



612 Brazos Remodel

Existing office building within National Register Historic District
612 Brazos St
Austin, Texas 78701

Contact

Client

Location

Date

Image



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Contact

Client

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Image



Existing East Exterior Elevation



Existing North Exterior Elevation



Contact

Client

Location

Date

Image



Proposed Rendering of East Exterior Elevation



Proposed Rendering of North Exterior Elevation



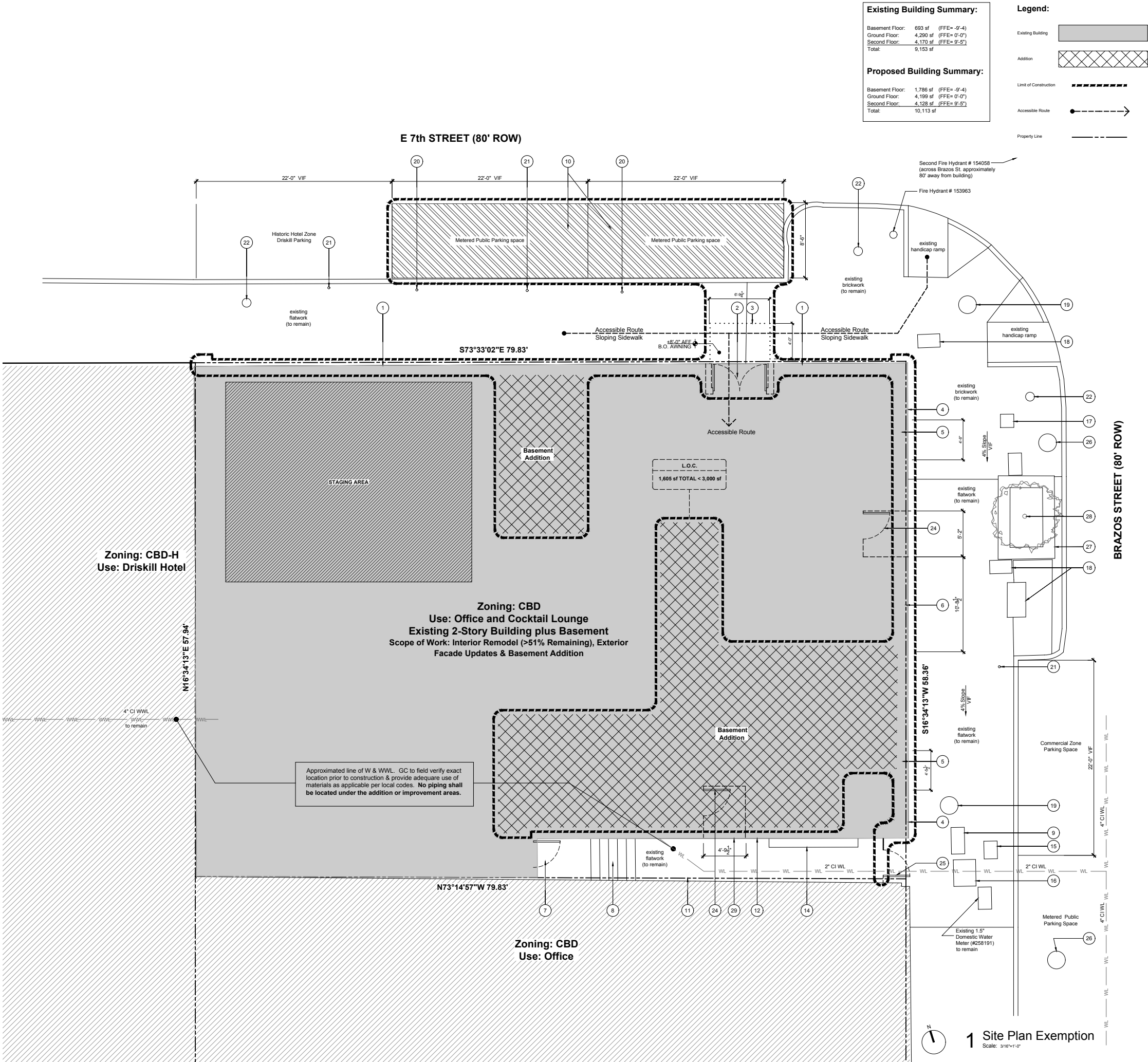
Contact

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Location

Date

Image



- Site Plan General Notes:**
- The dimensions on this sheet are based off of the face of foundation and the property line.
 - All spot elevations to be verified in field prior to construction. Notify MHOA of any discrepancies.
 - Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
 - Keynotes located on this sheet are for this sheet only.
 - Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
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 - (E) denotes existing item.

- Site Plan Keynotes:**
- Maintain (E) storefront windows. Recaulk joints and re-clad fascia with metal panels.
 - New door and further recessed entry at (E) doorway opening.
 - New detachable awning above (E) doorway.
 - Replace exterior finish with new material. Replace/repair weather resistive barrier and sheathing as required.
 - Infill (E) door opening. Clad to match adjacent new material.
 - New window in expanded (E) opening. Infill opening and remove wall as required for expanded window opening.
 - (E) door to remain.
 - (E) stair to remain.
 - (E) electric meter.
 - Public parking spaces to serve as locations for dumpsters. Refer to approved TCP.
 - Property line shown dashed.
 - Line of (E) building footprint. To remain.
 - (E) electric manhole.
 - (E) electric service meters to remain.
 - (E) gas meter.
 - (E) metal vault.
 - Not used.
 - (E) electric junction box.
 - (E) electric manhole.
 - (E) parking sign.
 - (E) parking meter.
 - (E) luminary standard.
 - Not used.
 - New door.
 - New gate and fence to replace existing.
 - (E) telephone manhole.
 - (E) stone planter.
 - (E) tree.
 - Remove portion of (E) wall for new opening and door.

