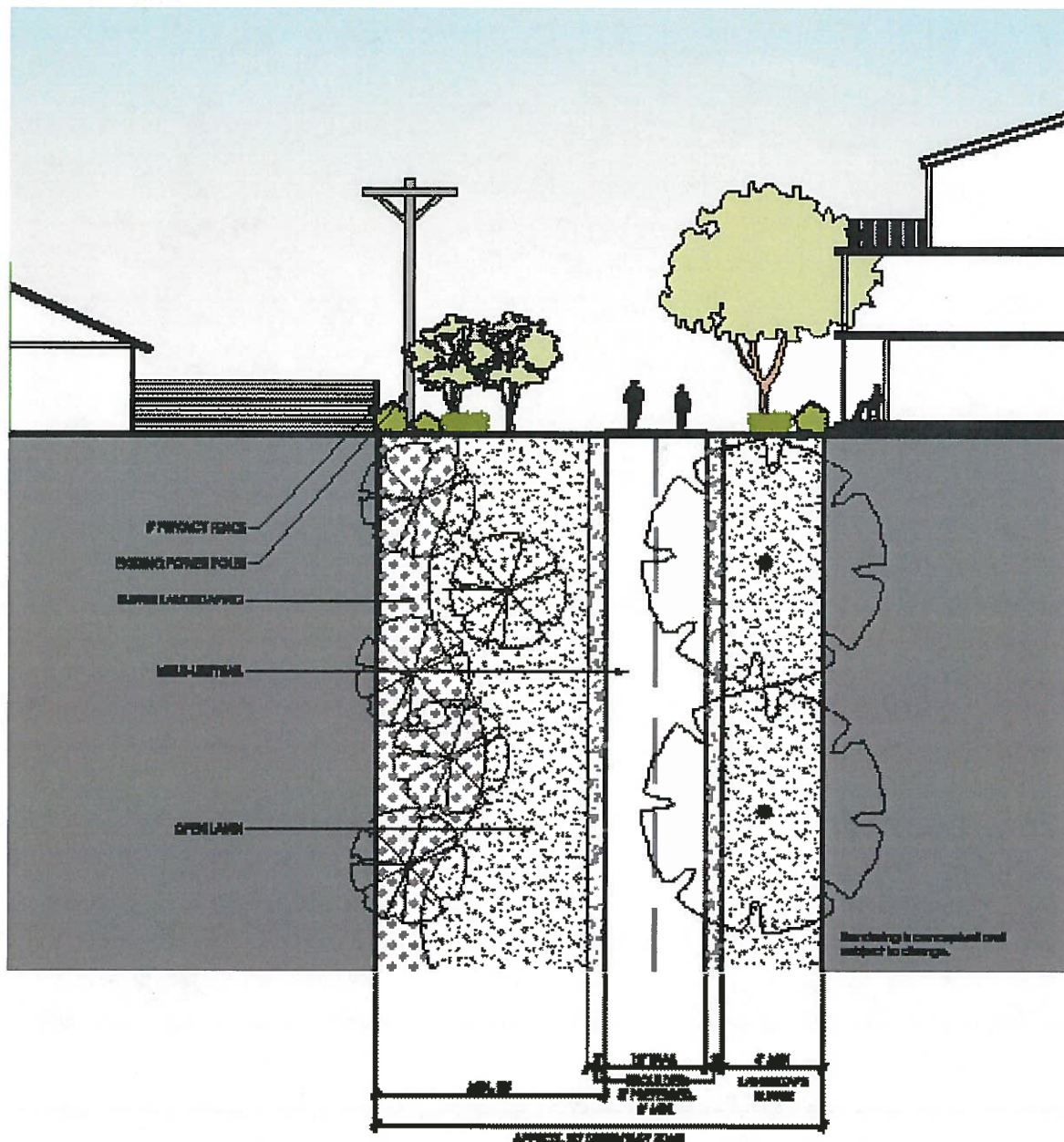


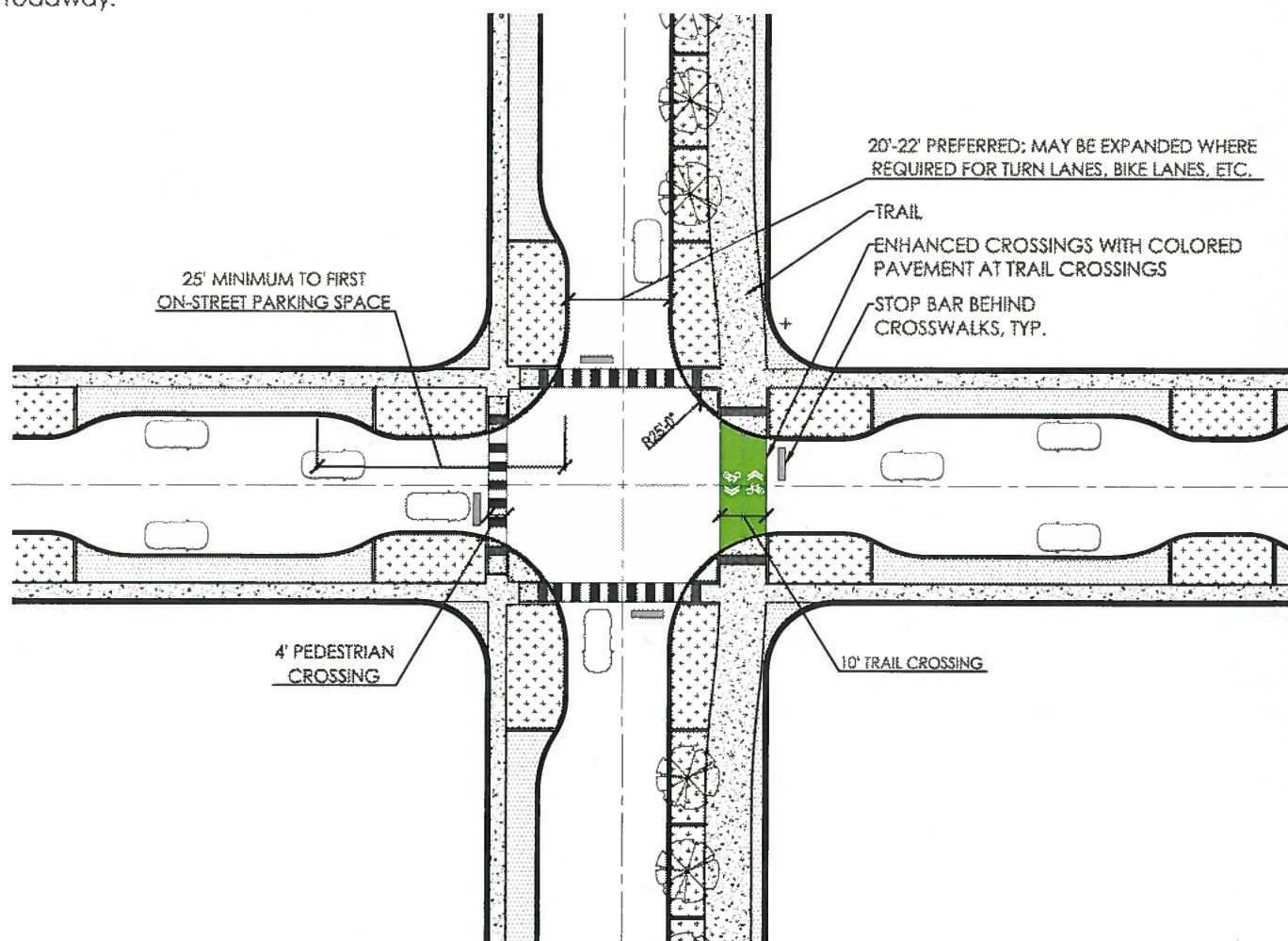
Figure 3.5.7.: North Greenbelt Trail

3.6 Typical Intersection Design

Intersections will take many distinct forms throughout The Grove at Shoal Creek as different street types intersect, additional turn lanes may occasionally be appropriate, some skew may be required, and bike lanes, trails, traffic controls, and other elements all impact the final design of an intersection. The typical intersections shown here are intended to set a general standard for intersections within The Grove that move traffic calmly but efficiently, provide for safe interactions between various modes of transportation, and contribute to the overall creation of a high quality, safe, and walkable urban environment.

3.6.1 Typical Intersection

The intersection shown here is between a Green Street and a typical residential street, but it reflects many of the qualities desired for all of the intersections at The Grove including minimal turning radii, bump-outs to shorten pedestrian crossings, clearly marked crosswalks, and clean integration of landscape, sidewalk, and roadway.



NOTES:

1. REFERENCE STREET STANDARDS FOR REQUIREMENTS FOR ROADWAYS, SIDEWALKS, STREET TREES, ETC.
2. ACCESSIBLE CURB RAMP SHALL BE PROVIDED FOR ALL SIDEWALKS AT INTERSECTIONS UNLESS AN ACCESSIBLE ROUTE IS NOT POSSIBLE DUE TO SITE CONSTRAINTS. AN ACCESSIBLE ROUTE IS REQUIRED ON AT LEAST ONE SIDE OF ALL STREETS.

Figure 3.6.1: Typical Intersection Layout

3.6.2 Typical Traffic Circle

The roundabout is envisioned as the terminus for the extension of Jackson Avenue, and will function to distribute traffic into The Grove at Shoal Creek, while also performing an important aesthetic function. The design below is conceptual and intended to communicate design intent, rather than to lock in specific dimensions, and may be modified based on final street design, etc. Because this facility is designed for relatively low vehicular speeds, the safest solution for cyclists is to merge with the vehicular lane and traverse the roundabout in the same manner as a vehicle. Cyclists who chose may dismount at the pedestrian ramp and instead traverse the roundabout as a pedestrian.

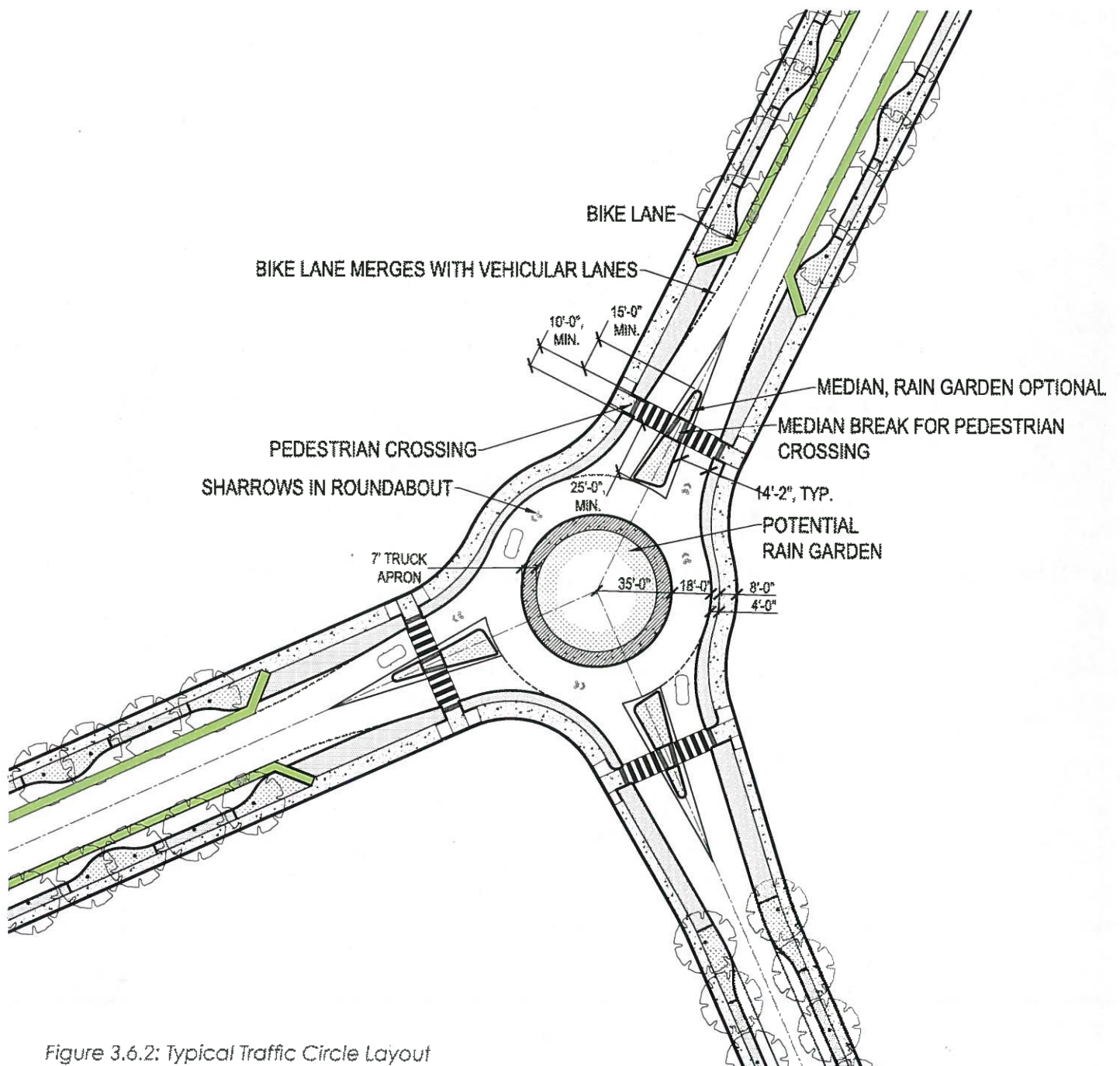


Figure 3.6.2: Typical Traffic Circle Layout

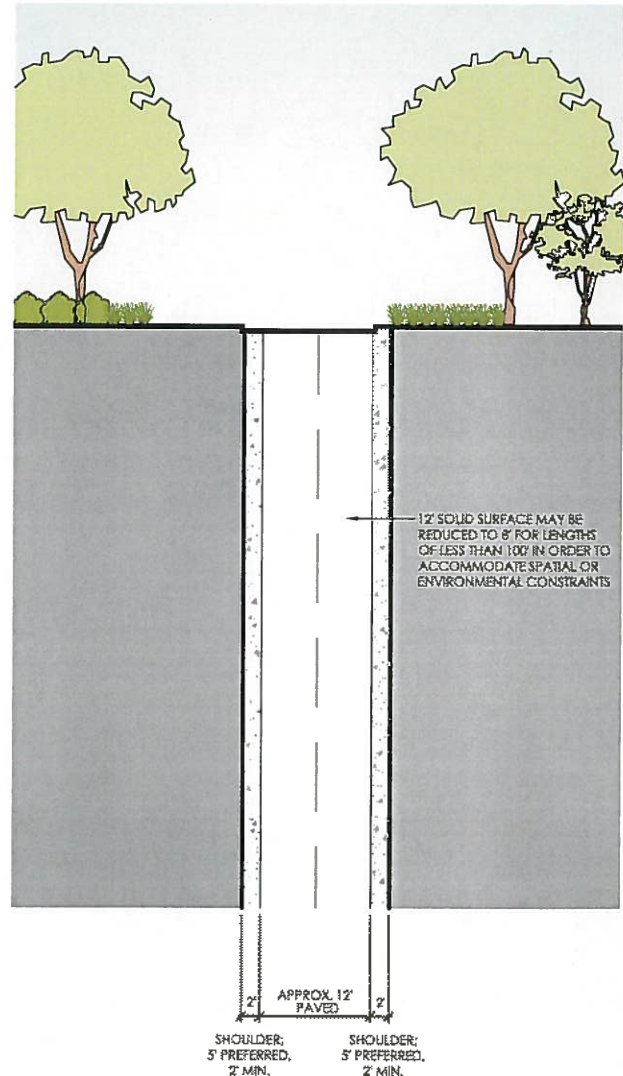
3.7 Trail Requirements

Trails at The Grove at Shoal Creek include the Shoal Creek Trail and North Greenbelt Trail as well as the trails along Bull Creek Road and the Green Streets, which are described in Sections 3.4 and 3.5. Section 3.7.1 defines requirements for the trails listed above, while 3.7.2 provides additional requirements for the Shoal Creek Trail. These requirements are intended to apply only to the urban trails on the site and do not apply to soft-surface trails, sidewalks, paths, and secondary trails within the park.

3.7.1 The following requirements apply to all urban trails on the site:

- Unless specifically noted otherwise, these trails shall follow the requirements of the City of Austin Urban Trail Master Plan.
- While a 12' width is desired for all trails, a width of 8' is acceptable for trails, other than the Shoal Creek Trail and Bull Creek Road Trail. The width of any trail may be reduced to 8' for a length of up to 100' to accommodate spatial or environmental constraints.
- All trails within the development shall include wayfinding elements that describe distance, direction, and destination, at intervals of $\frac{1}{4}$ to $\frac{1}{2}$ mile. The purpose of these wayfinding elements is to orient users and visitors to the trail's destination, provide educational or informational background on the site, and facilitate recreational use (e.g. mile markers).
- Multi-use Trails should have a minimum centerline radius of 100'. Centerline radii where approaching curb ramps at intersections, road crossings, street islands, etc. should be no less than 10'.
- Raised street crossings should have a level surface that is the same width as the multi-use trails. The crossing surface should be 3" above the adjacent roadway with a 6' long transition to the road surface on either side. Where site drainage patterns do not allow for raised crossings, this geometry may be adjusted with approval from the City of Austin.

3.7.2 Requirements for the Shoal Creek Trail



NOTES:
1. TRAIL SEGMENTS LESS THAN 12' IN WIDTH FOR LENGTHS OF GREATER THAN 100' MAY BE ALLOWED WITH APPROVAL FROM PUBLIC WORKS.

Figure 3.7.2: Shoal Creek Trail

3.8 Parking Requirements

It is important that The Grove at Shoal Creek provide ample parking to meet the needs of the project's users. The majority of the site's parking needs will be met in parking garages, residential garages, and with on-street parking within the site. Some off-street surface parking may be necessary to ensure the viability of specific retail uses. Off-street surface parking is defined as a vehicle parking lot consisting of at least 10 spaces where neither the parking space themselves nor the drive isle serving the spaces is located within the street zone. Off Street Surface Parking does not include parking in residential driveways. Parking for the Grove shall meet the following standards:

3.8.1 Off-street surface parking may not cumulatively exceed 400 spaces for the entire site. Compliance with this standard shall be determined at final site plan and shall not apply to prior site plans.

3.8.2 Off-street surface parking should generally be located beside or behind buildings and should not occur between a building section and its Primary Frontage as described in Section 4 of this document.

3.8.3 Off-street surface parking shall be constructed to meet or exceed City of Austin requirements for parking lot landscaping.

3.8.4 Off-street surface parking lots are encouraged to be designed such that the paved surface drains into landscaped parking islands and peninsulas.

3.8.5 Required ADA parking shall be no more than 250' from the site it is serving.

3.8.6 Parking on the site shall not cumulatively exceed the parking requirements of Appendix A of the LDC. Where a site plan includes a structured parking facility intended to serve future phases, the portion of that facility that exceeds parking requirements for that site plan must be barred from use until the future phase which it serves comes on-line.

3.8.7 Unless otherwise noted in this document, requirements of the City of Austin Land Development Code and Transportation Criteria Manual shall apply to parking in the project, including requirements regarding ADA parking, off-site parking, and design and construction standards.

4.0 ARCHITECTURE

4.1 Intent

Section 4 of The Grove at Shoal Creek Design Guidelines establishes standards and requirements for placement and design of buildings within the site. They are meant to ensure that buildings contribute to creating a walkable/pedestrian scaled neighborhood and to establish the relationship/placement of buildings to the variety of streets within the Grove at Shoal Creek. It is not the intent of this section to mandate any particular architectural style or character or to unduly limit creative expression. The intent of this section is to:

4.1.1 Ensure that buildings relate appropriately to surrounding uses and streets and create a cohesive visual identity and attractive pedestrian friendly streetscape.

4.1.2 Provide appropriate architectural direction to create a high-quality community development and streetscape environment.

4.1.3 Provide for a strong physical relationship between buildings and adjacent streets and sidewalks. Provide for convenient and easy pedestrian access to buildings

4.1.4 Provide design flexibility in building placement standards to allow for unique and diverse architectural expressions as well as for pedestrian-scaled uses such as outdoor dining terraces, porches, patios, and landscape features to enliven and enrich the streetscape environment.

4.1.5 Encourage buildings with appropriate human and pedestrian scale that create a sense of community. Building Architectural elements will be encouraged to help create gateways and public spaces and identify key intersections.

4.1.6 Encourage appropriate use of glazing, shading, and shelter to ensure that buildings contribute to the creation of a pedestrian-friendly environment with an active ground-floor experience.

4.1.7 Provide the flexibility necessary for diverse and well-articulated buildings throughout the site. Standards should encourage rather than hinder architectural creativity and expression.

4.2 Using This Section

Standards in this section are provided for the two Development Districts identified in Section 2: The Mixed-use District and the Residential District. If designing a building within a Tract where both districts are allowable, it will be up to the design team to determine which district is most appropriate for each building or site. For buildings where 10% or more of the gross square footage is dedicated to retail or office uses, and buildings where the primary frontage is the Retail Street, the Mixed-Use District must be used. Otherwise, this decision is fully at the discretion of the design team.

Standards for building placement are given in relationship to the Street Zone, Greenway Zone, or adjacent Park Space. Many building sites will be surrounded on three or more sides by such zones. For each building or site, it will be at the discretion of the design team to determine which of these is the Primary Frontage for the project. A Street Zone, Greenway Zone, or Park Space, may be selected to serve as the Primary Frontage. However, for sites bounded by the Retail Street, the Retail Street must serve as the Primary Frontage.

Bull Creek Road is the only public roadway abutting the project. Some standards are given in relationship to the Bull Creek Road right-of-way that will apply regardless of whether that is selected as the project's Primary Frontage.

4.3 Building Placement

4.3.1 Mixed-Use District

- a. Buildings may be constructed immediately adjacent to the Street Zone, Greenway Zone, or Park Space. There is no minimum setback.
- b. The maximum setback for buildings along their Primary Frontage is 30'.
- c. At least 50% of a site's Primary Frontage must consist of continuous building façade constructed within the maximum setback described in 4.3.1.b.
- d. Shade structures and canopies are permitted to encroach into the Street Zone or Greenway Zone above 12 feet of height to provide shade and architectural interest. There is no limitation to the distance which shade structures and canopies may encroach into the Street Zone or Greenway Zone, and support posts are allowed within the Street Zone or Greenway Zone as long as they do not interfere with the required sidewalk. Shade structures and canopies shall not interfere with street trees at maturity.
- e. Occupied space in buildings above the first floor is permitted to encroach into the Street Zone or Greenway Zone above 12 feet of height to increase the developable area of the structure and provide architectural interest. This type of encroachment may be a maximum of 7' or 10% of the width of the combined Street and Greenway Zone, whichever is smaller. Buildings in the street zone shall not interfere with street trees at maturity.
- f. Buildings may not encroach into Park Space.
- g. Off-street surface parking is not permitted between the building and the Primary Frontage. (Note: off-street surface parking is allowed between the building and other Street Zones, Greenway Zones, or Park Spaces not selected as the Primary Frontage).
- h. Off-street surface parking is not permitted between any building and the Bull Creek Road right-of-way regardless of whether Bull Creek Road is the Primary Frontage of the site.
- i. For sites bounded by Bull Creek Road at least 50% of the site's Frontage on Bull Creek Road must consist of continuous building façade constructed within the maximum setback described in 4.3.1.b, regardless of whether Bull Creek Road is selected as the Primary Frontage.

4.3.2 Residential District

- a. Buildings in the Residential District may not encroach into the Street Zone, Greenway Zone, or Park Zone.
- b. Detached residences:
 - 1. The minimum setback from the Primary Frontage is 10'. The minimum setback for porches or stoops is 5'.
 - 2. The minimum setback for front-facing garages is 18'. Parking is allowed in the driveway of a front-facing garage.
 - 3. The maximum setback for the Primary Frontage is 25'.

c. Attached Residences (e.g. Townhomes, Row Homes, Duplexes, Multifamily Buildings)

1. The minimum setback from the Primary Frontage is 5' for the first floor only to allow for porches and stoops. There is no minimum setback above the first floor.
2. There is no minimum setback for porches, stoops, balconies, etc.
3. The maximum setback from the Primary Frontage is 30'.
4. At least 50% of a site's Primary Frontage must consist of continuous building façade constructed within the maximum setback described above.
5. Front-facing garages are generally discouraged but will be allowed where necessary. There is no minimum setback for front-facing garages is 5'. Parking is allowed in the driveway of a front-facing garage so long as that garage is set back a minimum of 18' from the Street Zone.
6. Tandem parking is permitted.
7. Off-street surface parking is not permitted between the building and the Primary Frontage. (Note: off-street surface parking is allowed between the building and other Street Zones, Greenway Zones, or Park Spaces not selected as the Primary Frontage).
8. Off-street surface parking is not permitted between any building and the Bull Creek Road right-of-way regardless of whether Bull Creek Road is the Primary Frontage of the site.
9. For sites bounded by Bull Creek Road at least 50% of the site's Frontage on Bull Creek Road must consist of continuous building façade constructed within the maximum setback described in 4.3.2.c.3 regardless of whether Bull Creek Road is selected as the Primary Frontage.

4.4 Building Design Standards

4.4.1 General Design Standards

All buildings at The Grove shall meet the following standards:

- a. Generally, pedestrian entries to the buildings are encouraged as frequently as practical along all Street Zones, Greenway Zones and Park Space frontages. At least one major pedestrian entry must occur along the Primary Frontage.
- b. Ground floor residential units that are oriented toward the street should have direct access from the street where practical, via porch, stoop, or other entries. At a minimum, 50% of such units shall have direct entries from the street. Where feasible, Elevation of ground floor units should be slightly elevated above the sidewalk elevation. A range of 12-36 inches is considered optimal and should be utilized where feasible. However, site grading constraints may result in a wider range of acceptable ground floor elevations. Where these conditions exist, the building or first floor should generally be set back sufficiently from the Street Zone to allow for a porch, stoop, terrace, or other pedestrian access.