Project Description:

The project is a facade remodel and interior remodel of an existing two-story structure with a basement. There is an addition and change of use (assembly) at the basement. There is no change in impervious cover. The existing sidewalk paving shall remain.

Site Information:

Site Area: 4,642 SF
Legal Description: LOT 1, OF BRAZOS ADDITION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, RECORDED IN BOOK 82, PAGE 59, T.C.P.R. AS CONVEYED TO IMOB, LLC IN DOC. 2011048556, T.C.O.P.R. 194412
Flood Plain: NO

Zoning Information:

Zoning: CBD
Neighborhood: Downtown
Height Limit: 60 ft
F.A.R.: 2.1
Existing Use: Offices
Proposed Use: Offices & Cocktail Lounge
Setbacks: N/A

Impervious Cover:

Building Coverage:	
Existing:	96% (4,447 sf)
Allowable:	100% (4,642 sf)
Proposed:	96% (4,447 sf)

Impervious Coverage:	
Existing:	100%
Allowable:	100%
Proposed:	100%

Parking Requirements:

No parking requirement per § 25-6-595(B) of the City of Austin Land Development Code.

Historic:

This building is located within the National Register of Historic Districts.

Code Analysis:

Building Height:	2-story plus a basement
Building Area:	
Existing:	9,153 sf
Additions:	980 sf
Total Proposed:	10,113 sf

Construction Type:	V-B (existing)
Occupancy Type:	V-B (new)
	B (Office) and
	A-2 (Bar <50 occupants)

Zoning Use per LDC: Administrative and Business Offices and Cocktail Lounge

Fire Flow Demand:

Construction type per IBC 2012:	V-B
Building area sq ft:	10,113 SF
Required Fire Flow per IFC 2012:	2750 gpm
No Deduction for NFPA 13 Sprinkler Sys.	

Limits of Construction:

1,605 sf < 3,000 sf

Yin

Design Team

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Office (512) 706.4303

Consultant

Seal

5/16/2016

Project

612 Brazos Remodel
Austin, TX 78701

Set

Permit Set

Issue:

16 May 2016, Permit/ Bid Set

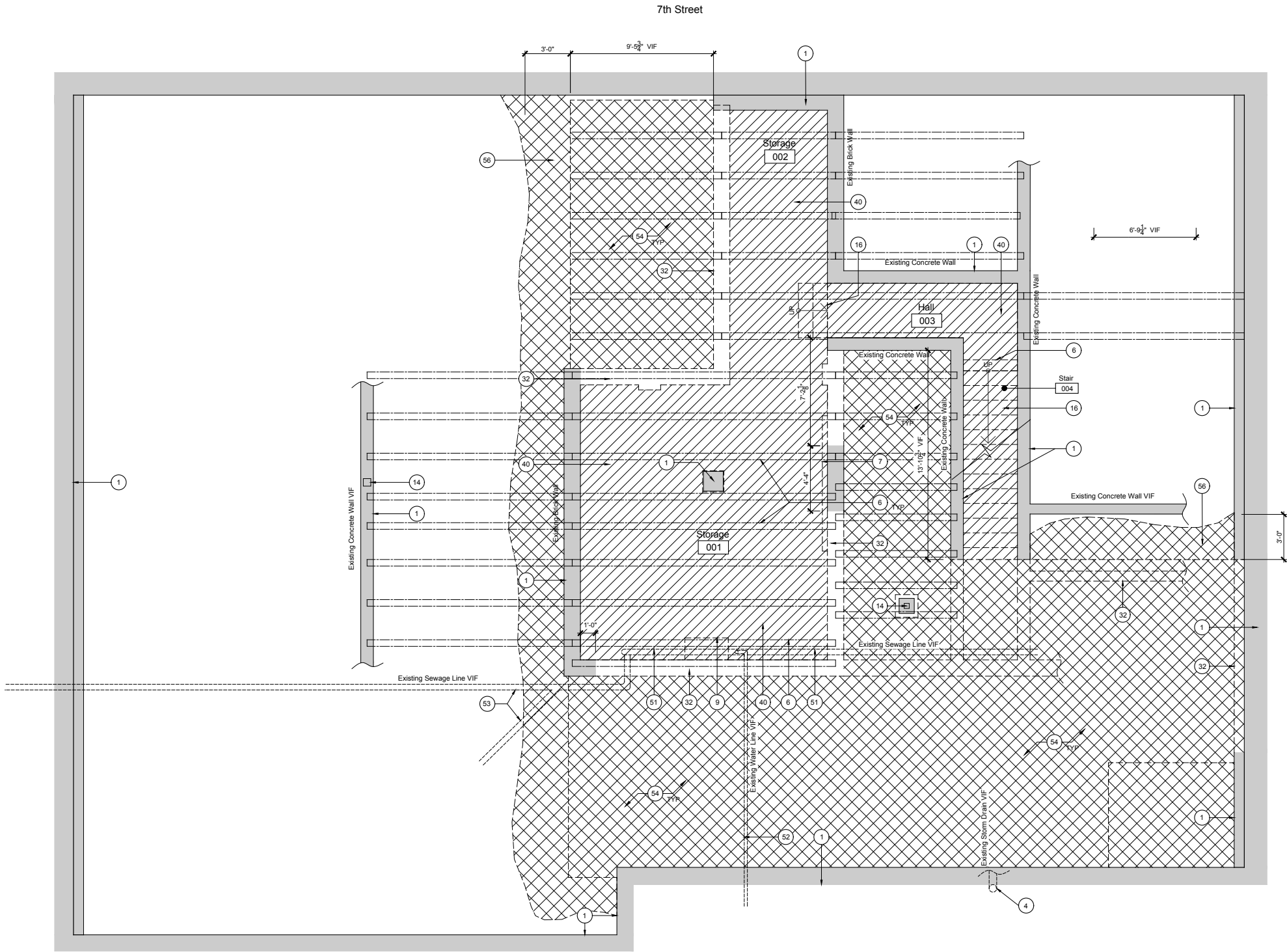
Drawing Title

Site Plan
(Site Plan Exemption
#xxxxxxx)