- c. Ground floor retail uses shall generally have a height and depth sufficient to support the intended use and shall have at least one pedestrian entry along the street they are oriented towards.
- d. Parking structures, when utilized, should be designed to not dominate the built environment, and should be visually screened from the street through use of architectural treatment or green screens. Where possible, wrapping parking structures with buildings is encouraged.
- e. Building cladding materials shall be high quality and attractive. Preferred materials include Texas limestone or sandstone, smooth horizontal bevel or lap-siding fiber-cementous siding with mitre corners, smooth finish or painted brick, smooth finish stucco; or other similar or special materials where appropriate and complimentary to the overall context and character.

4.4.2 Mixed-Use District Standards

- a. Medium Density residential and commercial mixed-use building are strongly encouraged – they should be designed to extend and enliven the fabric of the streets. These mixed-use buildings and uses are not intended to be stand-alone buildings but an integral part and core of the Grove at Shoal Creek community creating ground level activity and neighborhood oriented uses. They will provide a scale transition to adjacent Townhomes and Single family districts of the master plan.
- b. For buildings whose primary frontage is the Retail Street, at least 70% of the primary frontage shall consist of pedestrian oriented uses, including retail, lobbies serving office uses, and lobbies, sales centers, or amenity areas serving residential uses. Buildings facades along the Retail Street that exceed 200ft in length shall have a building entrance at least every 100ft.
- c. Mixed-use buildings are encouraged to be designed with pedestrian friendly outdoor elements such as extended/projecting eaves for shade and the use of loggias, porches, terraces, and/or courtyards.
- d. For all uses in a Mixed-Use building, the minimum off-street parking requirement shall be 60 percent of that prescribed by the City of Austin Off-Street Parking and Loading Requirements. This reduction may not be used in combination with any other parking reduction.
- e. Glazing
 1. For non-residential uses on the ground floor along a building's Primary Frontage, at least 30% of the wall area of the first floor between 0 and 12' must consist of glazing.
 2. For residential uses on the ground floor along a building's Primary Frontage, at least 10% of the wall area of the first floor between 0 and 12' must consist of glazing.
 3. Along a building's Primary Frontage, at least 10% of the wall area for the second floor (if provided) must consist of glazing.
 4. Where a building faces any Street Zone, Greenway Zone, or Park Space that is not its Primary Frontage, at least 10% of the wall area of the first two floors must consist of glazing unless building code prevents windows on such facades.

4.4.3 Residential District Standards

a. Detached Residence

1. On the front façade, at least 10% of the wall area of the first floor of detached residences must consist of glazing. The area of a front facing garage door is not counted in this calculation.
2. Use of porches, terraces, and other front-facing outdoor spaces is strongly encouraged.
3. Homes on corner lots should be designed so that architecturally attractive elevations are presented to both sides by using such elements as wrap-around porches, landscape design elements, massing, façade composition, and other design elements. If necessary when a garage faces a side elevation on a corner it shall be designed as an extension of the primary elevation.

b. Attached Residences / Multi-family Buildings

1. Grouping of townhomes/row homes shall have a minimum separation of 10ft every 180 ft or 8 units whichever is less. This separation shall allow for pedestrian access and circulation to/from alleys and through the neighborhood.
2. Townhomes/Row Houses on corner lots shall be designed and situated so that both street frontages are front facades; with corner elements and architectural compositions encouraged to create handsome facades on both sides.
3. Multi-family buildings are encouraged to be designed with pedestrian friendly outdoor elements such as extended/projecting eaves for shade and the use of loggias, porches, terraces, and/or courtyards.
5. Where a building faces any Street Zone, Greenway Zone, or Park Space, at least 10% of the wall area of the first two floors must consist of glazing unless building code prevents windows on such facades. The area of a garage door is not counted in this calculation.

5.0 Site, Landscape, and Open Space

5.1 Intent

Section 5 of The Grove at Shoal Creek Design Guidelines establish standards to ensure that the landscape, park space, and open space elements within the project support the overall Guiding Principles of The Grove. Landscape elements throughout the project will be implemented in ways that enhance experience of the urban spaces, create high quality parks, and support environmental sustainability. The intent of this section is to:

5.1.1 Ensure the creation of high quality parks and common open spaces for the enjoyment of residents and visitors alike.

5.1.2 Ensure that the landscape within the streetscapes of The Grove provide shade as well as a quality environment.

5.1.3 Ensure screening of equipment and utilities.

5.1.4 Provide standards for lighting within The Grove to minimize off-site impacts.

5.1.5 Provide standards for signage within The Grove, allow signage as advertisement to support economic sustainability, and encourage signage that is pedestrian scaled and supportive of the urban vision for The Grove.

5.2 Parks and Open Spaces

5.2.1 Introduction

The park spaces throughout the site are meant to provide a variety of uses and activities to serve the area neighborhoods and create space for multi-modal and sustainable infrastructure. Park Space includes both publicly dedicated and privately owned but publicly accessible open spaces. As shown on the PUD Park Space Exhibit, the park spaces will consist of:

- The Signature Park (13 acres minimum) along Shoal Creek
- A public plaza within the Mixed-Use District
- A Greenbelt connecting the districts (ref. Framework section for guidelines)
- A trail corridor along Bull Creek Road (ref. Framework section for guidelines)
- A Neighborhood Park on Bull Creek Road

5.2.2 Signature Park

The Signature Park will be the largest park at The Grove and will house most of the site's mature oak trees. The following guidelines should be used in developing plans for the Signature Park:

- The park character should evolve from an urban, active edge on its west end with restaurants and townhomes to a restored natural area with trails and enhanced native prairie and grow zone on its east end as it approaches Shoal Creek.

Figure 5.2: Required Park Spaces

- Amenities within the Signature Park should include, at a minimum, a children's playscape, paved trails, soft-surface trails, a wet pond with overlooks and picnic areas, an open lawn area and the Shoal Creek Trail on the east end of the project.
- Outside of trails and necessary parking, large areas of paving should generally be avoided in the Signature Park.
- Great care should be taken in preserving the existing trees in the Signature Park. While it is important to provide park users with access to the trees and the shade they provide, care should be taken when planning or constructing improvements within the critical root zone of existing trees.

5.2.3 Central Plaza

The Central Plaza will be the central urban gathering place within the project. The following guidelines should be used in developing plans for the Central Plaza:

- Provide plenty of shade with shade structures and shade trees.
- While heavy use will dictate large paved areas in the plaza, ensure green spaces are integrated as frequently as practical.
- Outdoor dining should be encouraged for restaurant uses surrounding the plaza. Kiosks are also encouraged.
- An interactive water feature is encouraged within the plaza.

5.2.4 Bull Creek Road Neighborhood Park

Situated around a grove of mature live oaks, the Bull Creek Road Neighborhood Park will provide a welcoming entrance into the residential portion of the site off of Bull Creek Road as well as a neighborhood amenity for the site and nearby neighbors. The following guidelines should be used in developing plans for the Bull Creek Road Neighborhood Park:

- Open lawn space for passive uses should predominate the park
- Amenities may include a picnic pavilion, a small children's play area, a garden area, sidewalks, and trails.
- Great care should be taken in preserving the existing trees in the Neighborhood Park. While it is important to provide park users with access to the trees and the shade they provide, care should be taken when planning or constructing improvements within the critical root zone of existing trees.

5.2.5 Pocket Parks

Pocket parks may be included throughout the site to provide small amenity and gathering spaces near homes and places of business. Where included, these pocket parks should generally be at least 10,000 SF in size and should include a range of passive amenities which may include:

- Open lawn
- Gardens
- Seating and picnic areas
- Small gazebos or shade structures
- Small gathering spaces

5.2.6 Other Green Spaces

Throughout the site there will be additional, dispersed green spaces. These spaces should take a form and character that complements the context in which they lie. Raingardens and other green infrastructure are encouraged to be included where feasible and appropriate within the overall drainage of the site.

5.2.7 Greenbelt and Trails

Reference Section 3



5.3 Landscape and Streetscape

5.3.1 Landscape Character and Plant Selection

- a. Landscape applications should complement the context in which they are located. For example, landscape in an urban setting may include more intensive treatments. Landscape in the parks and green spaces should have a natural look with lawns and organic planting patterns among the existing trees. Landscape in the residential areas should focus on creating a sense of safety and community with well maintained and diverse plantings.
- b. Native and drought tolerant plant species should be used as much as possible in order to support to the project's sustainability goals. A minimum of 95% of non-turf plant materials on any project should be from the Austin Grow Green Guide or should demonstrate equal appropriateness to the Austin environment.

5.3.2 Street Trees

- a. Street trees shall be provided as specified in the Framework Section. Spacings specified are intended to be approximate and may vary based on infrastructure, intersections, driveways, utilities, etc.
- b. Street trees shall be a minimum of 3" caliper measured 6" above the base at the time of planting. Street trees may be counted toward requirements for mitigation of existing trees.
- c. Street tree species should vary throughout the site. While a single street or project may contain a monoculture of trees, no single species should represent more than 25% of street trees planted at The Grove. This requirement is intended to apply to the site as a whole and should not apply to any one street, project, or site plan.

5.3.3 Green Infrastructure

- a. Raingardens, Bioswales, and other green infrastructure elements shall be designed and landscaped to create a well-maintained and visually appealing character.
- b. Green infrastructure elements shall be planted in accordance with the City of Austin Environmental Criteria Manual, in effect on the date of approval of these guidelines.

5.3.4 Tree preservation and replacement

- a. Tree preservation for this project is dictated by the approved PUD Ordinance.
- b. All healthy, non-invasive trees on site should be preserved to the extent feasible, unless those trees are creating a negative impact on higher value trees (e.g. located too closely together causing competition for space and nutrients). Removal and mitigation of these trees is governed by the Tree Disposition Plan attached to the PUD.
- c. Preservation of trees shall be in accordance with the City of Austin Code and Environmental Criteria Manual.

5.3.5 Street Furniture and Paving

- a. Furnishings such as benches, trash and recycling receptacles, etc should be placed within the high pedestrian traffic areas and transit stops at intervals which ensure convenience and comfort.
- b. The aesthetics of the site furnishings should create a cohesive theme throughout the project. But may vary depending on context. For example, furnishings may be a more contemporary style in the urban plaza and a more classic style along trails in the signature park.
- c. Special pavement applications are encouraged in plaza areas, other specialty pedestrian areas, and may be used to help delineate pedestrian crossing. Permeable pavers or porous pavements may be considered where possible.

5.3.6 Screening of Equipment and Utilities

- a. All mechanical equipment and utilities, with the exception of solar panels, will be screened from view from the streets by either landscaping or decorative enclosure.
- b. Loading docks, truck parking, outdoor storage, trash collection, trash compaction, and other service functions shall be incorporated into the overall design of the building and landscape so that the visual impacts of these functions are contained and out of street-level view from adjacent streets and street zones. Screening materials for solid waste collection and loading areas shall be the same as, or of equal quality to, the materials used for the principal building. These functions may be placed along commercial alleys without the necessity of screening from the alley.

5.3.7 Walls and Fences

Fencing is allowed on site and is generally encouraged where necessary to define private spaces and create necessary boundaries between uses. Fencing in the residential zone shall meet the following standards:

- a. Fences or walls located at the sides or backs of buildings are permitted and may be up to 7 feet in height. These fences shall be constructed of wood, decorative metal, masonry, or other quality materials.
- b. Fences located between the front of buildings and the street zone are allowed in the Residential Zone only to define private front yard spaces. These fences must be no greater than 4' in height and must be constructed of wood, decorative metal, masonry, or similar quality material. Height limit is not inclusive of any retaining walls.

5.4 Exterior Lighting

5.4.1 Street and Area Lighting

Lighting is an important component to site safety. Street lighting should provide light for both the vehicular lanes and pedestrian sidewalks. Lighting along pedestrian paths and within parks should meet minimum safety standards in all locations where night use is expected.

All site and area lighting shall limit off-site impacts by meeting the following requirements based on the International Dark-Sky Association / Illuminating Engineering Society Joint Model Lighting Ordinance published in 2011, and utilizing the BUG rating system. The BUG rating system consists of three components: B (Backlight), U (Uplight), and G (Glare). The following requirements are for all site and area lighting fixtures on site:

- a. The maximum allowable Uplight rating shall be U2. Fixtures that do not have a BUG rating but are rated as Full Cut-off shall be assumed to be in compliance with this requirement.
- b. For fixtures located less than 2 mounting heights from the boundary of the The Grove at Shoal Creek, the maximum Backlight rating shall be B2.
- c. For fixtures located less than 2 mounting heights from the boundary of The Grove at Shoal Creek, the maximum Glare rating shall be G1.
- d. Where the site abuts Bull Creek Road, the centerline of the road shall be considered the boundary of The Grove at Shoal Creek for the purposes of determining compliance with the above requirements.

5.4.2 Accent Lighting

Lighting is also a useful tool for enhancing architectural and landscape aesthetics and enjoyment of a site. Accent lighting should be utilized to highlight trees, architectural elements, landscape elements, artwork, and other unique features as appropriate, especially in the public plaza and along the Retail Street. The following regulations will govern accent lighting:

a. Directional Luminaires

Directional Luminaires may be used to illuminate signs and flagpoles. Such luminaires shall be installed and aimed so that they illuminate only the specific object or area and do not shine directly onto neighboring properties or roadways.

b. Landscape Lighting

Uplighting and downlighting of trees, artwork, kiosks, and other landscape features shall be allowed. Landscape lighting fixtures must be 24 volts or less unless they are directed downward and shielded.

c. Lighting of Building Facades

1. Downlighting of buildings and structures is permitted if fixtures are fully shielded or full cut-off or if they meet the requirements below for Uplighting.
2. Uplighting of building facades should only be used to highlight specific architectural features such as principal entrances, corners, terminus elements, and towers, and allowed in the Mixed-use District only. Luminaires used for uplighting are limited to 100 Lumens per linear foot of façade to be lit (measured horizontally), unless the fixture is 24 volts or less.
3. Direct view fixtures are permitted in the Mixed-use District on building facades and are limited to 250 lumens per linear foot of fixture.

d. Festoon Lighting

String lights and festoon lighting are permitted over roadways and in outdoor use areas within the Mixed Use District as temporary or permanent installations.

5.5 Signage

5.5.1 Free Standing Signs

a. Community Identity Signs

For each major entry to The Grove, two permanent subdivisions identification signs with combined sign area of not more than 128 square feet and height not exceeding 6 feet are permitted.

b. Commercial Multi-tenant Signs

Up to two (2) multi-tenant signs are allowed for The Grove at Shoal Creek development. These signs are subject to the following standards:

- A maximum area of 250 square feet
- A maximum height of 20'

c. Project Identity Signs

For each building containing a non-residential use or more than one residence, a free standing sign is permitted on the same lot. This sign shall not exceed 35 sf in area or 6' in height.

5.5.2 Building Signs

Building signs are permitted on all buildings within The Grove except detached single family residences. Blade signs, awning signs, under-canopy signs, heraldic signs, and letter-mounted signs are encouraged. The total sign area on any building shall not exceed 20 percent of the façade area of the first 15 feet of the building.

5.5.3 Non-permanent Signs

Signs such as commercial flags and street banners add vibrancy and character to the street scene and reinforce community events and programs. These temporary signs are permitted within the borders of The Grove without restriction.





Sirwaitis, Sherri

From: Ryder Jeanes [REDACTED]
Sent: Tuesday, May 10, 2016 3:27 PM
To: Perales, Marisa - BC; Creel, Andrew - BC; Gooch, Erin - BC; Grayum, Richard - BC; Maceo, Peggy - BC; Moya, Michael - BC; Neely, Mary Ann - BC; Smith, Brian - BC; Smith, Hank - BC; Thompson, Pam - BC; Guerrero, Linda.h - BC
Cc: Adler, Steve; Houston, Ora; Garza, Delia; Renteria, Sabino; Casar, Gregorio; Kitchen, Ann; Zimmerman, Don; Troxclair, Ellen; Tovo, Kathie; Gallo, Sheri; Pool, Leslie; Goodman, Jackie - BC; Lavani, Sunil - BC; Kiobassa, Jolene - BC; Harris, Susan - BC; Weber, Thomas - BC; Flores, Yvette - BC; Evans, Bruce - BC; Denkler, Ann - BC; Rojas, Gabriel - BC; Breithaupt, Dustin - BC; Aguirre, Ana - BC; Rojas, Gabriel - BC; Greenberg, Betsy - BC; Smith, Taylor; Bollich, Eric; Linseisen, Andrew; Golden, Bryan; James, Scott; Derr, Gordon; Carvell, Kyle; Brinsmade, Louisa; Ryder Jeanes; Catherine Jeanes [REDACTED]; Sirwaitis, Sherri; Adams, George; Doug Caroom [REDACTED]; Patricia Caroom [REDACTED]
Subject: My home - Grove PUD - please read
Importance: High

Dear Commission Members:

My wife, Cat Caroom Jeanes, and I live at 2629 W.45th Street with our two small children - mere feet away from the 2627 W. 45th home the Grove PUD applicant (ARG Bull Creek, Ltd) is proposing be razed and dedicated to the City of Austin as public Right Of Way for project access. That home (like ours) has been deed restricted to only be a single family home since the 1950s. With those expectations in mind we have made significant investments in our home over the past 10 years never imagining we'd be having to explain the following. **We ask you, what would you do if you lived in our home?**

By pursuing a public roadway through the single family home next to ours, the applicant is implying that our family's safety, quality of life, and property value should come at the expense of access to their desired mixed use project. The PUD applicant cannot accomplish this access through a private drive because that use is prohibited by those deed restrictions, for good reason. Only a ROW dedication for a public street would potentially allow the applicant to circumvent these purposeful restrictions meant to protect adjacent property owners.

The applicant's own traffic impact analysis (TIA) says this project is expected to generate 19,000+ vehicles per day entering and leaving the project (almost equal to the current 45th Street daily traffic count). Yet, that same TIA is woefully light on the details of the proposed Jackson Ave extension through the home next to ours. The only small reference to any traffic on the proposed Jackson Ave extension directly next door to our home is on page 41 of the most recent Feb 2nd TIA:

Additional Analysis – Access to 45th Street

Per City Staff's request analysis was completed that took into consideration a potential access point at 2627 45th Street. The access point is proposed as a right-in/right-out driveway. The analysis assumes 150 of the estimated 279 right turning site traffic vehicles from eastbound 4 to southbound Bull Creek will instead travel straight through the intersection and use the new access point. The analysis also assumes that 100 of the estimated 151 right turning site traffic vehicles from northbound Bull Creek to eastbound 45th will exit the new access point. The analysis can be seen in Appendix J.

This small section implies that if the Jackson Ave extension were to exist, over 1/2 of the development's traffic that enters the project driving eastbound on 45th Street (a majority of traffic entering the project) would drive past Bull Creek Road and turn in front of our home to use the Jackson Ave right-in to access the project. It also says, that 2/3 of traffic leaving the project to head eastbound on 45th would use the Jackson right-out rather than Bull Creek Road. **This proposed road has not been engineered, designed, or had any feasibility study. So, how can it possibly be recommended?** The TIA also doesn't take into consideration additional traffic generated by altering regional traffic patterns by effectively connecting 35th/Mopac traffic past our home. I take every short-cut in Austin. Why won't everyone else do the same and use this Jackson Ave extension as a cut-through to Shoal Creek, Burnet Road, & Lamar Blvd to avoid the disaster that will be the 45th/Bull Creek intersection?



ARG Bull Cree
owned home.

Zoned SF-2

Deed Restrict
to be single
family
residential
only



It is the City's responsibility to take my family's safety into account. The prospects of seeing thousands of cars, trucks, and emergency vehicles use this proposed roadway next to my home creates a veritable nightmare for my family. The noise generated from cars and trucks accelerating and braking next to my home 24/7/365, feet away from our bedrooms, is not acceptable or fair to impose on my or anyone's family. This road calls for emergency vehicle access, which means police cars, fire trucks, & ambulances with lights and sirens driving past our bedrooms to reach thousands of residents, commercial traffic, and congregate care facilities at any hour of the day or night. This means hundreds if not thousands of headlights shining directly into the front, back, and side of my home at all hours of the night, in perpetuity. This means tons of vehicle exhaust pouring into our home, should we ever hope to open our windows again.

This is insane. This is unnecessary. Even the developer thinks so, saying in a recent [Austin Business Journal story on The Grove at Shoal Creek](#) that "this road is not critical to the project." **If this road is unnecessary, why then is the possibility of a roadway through an existing SF-2 home even being discussed in this PUD application?** We would love to see a great project eventually come to fruition within walking distance of our home, but this PUD has a very long way to go. This PUD doesn't need this road. This road would be a disaster for my family in every conceivable way possible, the damages impossible to calculate.

Please take this into account when deliberating your recommendations on where this PUD goes next. Please understand what is at stake. My kids are 6th generation Austinites. We don't want our family to be in a serious accident or have our health & safety compromised in order for everyone to understand why this is such a bad idea. Real estate development is all about having reasonable expectations and compatibilities for the property you want to develop given the natural constraints that exist. I think not wanting a road to be punched through next to your home is a pretty reasonable expectation.

Thank you for your time,

Ryder & Cat Jeanes
2629 W.45th Street

Ryder Jeanes
Senior Vice President | Austin

512-485-0888 | main
512-485-0830 | fax
512-485-0792 | direct
221 W. 6th Street
Suite 1030
Austin, TX 78701
rjeanes@theretailconnection.net
www.theretailconnection.net



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Allandale Neighborhood Association • Bryker Woods Neighborhood Association
Highland Park West / Balcones Area Neighborhood Association
Oakmont Heights Neighborhood Association • Ridgelea Neighborhood Association
Rosedale Neighborhood Association • Westminster Manor Association

TO: Mayor and Council
Mr. Rodney Gonzales, Director, Development Services Department
Mr. Rob Spillar, Director, Austin Transportation Department

RE: The Grove PUD Traffic Impact Analysis

The Bull Creek Road Coalition ("BCRC") sincerely appreciates the work of all City staff reviewing The Grove at Shoal Creek PUD zoning application ("Grove PUD"). Mr. Gonzales and Mr. Spillar provided a memo update on the traffic review to the Mayor and Council on May 9, 2016. This memo appears to be intended to address questions and concerns regarding the traffic review from the BCRC and residents surrounding the proposed development. However, we believe this memo fails to address the substance of these various concerns.

First and foremost, The Grove PUD is unprecedented in its traffic impacts and, therefore, deserves an unprecedented level of review. These traffic impacts include an unprecedented amount of traffic on Bull Creek Road. This 2-lane neighborhood street currently has about 7,000 trips per day, and with The Grove PUD it will have to handle over 26,000 vehicle trips per day. This congested residential street has a maximum desirable operating level of 4,000 trips per day per the City Code.

The Grove PUD proposes over **600%** of the maximum traffic level prescribed in City Code for residential collector streets like Bull Creek Road, and over **400%** of the maximum operating level per City Code on Jackson Avenue.

For these reasons alone, the TIA should be rejected by the Austin Transportation Department as City Code requires. Per the Land Development Code §25-6-141, "the council or director SHALL deny an application if the traffic impact analysis or neighborhood traffic analysis demonstrates that: (1) the projected traffic generated by the project, combined with existing traffic, exceeds the desirable operating level established in Section 25-6-116 (*Desirable Operating Levels for Certain Streets*)..."

However, after the March 22nd meeting between the applicant and department managers, the traffic review was apparently ended and the TIA was approved in contradiction with City Code requirements and with unresolved City traffic comments. This approval violates City Code, which specifically states that only the City Council has authority to override the Code limits, and even then only under specific circumstances.

Extension of Jackson Avenue Thru 2627 W 45th

The most significant outcome of the March 22nd meeting was the recommendation by City staff to demolish a single family home at 2627 W 45th for the extension of a new street. This extension of Jackson Avenue to 45th was unexpected to neighbors since, only a month earlier, City staff claimed "there is no direct vehicular connection planned or proposed at 2627 W 45th Street."



This street extension was also described by City staff as having “profound implications for the site’s traffic,” and “any proposal for this direct access would need to be proposed by the applicant and analyzed in the Traffic Impact Analysis in order to be approved with the PUD zoning application.” To this date, The Grove PUD’s TIA has not evaluated the impacts and implications of constructing this new street between 35th/Mopac and 45th.

The May 9th memo states that the “applicant provided an analysis of the 45th Street connection, and staff was able to determine this provided measurable improvement for traffic circulation.” The May 9th memo also compares the proposed street extension to “other local streets in the area.” We don’t believe this explanation is entirely accurate for the following reasons:

- The applicant’s TIA data – the basis of a traffic network analysis – indicates that the extension of Jackson Ave to 45th has not been properly studied for full network impacts.

City staff characterized the traffic model as “incomplete” the *same day* as the meeting between the applicant and department managers that resulted in the end of the traffic review and approval of the TIA.

- The cursory analysis provided in the applicant’s TIA shows that the only measurable benefit to the 45th Street connection is to the developer’s private driveways. In fact, the priority intersection of 45th Street and Bull Creek Road sees a *13% increase in vehicle delays* with the addition of the 45th Street connection.
- This street extension is anticipated to carry thousands of vehicles per day from a 3 million square foot mixed-use development. Surrounding local streets carry only hundreds of vehicles per day and serve mostly single-family homes, so the comparison of right-of-way requirements in the May 9th memo is not appropriate.

If the applicant’s cursory analysis indicates possible negative effects of the 45th Street extension and the TIA data file shows an incomplete network study, why would The Grove PUD’s TIA be approved and the traffic review ended based simply on the March 22nd meeting between the applicant and department managers?

The feasibility, safety, and geometric considerations of the street connection to 45th through the 2627 W 45th property has also been a significant concern of neighbors around The Grove PUD. City staff has recommended a “right-in/right-out” only approach to the new intersection with 45th. However, the proper due diligence has not been performed to ensure the feasibility and safety of such an intersection approach.

Industry guidance on right-in/right-out intersection approaches discourages this design when proper channelization cannot be achieved. City staff stated that the “preliminary design still needs to be submitted by the Applicant and reviewed by the City,” and they are “awaiting a response from the Applicant regarding these issues.” How can City staff approve the TIA and recommend this street extension through an existing home when nearly all aspects and consequences of this proposal remain unknown? We believe continued review and due diligence is absolutely warranted.