Sheet

AS1.0

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1 Basement Demo Plan
Scale: 1/4"=1'-0"

Demolition Floor Plan General Notes:

- The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning.
- GC to field verify all dimensions prior to demolition to verify extent of demo will accommodate work. If a discrepancy is identified, please notify MHOA immediately.
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- (E) denotes existing item
- If certain items are in salvageable condition (ie doors and frames, fixtures) notify MHOA before removing.
- Salvage (E) brick at basement for future reuse.

Demolition Floor Plan Keynotes:

- (E) walls and structural members to remain. Patch/ repair walls as required.
- Reuse/ repair (E) electrical service as required to meet code. Remove unused circuits, switchgear, and telephone lines. Refer to MEP drawings.
- (E) adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- (E) plumbing to remain. Refer to MEP.
- Repair (E) concrete treads and risers at stair.
- Line of (E) beam above to remain per Structural, shown dashed.
- Remove and/or relocate (E) electrical equipment, and associated wires, conduit, etc per MEP
- (E) flooring to remain, remove misc. debris and prep for future scope.
- (E) pony wall/ buttresses to be removed per Structural.
- Line of (E) joists to remain per Structural. Shown dashed.
- Finish over (E) brick to be removed. Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- (E) tile in vestibule to be removed.
- Not used.
- (E) columns to remain. Beams and joist framing above to remain.
- Remove door.
- Remove stairway, associated framing, handrails, etc.
- Not used.
- Remove window.
- (E) electrical panels, circuits and switchgear to remain. Refer to MEP.
- Not used.
- Not used.
- (E) door to remain.
- Not used.
- (E) steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- Remove (E) exterior cladding and finishes to weather barrier. Existing sheathing and studs to remain. Replace/ repair weather barrier as required.
- Remove (E) plumbing fixture. Cap off as required.
- (E) water heater to remain. Refer to MEP.
- Not used.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work. Remove (E) tinted film.
- (E) electrical utilities to remain. Refer to MEP.
- Remove (E) gate and fence.
- Remove wall, refer to structural for shoring, demo sequence and new framing plan.
- (E) stair to remain.
- Portion of (E) flooring/ flatwork to be removed to accommodate future scope of work.
- Maintain ADA compliant threshold (1/2" MAX) and landing (1-48 MAX slope) where required.
- (E) gas service and meter to remain. Refer to MEP.
- Open to below to remain.
- Reuse (E) electrical panels, circuits, and switch gear. Relocate per new plans.
- Not used.
- (E) mechanical chase and access panels to remain.
- Remove (E) structure and associated flooring materials. Refer to proposed scope of work and Structural drawings.
- (E) window to remain.
- (E) roofing to remain. Repair/ patch as required.
- (E) roof drains to remain. Repair/ refurbish/ flush-clean as required.
- Remove roofing and sheathing for new skylight. (E) beams and structure to remain. Refer to Structural.
- (E) parapet and coping to remain
- Remove (E) coping (Parapet framing, sheathing and weather barrier to remain. Repair as required.)
- (E) electrical equipment per MEP. Refer to MEP drawings.
- (E) mechanical equipment per MEP. Refer to MEP drawings.
- (E) roof framing below shown dashed.
- Dashed line of wall below.
- (E) sewage line to be relocated/ rerouted per MEP engineer design.
- (E) water main to be relocated/ rerouted per MEP engineer design.
- Portion of (E) sewage line to remain. Refer to MEP.
- Excavate (E) sub-grade area per Structural. Provide shoring and new foundation per Structural.
- Troubleshoot area of ponding water on roof and provide narrative for possible fix for owner/ MHOA review.
- Overexcavate for future waterproofing +/- 36". Refer to Structural.
- Remove (E) unused plumbing vents per MEP.
- Remove (E) open web joists and decking per Structural. Refer to Structural for Demolition and Framing Plans.
- Remove portion of (E) flatwork to make flush with floor. (E) slab to remain.

Demolition Legend:

- Existing Wall to Remain
- Demo Wall
- Demo Slab
- Excavate
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)

Yin



Design Team

Michael Hsu
Office Of Architecture

HsuOffice.com

Consultant



Seal

Project
612 Brazos Remodel
Austin, TX 78701

Set
Permit Set

Issue:
16 May 2016, Permit/ Bid Set

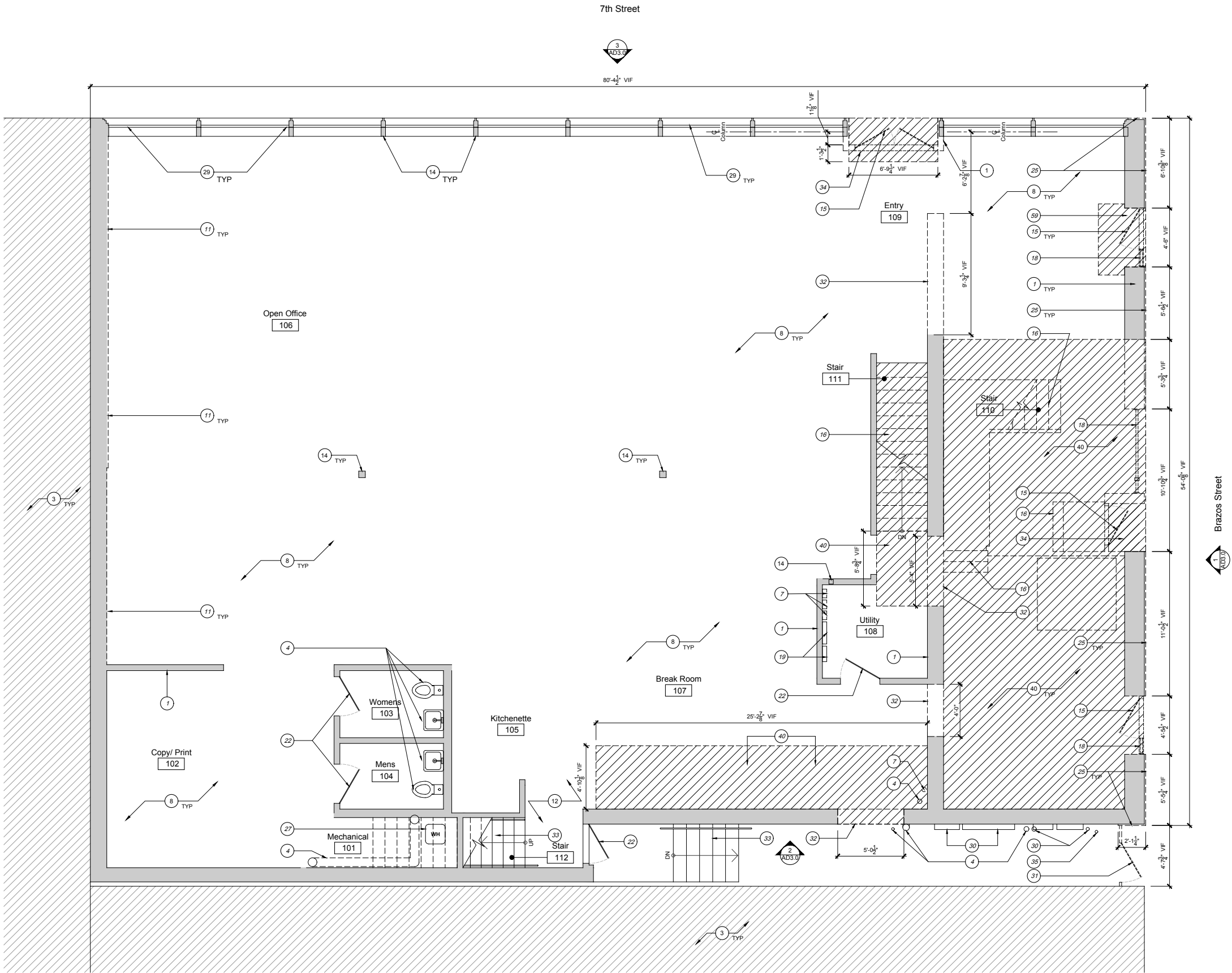
Drawing Title

Basement Demo
Floor Plan

Sheet

AD1.0

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Demolition Floor Plan General Notes:

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- (E) denotes existing item
- If certain items are in salvageable condition (ie doors and frames, fixtures) notify MHOA before removing.
- Salvage (E) brick at basement for future reuse.

Demolition Floor Plan Keynotes:

- (E) walls and structural members to remain. Patch/ repair walls as required.
- Reuse/ repair (E) electrical service as required to meet code. Remove unused circuits, switchgear, and telephone lines. Refer to MEP drawings.
- (E) adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- (E) plumbing to remain. Refer to MEP.
- Repair (E) concrete treads and risers at stair.
- Line of (E) beam above to remain per Structural, shown dashed.
- Remove and/or relocate (E) electrical equipment, and associated wires, conduit, etc per MEP
- (E) flooring to remain, remove misc. debris and prep for future scope.
- (E) pony wall/ buttresses to be removed per Structural
- Line of (E) joists to remain per Structural. Shown dashed.
- Finish over (E) brick to be removed. Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- (E) tile in vestibule to be removed.
- Not used.
- (E) columns to remain. Beams and joist framing above to remain.
- Remove door.
- Remove stairway, associated framing, handrails, etc.
- Not used.
- Remove window.
- (E) electrical panels, circuits and switchgear to remain. Refer to MEP.
- Not used.
- (E) door to remain.
- Not used.
- (E) steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- Remove (E) exterior cladding and finishes to weather barrier. Existing sheathing and studs to remain. Replace/ repair weather barrier as required.
- Remove (E) plumbing fixture. Cap off as required.
- (E) water heater to remain. Refer to MEP.
- Not used.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work. Remove (E) tinted film.
- (E) electrical utilities to remain. Refer to MEP.
- Remove (E) gate and fence.
- Remove wall, refer to structural for shoring, demo sequence and new framing plan.
- (E) stair to remain.
- Portion of (E) flooring/ flatwork to be removed to accommodate future scope of work. Maintain ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope) where required.
- (E) gas service and meter to remain. Refer to MEP.
- Open to below to remain.
- Reuse (E) electrical panels, circuits, and switch gear. Relocate per new plans.
- Not used.
- (E) mechanical chase and access panels to remain.
- Remove (E) structure and associated flooring materials. Refer to proposed scope of work and Structural drawings.
- (E) window to remain.
- (E) roofing to remain. Repair/ patch as required.
- (E) roof drains to remain. Repair/ refurbish/ flush-clean as required.
- Remove roofing and sheathing for new skylight. (E) beams and structure to remain. Refer to Structural.
- (E) parapet and coping to remain
- Remove (E) coping (Parapet framing, sheathing and weather barrier to remain. Repair as required.)
- (E) electrical equipment per MEP. Refer to MEP drawings.
- (E) mechanical equipment per MEP. Refer to MEP drawings.
- (E) roof framing below shown dashed.
- Dashed line of wall below.
- (E) sewage line to be relocated/ rerouted per MEP engineer design.
- (E) water main to be relocated/ rerouted per MEP engineer design.
- Portion of (E) sewage line to remain. Refer to MEP.
- Excavate (E) sub-grade area per Structural. Provide shoring and new foundation per Structural.
- Troubleshoot area of ponding water on roof and provide narrative for possible fix for owner/ MHOA review.
- Overexcavate for future waterproofing +/- 36". Refer to Structural.
- Remove (E) unused plumbing vents per MEP.
- Remove (E) open web joists and decking per Structural. Refer to Structural for Demolition and Framing Plans.
- Remove portion of (E) flatwork to make flush with floor. (E) slab to remain.