45th & Bull Creek Road Improvements

Most of City staff's review focused on the intersection of 45th and Bull Creek Road. Although traffic going to and from The Grove will need to drive through other neighborhood streets to get to Mopac, Burnet, or other activity corridors, the 45th and Bull Creek Road intersection is viewed as the most critical component of the traffic network surrounding the future development.

The following concerns remain regarding The Grove PUD's impact to this intersection:

- As recently as March 9th, City staff stated they "still have some significant issues to work through." However, after the March 22nd meeting between the applicant and department managers, and without any new proposals for this intersection, these concerns were apparently ignored and the TIA was approved.
- The applicant has yet to show they have the right-of-way or easements required to complete the proposed improvements. City staff echoed this concern when they stated "if the concept cannot accommodate all the intended transportation facility, the City might be left with an approved PUD with no ROW to build the road to accommodate the development."
- Both neighbors and City staff have expressed concerns about the applicant's proposed 45th and Bull Creek Road improvements relating to feasibility and safety. City staff previously described the proposed intersection improvements as a "non-standard design" and expressed concern about the ability of a "single-unit" truck to safely traverse the dual left-turn lanes. How will large trucks and buses get to and from The Grove PUD if they cannot safely travel through the expanded 45th and Bull Creek Road intersection?

These are only a few of the many significant concerns the BCRC and residents around The Grove at Shoal Creek have regarding the traffic impacts of the proposed PUD. For the City, having an incomplete traffic and transportation review of this PUD could lead to decades of avoidable and expensive traffic problems surrounding this development. For neighbors, having an incomplete traffic and transportation review of this PUD will impact the safety of our families' daily commutes to and from our homes and neighborhoods.

We implore City staff and Council to complete and enforce a comprehensive traffic review of this unprecedented PUD proposal and hold the applicant to the highest standards of superiority for recommendation and approval. Please keep in mind that once granted, the proposed PUD entitlements will be irrevocable; it does not make sense to grant this privilege *prior* to reviewing the intersections for compliance with the City's standards. The leverage to ensure that this gets done correctly only exists before the zoning is approved.

The Grove PUD includes over 2,100 residential units, 225,000 square feet of office, and 158,000 square feet of retail totaling to 3 million square feet of development on this former State tract surrounded by single-family home neighborhoods and 2-lane residential streets. The BCRC strongly believes that this level of development with limited connectivity, inadequate park space, and insufficient flood controls is

Mayor, Council, Gonzales, Spillar
RE: The Grove PUD Traffic Impact Analysis
May 19, 2016
Page 4 of 4



not compliant with Imagine Austin and needs to be scaled appropriately by City staff and Council in order to gain a superiority ranking and ultimate approval.

Please visit bcrcATX.org or contact bcrc_communications@googlegroups.com for more information.

We appreciate your consideration on this important matter,

/s/Sara Speights, President
/s/Grayson Cox, Vice President
Bull Creek Road Coalition

cc: Marc Ott, City Manager
Sue Edwards, Assistant City Manager
Robert Goode, Assistant City Manager

PUBLIC HEARING INFORMATION

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For additional information on the City of Austin's land development process, visit our website: www.austintexas.gov/planning.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

DICK KATHA GEBER

Your Name (please print)

39th + Bull Creek Rd

Your address(es) affected by this application

Dick K. Gebel

Signature

Daytime Telephone: 512 917 9510

Date

May 17, 2016

☐ I am in favor
☐ I object

Comments:

They people really know what they are doing. They will definitely build a quality product.

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-9743057 Planning

Public Hearing: May 17, 2016, Zoning and Planning Commission

A. Gernaat

Your Name (please print)

4330 Bull Creek Rd #4113

Your address(es) affected by this application

[Signature]

Signature

5/10/16

Date

Daytime Telephone:

Comments: Austin needs denser development to help keep our housing crisis from spiraling out of control. Just we end up like San Francisco - a great city only the wealthiest can actually live in. This rezoning gives a unique opportunity to increase density in Central Austin and should be approved.

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P.O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirvaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

LOKI HANSEN

Your Name (please print)

2603 GREAT OAKS PKWY

Your address(es) affected by this application

Ravi G. Hansen

Signature

5/13/16

Date

Daytime Telephone: 512-454-8826

Comments: The new development they want to put up at 45th & Bull Creek will be horrible for our neighborhood. Our traffic will increase on 45th St. and its already terrible, our taxes will increase on our homeowners insurance and they are already sky high and it will be a terrible eye sore.

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirvaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

DOUGLAS HANSEN

Your Name (please print)

2603 GREAT OAKS PKWY

Your address(es) affected by this application

AUSTIN, TX 78756

Doug Hansen

Signature

5-13-16

Date

Daytime Telephone: 512-589-8972

Comments: The construction of this

PUD will create horrendous
traffic issues in the Bull
Creek / School Creek / 45th St
neighborhoods. We already have
times where getting out of our
neighborhood is very difficult, and
this PUD will make it MUCH
WORSE!!

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

NONA GO 1d

Your Name (please print)

4507 Bull Creek Rd

Your address(es) affected by this application

Nona Hold

Signature

5-9-16

Date

Daytime Telephone: 512-343-1930

Comments:

City of Austin
 Planning & Zoning Department
 P.O. Box 1088
 Austin, TX 78767-8810

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Ryan Rathbone

Your Name (please print)

450 Finley Drive

Your address(es) affected by this application

5/11/15

Signature

Daytime Telephone: 512 534 1145

Comments: I object to the large size of the requested development. Too much traffic already @ bullcreek + 45th. + Finley + 45th. Dangerous intersection that won't be fixed as is with a horn lane. Not enough park space. too much office space. Wonders about safety, flooding, traffic. What the developer has proposed is ridiculous. In fact if what that space can comfortably fit + fit it with surrounding neighborhood. If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

being brought to a public hearing should be a version

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Daisy Wanda Garcia
Your Name (please print)

4505 Finley Dr

Your address(es) affected by this application

Sherri Sirwaitis 5-10-16
Signature Date

Daytime Telephone: 512 478 7612

Comments: I am against any develop
ment that will increase
the population density
and reduce impervious
ground cover

If you use this form to comment, it may be returned to:

City of Austin
Planning & Zoning Department
Sherri Sirwaitis
P. O. Box 1088
Austin, TX 78767-8810

PUBLIC HEARING INFORMATION

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Jill Sirwaitis
Your Name (please print)

☐ I am in favor
☒ I object

3818-A R. Agela Dr

Your address(es) affected by this application

[Signature]

Signature

Daytime Telephone: *512 576 9094*

Date: *5/10/16*

Comments:

Too much density!

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

KIM ZIPFEL

Your Name (please print)

4116 Idlewild Rd Austin TX 78734

Your address(es) affected by this application

K. Zipfel

Signature

9 May 2016

Date

Daytime Telephone: 512-739-4566

Comments: As the PUD application stands, we are all for a mixed use development but we would like to see much less office space and density, particularly because of its impact on traffic. We are also very concerned about drainage. We support a well-designed superior development.

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

ELC ZIPPEL

Your Name (please print)

Willie Lattin, 1111 Rte 78731

Your address(es) affected by this application

9 May 2016

Date

Signature

Daytime Telephone: 512-529-9728

Comments: Pro development, just don't think

current design is superior.

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Michael Varozia
Your Name (please print)

4000 Lake Wilb Rd 78731
Your address(es) affected by this application

Michael Varozia
Signature

5/10/16
Date

512 820 5203
Daytime Telephone:

Comments: I do not believe that the roads, schools and infrastructure in the area can support that type of development

Case C814-2015-0074

Attn: Sherri Sirwaitis

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Case Number: C814-2015-0074

Contact: Sherri Sirvaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Patty Collman
 Your Name (please print)

4209 Shoal Creek
 Your address(es) affected by this application

Patty Collman
 Signature

6-9-16
 Date

Daytime Telephone: (512) 371-9632

Comments:

☐ I am in favor
☒ I object

If you use this form to comment, it may be returned to:

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 Planning & Zoning Department
 Sherri Sirvaitis
 P. O. Box 1088
 Austin, TX 78767-8810

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Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

David A. Coffman

Your Name (please print)

4209 Shoal Creek Blvd

Your address(es) affected by this application

David A. Coffman

Signature

6-9-16

Date

Daytime Telephone: 512-371-9632

Comments: This development will

generate too much traffic.

I cannot spit my driveway

now with spillover from

McRae between 5 & 6 PM. The

Issue is a bad idea from

the start. You can bet that

the developer will not be

living there.

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P. O. Box 1088

Austin, TX 78767-8810

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Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

ELAINE R. PUSTING

Your Name (please print)

<input type="checkbox"/>	I am in favor
<input checked="" type="checkbox"/>	I object

2519 W. 45TH ST.

Your address(es) affected by this application

Elaine R. Pusting

Signature

9 MAY 2016

Date

Daytime Telephone: 512.454.9412

Comments: I OBJECT TO THIS ZONING REQUEST
DUE TO MY CONCERNS REGARDING THE
EFFECT TO MY PROPERTY'S VALUE, TO
THE SENSITIVE CREEK & WATERSHED
ENVIRONMENT, & TO MY PHYSICAL &
MENTAL WELL BEING DUE TO
CONSTRUCTION NOISE & INCONVENIENCE.
I AM ALSO CONCERNED ABOUT MY SAFETY
& PRIVACY DUE TO THE PROXIMITY OF
THE PROPOSED DEVELOPMENT TO MY
PROPERTY.

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Barbara Nichols

Your Name (please print)

4500 Erin Lane 78756

Your address(es) affected by this application

Barbara Nichols

Signature

Date

Daytime Telephone: (512) 657 7428 (cell)

5-9-16

☐ I am in favor
☒ I object

Comments: I am opposed to said development @ 45th + Bull Creek. The density of this development is not in-line with the neighborhood, nor is the ~~road~~ road adequate to deal with the traffic-congestion that will be produced. The land, in my opinion, did not receive the "super-majority" vote from City Council + the zoning did not go through processing that allowed neighbors affected to give input. There are far better city-wide uses for this beautiful land.

City of Austin

Planning & Zoning Department

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

BOB EDALTE N.A.
Your Name (please print) (CHRIS AULEN)

14010 W. 39 1/2 ST.

Your address(es) affected by this application

Signature

Daytime Telephone: 512-467-2880

Comments: RNA OPPOSES THE CURRENT

MUEBENTON PROPOSAL, AND SUPPORTS
THE BPC'S EFFORTS TO NEGOTIATE
A BETTER OUTCOME FOR THIS UNIQUE
SITE.

THANK YOU!

CHRIS AULEN

CO-CHAIR, RNA ZONING COMM.

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Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

EDWARD R. KATHGEBER

Your Name (please print)

EDWARD R. KATHGEBER

☒ I am in favor
☐ I object

Your address(es) affected by this application

SAME AS ABOVE (3 lots)

Signature

Date

Daytime Telephone: 512 917 9510

Comments:

AN EXCELLENT PROSPECT
BEING DONE BY EXCELLENT
PEOPLES.

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Lori Hansen
Your Name (please print)

2603 Great Oaks Pkwy - 78756

Your address(es) affected by this application

Lori Hansen

Signature

Daytime Telephone: 512-589-8972

Date

12/8/15

☐ I am in favor
☒ I object

Comments: This New Development will
cause Tremendous TRAFFIC Issues
on Shoal Creek and on 45th St. It
is UNSAFE ALREADY During Heavy traffic,
To Exit off of Great Oaks to go NORTH
on Shoal Creek. Also, increase traffic
may cause people to "cut through" on
Great Oaks Pkwy between Shoal Creek
and 45th St (Both ways)!!

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Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

H. Arnold

2417 WOOLDRIDGE DRIVE
AUSTIN, TEXAS 78703

Planning & Zoning Department
Sherri Sirwaitis
PO Box 1088
Austin, TX 78767-8810
CASE: C814-2015-0074

Why do bother to send an announcement
for a public hearing.

You have already made up your mind
to go ahead with this awful
project.

Have you considered the traffic that
will be on 45th and Shoal Creek.
Multiply the number of homes by
3 for example. That will give you an
estimate of how many people and vehicles
extra that will be on the roads.

Austin has become so greedy that it
will sell anything to the highest bidder.

Helen G Arnold

I OBJECT

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Valerie L. Wenger

Your Name (please print)

2804 W 45th St

Your address(es) affected by this application

Valerie Wenger

Signature

512-916-5315

Daytime Telephone:

11/25/15

Date

☐ I am in favor
☒ I object

Comments: The proposed development contains too much commercial development for a residential neighborhood. The development is too dense for a residential neighborhood. The neighborhood can't handle the increased traffic.

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Mike VAREZZA

Your Name (please print)

4000 Idlewild Rd Austin TX

Your address(es) affected by this application

[Signature]

Signature

11/24/15

Date

Daytime Telephone: 512 249 8004

Comments: I do not believe the infrastructure around the PUD is sufficient to handle the increase in residences. For example sewer, roads, schools, etc.

☐ I am in favor
☒ I object

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

PUBLIC HEARING INFORMATION

This zoning/rezoning request will be reviewed and acted upon at two public hearings: before the Land Use Commission and the City Council. Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During its public hearing, the board or commission may postpone or continue an application's hearing to a later date, or may evaluate the City staff's recommendation and public input forwarding its own recommendation to the City Council. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

During its public hearing, the City Council may grant or deny a zoning request, or rezone the land to a less intensive zoning than requested but in no case will it grant a more intensive zoning.

However, in order to allow for mixed use development, the Council may add the MIXED USE (MU) COMBINING DISTRICT to certain commercial districts. The MU Combining District simply allows residential uses in addition to those uses already allowed in the seven commercial zoning districts. As a result, the MU Combining District allows the combination of office, retail, commercial, and residential uses within a single development.

For additional information on the City of Austin's land development process, visit our website: www.austintexas.gov/planning.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Charlotte Cooper
Your Name (please print)

☐ I am in favor
☒ I object

4003 Ridgela
Your address(es) affected by this application

Charlotte Cooper
Signature

11-28-15
Date

Daytime Telephone: 512 454 0663

Comments: Developer must work in
good faith with the adjacent
neighborhoods - Not
other special interests

If you use this form to comment, it may be returned to:

City of Austin
Planning & Zoning Department
Sherri Sirwaitis
P. O. Box 1088
Austin, TX 78767-8810

PUBLIC HEARING INFORMATION

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Eary Cooper
Your Name (please print)

☐ I am in favor
☒ I object

4003 Ridgelen
Your address(es) affected by this application

Jm
Signature

11-28-15
Date

Daytime Telephone: 512 4540663

Comments: Failure to work as good faith with adjacent neighbor

If you use this form to comment, it may be returned to:

City of Austin
Planning & Zoning Department
Sherri Sirwaitis
P. O. Box 1088
Austin, TX 78767-8810

PUBLIC HEARING INFORMATION

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Barbara Nichols

Your Name (please print)

4500 Erin Lane 78756

Your address(es) affected by this application

Barbara Nichols

Signature

Daytime Telephone: (512) 6577428

Date

11-23-15

☐ I am in favor
☒ I object

Comments: I feel the density particularly of businesses designated as bars, is not conducive to the adjacent neighborhood's safety. I also feel the traffic from this development is too great for 45th and other roads to manage. A lesser dense project, or park, would be a better fit for maintaining our neighborhood's integrity.

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

PUBLIC HEARING INFORMATION

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

David & Patty Coffman
Your Name (please print)

4209 Shoal Creek Blvd

Your address(es) affected by this application

David Coffman Patty Coffman 11-24-15
Signature Date

Daytime Telephone: (512) 371-9632

Comments:

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

Sirwaitis, Sherri

From: Ryan Nill [REDACTED]
Sent: Monday, November 30, 2015 5:02 PM
To: Rojas, Gabriel - BC; Breithaupt, Dustin - BC; Denkler, Ann - BC; Evans, Bruce - BC; Flores, Yvette - BC; Goodman, Jackie - BC; Harris, Susan - BC; Kiolbassa, Jolene - BC; Lavani, Sunil - BC; Weber, Thomas - BC
Cc: Sirwaitis, Sherri
Subject: In support of The Grove

Dear Commissioners,

I hope you support extending the Planned Unit Development (PUD) application deadline for the The Grove at Shoal Creek, located near 45th and Bull Creek. This site is an opportunity to develop high-quality affordable housing in a location with unprecedented opportunity and access to amenities.

The development group ARG Bull Creek plans to offer 180 affordable units. These units will be located in a high opportunity area where no affordable housing currently exists. Locating affordable housing in areas where all income levels are represented greatly increases social mobility. Residents have access to better jobs and amenities such as parks and transit that improve their quality of life. According to the landmark 1994 Moving to Opportunity study sponsored by HUD, social and academic outcomes of low-income children located in high-income neighborhoods are markedly better than those of similar-income children raised in areas of concentrated poverty.

The mixed use nature of this development offers many opportunities that I would like to see distributed across class lines. They include:

- A walkable, bikeable neighborhood near transit. Recent studies show that the average total cost of ownership of a car is \$9000 annually, which is beyond the means of many of Austin's residents.

- Access to a 17-acre park. Quality park space has been show to have a positive effect on physical and mental health.

- A forward-looking, mixed used development that takes to heart the "complete communities" envisioned in the Imagine Austin comprehensive plan.

While I am certainly appreciative of being able to attend and provide input at community meetings, residential design charrettes, transit charrettes, neighborhood meetings, and park block parties; all these meeting and events are not cheap. Obligating city staff; the developer; and the many neighborhood, park, transit, and housing advocates to go through this process again by not extending the application deadline will be a waste of time and community resources. Additionally, this will contribute to the ultimate costs of development, which will inevitably be passed on to residents. If we burden ARG Bull Creek with significant additional costs, it will eliminate the feasibility of providing affordable housing in this development. If we instead facilitate the creation of affordable units we can create a high-opportunity environment for 180 households whose options are otherwise very limited in our current climate of de facto economic segregation.

Sincerely,

Ryan Nill

Friends of the Grove

Sirwaitis, Sherri

From: Margaret Powis [REDACTED]
Sent: Monday, September 21, 2015 8:25 AM
To: Sirwaitis, Sherri
Subject: Development at Bull Creek Road and 45th Street

21 September 2015

Dear Ms Sirwaitis,

Could you please put my letter in the back-up for the Zoning and Platting Commissioners and the City Council?

I am a resident of Rosedale and I'm writing to express my concern about the upcoming development of the old Tx Dot property at the corner of 45th and Bull Creek Road. Specifically I am concerned about the following:

- a) Development density
- b) Park space
- c) Drainage

The proposed population of the new development will put a huge strain on the existing roads. There is only one street (Bull Creek Road) that the development (The Grove) will be able to use for an exit and entrance. Bull Creek Road is a two lane road in a residential neighborhood that was never intended to carry the proposed amount of traffic. The Grove is going to create a huge strain on the existing roads, and the traffic will inevitably spill into the residential neighborhoods. Additionally there has been a request for a large number of cocktail lounges at the development. This would not fit the existing neighborhood residential character and would create even more problems.

The park space as proposed by the developer is inadequate. Much of the area is unusable as park (or building) space. The portion abutting Shoal Creek is steeply sloped and not viable as a park. The proposed wet pond covers one acre, and (unless you walk on water) is likewise unusable. The remainder is a much smaller space, far less than the thirteen acres the developers claim to be setting aside.

The area abutting the Ridgelea neighborhood, roughly on the western side of Ridgelea has a berm I would estimate to be approximately five feet high. Because the Bull Creek property slopes down to Shoal Creek the run off from the Oakmont neighborhood moves towards Shoal Creek and Ridgelea. Without that berm Ridgelea will be inundated when heavy rains occur. At present the developer proposes putting in a row of houses right up to the Ridgelea boundary, presumably destroying the berm. The inevitable result will be flooding in Ridgelea. The amount of run off is going to be considerably increased with additional impervious cover and great care needs to be exercised to ensure that the drainage issues are resolved in order not to exacerbate the existing flood issues.

I request the Planning and Zoning Commission review the developer's plans very carefully and make the necessary adjustments to avoid future problems

Sincerely
Margaret Powis

Sirwaitis, Sherri

From: Lynn Boswell [lynn@villitamedia.com]
Sent: Tuesday, July 14, 2015 9:30 AM
To: info@thegroveatshoalcreek.com
Cc: Sirwaitis, Sherri
Subject: off-leash area at The Grove

Dear Milestone:

I am writing to share my strong interest in an off-leash area at The Grove, your new development in central Austin. I have lived in the area for about 15 years and have always enjoyed walking my dogs on the property and using the area for recreation with my family and two children. While I understand that development is inevitable, I also hope that the longstanding use of the park as an area for recreation — and specifically as an area for dogs — will find a place within your new development.

Austin has a major shortage of off-leash areas for dogs — especially fenced off-leash areas of substantial size — and including that in your plans for development would add a major amenity. I also believe strongly that it would serve as a draw for Austin dog owners, bringing them to The Grove, introducing them to other amenities there and giving them a reason to patronize businesses there when they come with their dogs and at other times, as well.

If there were a fenced off-leash area of at least a couple of acres, I would be there regularly. And I would likely often include errands and dining in my trips to The Grove as a result. With an off-leash dog park, I am confident that both I and many other area dog owners will be drawn to the other amenities you are developing there. Without a substantial off-leash area, I suspect it will not be a development I use often. (The Triangle is near my home, as well, and I almost never patronize businesses there other than the farmer's market because it misses the mark in almost every way — difficult parking, an idea of mixed use that requires you to drive to it, an odd mix of businesses and virtually no green space. By contrast, I spend a great deal of time and money at the development where Central Market is located, shopping at almost every store there at one point or another and spending many hours with my kids in the beautiful and large park there.)

I spent many years living in Manhattan (with two big dogs) and saw the community that dog parks help build there. New York's dog parks are routinely fenced — a feature that is rare in Austin. Fences enhance safety for both dogs and people, and create a draw for parents and young children who often enjoy watching the dogs play from outside the fence. I would suggest, as a possible model, the off-leash area at Hardberger Park in San Antonio. Hardberger Park is a relatively new park in an affluent area of San Antonio. It is across the street from a large shopping center that includes an HEB, shops, restaurants and office space. And it has been a major success. I know people who travel from other parts of the city to spend time at the park's off-leash area. You can see more about their dog park here: <http://www.philhardbergerpark.org/visit/play-here/dog-park>

Thank you for your time. I hope you will consider this request on behalf of me, my dogs and the thousands of other Austin dog owners who would love to have an off-leash area included in your new development.

Truly,

Lynn

Lynn Boswell
512 694-2896

July 10, 2015

Carolyn Mixon
4616 Chiappero Trail
Austin, Texas 78731

RE: The Grove at Shoal Creek; City File No. C814-2015-0074;
Initial Response to Letter from Certain Shoalmont Property Owners dated June 26, 2015

Dear Ms. Mixon:

Thank you for your letter dated June 26, 2015. We want you and your neighbors to know that we greatly respect the concerns and priorities referenced in your letter, and we would be very happy and grateful for the chance to meet with you all further to discuss the issues you raise. Please know that we will carefully consider each of the items you mention.

While we can certainly discuss the contents of your letter further in such a meeting, I would like to clarify and respond to a few comments made in your letter now for the record, especially since some in the community have made some similar comments.

1. You mention in your letter that our plan is similar to or more intensive than the Mueller development in its retail and office component, and is similar to the Triangle development with respect to residential. With all due respect, that is not factually correct for several reasons. Although, the Mueller and Triangle Projects are also mixed-use, urban infill projects, they actually have entitlements for a lot more intensity than The Grove at Shoal Creek, while The Grove will have comparable amounts of park space as a percentage of site area (actually more than Mueller) and will have better quality park space than the Triangle (much of which is not useable and was not donated but bought by the City for \$3.2 million). Mueller is entitled for more than 5.3 million square feet of non-residential uses. It is also entitled for 6,450 residential units. It is nearly 700 acres and is a regional power center that is appropriately located on major arterials adjacent to I-35. Mueller is unlikely to use those entitlements, as they entitle more building area than Mueller will be able to fit within the project, much like the case will be at The Grove. The table below is based on the entitlements approved for Mueller and the Triangle according to City records and the entitlements proposed for The Grove at Shoal Creek:

	<u>Mueller</u>	<u>The Triangle</u>	<u>The Grove</u>
Commercial and Non-Residential Development (Office/ Retail/ Hospital, etc.)	5,300,000 sf/ 7,728 sf per acre	170,000 sf/ 7,343 sf per acre	375,000 sf/ 4,951 sf per acre (35.5% less than Mueller and 32.5% less than the Triangle)
Residential Development	6,450 units/ 9.35 units per acre	859 units/ 37.11 units per acre	1515/ 20 units per acre (46.1% less than the Triangle)
Park Space	140 acres/ 20.2%	6.02 acres/ 26% (but only limited usability and paid for by the City)	17.00 acres/ 22.45%

As you can see, The Grove at Shoal Creek will have entitlements for *far less* commercial development per acre than Mueller and *far less* residential units per acre than the Triangle.

Incidentally, both the Triangle and Mueller were heavily subsidized by the City of Austin. Mueller is being developed with City owned land that has been *contributed* to that project, and has had 100% of the taxes generated from the site to date (and for the immediate future) being used to fund infrastructure for the project that a developer usually pays. The Triangle received \$6,683,957.00 in fee waivers (without providing *any* affordable housing on-site or fees in lieu thereof), cost re-imbursement for *on-site* utility facilities (as opposed to off-site), City funded improvements, fund transfers from the City, and City general fund transfers for the streets in the Triangle and the park space provided by the Triangle. The Grove proposes less intensity with a comparable amount of high quality park space, *without* these City subsidies. In fact, the City paid \$3,200,000.00 just for the Triangle's park space, whereas The Grove proposes its park space to be fully public space at no cost to the City.