Demolition Legend:

- Existing Wall to Remain
- Demo Wall
- Demo Slab
- Excavate
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)

Yin

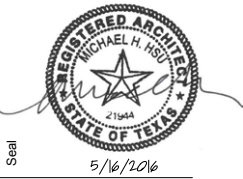


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Design Team
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Consultant



Seal

Project
612 Brazos Remodel
Austin, TX 78701

Set
Permit Set

Issue:

16 May 2016, Permit/ Bid Set

Drawing Title

First Floor
Demo Plan

Sheet

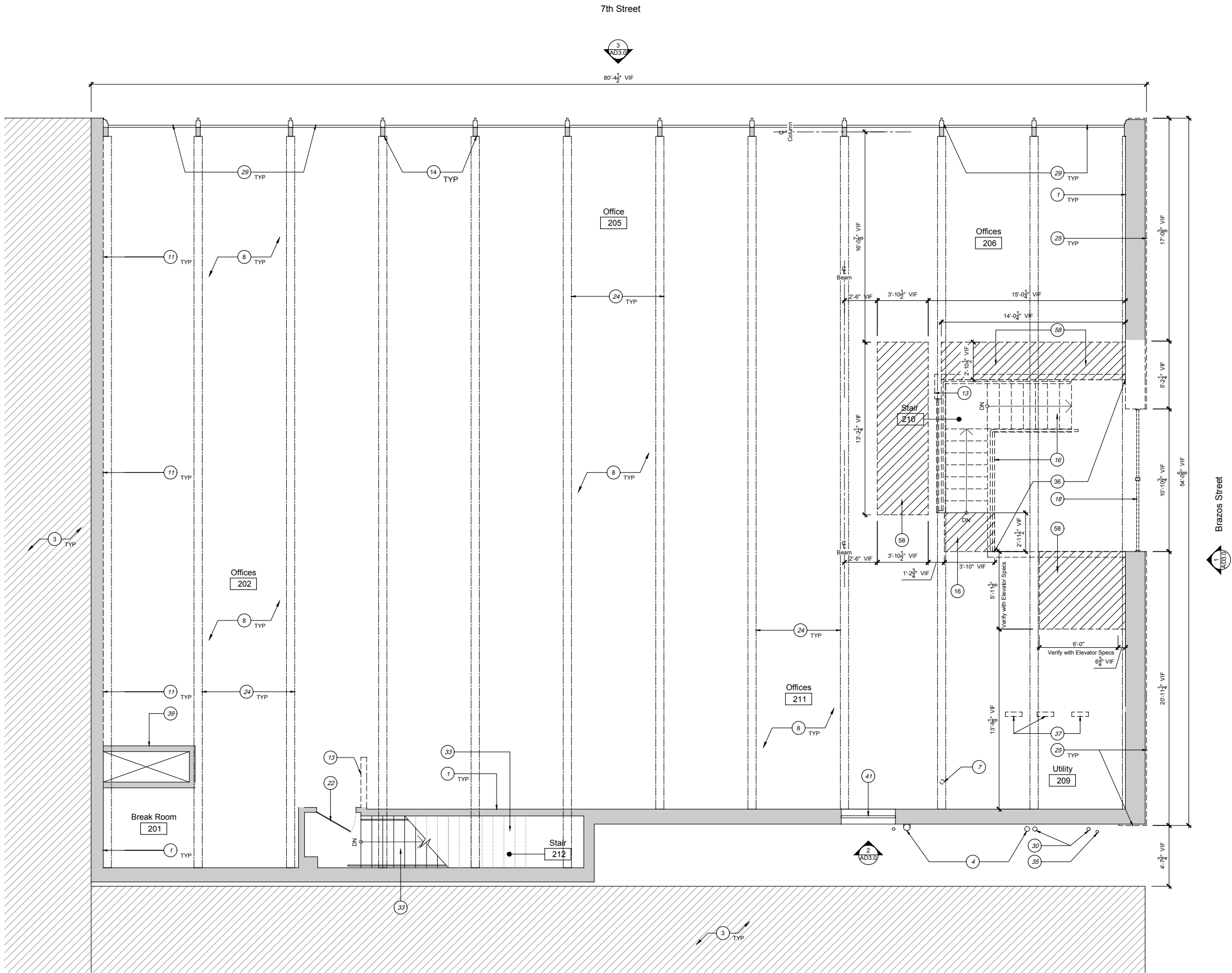


1 First Floor Demo Plan

Scale: 1/4"=1'-0"

AD1.1

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- Salvage (E) brick at basement for future reuse.