2. We do feel that the amount and quality of the park space that will be provided in the project is very, very substantial, especially (1) when compared to the heavily City subsidized projects described above, (2) when compared to the size of other area parks, (3) considering the fact that most new central city developments (because of size) simply pay a parkland fee instead of actually providing parkland, and (4) considering the fact that high quality park improvements here will be fully funded and maintained by the project and not the City. We also feel that we have planned excellent access to the park space through the green streets program detailed in our public presentations and through the future connection to the Shoal Creek Trail to the Ridglea Neighborhood. Having said that, we are *very* willing to work with the community to improve our park space plan and we look forward to doing so.

I do disagree with you, however, on the analogy to the Mueller Greenways buffer. We feel that buffer is not at all comparable. The Mueller buffer was provided in a highly City subsidized project and was relatively easy to provide and plan for when you consider that Mueller is 700 acres in size (the buffer is relatively insignificant given the size of the tract). The Grove does not have the benefit of massive City subsidies and is smaller and is proportionately less able to set aside such a large buffer. More importantly, the Mueller buffer buffered existing single-family homes from very intense regional, commercial development and large, dense 4 and 5 story apartment buildings – uses that are not generally considered to be compatible adjacent to single-family. Since our site is smaller, we chose instead to develop the area along the northern boundary with *compatible* uses instead of incompatible uses. Our plan is to provide compatible townhome or detached single-family units along our northern property line. In fact, we would actually *exceed* City compatibility standards in the first 200 feet for townhomes. Such compatible uses and developments do not need large buffers as evidenced in neighborhoods throughout the City and in the City's Code. As to this buffer providing accessibility to the park space, again we believe that we have provided excellent accessibility, but we are always willing to discuss further how to improve accessibility in an economically viable way that is of benefit to the broader neighborhood and not just a select few.

3. Please know that we understand your concerns with respect to the proposed vehicular access to 45th Street and we are willing to discuss this further with you all. This access came to be included because we sought a way to get pedestrians and bicyclists across 45th Street safely as near to Shoal Creek as we could and in response to community input that we had received, especially from Rosedale and their desire to have better access to the project. In order to do so, we had to acquire a home which was never part of our original plans. That home was very expensive. In order to justify this new land

cost which was not planned for, we need the access to provide more utility to the project than just serving pedestrians and bicyclists. We believe that we can improve circulation and develop a design that is sensitive to the existing neighborhood. We were hoping that we were doing a good thing for the community in response to input we received by acquiring that land, which we did not own and was not part of our original plans. If the vehicular access is objectionable and cannot be made acceptable, then we are willing to consider abandoning our plans to use this lot for any form of access (including bike and pedestrian) and simply allow the lot to continue to be used as a home. In that case, we will continue to work with the community on other ways to maximize and enhance pedestrian and bicycle access to the project. We would, however, like to discuss this further with you and your neighbors before ultimately concluding to eliminate this access point.

4. As to the corner parcel, please know that we are willing to discuss this further with you all. Our intention was not necessarily to use this site as restaurant but more as a high quality, architecturally interesting building that really introduces the public to the project. We are happy to entertain suggestions of uses on this parcel that would be viable from a market perspective and less intensive from a neighborhood perspective.

We remain excited about The Grove at Shoal Creek because it represents a chance to fulfill the community expressed vision for the property and meet the goals of Imagine Austin by providing compact and connected development that increases both the supply and diversity of housing options in the central city. We know there are still important details to be addressed and we hope that these can be addressed through collaboration. In that regard, we very much appreciate both your comments and your willingness to meet and work on the issues you have raised.

We will be contacting you soon to set up a meeting. Thank you for your thoughtful attention to and consideration of this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Garrett Martin', with a stylized flourish at the end.

Garrett Martin, Manager/ Member
ARG Bull Creek, LTD

cc: Mayor and Council Members, City of Austin
Greg Guernsey, Jerry Rusthoven and Sherri Sirwaitis, City of Austin Planning & Zoning
Department
Bull Creek Road Coalition

June 26, 2015

To: Jerry Rusthoven, COA Department of Planning and Zoning

From: Shoalmont Property Owners (includes all houses on the following streets which are owner-occupied)

2600-2607 LaRonde

4500-4713 Chiappero

4500-4707 Oakmont

4500-4807 Finley

2600-2615 W. 48th

Neighborhood Contact: Carolyn Mixon

4616 Chiappero Trl

Austin, TX 78731

[REDACTED] 512-423-0650

Re: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"

COA Case # CD-2015-0009

PUD Application # C814-2015-0074

We are sending you a copy of our neighborhood letter outlining our concerns and priorities regarding the proposed Milestone project at 45th and Bull Creek. We would greatly appreciate it if you would take these into consideration as you make decisions regarding the development plans submitted by Milestone. We are not opposed to the development of the property, but the scope of the development is too large for the streets serving it and does not fit with the character of the surrounding neighborhoods.

Of 107 owner-occupied houses on the surveyed streets, owners (1-2) of 50 houses have signed this letter in support of greatly reducing the density of Milestone's project and increasing greenspace and buffer zone. Prior to signing, all owners received information about the development compared to other similar central Austin developments and copy of letter. Most of those who wished to sign contacted me (Carolyn Mixon) while others were obtained by knocking on doors. Due to time constraints, approximately 57 doors were not approached for signing, and it cannot be assumed that they are not in favor of the letter's content. On the contrary, those approached who had not previously contacted me were overwhelmingly in favor of a reduction of this project.

Thank you for your time and consideration.

June 26, 2015

To: Sherri Sirwaitis, COA Department of Planning and Zoning

From: Shoalmont Property Owners (includes all houses on the following streets which are owner-occupied)

2600-2607 LaRonde

4500-4713 Chiappero

4500-4707 Oakmont

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2600-2615 W. 48th

Neighborhood Contact: Carolyn Mixon

4616 Chiappero Trl

Austin, TX 78731

pcmom54@yahoo.com 512-423-0650

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COA Case # CD-2015-0009

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Thank you for your time and consideration.

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009, PUD Application # C814-2015-0074

Mr. Martin,

As homeowners in the Shoalmont neighborhood and specifically as homeowners on Chiappero, W. 48th, Oakmont, Finley, and La Ronde, we are contacting you about our priorities regarding Milestone's proposed multi-use development "The Grove at Shoal Creek". Many of us have attended your public meetings and provided input via your surveys. We appreciated your attendance at our neighborhood meeting at NW Recreation Center but would like to more clearly outline our concerns and priorities as residents of the aforementioned streets which connect to W. 45th.

We have similar concerns and priorities as the W. 45th St. homeowners who have been in communication with you, and we would appreciate your careful consideration of these:

1. While your conclusion from the collected surveys is that 67% of residents prefer high-density and more open space, we oppose your plan to put 150,000 SF of retail (more than 1.5x Mueller), 225,000 SF of offices (roughly equivalent to Mueller), and 1010 apartments/condos (similar to Triangle) in addition to a hotel, hospital, and single-family housing in the middle of our neighborhoods. Mueller and the Triangle are not surrounded by single-family neighborhoods immediately adjacent to the properties (with the exception of Delwood) as is The Grove. They are served by major, multi-lane arterial streets which have long handled commercial, delivery and office traffic. Your proposal to widen the 45th/Bull Creek intersection at the expense of trees and residents' yards/homes will do little to help the extraordinary amount of car and delivery truck traffic that your project will generate both day and night on our residential part of W. 45th between Burnet Rd. and Bull Creek. We believe that the proposed office and retail density should be cut at least in half.

2. Regarding open space, it is clear that you believe the 12-acre signature park together with plazas and curbside beds is more than adequate compensation for the commercialization of our neighborhoods and the traffic problems that we will experience. We strongly support a greenbelt buffer of similar scope as that of the Mueller Greenways which separate the Delwood neighborhood from the development. This would also make the open space more accessible to our neighborhood as the currently proposed "signature" park is buried behind the whole project. This is not unprecedented or unacceptable in the urban core as the Mueller Greenways are a prime example of how quiet, long-time neighborhoods can be buffered from a larger, high-density development with positive effects for all.

3. We strongly oppose any access other than walking/biking to The Grove from midpoints on W. 45th and in particular, a street through the 2627 W. 45th property that your company has purchased for that purpose. This property would best be suited for pedestrian and bicycle connectivity between the previously-described greenway, Rosedale and our neighborhood to the north. Any car access/exit at midpoints of W. 45th between the Shoal Creek bridge and Bull Creek together with the increased volume of traffic that your development will produce will exacerbate the already dangerous situation that we have at peak rush hours in attempting to exit our neighborhood onto W. 45th and entering our streets from W. 45th.

4. We understand from your presentations that you envision a restaurant or other commercial establishment at the corner of Bull Creek and W. 45th. We would urge you to reconsider this plan as it will only increase the traffic congestion at the intersection and increase noise levels for neighbors. Again, the previously discussed greenway buffer would be a better choice for this section as it would also provide neighborhood access to the open space without having to navigate through the proposed residential and commercial development.

In the public meetings, you have spoken frequently of the need for compromise. We believe that your company could compromise with us to make our priorities a reality while still realizing an economically-viable project for your company. We would appreciate your genuine consideration of our priorities and look forward to constructive communication. We would like to request a meeting with you in the near future to discuss these topics further.

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero, W. 48th, Oakmont, Finley, and La Ronde

Shoalmont Property Owners (includes all houses on the following streets which are owner-occupied)

2600-2607 LaRonde
4500-4713 Chiappero
4500-4707 Oakmont
4500-4807 Finley
2600-2615 W. 48th

Neighborhood Contact: Carolyn Mixon

4616 Chiappero Trl

Austin, TX 78731

pcmom54@yahoo.com 512-423-0650

NOTE:

Of 107 owner-occupied houses on the surveyed streets, owners (1-2) of 50 houses have signed this letter in support of greatly reducing the density of Milestone's project and increasing greenspace and buffer zone. Prior to signing, all owners received information about the development compared to other similar central Austin developments and copy of letter. Most of those who wished to sign contacted me (Carolyn Mixon) while others were obtained by knocking on doors. Due to time

constraints, approximately 57 doors were not approached for signing, and it cannot be assumed that they are not in favor of the letter's content. On the contrary, those approached who had not previously contacted me were overwhelmingly in favor of a reduction of this project.

cc: Sheri Gallo, Council Member, City of Austin District 10
Leslie Pool, Council Member, City of Austin District 7
Steve Adler, Mayor, City of Austin
Kathie Tovo, Mayor Pro-tem and Council Member, City of Austin District 9
Ora Houston, Council Member, City of Austin District 1
Delia Garza, Council Member, City of Austin District 2
Sabino "Pio" Renteria, Council Member, City of Austin District 3
Gregorio Casar, Council Member, City of Austin District 4
Ann Kitchen, Council Member, City of Austin District 5
Don Zimmerman, Council Member, City of Austin District 6
Ellen Troxclair, Council Member, City of Austin District 8
Sherri Sirwaitis, Case Manager, City of Austin Department of Planning and Zoning
Jerry Rusthoven, Case Manager, City of Austin Department of Planning and Zoning
Kathleen Fox, City of Austin Comprehensive Planning
Marilyn Shashoua, City of Austin PARD Planning and Design Review
Bryan Golden, City of Austin Transportation
Bull Creek Road Coalition (via listserv email distribution)

June 26, 2015

ATTN: Garrett Martin, President and CEO

Milestone Community Builders, LLC

ARG Bull Creek, LTD

9111 Jollyville Road, Suite 111

Austin, Texas 78759


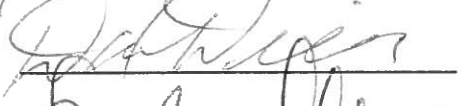
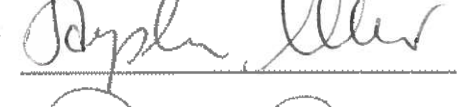
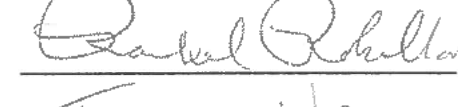


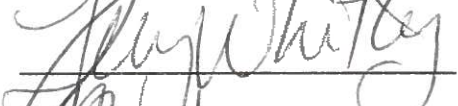
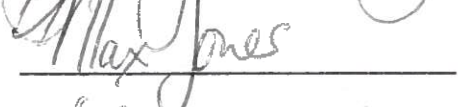




RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"

COA Case Number CD-2015-0009

PuD # C 814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero Trl and W. 48th, 78731

PRINT NAME	SIGNATURE	ADDRESS
Jan Triplett		4605 Chiappero Tr
Dor Dixon		4605 Chiappero Tr
STEPHAN Hilvers		4702 - 4 -
R. Robillard		4703
Tracey Vaught		4707 Chiappero Tr
Jimmy Vaught		11
Tracey Whitley		4502 Chiappero Trail
Max Jones		4502 Chiappero Trail
A.S. McNEILL		4504 CHIAPPERO TR 4506 - rental owned by 452
Scott A. Samuelson		4615 Chiappero Tr
Donna Samuelson		" " "
MILAI SIRBU		4711 CHIAPPERO TRL

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD # C 814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero Trl and W. 48th, 78731

PRINT NAME	SIGNATURE	ADDRESS
<u>Carolyn Nixon</u>	<u>Carolyn Nixon</u>	<u>4666 Chiappero Trl.</u>
<u>Eddie Nixon</u>	<u>Eddie Nixon</u>	<u>4666 Chiappero Trl.</u>
<u>Susan Tarrett</u>	<u>Susan Tarrett</u>	<u>4101 Chiappero Trl.</u>
<u>Mary Holman</u>	<u>Mary Holman</u>	<u>2604 West 48th St</u>
<u>Jim Lyons</u>	<u>Jim Lyons</u>	<u>2604 W. 48th St</u>
<u>Julia O. Willhite</u>	<u>Julia O. Willhite</u>	<u>4601 Chiappero ^{Trail}</u>
<u>Mary Blackstock</u>	<u>Mary Blackstock</u>	<u>2607 La Ronde</u>
<u>Todd Thompson</u>	<u>Todd Thompson</u>	<u>2602 La Ronde St.</u>
<u>Ashley Thompson</u>	<u>Ashley Thompson</u>	<u>2602 La Ronde St.</u>
<u>Inger Auerstreet</u>	<u>Inger Auerstreet</u>	<u>2603 La Ronde St.</u>

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

COA Case Number CD-2015-0009

Sincerely,

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COA Case Number CD-2015-0009

PUD # C814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero Trl and W. 48th, 78731

PRINT NAME

SIGNATURE

ADDRESS

JAIRAM KALYANA-
SUNDARAM

Edison

4508 CHIAPPERO
TRAIL, AUSTIN, TX
78731

NANDINI JAIRAM

Nandini Jairam

4508 CHIAPPERO TRL
AUSTIN, TX 78731

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111


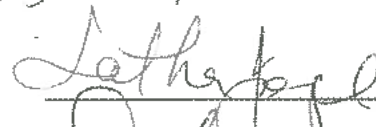
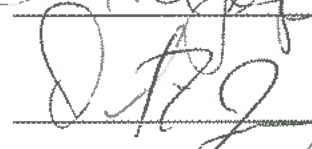
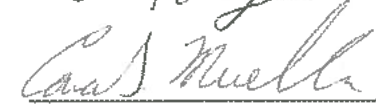
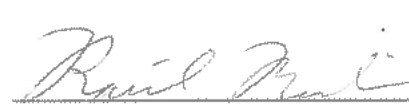
June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD # C814-2015-0074

Sincerely,


The Undersigned Shoalmont Property Owners of Chiappero Trl and W. 48th, 78731

PRINT NAME	SIGNATURE	ADDRESS
DAVID MORRIS		78731 2606 W 48TH AUSTIN TX
Latha Joyce		2612 W. 48th St., 78731
Don Joyce		2612 W. 48th St. 78731
Cara Mueller		2615 W. 48th St. 78731
Raul Madrid		4704 Chiappero Tr. 78731

In the public meetings, you have spoken frequently of the need for compromise. We believe that your company could compromise with us to make our priorities a reality while still realizing an economically-viable project for your company. We would appreciate your genuine consideration of our priorities and look forward to constructive communication. We would like to request a meeting with you in the near future to discuss these topics further.

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero, Oakmont, Finley, and La Ronde

2601 W. 48th
78731

Anne Vargas Pa
Anne Vargas Pa

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"

COA Case Number CD-2015-0009
PUD # C814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of **Oakmont, 78731**

PRINT NAME

SIGNATURE

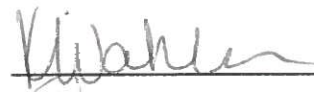
ADDRESS

MEISSA MONROE



4613 OAKMONT BLVD

Kathryn Wahlers



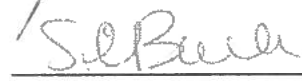
4702 Oakmont Blvd

~~JOHNATHAN WATERS~~



4704 OAKMONT DR

Suzanna Barber



4500 Oakmont

Lea Sandoz

LEA SANDOZ

4616 OAKMONT

Tim Sorells



4707 Oakmont





4504 Oakmont

Molly Birrell



4509 Oakmont

Laurie Kertz



4601 Oakmont

Brendon Green



4602 OAKMONT

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD #0814 - 2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of **Oakmont, 78731**

PRINT NAME	SIGNATURE	ADDRESS
<u>Sarah Angulo</u>	<u>Sarah K. Angulo</u>	<u>4703 Oakmont</u>
<u>Jorge Angulo</u>	<u>[Signature]</u>	<u>4703 Oakmont</u>
<u>Holly Atlas</u>	<u>Holly Atlas</u>	<u>4705 Oakmont</u>
<u>Mary Cone</u>	<u>Mary Cone</u>	<u>4605 Oakmont</u>
<u>Bill Cone</u>	<u>Bill Cone</u>	<u>4605 Oakmont</u>
<u>Leslie Thomas Osgood</u>	<u>Leslie Thomas Osgood</u>	<u>4607 Oakmont</u>
<u>Damon Osgood</u>	<u>Damon Osgood</u>	<u>4607 Oakmont</u>
<u>Malin Lindelow</u>	<u>Malin Lindelow</u>	<u>4508 Oakmont</u>
<u>JAYSON COOK</u>	<u>[Signature]</u>	<u>4508 OAKMONT</u>
<u>Susan Hillman</u>	<u>[Signature]</u>	<u>4706 Oakmont Blvd</u>

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD # C 814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Finley, 78731

PRINT NAME	SIGNATURE	ADDRESS
<u>Lillian Kay Cowan</u>	<u>Lillian Kay Cowan</u>	<u>4611 Finley Drive</u>
<u>Erin Friedman</u>	<u>Erin Friedman</u>	<u>4806 Finley Dr.</u>
<u>Craig Friedman</u>	<u>Craig Friedman</u>	<u>4806 Finley Dr.</u>
<u>KAREN GATTO</u>	<u>Karen Gatto</u>	<u>4503 Finley Dr.</u>
<u>Janet Gatto</u>	<u>Janet Gatto</u>	<u>4503 Finley Dr.</u>
<u>GERI MALDONADO</u>	<u>Geri Maldonado</u>	<u>4707 Finley Dr.</u>
<u>Eddie Russ</u>	<u>Eddie Russ</u>	<u>4703 Finley Dr.</u>
<u>Jessica Glorieux</u>	<u>Jessica Glorieux</u>	<u>4700 Finley Dr.</u>
<u>Jessica Stathos</u>	<u>Jessica Stathos</u>	<u>4410 Finley Dr.</u>
<u>Ryan Stathos</u>	<u>Ryan Stathos</u>	<u>4410 Finley Drive</u>

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759




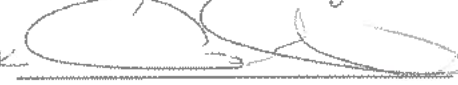
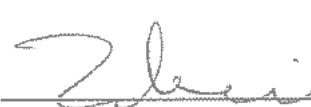
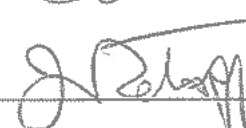
RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"

COA Case Number CD-2015-0009-

PUD # C 814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Finley, 78731

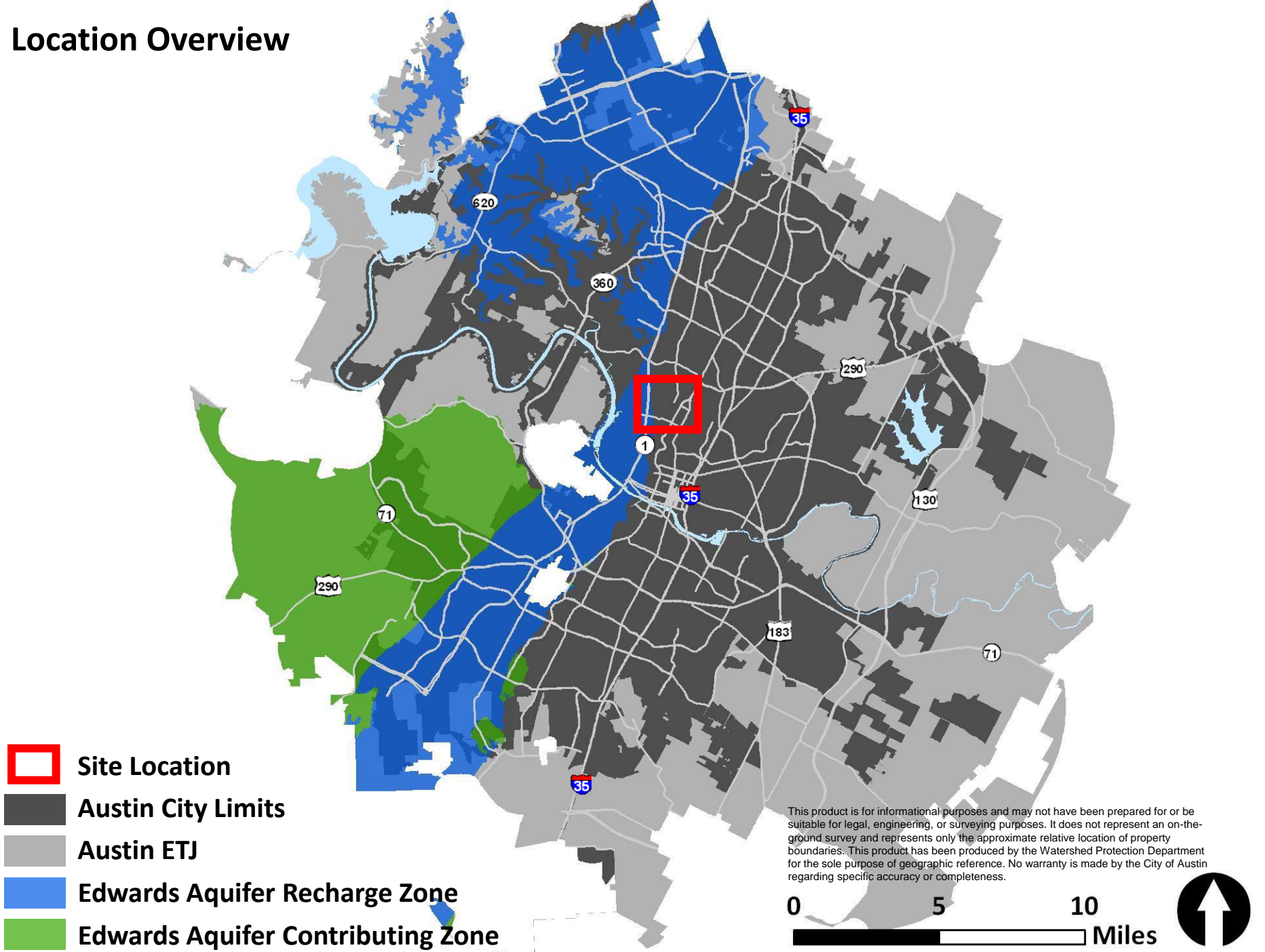
PRINT NAME	SIGNATURE	ADDRESS
Ryann Rathbone		4510 Finley Drive
ANDREY SOKOLOV		4510 FINLEY DRIVE
Barbara Selgers		4504 4504 Finley Drive
CHRISTOPHER KIRK		4710 Finley Dr
Tracey Kirk		4710 Finley Dr.
Joe Retoff		4505 Finley Dr.

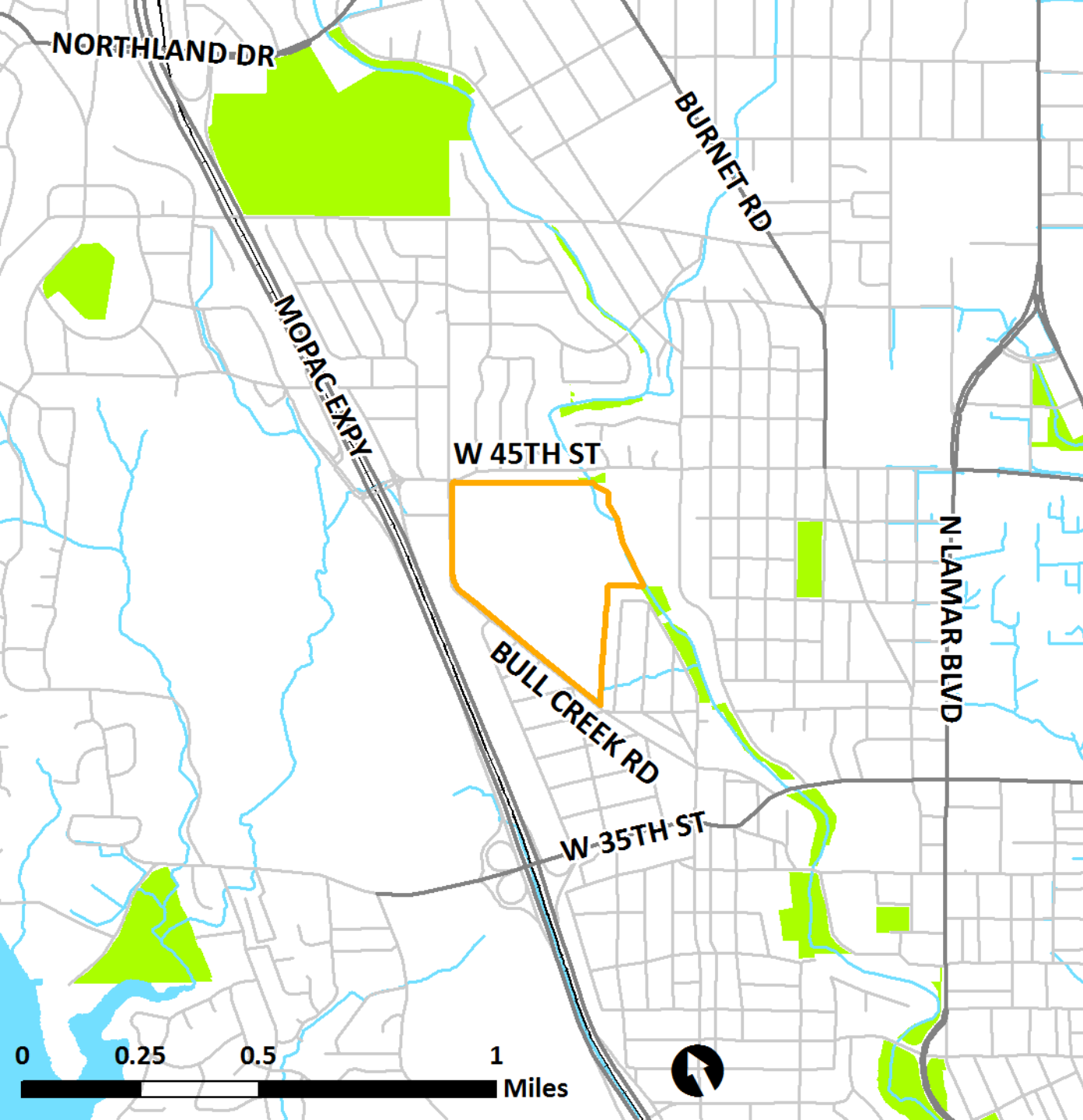
The Grove at Shoal Creek Planned Unit Development




C814-2015-0074

**Environmental Commission Hearing
June 1, 2016**

Location Overview

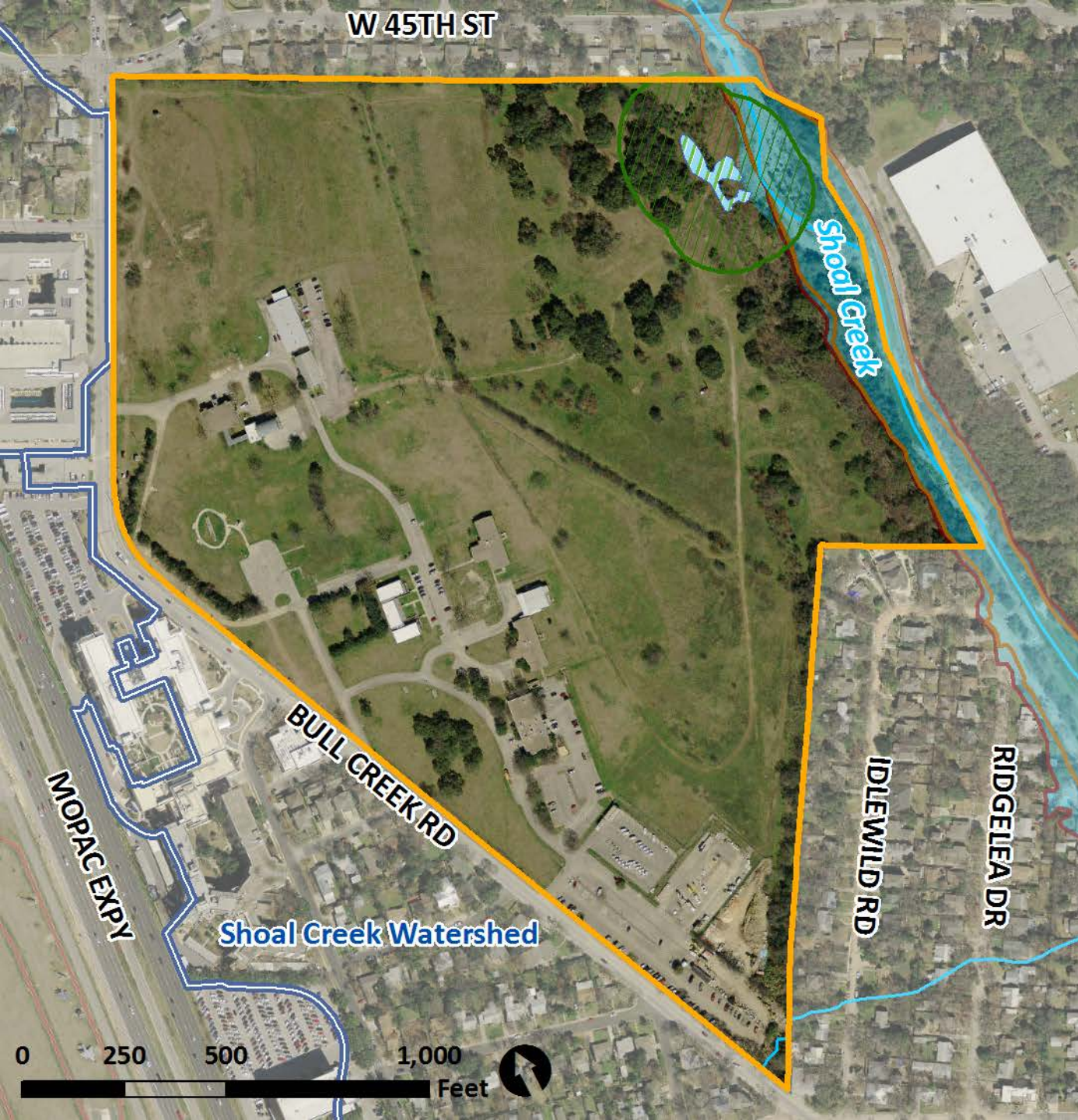





-  The Grove at Shoal Creek PUD
-  Creek Centerline
-  City of Austin Parks

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. This product has been produced by the Watershed Protection Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

Location Map



-  The Grove at Shoal Creek PUD
-  Critical Water Quality Zone
-  COA 25-Year Floodplain
-  COA 100-Year Floodplain
-  Creek Centerline
-  Wetland
-  Wetland Setback (150')
-  Watershed Boundary

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. This product has been produced by the Watershed Protection Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

Environmental Features Map

Photos of Property



View of property from Bull Creek Rd. and W. 45th St., looking southeast

Photos of Property



Grove of live oaks along Bull Creek Rd., near existing development

Photos of Property



Grove of live oaks in northeast corner of PUD along Shoal Creek

Photos of Property



Wetland CEF

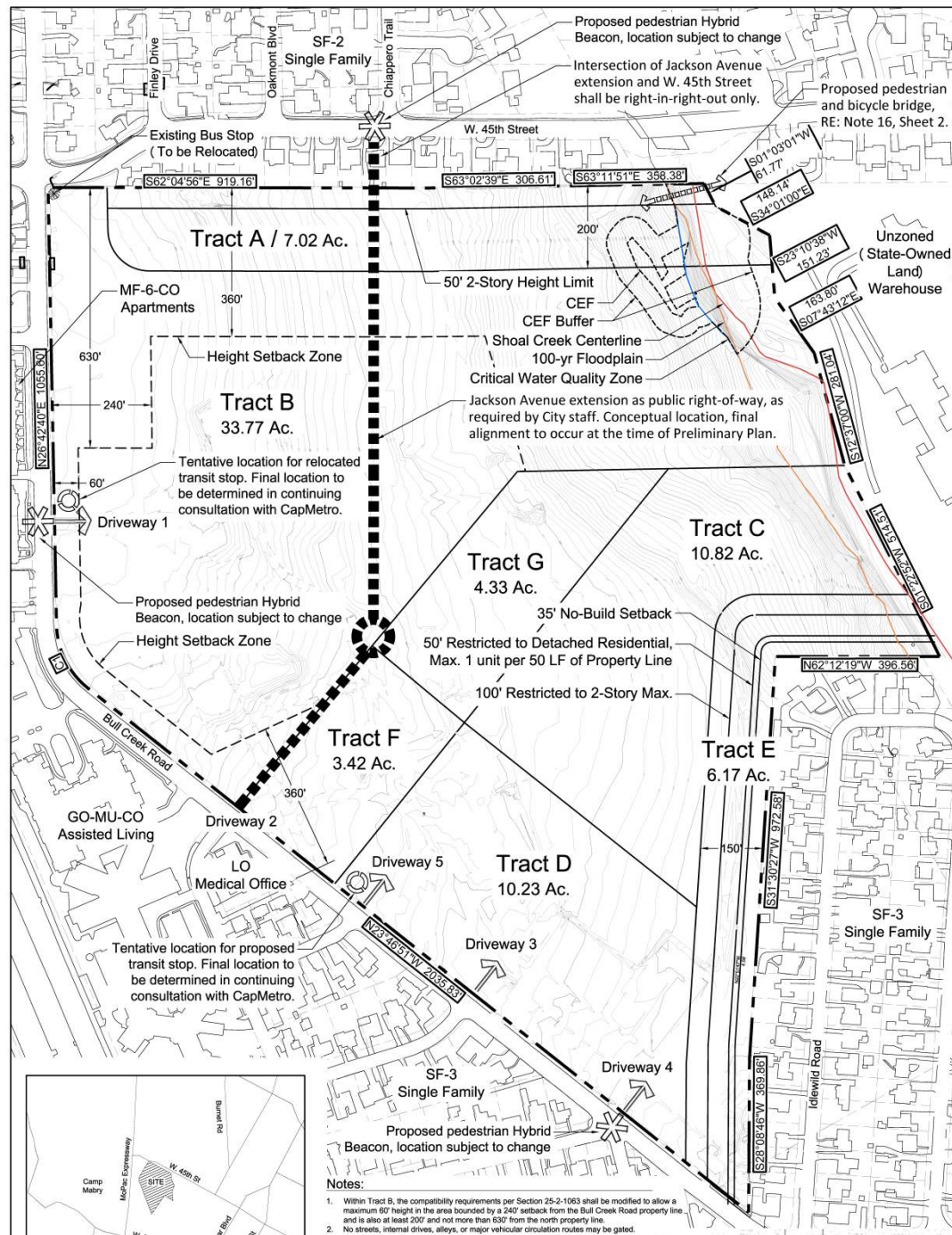
Photos of Property

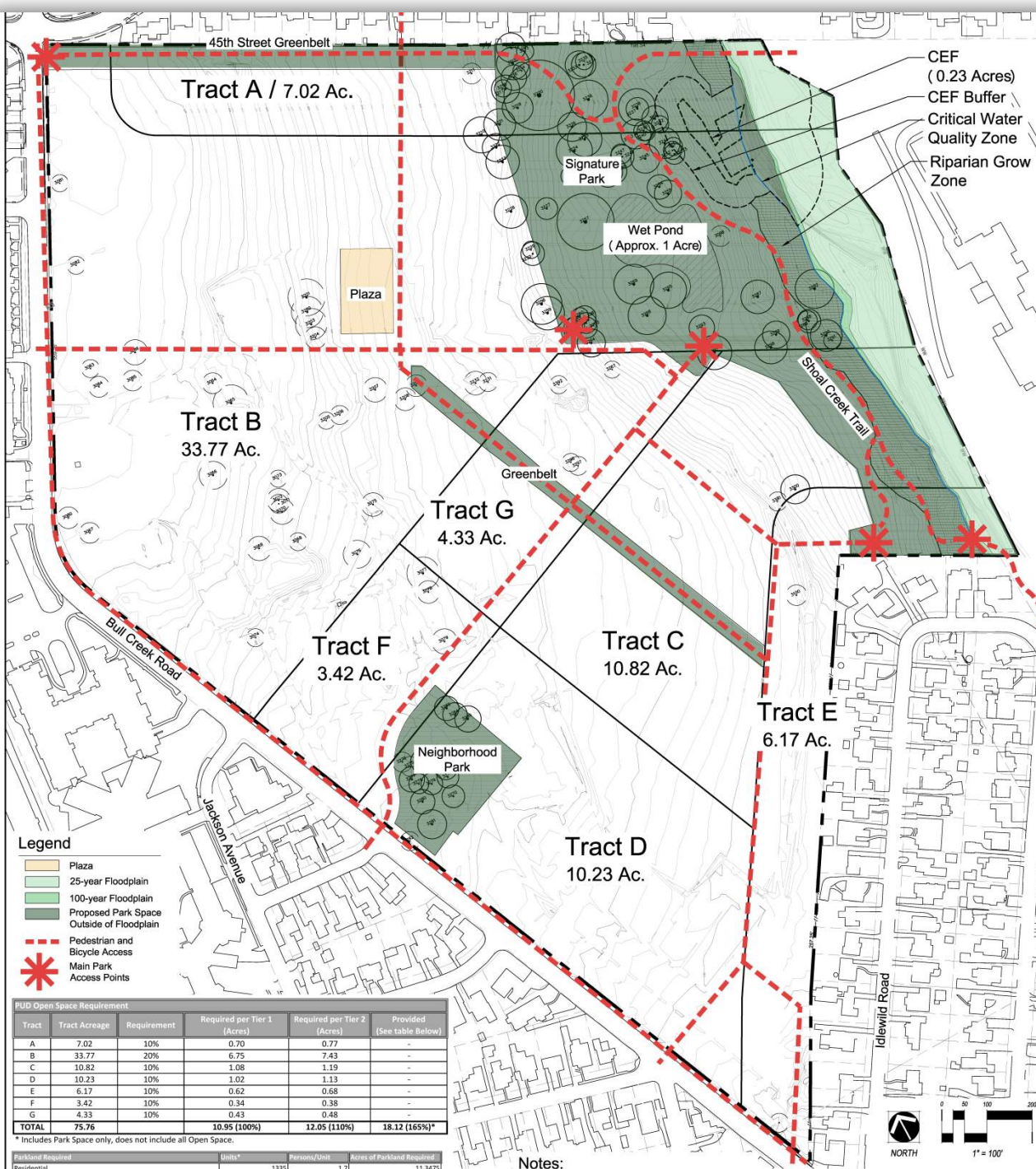


View of Shoal Creek from W. 45th St. bridge looking south; PUD property on right

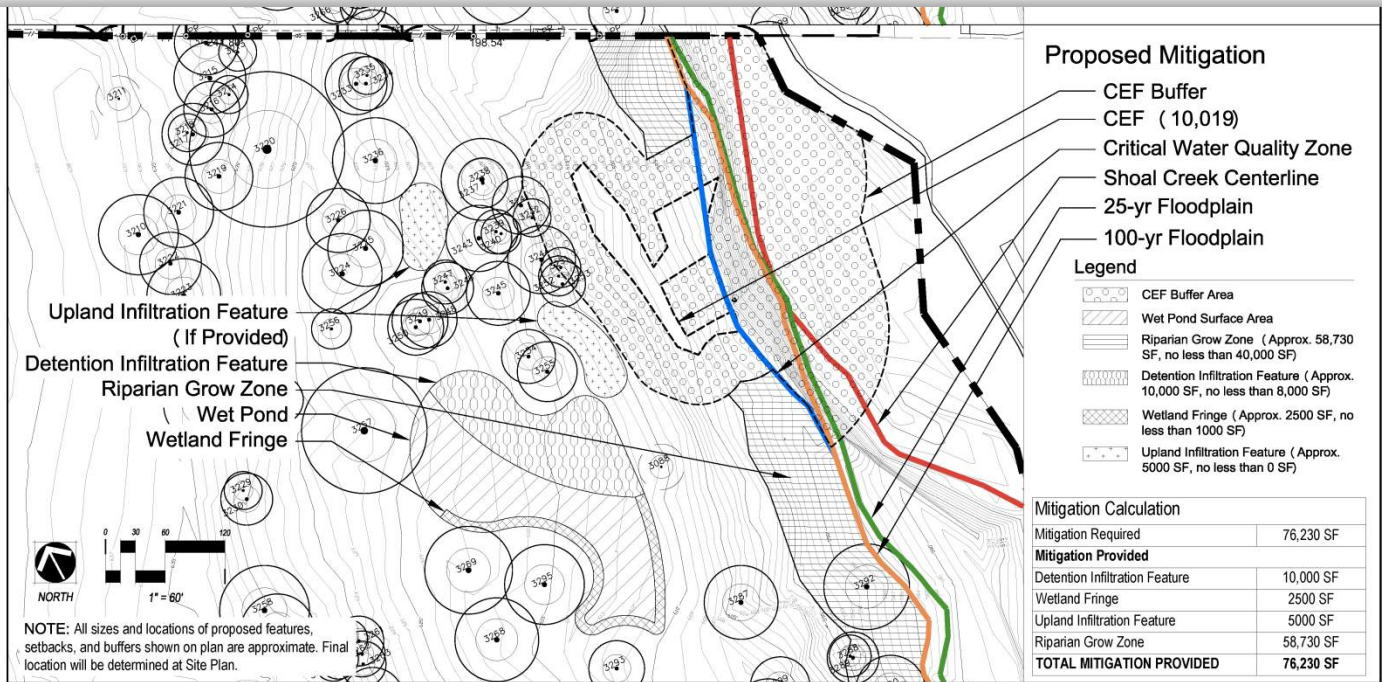
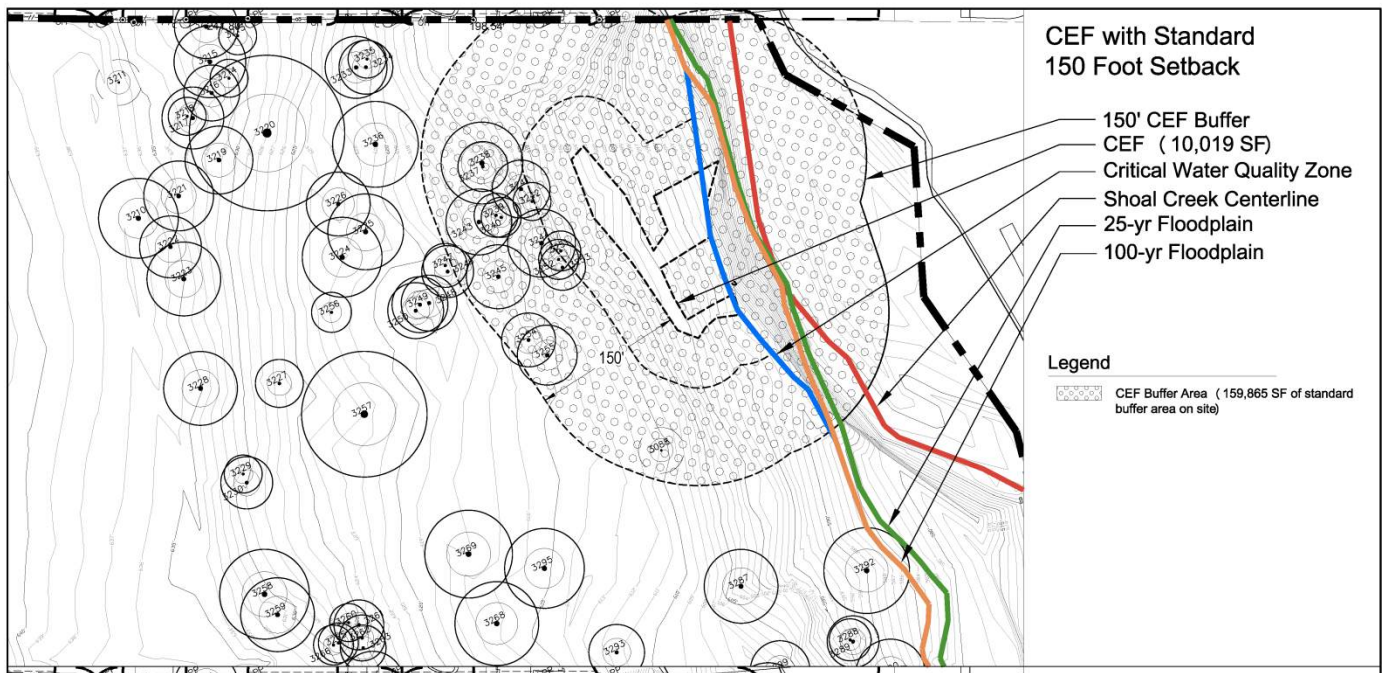
Description of Project

- 57.6 acres of mixed use development
 - Retail
 - Office
 - Multifamily
 - Townhomes
 - Detached single-family residential
- 18.12 acres of open space
 - 12.88 acres credited parkland

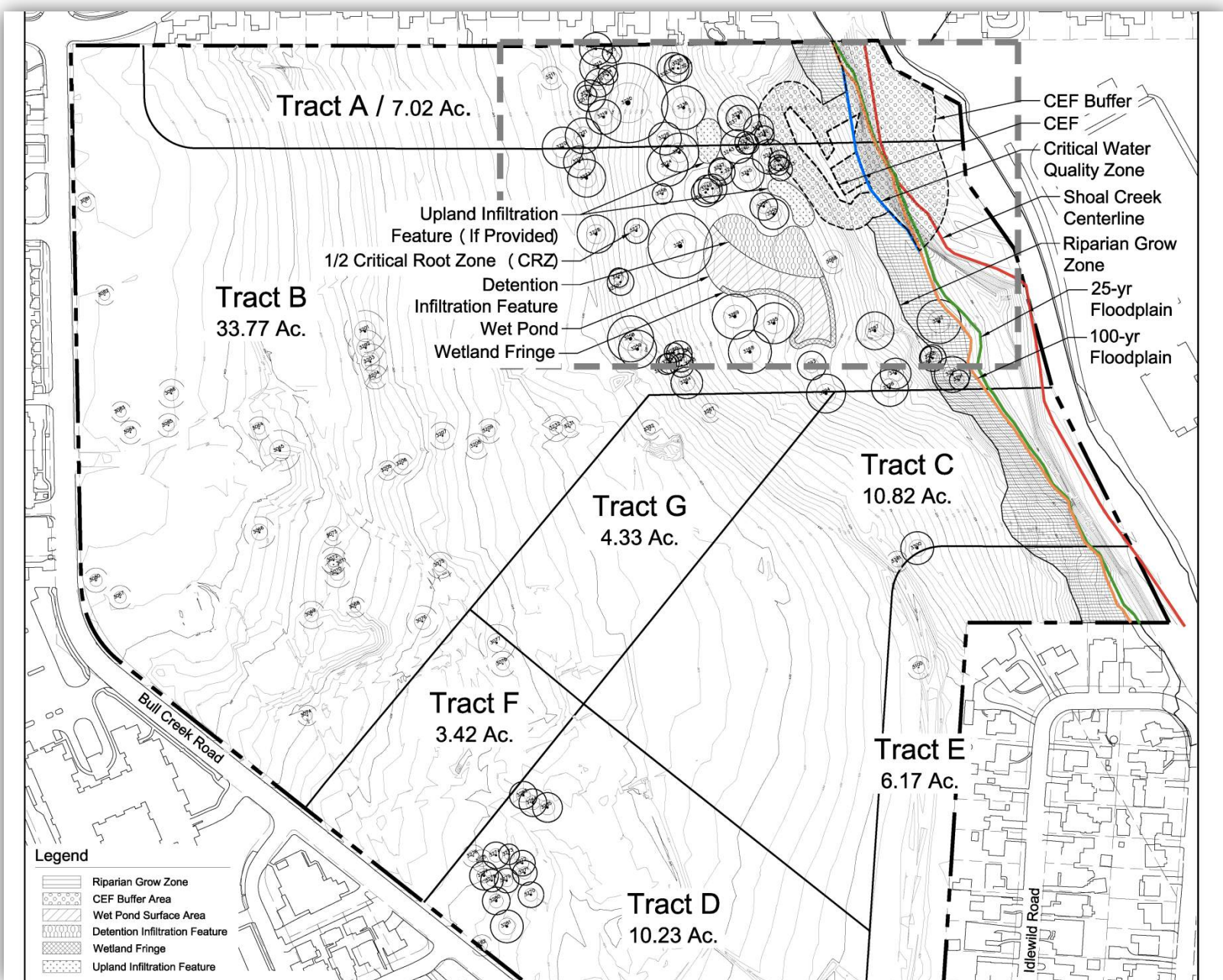




Applicant's Exhibit G
Excerpt



Applicant's Exhibit F
Excerpts



PUD Proposal

- Environmental code modification
- Environmental superiority elements

EXHIBIT E

ATTACHMENT 2

Proposed Code Modifications

CHAPTER 25-1 MODIFICATIONS		
CODE SECTIONS TO BE MODIFIED	CURRENT CODE LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
1. <i>Definitions, Article 2, Chapter 25-1-21</i>	"SITE means a contiguous area intended for development, or the area on which a building has been proposed to be built or has been built. A site may not cross a public street or right-of-way."	"SITE means a contiguous area intended for development, or the area on which a building has been proposed to be built or has been built. A site may cross a public street or right-of-way if that public street or right-of-way is within the boundaries of The Grove at Shoal Creek PUD."
2. <i>Parkland Requirements, Article 14, Chapter 25-1 and 25-4-211</i>	25-1-602(A) "A subdivider or site plan applicant shall provide for the parkland needs of the residents by the dedication of suitable parkland for park and recreational purposes under this article."	"Section 25-1-602 (Dedication of Parkland Required) is modified to provide that subdivider or site plan applicant shall provide for the parkland needs of the residents by providing suitable parkland for park and recreational purposes under the terms of The Grove at Shoal Creek Parks Plan and Parkland Improvement Agreement attached as exhibits to Planned Unit Development Ordinance No. _____."
3. <i>Gross Floor Area, 25-2-21(44)</i>	25-1-21 "(44) GROSS FLOOR AREA means the total enclosed area of all floors in a building with a clear height of more than six feet, measured to the outside surface of the exterior walls. The term includes loading docks and excludes atria airspace, parking	"(44) GROSS FLOOR AREA means the total enclosed area of all floors in a building with a clear height of more than six feet, measured to the outside surface of the exterior walls. The term includes loading docks and excludes atria airspace, parking facilities, parking structures, driveways, and enclosed loading berths and