Demolition Floor Plan Keynotes:

- (E) walls and structural members to remain. Patch/ repair walls as required.
- Reuse/ repair (E) electrical service as required to meet code. Remove unused circuits, switchgear, and telephone lines. Refer to MEP drawings.
- (E) adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- (E) plumbing to remain. Refer to MEP.
- Repair (E) concrete treads and risers at stair.
- Line of (E) beam above to remain per Structural, shown dashed.
- Remove and/or relocate (E) electrical equipment, and associated wires, conduit, etc per MEP
- (E) flooring to remain, remove misc. debris and prep for future scope.
- (E) pony wall/ buttresses to be removed per Structural.
- Line of (E) joists to remain per Structural. Shown dashed.
- Finish over (E) brick to be removed. Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- (E) tile in vestibule to be removed.
- Remove (E) partition wall.
- (E) columns to remain. Beams and joist framing above to remain.
- Remove door.
- Remove stairway, associated framing, handrails, etc.
- Not used.
- Remove window.
- (E) electrical panels, circuits and switchgear to remain. Refer to MEP.
- Not used.
- (E) door to remain.
- Not used.
- (E) steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- Remove (E) exterior cladding and finishes to weather barrier. Existing sheathing and studs to remain. Replace/ repair weather barrier as required.
- Remove (E) plumbing fixture. Cap off as required.
- (E) water heater to remain. Refer to MEP.
- Not used.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work. Remove (E) tinted film.
- (E) electrical utilities to remain. Refer to MEP.
- Remove (E) gate and fence.
- Remove wall, refer to structural for shoring, demo sequence and new framing plan.
- (E) stair to remain.
- Portion of (E) flooring/ flatwork to be removed to accommodate future scope of work. Maintain ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope) where required.
- (E) gas service and meter to remain. Refer to MEP.
- Open to below to remain.
- Reuse (E) electrical panels, circuits, and switch gear. Relocate per new plans.
- Not used.
- (E) mechanical chase and access panels to remain.
- Remove (E) structure and associated flooring materials. Refer to proposed scope of work and Structural drawings.
- (E) window to remain.
- (E) roofing to remain. Repair/ patch as required.
- (E) roof drains to remain. Repair/ refurbish/ flush-clean as required.
- Remove roofing and sheathing for new skylight. (E) beams and structure to remain. Refer to Structural.
- (E) parapet and coping to remain
- Remove (E) coping (Parapet framing, sheathing and weather barrier to remain. Repair as required.)
- (E) electrical equipment per MEP. Refer to MEP drawings.
- (E) mechanical equipment per MEP. Refer to MEP drawings.
- (E) roof framing below shown dashed.
- Dashed line of wall below.
- (E) sewage line to be relocated/ rerouted per MEP engineer design.
- (E) water main to be relocated/ rerouted per MEP engineer design.
- Portion of (E) sewage line to remain. Refer to MEP.
- Excavate (E) sub-grade area per Structural. Provide shoring and new foundation per Structural.
- Troubleshoot area of ponding water on roof and provide narrative for possible fix for owner/ MHOA review.
- Overexcavate for future waterproofing +/- 36". Refer to Structural.
- Remove (E) unused plumbing vents per MEP.
- Remove (E) open web joists and decking per Structural. Refer to Structural for Demolition and Framing Plans.
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- Demo Wall
- Demo Slab
- Excavate
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)

Yin



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Austin, TX 78701

Set
Permit Set

Issue:

16 May 2016, Permit/ Bid Set

Drawing Title

Second Floor
Demo Plan

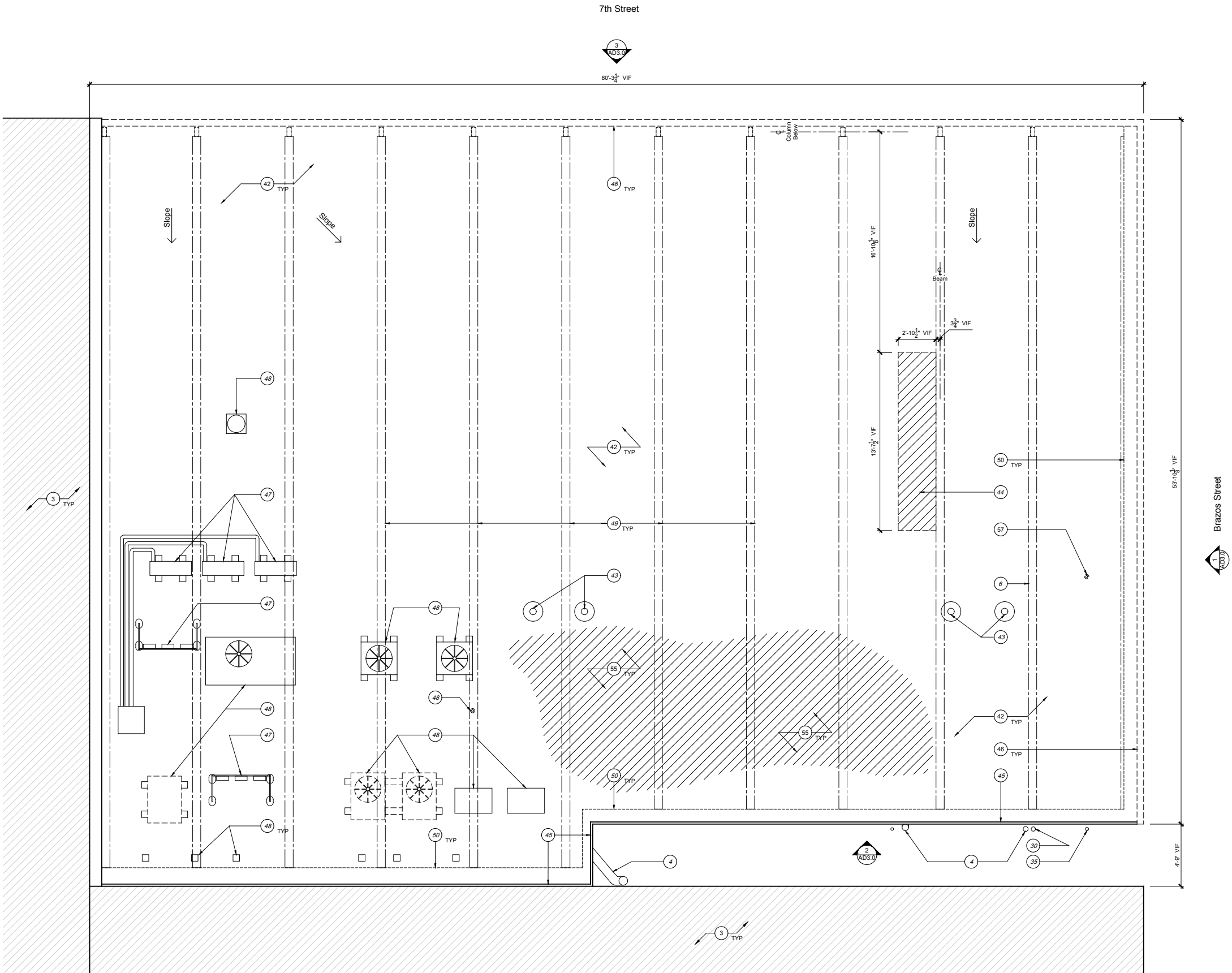
Sheet

AD1.2

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1 Second Floor Demo Plan
Scale: 1/4"=1'-0"



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- Reuse/ repair (E) electrical service as required to meet code. Remove unused circuits, switchgear, and telephone lines. Refer to MEP drawings.
- (E) adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- (E) plumbing to remain. Refer to MEP.
- Repair (E) concrete treads and risers at stair.
- Line of (E) beam above to remain per Structural, shown dashed.
- Remove and/or relocate (E) electrical equipment, and associated wires, conduit, etc per MEP
- (E) flooring to remain, remove misc. debris and prep for future scope.
- (E) pony wall/ buttresses to be removed per Structural.
- Line of (E) joists to remain per Structural. Shown dashed.
- Not used.
- Not used.
- Not used.
- (E) columns to remain. Beams and joist framing above to remain.
- Remove door.
- Remove stairway, associated framing, handrails, etc.
- Not used.
- Remove window.
- (E) electrical panels, circuits and switchgear to remain. Refer to MEP.
- Not used.
- Not used.
- (E) door to remain.
- Not used.
- (E) steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- Remove (E) exterior cladding and finishes to weather barrier. Existing sheathing and studs to remain. Replace/ repair weather barrier as required.
- Remove (E) plumbing fixture. Cap off as required.
- (E) water heater to remain. Refer to MEP.
- Not used.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work.
- (E) electrical utilities to remain. Refer to MEP.
- Remove (E) gate and fence.
- Remove wall, refer to structural for shoring, demo sequence and new framing plan.
- (E) stair to remain.
- Portion of (E) flooring/ flatwork to be removed to accommodate future scope of work. Maintain ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope) where required.
- (E) gas service and meter to remain. Refer to MEP.
- Open to below to remain.
- Reuse (E) electrical panels, circuits, and switch gear. Relocate per new plans.
- Not used.
- (E) mechanical chase and access panels to remain.
- Remove (E) structure and associated flooring materials. Refer to proposed scope of work and Structural drawings.
- (E) window to remain.
- (E) roofing to remain. Repair/ patch as required.
- (E) roof drains to remain. Repair/ refurbish/ flush-clean as required.
- Remove roofing and sheathing for new skylight. (E) beams and structure to remain. Refer to Structural
- (E) parapet and coping to remain
- Remove (E) coping (Parapet framing, sheathing and weather barrier to remain. Repair as required.)
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- (E) roof framing below shown dashed.
- Dashed line of wall below.
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- Excavate (E) sub-grade area per Structural. Provide shoring and new foundation per Structural.
- Troubleshoot area of ponding water on roof and provide narrative for possible fix for owner/ MHOA review.
- Overexcavate for future waterproofing +/- 36". Refer to Structural.
- Remove (E) unused plumbing vents per MEP.
- Remove (E) open web joists and decking per Structural. Refer to Structural for Demolition and Framing Plans.