EXHIBIT D

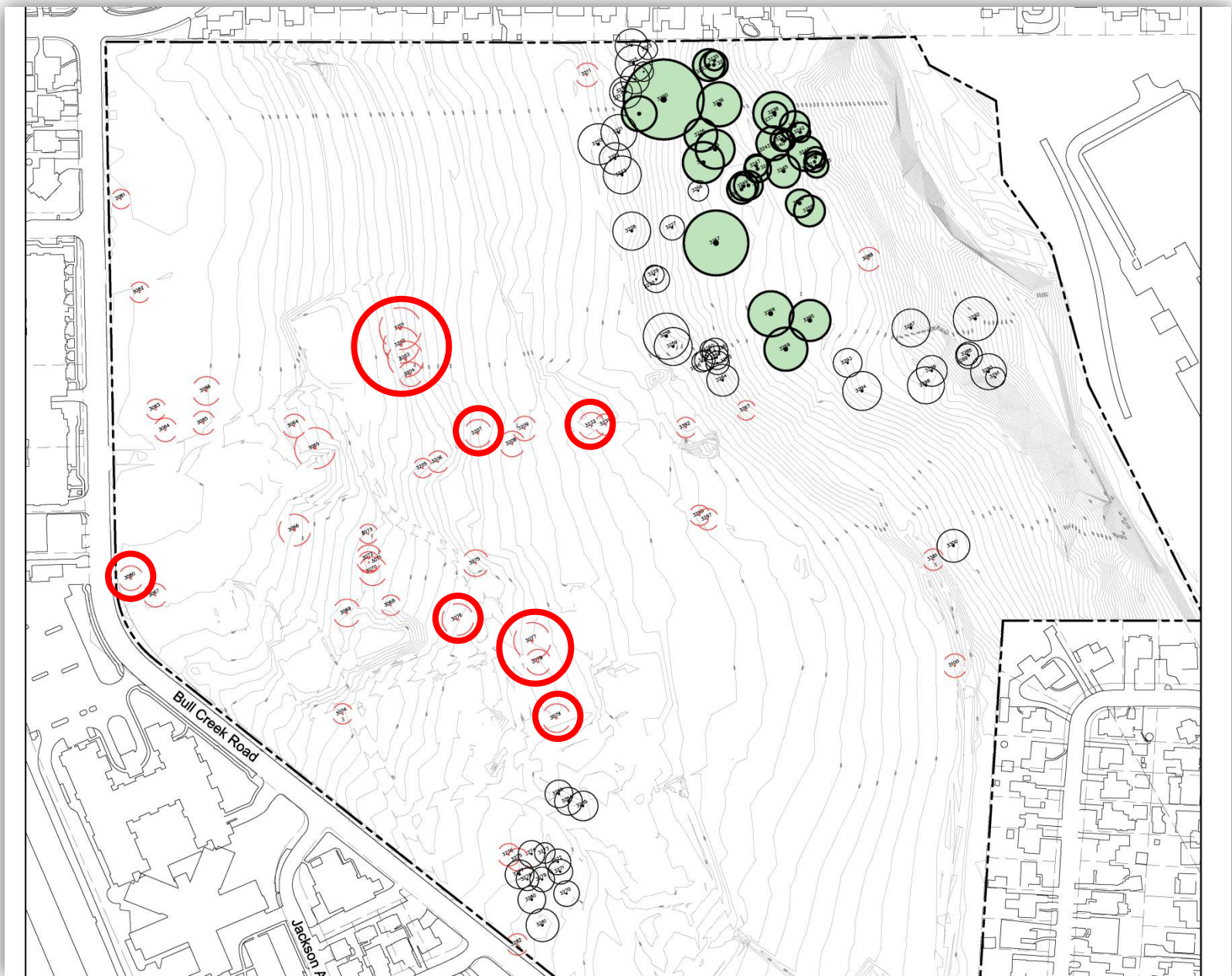
ATTACHMENT 1

Tier 1 and Tier 2 Compliance Summary

	Compliance/ Superiority
1. <i>City Code;</i>	YES. The Project is located in the urban core and within an Urban watershed. The Project is located near Mopac Expressway and is located along the proposed Shoal Creek Urban Trail and an existing CapMetro bus route. The Project will promote the Imagine Austin priority of creating a "compact and connected" City increasing population density within the urban core. The Project is compatible with surrounding uses and zoning which is consistent with the general neighborhood preferences. Except as set forth in the Proposed Code Modifications Summary, the Project will comply with the current City Code requirements.
Standards that achieve equal or goals in Section 1.1 (<i>General</i> the regulations in the Land	YES. The Project will meet the goals of Section 1.1 as follows: 1. <u>Preserve Natural Environment.</u> The Project will preserve all of the high quality heritage trees on the Property, and remove only a handful lower quality "heritage" pecan trees. The Project will provide for greater open space than required by the City Code. The Project will provide green water quality controls and will provide water quality controls and drainage improvements for the entire site. The current state office development does not have any detention or flood control facilities. 2. <u>High Quality Development and Innovative Design.</u> The Project will utilize mixed use and urban design principles that will allow clustering of uses in higher densities that promote urban living, working and shopping on the site and encourage use of alternative transportation options. The Project will integrate

Environmental Code Modification

- 25-8-641(B), Heritage Trees – Removal Prohibited
 - Heritage trees identified on the applicant's Exhibit J may be removed without an administrative or land use commission variance as required by current code
- 11 heritage trees identified for removal
 - 10 pecans, 1 American elm
 - 4 of 11 trees rated as “poor” by the project arborist



*Applicant's Exhibit J
Excerpt, Annotated*

Environmental Code Modification

Proposed language:

§25-8-641 – Removal Prohibited

(B) “A permit to remove a heritage tree may be issued only if:

- 1) a variance is approved under Section 25-8-642 (Administrative Variance) or 25-8-643 (Land Use Commission Variance), or
- 2) the tree is indicated as “Trees That May Be Removed” on The Grove at Shoal Creek Tree Survey and Disposition Plan as attached to The Grove at Shoal Creek Planned Unit Development Ordinance No. _____.
Sections 25-8-642 and 25-8-643 shall not apply to the trees indicated as “Trees That May Be Removed” on The Grove at Shoal Creek Tree Survey and Disposition Plan.

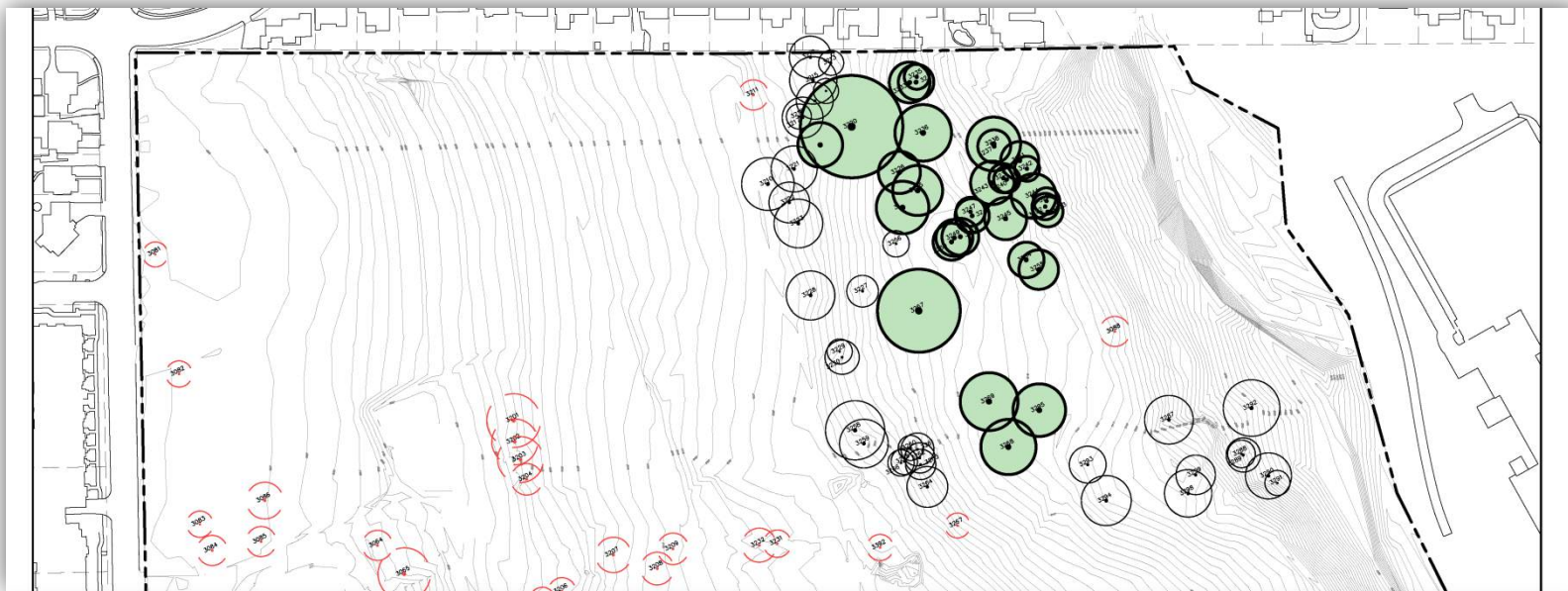
A permit issued under 25-8-642(A)(2) shall require mitigation at the rates prescribed on The Grove at Shoal Creek Tree Survey and Disposition Plan.”

Environmental Superiority Elements

- Additional open space – 7.17 acres (65%) more than required based on proposed land use
- Exceed minimum code requirements for landscaping
 - 3” caliper street trees on all internal streets and Bull Creek Road
 - 95% of non-turf plants will be native or adapted species (Grow Green Guide)
- Superior water quality controls
 - Use wet pond and/or green controls to treat at least 50% of required water quality volume
 - At least 10 acres of impervious cover will be treated by green controls that infiltrate or reuse water

Environmental Superiority Elements

- Tree protection
 - Preserve at least 75% of all protected size native tree caliper inches
 - Prepare tree care plan for all preserved heritage and protected size trees
 - Increased mitigation rates for removal of heritage trees in poor condition
- “Signature Grove” tree protection
 - Limit cut in three-quarter Critical Root Zone of “Signature Grove Trees”



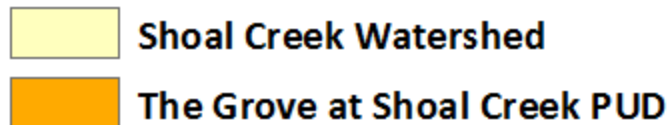
*Applicant's Exhibits J and G
Excerpts*

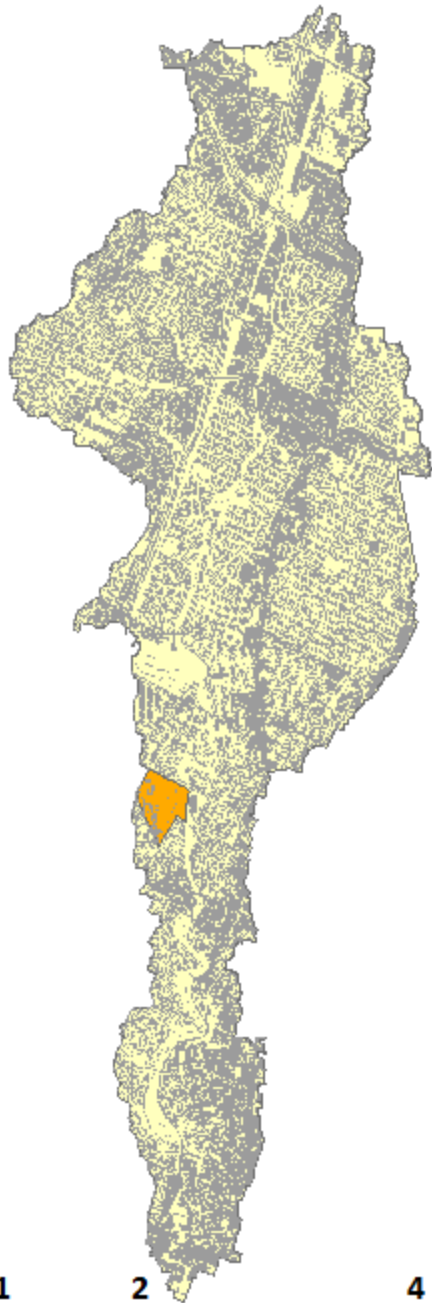
Environmental Superiority Elements

- Cluster development along Bull Creek Road and interior of the property and away from environmentally sensitive areas
- Direct stormwater runoff to 100% of the required landscape area
- Provide flood detention or mitigation for existing 9.4 acres of impervious cover on site
- Watershed Protection Department will choose the most effective flood mitigation option for the site
 - Onsite detention, Regional Stormwater Management Program, or combination

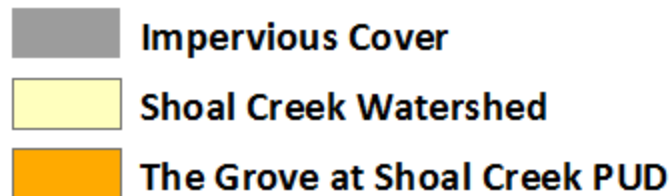


	Size
The Grove at Shoal Creek PUD	76 acres
Shoal Creek Watershed	~8,270 acres
Upstream of The Grove	~6,550 acres (79%)





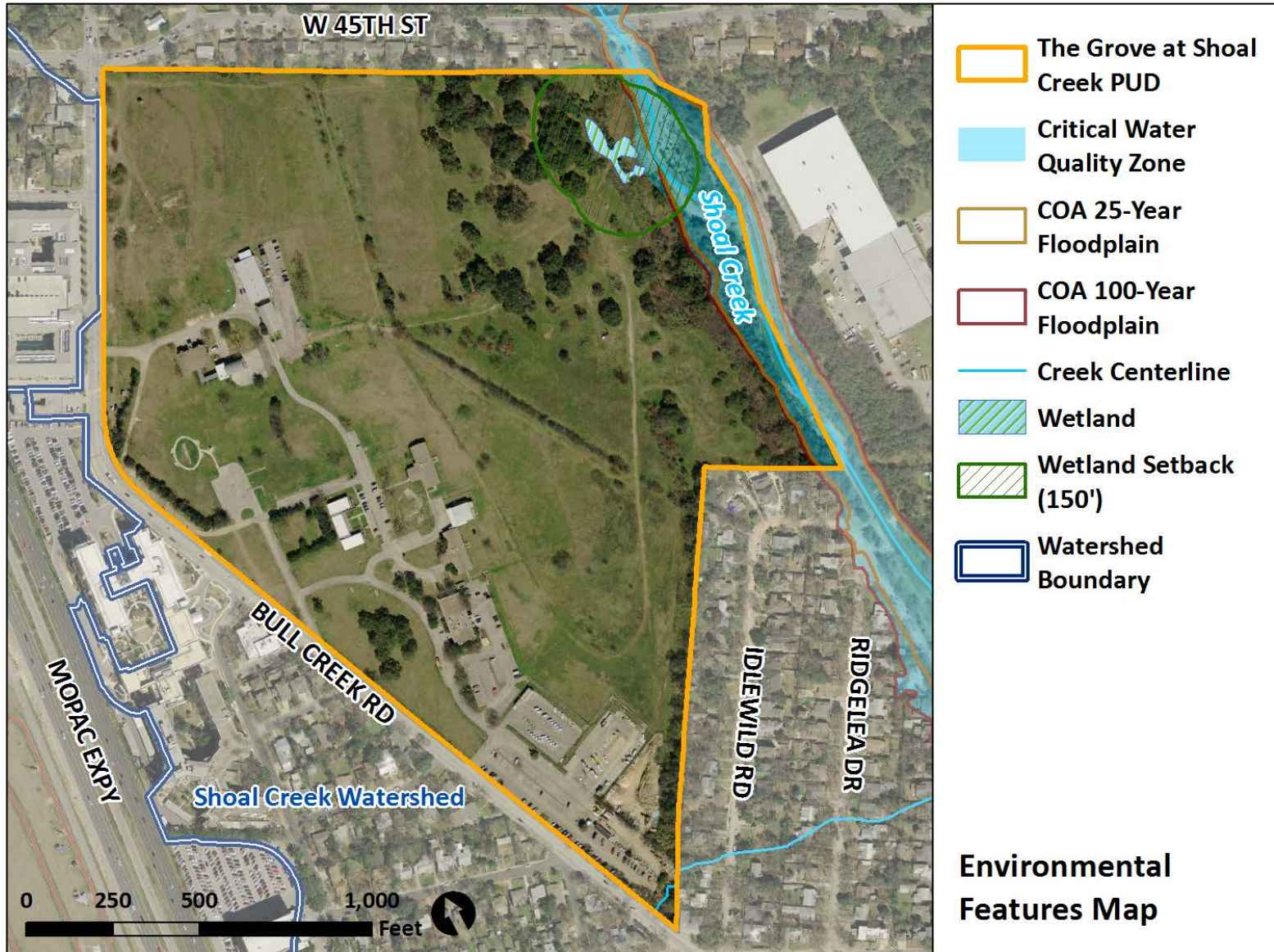
	Size	Impervious Cover
The Grove at Shoal Creek PUD	76 acres	49 acres <i>proposed maximum</i>
Shoal Creek Watershed	~8,270 acres	~4,400 acres <i>existing</i>
Upstream of The Grove	~6,550 acres (79%)	~3,405 acres (77%)



Determination

- Staff finds that the proposed development is environmentally superior to what could be built without the PUD
 - Provide 65% more open space than required based on proposed land uses
 - Treat at least 10 acres of impervious cover with green water quality controls that infiltrate or reuse stormwater
 - Preserve at least 75% of native caliper inches, prepare a tree care plan for preserved trees, and provide increased mitigation for removal of certain heritage trees
 - Exceed code requirements to protect the most significant trees from potential construction impacts
 - Provide flood detention for the existing 9.4 acres of impervious cover on site

Questions





ITEM FOR ENVIRONMENTAL COMMISSION AGENDA

MEETING DATE REQUESTED: June 1, 2016

NAME & NUMBER OF PROJECT: The Grove at Shoal Creek Planned Unit Development
C814-2015-0074 (D-10)

OWNER: ARG Bull Creek, LTD (Garrett Martin)

AGENT: Thrower Design (Ron Thrower)

LOCATION: 4205 Bull Creek Road

PROJECT FILING DATE: June 15, 2015

WATERSHED PROTECTION DEPARTMENT STAFF: Andrea Bates, 974-2291
andrea.bates@austintexas.gov

PLANNING AND ZONING CASE MANAGER: Sherri Sirwaitis, 974-3057
sherri.sirwaitis@austintexas.gov

WATERSHED: Shoal Creek Watershed (Urban)
Desired Development Zone

ORDINANCE: Watershed Protection Ordinance (current Code)

REQUEST: Review and consider for recommendation the environmental aspects of the proposed Planned Unit Development (PUD), including code modifications and environmental superiority.

STAFF RECOMMENDATION: Recommended with conditions.



MEMORANDUM

TO: Marisa Perales, Chair, and Members of the Environmental Commission

FROM: Chuck Lesniak, Environmental Officer
Watershed Protection Department

DATE: May 27, 2016

SUBJECT: The Grove at Shoal Creek Planned Unit Development – C814-2015-0074 –
Update 1

This summary is being provided to the Environmental Commission as a supplement to the Planning and Zoning Department analysis for The Grove at Shoal Creek Planned Unit Development (PUD). This memo provides an overview of the property's environmental features, the requested modifications to environmental code requirements, and the elements of the project that provide environmental superiority.

In the initial memo to the Environmental Commission, dated October 29, 2015, staff recommended that the project incorporate two conditions in order to achieve environmental superiority. The applicant agreed to those conditions and incorporated one additional superiority element regarding flood mitigation. Staff finds that the proposed development is environmentally superior to what could be built without the PUD.

Description of Property

The Grove at Shoal Creek PUD consists of approximately 76 acres of land located in north-central Austin, at the intersection of W. 45th Street and Bull Creek Road (see Attachment A – Location Map). The property was previously owned by the State of Texas and was not required to be platted or zoned. The southwestern portion of the site is currently developed with state office buildings and parking lots, totaling approximately 9.4 acres of existing impervious cover.

The Grove at Shoal Creek PUD is located in the Shoal Creek Watershed, which is classified as Urban and is within the Desired Development Zone. The PUD is not within the Edwards Aquifer recharge or contributing zones. The property contains a section of Shoal Creek, which flows

north to south along the northeastern boundary of the PUD (see Attachment B – Environmental Features Map).¹

Existing Topography/Soil Characteristics/Vegetation

The site's topography slopes gently from west to east, from Bull Creek Road toward Shoal Creek. Elevations range from approximately 670 to 570 feet above mean sea level. Slopes range between 0 and 15 percent on the majority of the property but increase to over 35 percent in some locations near Shoal Creek. The property has predominately clayey soils.

Vegetation on the site includes live oak, pecan, cedar elm, cottonwood, mesquite, and sugarberry, with an understory of bluestem, tall dropseed, common ragweed, and Indian blanket. The property contains a large number of heritage and protected trees, including 54 heritage live oaks, ten heritage pecans, two heritage cedar elms, and one heritage American elm. Significant groves of heritage and protected trees are located in the northeast corner of the property near Shoal Creek and in the center of the southern boundary adjacent to Bull Creek Road.

Critical Environmental Features/Endangered Species Habitat

An Environmental Resource Inventory (ERI) was prepared for the project site by Horizon Environmental Services in May 2015 (see Attachment E – Applicant's Environmental Resource Inventory). The ERI identified one critical environmental feature (CEF) within the PUD site: an herbaceous wetland. The wetland CEF is required to be protected in accordance with LDC 25-8-282 (Wetland Protection). The PUD proposes to modify the standard 150-foot CEF setback and provide mitigation for the reduced setback in compliance with 25-8-282(B). Proposed mitigation strategies include construction of a vegetated wetland fringe around the wet pond per requirements of the Environmental Criteria Manual (ECM) section 1.10.4(D)(3)(a), construction of a detention-infiltration feature landscaped with a native wet prairie per ECM 1.10.4(D)(3)(b), which may support groundwater infiltration for the wetland, and provision of additional buffers per ECM 1.10.4(D)(3)(c) as a "grow-zone" along Shoal Creek.

The ERI also evaluated the property for suitable habitat for state and federally listed endangered, threatened, or candidate species. Neither listed species nor their critical habitat were observed on site during the field reconnaissance process.

Water/Wastewater

Water and wastewater service will be provided by the City of Austin. According to the 2015 ERI, the Texas Water Development Board Water Information Integration and Dissemination database reported one well within the property near the intersection of Bull Creek Road and W. 45th Street. The well is not currently used and the applicant has not indicated a desire to use this well for any of the proposed development. The ERI indicates that the well will be properly abandoned and the appropriate agencies notified of the abandonment.

¹ Per LDC Section 25-8-91, waterways within an Urban Watershed are not classified. However, per 25-8-92, a critical water quality zone is established along all waterways with a drainage area of at least 64 acres. The boundaries of the critical water quality zone coincide with the boundaries of the 100-year floodplain calculated under fully developed conditions, provided that the boundary is not less than 50 feet and not more than 400 feet from the centerline of the waterway.

Description of Project

The proposed project contains approximately 57.6 acres of mixed use development, including retail, office, multifamily, townhomes, and detached single-family residential uses, and 18.1 acres of parks and open space.

Requested Environmental Code Modifications

The following summarizes the proposed modifications to environmental requirements; please see the applicant's Exhibit E – Proposed Code Modifications for additional details.

- **25-8-641(B), Heritage Tree Removal Prohibited** – Eleven heritage trees identified on the applicant's Exhibit J – Tree Survey and Disposition Plan may be removed without an administrative or land use commission variance as required by current code. The proposed code language is as follows:

“A permit to remove a heritage tree may be issued only if:

- (1) a variance is approved under Section 25-8-642 (Administrative Variance) or 25-8-643 (Land Use Commission Variance), or
- (2) the tree is indicated as “Trees That May Be Removed” on The Grove at Shoal Creek Tree Survey and Disposition Plan as attached to The Grove at Shoal Creek Planned Unit Development Ordinance No. _____. Sections 25-8-642 and 25-8-643 shall not apply to the trees indicated as “Trees That May Be Removed” on The Grove at Shoal Creek Tree Survey and Disposition Plan.

A permit issued under 25-8-642(A)(2) shall require mitigation at the rates prescribed on The Grove at Shoal Creek Tree Survey and Disposition Plan.”

The 11 heritage trees identified for removal include ten pecans and one American elm. Four of the eleven trees have been rated as “poor” by the project arborist, and their condition was reviewed in the field by the City Arborist.

Proposed Environmental Superiority Elements

The project is proposing to provide the following environmental superiority elements (please see the applicant's Exhibit D – Tier 1 and Tier 2 Compliance Summary for additional details):

1. The PUD will provide at least 18.12 acres of open space, which is 65% higher than the 10.95 acres required based on the proposed land uses.
2. The PUD will exceed the minimum code requirements for landscaping. The project Design Guidelines will require minimum three-inch caliper street trees on all internal streets. Under conventional zoning, Tracts A, C, D, and E would be residential zoning districts and would not require street trees under current code. This area of additional street trees represents approximately 34 acres, or 45 percent of the total project area. Street trees will also be required along Bull Creek Road, where they would not be required by current code. In addition, the Design Guidelines will require that a minimum of 95% of all non-turf plant materials be from or consistent with the City's Grow Green Guide.

3. The PUD will provide superior water quality controls by using a wet pond and/or green water quality controls to treat a minimum of 50 percent of the required water quality volume. A wet pond and green controls provide superior total suspended solids and nutrient removal compared to conventional treatment methods, in addition to habitat and aesthetic benefits. Makeup water for the wet pond will be provided by air conditioner condensate from commercial buildings on site.
4. The project will provide that a minimum of ten acres of impervious cover on the site will drain to and be treated by green water quality controls that infiltrate or reuse water, such as rain gardens and rainwater harvesting.
5. The project will preserve a minimum of 75 percent of all protected size native tree caliper inches, as well as prepare a tree care plan for all preserved heritage and protected trees on site. The project will also provide increased mitigation rates for the removal of four heritage trees: a mitigation rate of 100 percent will be provided for heritage trees in poor condition, which would not typically require any mitigation under current code.
6. The project will provide additional protections for the grove of trees surrounding the wet pond. For heritage and protected trees identified as “Signature Grove Trees” on Exhibit J – Tree Survey and Disposition Plan, cut in the three-quarter Critical Root Zone (CRZ) shall not exceed four inches. This requirement may be administratively reduced to the one-half CRZ if a minimum of 75 percent of the total area of the full CRZ is preserved and a tree care plan in the amount of \$100 per caliper inch is provided for the tree in question.
7. The project will cluster development along Bull Creek Road and the interior of the property and away from environmentally sensitive areas like Shoal Creek, the existing wetland, and the large oak groves.
8. The project will direct stormwater runoff from impervious surfaces to landscaped areas at least equal to the total required landscape area, which reduces the volume of runoff entering the storm drain system and provides for increased infiltration of stormwater runoff.
9. The project will provide flood detention or mitigation for the 9.4 acres of existing impervious cover on the site, which does not currently have flood detention. If the project participates in the Regional Stormwater Management Program (RSMP), the RSMP fee will be paid as if the site were undeveloped.
10. The City of Austin Watershed Protection Department will choose the most effective flood mitigation option for the site at the time of site plan or subdivision review, which may include onsite detention, RSMP participation, or a combination of the two. The City-selected flood mitigation option will be required to demonstrate no downstream adverse impact up to the confluence of Shoal Creek with Lady Bird Lake.²
11. The project will provide educational signage at the wetland CEF.

² This superiority element was added since the Environmental Commission meeting on November 4, 2015.

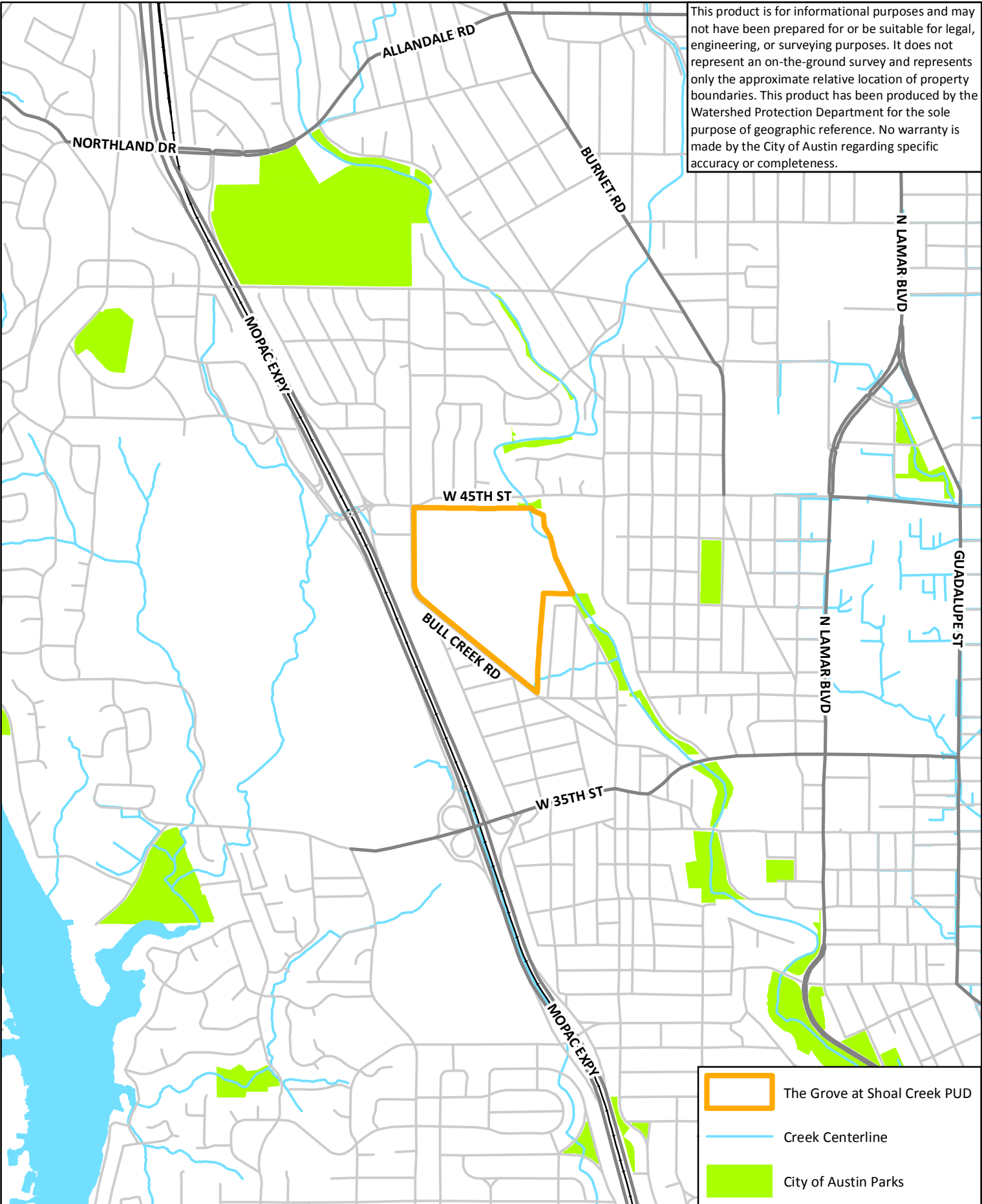
Determination

Staff finds that the proposed development is environmentally superior to what could be built without the PUD. For example:

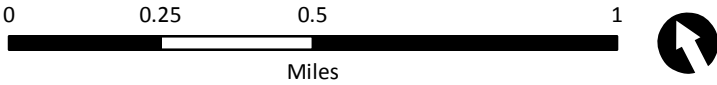
- The project will provide 65% more open space than required by code. The additional open space is located outside of environmentally sensitive areas that are required to be protected, such as the CWQZ and CEF buffer.
- The project will exceed the minimum requirements for landscaping by planting street trees on all internal streets and requiring that 95 percent of non-turf plant materials be native or locally adapted species.
- The project will use superior water quality controls and require that at least ten acres of impervious cover will drain to green water quality controls that infiltrate or reuse stormwater.
- The project will preserve at least 75 percent of native caliper inches, prepare a tree care plan for preserved trees, and provide increased mitigation for removal of certain heritage trees.
- The project will exceed code requirements to protect the most significant grove of trees from potential construction impacts.
- The project will provide flood detention for the existing 9.4 acres of currently undetained impervious cover on site, and the City, not the developer, shall choose the most effective flood mitigation option for the site.
- The design of the project clusters development along Bull Creek Road and the interior of the property, and away from environmentally sensitive areas like Shoal Creek and the large oak groves.

Attachments

- A Location Map
- B Environmental Features Map
- C Site Photos
- D Driving Directions
- E Applicant's Environmental Resource Inventory



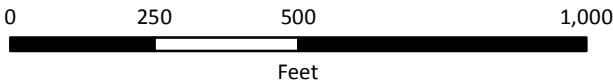
Attachment A
The Grove at Shoal Creek PUD Location Map











This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. This product has been produced by the Watershed Protection Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



Attachment B
The Grove at Shoal Creek PUD
Environmental Features Map



- | | | | |
|---|------------------------------|---|------------------------|
|  | The Grove at Shoal Creek PUD |  | Creek Centerline |
|  | Critical Water Quality Zone |  | Wetland |
|  | COA 25-Year Floodplain |  | Wetland Setback (150') |
|  | COA 100-Year Floodplain |  | Watershed Boundary |

Attachment C
The Grove at Shoal Creek PUD Site Photos



View of PUD property from southeast corner at Bull Creek Rd. looking north into site



View of PUD property from Bull Creek Rd. and W. 45th St., looking southeast into site



Grove of live oaks along Bull Creek Rd., near existing development



Grove of live oaks in northeast corner of PUD along Shoal Creek, near proposed wet pond location



Wetland Critical Environmental Feature (CEF)



View of Shoal Creek from W. 45th St. bridge looking south. The PUD property is on the right.

Attachment D

Driving Directions to The Grove at Shoal Creek PUD

From Austin City Hall, 301 W. 2nd Street:

- Head east on 2nd St. to Lavaca St.; turn left and go 0.7 miles
- Turn left on W. 12th St.; go 0.6 miles
- Turn right onto N. Lamar Blvd.; go 1.6 miles
- Turn left onto 29th St.; go 0.5 miles
- Turn right onto Jefferson St.; go 0.6 miles
- Turn left onto Bull Creek Rd.; go 0.5 miles. Destination will be on right.

Environmental Resource InventoryFor the City of Austin
Related to LDC 25-8-121, City Code 30-5-121, ECM 1.3.0 & 1.10.0

The ERI is required for projects that meet one or more of the criteria listed in LDC 25-8-121(A), City Code 30-5-121(A).

1. SITE/PROJECT NAME: The Grove at Shoal Creek
2. COUNTY APPRAISAL DISTRICT PROPERTY ID (#'s): 122169
3. ADDRESS/LOCATION OF PROJECT: 4205-4305 Bull Creek Road
4. WATERSHED: Shoal Creek - Urban
5. THIS SITE IS WITHIN THE (Check all that apply)

Edwards Aquifer Recharge Zone* (See note below)	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> No
Edwards Aquifer Contributing Zone*	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> No
Edwards Aquifer 1500 ft Verification Zone*	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> No
Barton Spring Zone*	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> No

*(as defined by the City of Austin – LDC 25-8-2 or City Code 30-5-2)

Note: If the property is over the Edwards Aquifer Recharge zone, the Hydrogeologic Report and karst surveys must be completed and signed by a Professional Geoscientist Licensed in the State of Texas.

6. DOES THIS PROJECT PROPOSE FLOODPLAIN MODIFICATION?.....☐ YES** ☒ NO
 If yes, then check all that apply:
 - ☐ (1) The floodplain modifications proposed are necessary to protect the public health and safety;
 - ☐ (2) The floodplain modifications proposed would provide a significant, demonstrable environmental benefit, as determined by a **functional assessment** of floodplain health as prescribed by the Environmental Criteria Manual (ECM), or
 - ☐ (3) The floodplain modifications proposed are necessary for development allowed in the critical water **quality zone under LDC 25-8-261 or 25-8-262, City Code 30-5-261 or 30-5-262.**
 - ☐ (4) The floodplain modifications proposed are outside of the Critical Water Quality Zone in an area determined to be in poor or fair condition by a **functional assessment** of floodplain health.

**** If yes, then a functional assessment must be completed and attached to the ERI (see ECM 1.7 and Appendix X for forms and guidance) unless conditions 1 or 3 above apply.**
7. IF THE SITE IS WITHIN AN URBAN OR SUBURBAN WATERSHED, DOES THIS PROJECT PROPOSE A UTILITY LINE PARALLEL TO AND WITHIN THE CRITICAL WATER QUALITY ZONE? ☐ YES*** ☒ NO

*****If yes, then riparian restoration is required by LDC 25-8-261(E) or City Code 30-5-261(E) and a functional assessment must be completed and attached to the ERI (see ECM1.5 and Appendix X for forms and guidance).**
8. There is a total of 1 (#'s) Critical Environmental Feature(s)(CEFs) on or within 150 feet of the project site. If CEF(s) are present, attach a detailed **DESCRIPTION** of the CEF(s), color **PHOTOGRAPHS**, the **CEF WORKSHEET** and provide **DESCRIPTIONS** of the proposed CEF buffer(s) and/or wetland mitigation. Provide the number of each type of CEFs on or within 150 feet of the site (Please provide the number of CEFs):

_____ (#'s) Spring(s)/Seep(s) _____ (#'s) Point Recharge Feature(s) _____ (#'s) Bluff(s)
 _____ (#'s) Canyon Rimrock(s) 1 (#'s) Wetland(s)

Note: Standard buffers for CEFs are 150 feet, with a maximum of 300 feet for point recharge features. Except for wetlands, if the standard buffer is not provided, you must provide a written request for an administrative variance from LDC 25-8-281(C)(1) and provide written findings of fact to support your request. Request forms for administrative variances from requirements stated in LDC 25-8-281 are available from Watershed Protection Department.

9. The following site maps are attached at the end of this report (Check all that apply and provide):

All ERI reports must include:

- ☒ **Site Specific Geologic Map with 2-ft Topography**
- ☒ **Historic Aerial Photo of the Site**
- ☒ **Site Soil Map**
- ☒ **Critical Environmental Features and Well Location Map on current Aerial Photo with 2-ft Topography**

Only if present on site (Maps can be combined):

- ☒ **Edwards Aquifer Recharge Zone with the 1500-ft Verification Zone**
(Only if site is over or within 1500 feet the recharge zone)
- ☐ **Edwards Aquifer Contributing Zone**
- ☐ **Water Quality Transition Zone (WQTZ)**
- ☒ **Critical Water Quality Zone (CWQZ)**
- ☒ **City of Austin Fully Developed Floodplains for all water courses with up to 64-acres of drainage**

10. **HYDROGEOLOGIC REPORT** – Provide a description of site soils, topography, and site specific geology below (Attach additional sheets if needed):

Surface Soils on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups*. If there is more than one soil unit on the project site, show each soil unit on the site soils map.

Soil Series Unit Names, Infiltration Characteristics & Thickness		
Soil Series Unit Name & Subgroup**	Group*	Thickness (feet)
Eddy soils and Urban land, 0 to 6% slopes (EuC)	D	1.6
Oakalla soils, 0 to 1% slopes, channeled, frequently flooded (Fs)	B	6.6
Houston Black soils and Urban land, 0 to 8% slope (HsD)	D	6.6
Urban land and Austin soils, 0 to 5% slopes (UsC)	C	4.3
Urban land, Austin, and Whitewright soils, 1 to 8% (UtD)	C	4.3

***Soil Hydrologic Groups Definitions (Abbreviated)**

- A. Soils having a high infiltration rate when thoroughly wetted.
- B. Soils having a moderate infiltration rate when thoroughly wetted.
- C. Soils having a slow infiltration rate when thoroughly wetted.
- D. Soils having a very slow infiltration rate when thoroughly wetted.

**Subgroup Classification – See Classification of Soil Series Table in County Soil Survey.

Description of Site Topography and Drainage *(Attach additional sheets if needed):*

Topographically, the site ranges from approximately 570 to 670 feet above mean sea level (USGS, 1988). Drainage on the subject site occurs primarily by overland sheet flow in a west to east direction into Shoal Creek.

List surface geologic units below:

Geologic Units Exposed at Surface		
Group	Formation	Member
Eagle Ford		--
Washita	Buda Limestone	--
Washita	Del Rio Clay	--
		--

Brief description of site geology *(Attach additional sheets if needed):*

Eagle Ford Group, Kef, Buda Limestone, Kbu, and in structurally complicated areas, Eagle Ford Group and Buda Limestone undivided, Keb (UT-BEG, 1995).

Eagle Ford Group, Kef, shale and limestone. Upper part shale, compact, silty, contains fossil fish teeth and bones, 10 feet or more thick; middle part silty limestone grading to calcareous siltstone, flaggy, medium-gray, weathers pale yellowish-brown, 5 feet thick. Lower part shale, calcareous, dark gray, 7-50 feet thick. Thickness of Eagle Ford Group 25-65 feet.

Buda Limestone, Kbu, fine-grained, bioclastic, commonly glauconitic, pyritiferous, hard, massive, poorly bedded to nodular, thinner bedded and argillaceous near upper contact, light gray to pale orange; weathers dark gray to brown; burrows filled with chalky marl, abundant pelecypods; thickness up to 45 feet, locally absent to north.

The site geology is continued in Environmental Resources Inventory Attachments.

Wells – Identify all recorded and unrecorded wells on site (test holes, monitoring, water, oil, unplugged, capped and/or abandoned wells, etc.):

There are 1 (#) wells present on the project site and the locations are shown and labeled

 (#'s) The wells are not in use and have been properly abandoned.

1 (#'s) The wells are not in use and will be properly abandoned.

 (#'s) The wells are in use and comply with 16 TAC Chapter 76.

There are 0 (#'s) wells that are off-site and within 150 feet of this site.

11. **THE VEGETATION REPORT** – Provide the information requested below:

Brief description of site plant communities *(Attach additional sheets if needed):*

The subject site exhibited a combination of woodland, grassland/prairie/savanna, and hydrophytic plant species, detailed below.

There is woodland community on site☒YES ☐ NO *(Check one)*.

If yes, list the dominant species below:

Woodland species	
Common Name	Scientific Name
post oak	Quercus stellata
mesquite	Prosopis glandulosa
pecan	Carya illinoensis
sugarberry	Celtis laevigata

There is grassland/prairie/savanna on site.....☒YES ☐ NO *(Check one)*.

If yes, list the dominant species below:

Grassland/prairie/savanna species	
Common Name	Scientific Name
big bluestem	Andropogon gerardi
tall dropseed	Sporobolus compositus
silver bluestem	Bothriochloa saccharoides
common ragweed	Ambrosia artemisiifolia
Indian blanket	Gaillardia pulchella

There is hydrophytic vegetation on site☒YES ☐ NO *(Check one)*.

If yes, list the dominant species in table below *(next page)*:

Hydrophytic plant species		
Common Name	Scientific Name	Wetland Indicator Status
lance-leaf frog fruit	Phyla lanceolata	FACW
Texas rush	Juncus texanus	OBL
seep muhly	Muhlenbergia reverchonii	FAC

A tree survey of all trees with a diameter of at least eight inches measured four and one-half feet above natural grade level has been completed on the site.

☒ YES ☐ NO (Check one).

12. WASTEWATER REPORT – Provide the information requested below.

Wastewater for the site will be treated by (Check of that Apply):

- ☐ On-site system(s)
☒ City of Austin Centralized sewage collection system
☐ Other Centralized collection system

Note: All sites that receive water or wastewater service from the Austin Water Utility must comply with City Code Chapter 15-12 and wells must be registered with the City of Austin

The site sewage collection system is designed and will be constructed to in accordance to all State, County and City standard specifications.

☒ YES ☐ NO (Check one).

Calculations of the size of the drainfield or wastewater irrigation area(s) are attached at the end of this report or shown on the site plan.

☐ YES ☐ NO ☒ Not Applicable (Check one).

Wastewater lines are proposed within the Critical Water Quality Zone?

☐ YES ☒ NO (Check one). If yes, then provide justification below:

Is the project site is over the Edwards Aquifer?

☐ YES ☒ NO (Check one).

If yes, then describe the wastewater disposal systems proposed for the site, its treatment level and effects on receiving watercourses or the Edwards Aquifer.

Wasterwater will be connected to the City of Austin's collection system.

13. One (1) hard copy and one (1) electronic copy of the completed assessment have been provided.

Date(s) ERI Field Assessment was performed: 2/18/15 and 5/15/15

Date(s)

My signature certifies that to the best of my knowledge, the responses on this form accurately reflect all information requested.

James Killian

512-328-2430

Print Name

Telephone

Signature

jkillian@horizon-esi.com

Email Address

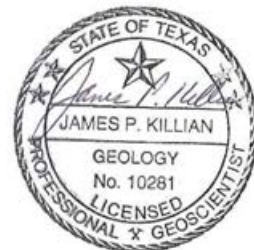
Horizon Environmental Services, Inc.

10/27/15

Name of Company

Date

For project sites within the Edwards Aquifer Recharge Zone, my signature and seal also certifies that I am a licensed Professional Geoscientist in the State of Texas as defined by ECM 1.12.3(A).



City of Austin Environmental Resource Inventory - Critical Environmental Feature Worksheet

1	Project Name:	Shoal Creek Commons
2	Project Address:	4205-4305 Bull Creek Road
3	Site Visit Date:	2/18/15 and 5/15/15
4	Environmental Resource Inventory Date:	5/20/15

5	Primary Contact Name:	Shannon Dorsey
6	Phone Number:	512-328-2430
7	Prepared By:	Scott Flesher
8	Email Address:	killian@horizon-esi.com

9	FEATURE TYPE {Wetland, Rimrock, Bluffs, Recharge Feature, Spring}	FEATURE ID (eg S-1)	FEATURE LONGITUDE (WGS 1984 in Meters)		FEATURE LATITUDE (WGS 1984 in Meters)		WETLAND DIMENSIONS (ft)		RIMROCK/BLUFF DIMENSIONS (ft)		RECHARGE FEATURE DIMENSIONS				Springs Est. Discharge
			coordinate	notation	coordinate	notation	X	Y	Length	Avg Height	X	Y	Z	Trend	cfs
	Wetland	W 1	30.317978	WSG84	-97.749655	WSG84	200	80							

City of Austin Use Only CASE NUMBER:	
---	--

For rimrock, locate the midpoint of the segment that describes the feature.



For wetlands, locate the approximate centroid of the feature and the estimated area.



For a spring or seep, locate the source of groundwater that feeds a pool or stream.



Please state the method of coordinate data collection and the approximate precision and accuracy of the points and the unit of measurement.

<u>Method</u>		<u>Accuracy</u>
GPS	<input type="checkbox"/>	sub-meter <input type="checkbox"/>
Surveyed	<input type="checkbox"/>	meter <input type="checkbox"/>
Other	<input type="checkbox"/>	> 1 meter <input type="checkbox"/>

Professional Geologists apply seal below

ENVIRONMENTAL RESOURCE INVENTORY ATTACHMENTS

**THE GROVE AT SHOAL CREEK
BULL CREEK ROAD
HJN 140259 ERI**

DATA RESOURCES USED IN COMPLETING THIS ERI

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- (TWDB) Texas Water Development Board. Water Information Integration and Dissemination System. TWDB Groundwater Database (ArcIMS), <http://wiid.twdb.state.tx.us/ims/wwm_drl/viewer.htm?>>. Accessed 18 May 2015.
- (USDA) US Department of Agriculture. National Agriculture Imagery Program, Farm Service Agency, Aerial Photography Field Office. Travis County, Texas. 1995 and 2014.
- (USGS) US Geological Survey. 7.5-minute series topographic maps, Austin West, Texas, quadrangle, 1988.
- (UT-BEG) University of Texas Bureau of Economic Geology, C.V. Proctor, Jr., T.E. Brown, J.H. McGowen, N.B. Waechter, and V.E. Barnes. *Geologic Atlas of Texas*, Austin Sheet, Francis Luther Whitney Memorial Edition. 1974; reprinted 1995.

**ERI WORKSHEET SECTION 5:
EDWARDS AQUIFER RECHARGE ZONE**

Karst Survey



Environmental Services, Inc.

27 October 2015

Steve Walkup
MileStone Community Builders
9111 Jollyville Road, Suite 111
Austin, Texas 78759

**RE: Hydrogeologic Report and Karst Survey Results – The Grove at Shoal Creek,
located at 4205-4305 Bull Creek Road, Austin, Travis County, Texas
HJN 140259 ERI**

Dear Mr. Walkup:

As requested, Horizon Environmental Services, Inc. (Horizon) performed a City of Austin (COA) Environmental Resource Inventory (ERI) per Land Development Code (LDC) Section 25-8, Title 30-5 for the above-referenced site. If the subject site is located over the Edwards Aquifer Recharge Zone, the COA requires a hydrogeologic report and karst survey be completed and signed by a Professional Geoscientist (PG) licensed in the State of Texas. This letter addresses those requirements set forth by the COA for a hydrogeologic report and karst survey of the subject site.

HYDROGEOLOGIC REPORT AND KARST SURVEY

According to COA LDC 25-8-122, a hydrogeologic report must: (1) generally describe the topography, soils, and geology of the site; (2) identify springs and significant point recharge features on the site; (3) demonstrate that proposed drainage patterns will protect the quality and quantity of recharge at significant point recharge features; and (4) identify all recorded and unrecorded water wells, both on the site and within 150 feet of the boundary of the site.

The objective of a karst survey is to identify any surface karst features (e.g., caves, sinkholes, faults, joint fractures, springs, etc.) that may indicate the presence of any subsurface voids with suitable habitat for federally listed endangered cave invertebrates and/or that provide point recharge to the Edwards Aquifer. The subject site has a very small narrow portion located along the western boundary within the Edwards Aquifer Recharge Zone. However, Mr. Scott Hiers, PG with the COA has informed Horizon that this narrow area of recharge zone does not occur within the subject site and is incorrectly mapped. The Recharge Zone is known as the area where the stratigraphic units constituting the Edwards Aquifer are exposed at the surface and where water may filter into the aquifer through permeable features such as cracks, fissures, caves, and other openings (TCEQ, 1999).

The subject site is mapped on the US Geological Survey (USGS) Austin West, Texas, topographic quadrangle (USGS, 1988) and is within the Shoal Creek watershed (COA, 2012). Topographically, the site ranges from approximately 570 to 670 feet above mean sea level (USGS, 1988). Drainage on the subject site occurs primarily by overland sheet flow in a west-to-east direction into Shoal Creek.

CORPORATE HEADQUARTERS

1507 South IH 35 ★ Austin, Texas 78741 ★ 512.328.2430 ★ Fax 512.328.1804 ★ www.horizon-esi.com
Certified WBE/HUB/DBE/SBE

According to the Natural Resources Conservation Service (NRCS), mapped soils on the subject site include the following:

**TABLE 1
SOILS**

SOIL NAME	SOIL TYPE	SOIL DEPTH (FEET)	UNDERLYING MATERIAL	PERMEABILITY	AVAILABLE WATER CAPACITY	SHRINK-SWELL CAPACITY
Eddy soils and Urban land, 0 to 6% slopes (EuC)	gravelly loam or gravelly clay loam	0.5 to 1.5	weakly cemented chalk	moderately slow	low	low
Houston Black soils and Urban land, 0 to 8% slopes (HsD)	clay or gravelly clay	4 to 6	mottled clay	very slow	high	high
Oakalla soils, 0 to 1% slopes, channeled, frequently flooded (Fs)	silty clay loam	4 to 6	chalk	moderate	high	low
Urban land and Austin soils, 0 to 5% slopes (UsC)	silty clay	2 to 4	partly weathered chalk	moderately slow	low	moderate to high
Urban land, Austin, and Whitewright soils, 1 to 8% (UtD)	silty clay or clay loam	2 to 4	soft limestone	moderately slow	low	moderate to high

Source: Werchan and Coker, 1974; NRCS, 2015

A review of existing literature shows the subject property is predominately underlain by the Eagle Ford Group and Buda Limestone undivided (Keb) (UT-BEG, 1995). The Eagle Ford Group is a massive, calcareous, and gray to dark gray shale with thin interbeds of silty and sandy, flaggy limestone. It has a maximum thickness of up to 45 feet and is not known to yield water in Travis County. The Buda Limestone is massive, light gray to pale orange, fine grained, hard, poorly bedded to nodular, and fossiliferous with burrows filled with chalky marl. The upper portion is harder and bluff forming. It has an estimated maximum thickness of up to 50 feet and is not known to yield water in Travis County. Underlying the Eagle Ford Group and Buda Limestone undivided is the Del Rio Clay with a thickness ranging from 40 to 70 feet. In general, the rock strata beneath the site dip gently to the east-southeast at about 40 to 50 feet per mile (less than 1°). Additionally, the subject property is not located within the Balcones Fault Zone, and available geologic reports indicate that the immediate area has not been affected by geologic inactive faulting. The nearest fault is located about 300 feet due west of the site, trending southwest to northeast along Loop 1.

A search was made for water wells on and within 150 feet of the boundary of the subject site. A review of the records of the Texas Water Development Board (TWDB) revealed 1 unused water well (No. 5842622 – Texas State Cemetery) located at the far northwestern corner of the site near the intersection of Bull Creek Road and 45th Street (TWDB, 2015). This well is reportedly completed in the Edwards Aquifer with a pump set at approximately 395 feet below the surface and a total depth of 504 feet (TWDB, 2015). The results of this survey do not preclude the existence of an abandoned well. Abandoned wells must be capped or properly abandoned according to the Administrative Rules of the Texas Department of Licensing and Regulation, 16 Texas Administrative Code (TAC), Chapter 76, effective 3 January 1999. A plugging report must

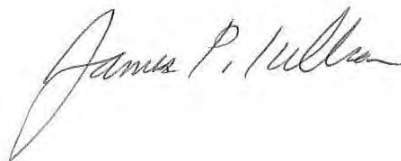
be submitted (by a licensed water well driller) to the Texas Department of Licensing and Regulation, Water Well Driller's Program, Austin, Texas. If a well is intended for use, it must comply with 16 TAC §76.

The karst survey was conducted on 18 May 2015 by Horizon support staff under the supervision of senior geologist James Killian, PG, who is currently permitted by the US Fish and Wildlife Service (USFWS) to sample and collect federally listed karst invertebrate species within Bexar, Travis, and Williamson counties, Texas, for scientific and species recovery purposes. The karst feature survey was conducted in general accordance with USFWS protocols. The ground survey was performed by walking parallel transects within the subject site and evaluating any surface expression that might indicate subsurface karst development. The survey included a review of available, existing information on previously documented regional caves that contain federally protected species, topography and geology of the subject site and vicinity, a pedestrian ground survey to identify surface expressions of karst features, and the description and assessment of features, if present. Mapping by George Veni and Associates (2002) indicates most of the subject site is located within Karst Zone 4, which is defined as areas that do not contain endangered cave fauna. Along lower elevations near Shoal Creek, the subject site is located within Karst Zone 3, which is defined as areas that probably do not contain endangered cave fauna.

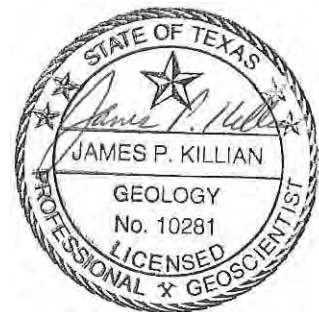
Following the collection and review of background information, Horizon conducted a ground survey of the subject site to locate and describe karst features that could provide suitable habitat for endangered cave invertebrate species and/or provide point recharge to the Edwards Aquifer. While conducting the survey, field personnel evaluated any outcropping limestone, surface depressions, or other factors that may indicate subsurface karst development. Based on the results of the ground survey, no potential karst features were found at the subject site.

Based upon identified geologic information, a low to moderate potential exists that subsurface voids may be encountered during any proposed construction within the immediate project area that would involve subsurface excavation. If such voids are encountered, excavation should stop immediately, and a qualified karst geologist should be contacted to perform an inspection/evaluation of the voids. Please contact me or Mr. Shannon Dorsey at 512.328.2430 if you have any questions or require additional information.

Sincerely,



James Killian, PG¹
Senior Geologist – Horizon



¹ Registered Professional Geologist, State of Texas

REFERENCES

- (COA) City of Austin. *City of Austin GIS Data Sets. Watersheds*. <ftp://ftp.ci.austin.tx.us/GIS-Data/Regional/coa_gis.html>. 26 July 2012.
- (NRCS) Natural Resources Conservation Service (formerly Soil Conservation Service), US Department of Agriculture. Web Soil Survey, <<http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>>. Accessed 26 May 2015.
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- (UT-BEG) The University of Texas at Austin Bureau of Economic Geology; C.V. Proctor, Jr., T.E. Brown, J.H. McGowen, N.B. Waechter, and V.E. Barnes. *Geologic Atlas of Texas*, Austin Sheet. Francis Luther Whitney Memorial Edition. 1974; revised 1995.
- Veni, George, and Associates. *Delineation of hydrogeologic areas and zones for the management and recovery of endangered karst invertebrate species in Bexar County, Texas*. Report for the US Fish and Wildlife Service, Austin, Texas, George Veni and Associates, San Antonio, Texas, 75 pp. 2002.
- Werchan, Leroy E., A.C. Lowther, and Robert N. Ramsey. *Soil Survey of Travis County, Texas*. US Department of Agriculture, Natural Resources Conservation Service (formerly Soil Conservation Service), in cooperation with the Texas Agricultural Experiment Station. 1974.

**ERI WORKSHEET SECTION 8:
CRITICAL ENVIRONMENTAL FEATURES**

CEF Descriptions
Descriptions of Proposed Buffers
Color Photographs

Critical Environmental Features

CEFS observed on or within 150 feet from the subject site include:

Springs/Seeps: _____
Point Recharge Features: _____
Bluffs: _____
Canyon Rimrocks: _____
Wetlands: 1

1 CEF, as defined by the City of Austin, was found on or within 150 feet from the subject site. The CEF wetland (W 1) consisted of hydrophytic vegetation and surface water (0-3 inches). The wetland was located on a side slope adjacent to Shoal Creek. The CEF wetland dimensions and locations are provided on the City of Austin CEF worksheet and photographs are attached.

Proposed Buffers

If the subject site is proposed for future development, the City of Austin generally requires that 150-foot buffer zones be placed on all CEFs.



PHOTO 1
General view of area located above the Edwards Aquifer Recharge Zone.



PHOTO 2
Typical view of the subject site.



PHOTO 3
View of Shoal Creek.



PHOTO 4
View of CEF wetland W 1.

**ERI WORKSHEET SECTION 9:
SITE MAPS**

- Figure 1. Site-Specific Geologic Map
- Figure 2. Historical Aerial Photo
- Figure 3. Site Soil Map
- Figure 4. Critical Environmental Features and Well Locations
- Figure 5. Edwards Aquifer Recharge Zone with 1500-foot Verification Zone
- Figure 6. Critical Water Quality Zone (CWQZ)
- Figure 7. City of Austin Fully Developed Floodplains

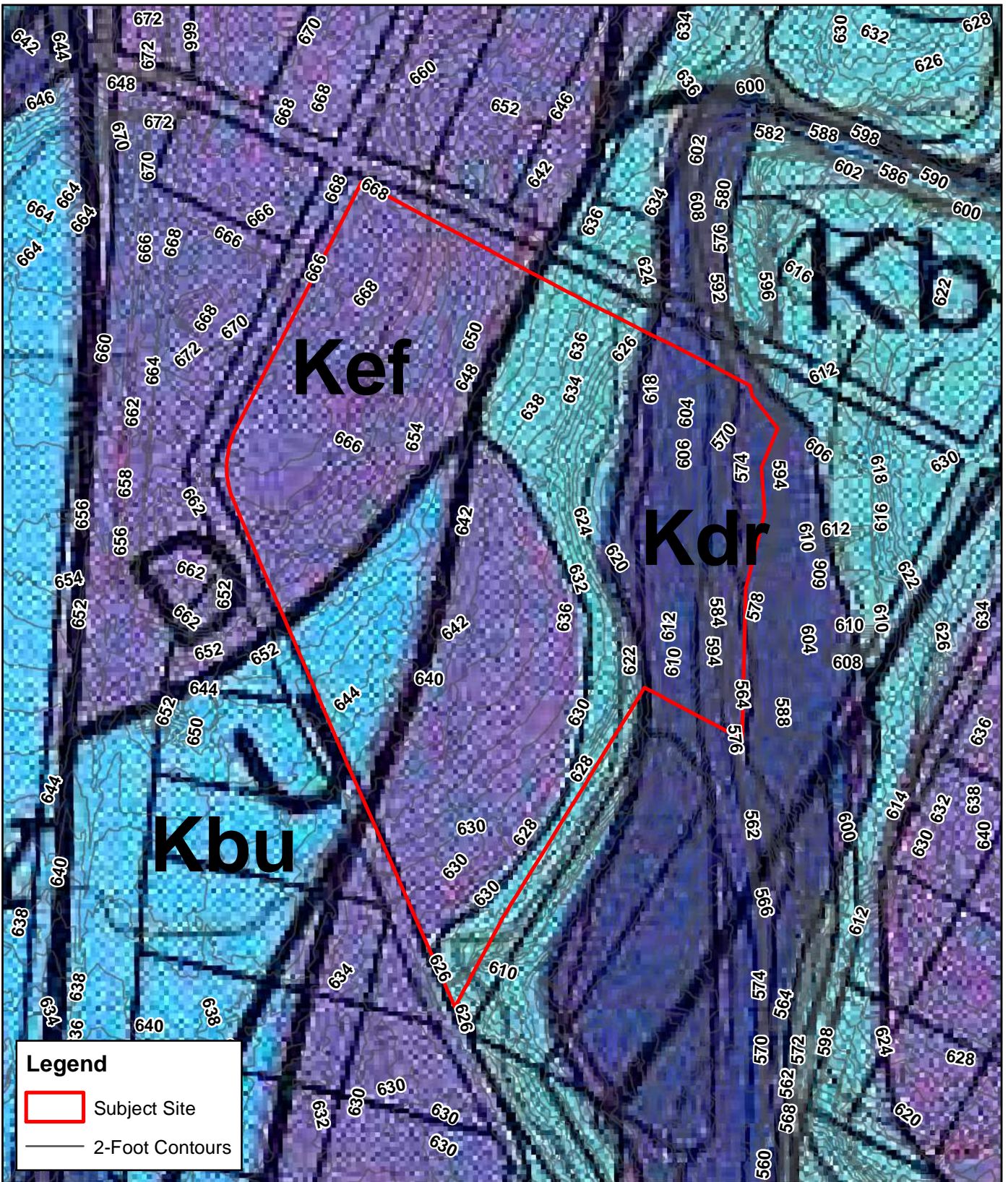



FIGURE 1

SITE SPECIFIC GEOLOGIC MAP
APPROXIMATELY 76-ACRE
THE GROVE AT SHOAL CREEK
AUSTIN, TRAVIS COUNTY, TEXAS

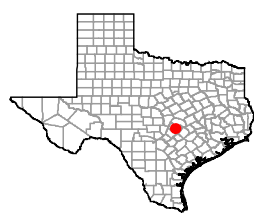
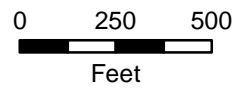




Legend

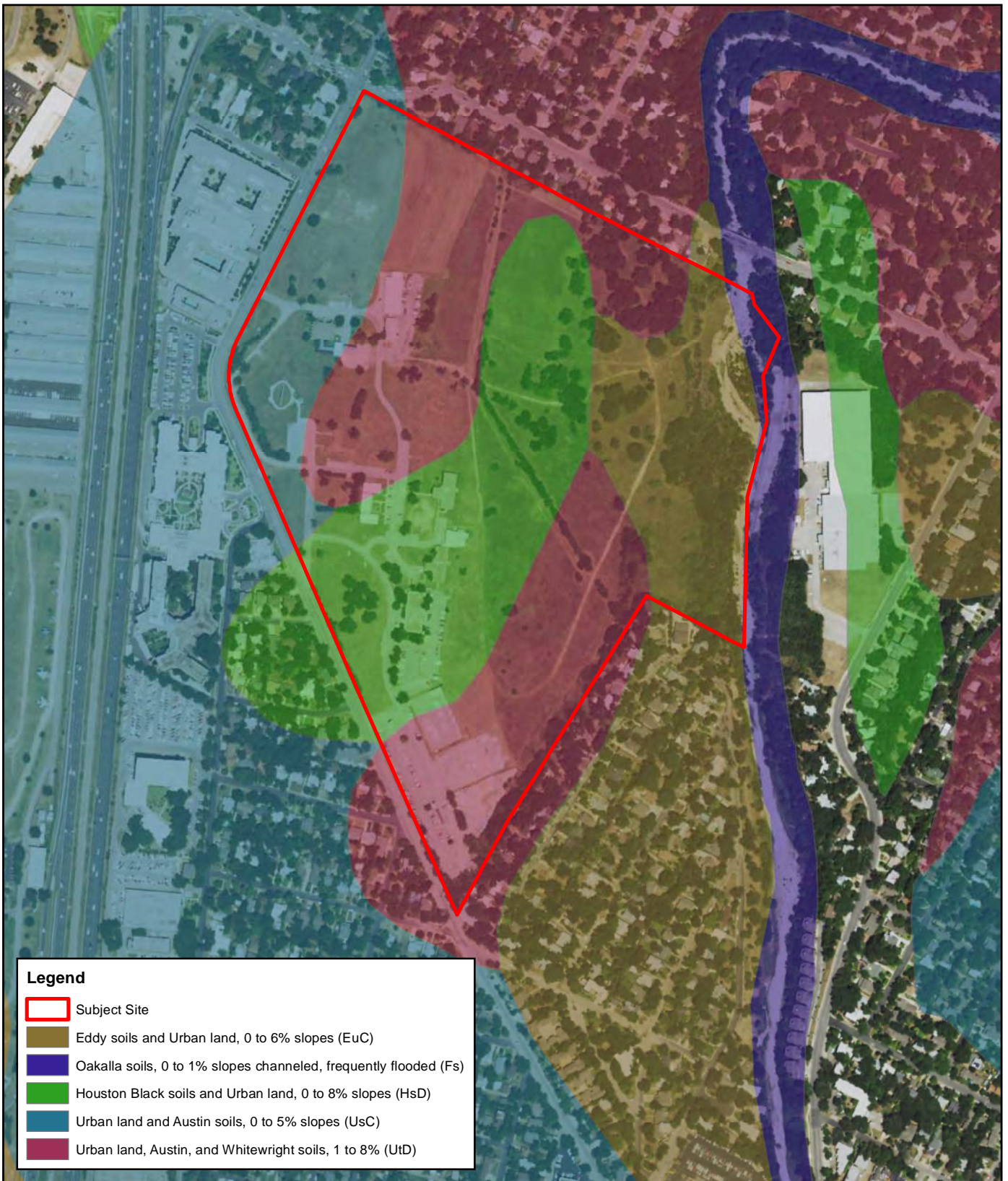
 Subject Site

MAP SOURCE: USDA, 1995.



Horizon
Environmental Services, Inc.

FIGURE 2
HISTORICAL AERIAL PHOTO
APPROXIMATELY 76-ACRE
THE GROVE AT SHOAL CREEK
AUSTIN, TRAVIS COUNTY, TEXAS



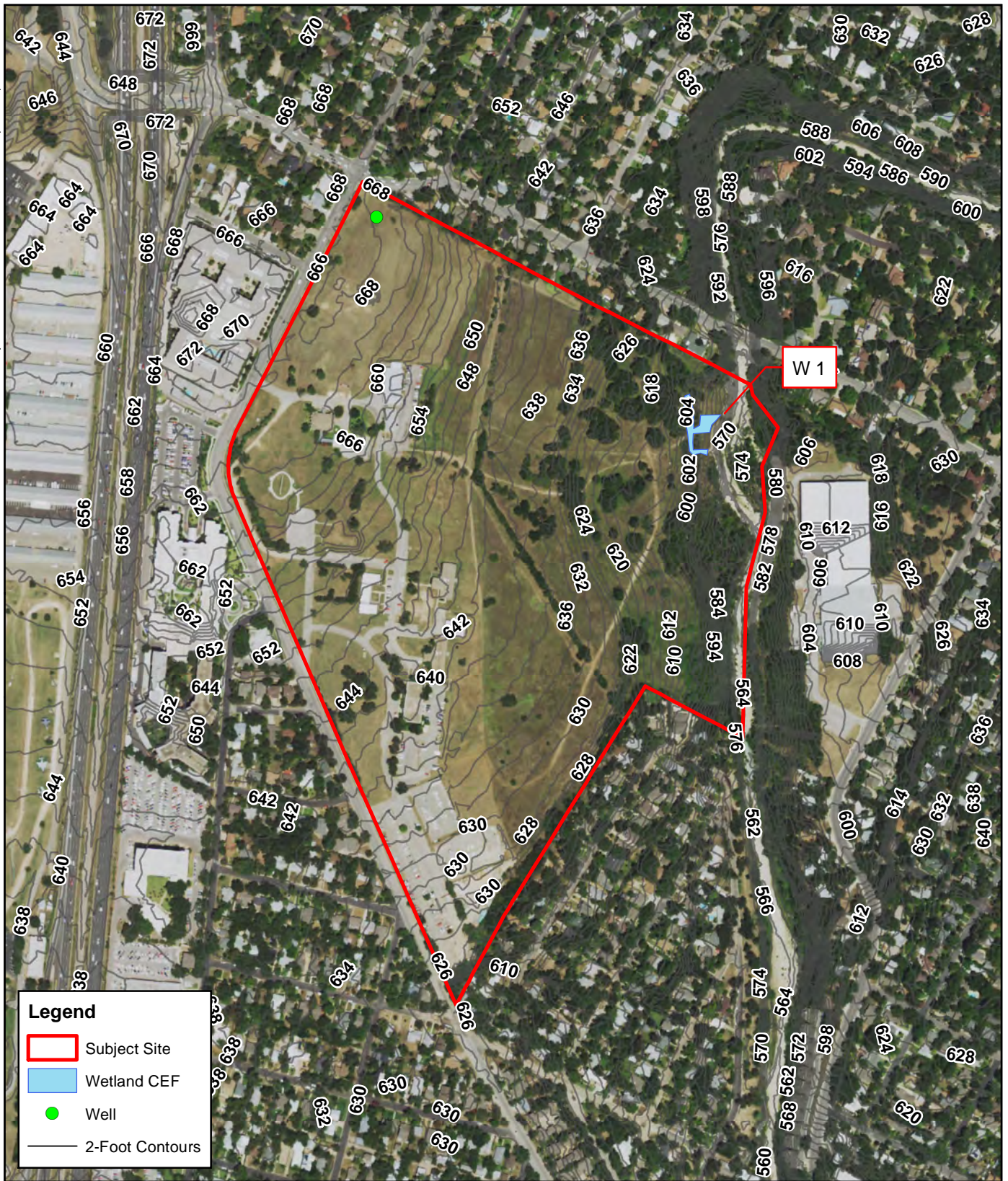
MAP SOURCE: USDA, 2014; NRCS, 2015.

0 250 500
Feet



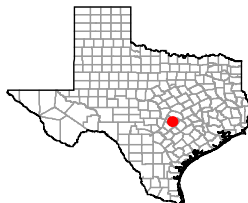
FIGURE 3

SITE SOIL MAP
APPROXIMATELY 76-ACRE
THE GROVE AT SHOAL CREEK
AUSTIN, TRAVIS COUNTY, TEXAS



MAP SOURCE: USDA, 2014.

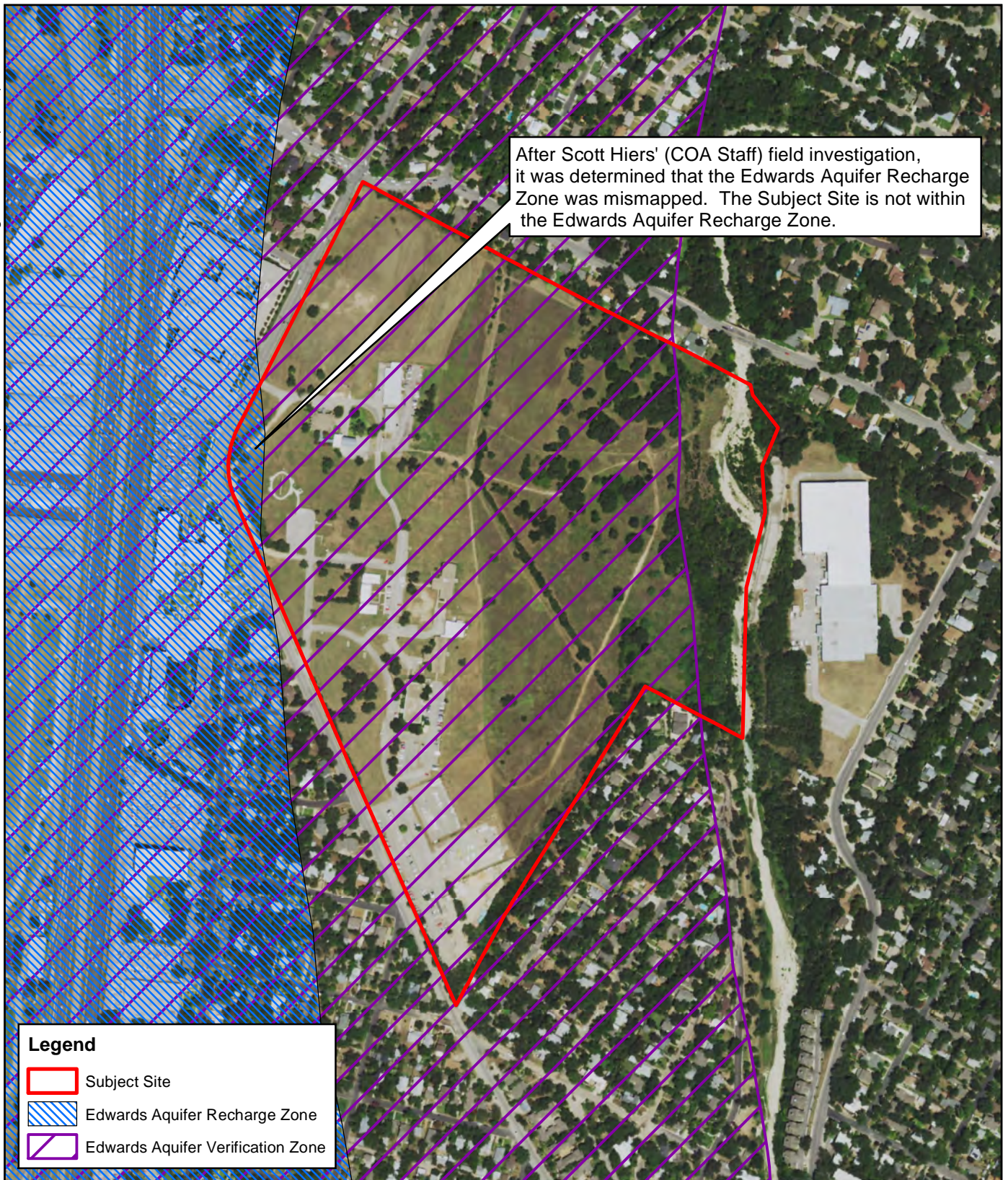
0 250 500
Feet



Horizon
Environmental Services, Inc.

FIGURE 4

CRITICAL ENVIRONMENTAL FEATURES
AND WELL LOCATIONS MAP
APPROXIMATELY 76-ACRE
THE GROVE AT SHOAL CREEK
AUSTIN, TRAVIS COUNTY, TEXAS



Legend

- Subject Site
- Edwards Aquifer Recharge Zone
- Edwards Aquifer Verification Zone

MAP SOURCE: COA, 2015; USDA, 2014.

0 250 500
Feet



FIGURE 5

EDWARDS AQUIFER RECHARGE ZONE
WITH VERIFICATION ZONE MAP
APPROXIMATELY 76-ACRE
THE GROVE AT SHOAL CREEK
AUSTIN, TRAVIS COUNTY, TEXAS



MAP SOURCE: COA, 2015; USDA, 2014.

FIGURE 6

CRITICAL WATER QUALITY ZONE MAP
APPROXIMATELY 76-ACRE
THE GROVE AT SHOAL CREEK
AUSTIN, TRAVIS COUNTY, TEXAS



MAP SOURCE: COA, 2015; USDA, 2014.

0 250 500
Feet



FIGURE 7

CITY OF AUSTIN FULLY DEVELOPED
FLOODPLAIN FOR ALL WATER COURSES
WITH UP TO 64-ACRES OF DRAINAGE MAP
APPROXIMATELY 76-ACRE
THE GROVE AT SHOAL CREEK
AUSTIN, TRAVIS COUNTY, TEXAS

**ERI WORKSHEET SECTION 10:
HYDROGEOLOGIC REPORT ADDITIONAL DATA**

SECTION 10 ADDITIONAL DATA

Brief description of site geology, continued from ERI worksheet, Section 10:

Del Rio Clay ("Grayson Marl"), Kdr, Georgetown Formation, Kgt, and in structurally complicated areas, Del Rio clay ("Grayson Marl") and Georgetown Formation undivided, Kdg.

Del Rio Clay ("Grayson Marl"), Kdr, calcareous and gypsiferous, becoming less calcareous and more gypsiferous upward, pyrite common, blocky, medium gray, weathers light gray to yellowish gray; some thin lenticular beds of highly calcareous siltstone: marine megafossils include abundant *Exogyra arietina* and other pelecypods; thickness 40-70 feet.