Demolition Legend:

- Existing Wall to Remain
- Demo Wall
- Demo Slab
- Excavate
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)

Yin



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16 May 2016, Permit/ Bid Set

Drawing Title

Demo Roof Plan

Sheet

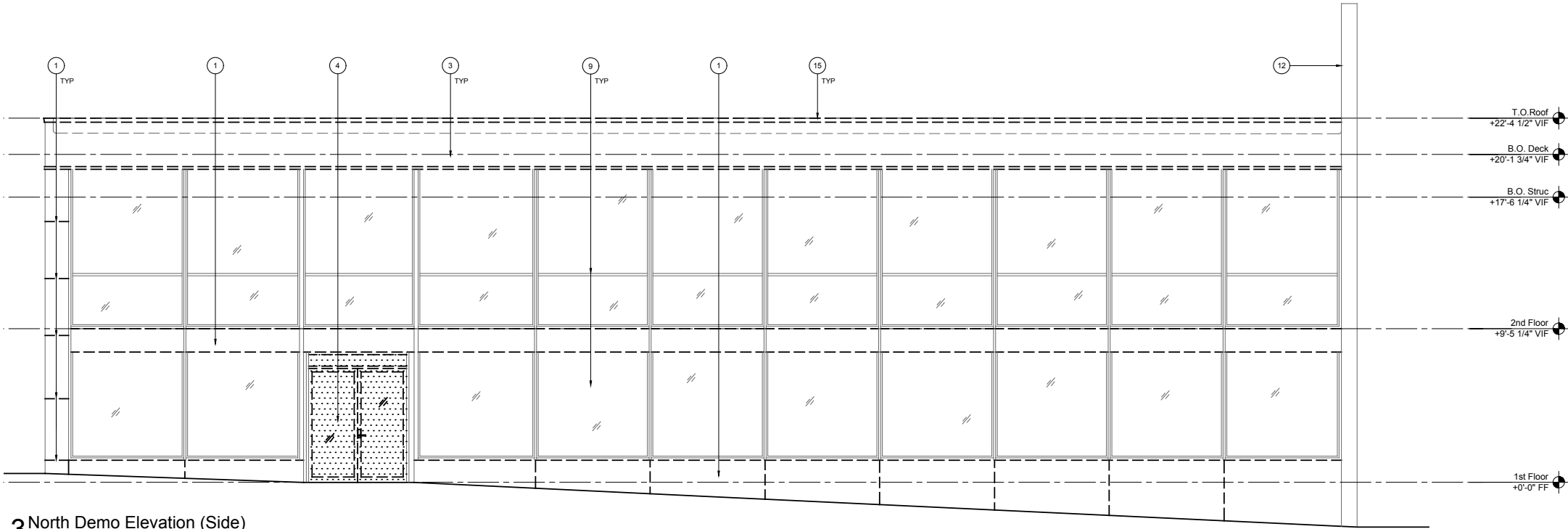
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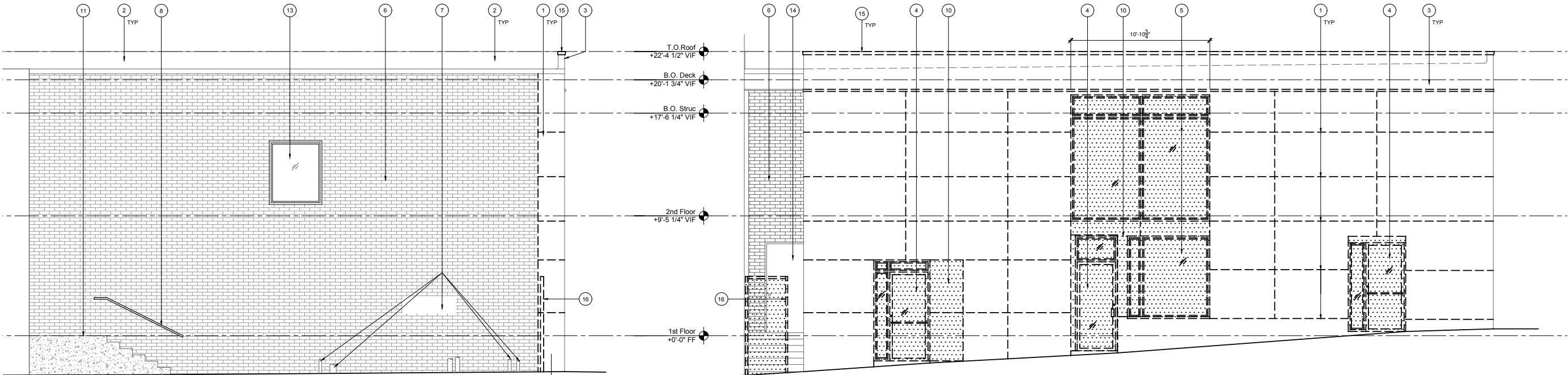
1 Demo Roof Plan

Scale: 1/4"=1'-0"



3 North Demo Elevation (Side)

Scale: 1/4"=1'-0"



2 South Demo Elevation (Alley)

Scale: 1/4"=1'-0"

1 East Demo Elevation (Primary)

Scale: 1/4"=1'-0"

Demo Elevation General Notes:

- The dimensions on this sheet are based off of the face of finish material or masonry. All dimensions are to face of finish material, edge of awning, or centerline of support, unless otherwise noted.
- Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
- Elevations are shown for reference only. Refer to Building Plans, Sections, Wall Sections and Window Elevations for additional information.
- All glass to be tempered in areas required by applicable code.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Keynotes located on this sheet are for this sheet only.
- Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
- Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.
- (E) denotes existing item.

Demo Elevation Keynotes:

- Remove (E) cladding and exterior finishes to sheathing. (E) sheathing and studs to remain.
- (E) roofing to remain.
- Remove (E) parapet cladding to sheathing. (E) sheathing and studs to remain.
- Remove (E) door and frame.
- Remove (E) window.
- (E) brick wall to remain.
- (E) utilities to remain.
- (E) handrail to remain.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work. Remove (E) tinted film.
- Remove (E) wall, refer to demo plans.
- (E) concrete steps to remain.
- (E) party wall to remain.
- (E) window to remain.
- (E) door to remain.
- Remove (E) coping.
- Remove (E) metal fence/ gate.

Demo Elevation Legend:

- Existing to be removed.
- Existing wall cladding and exterior finishes to be removed.

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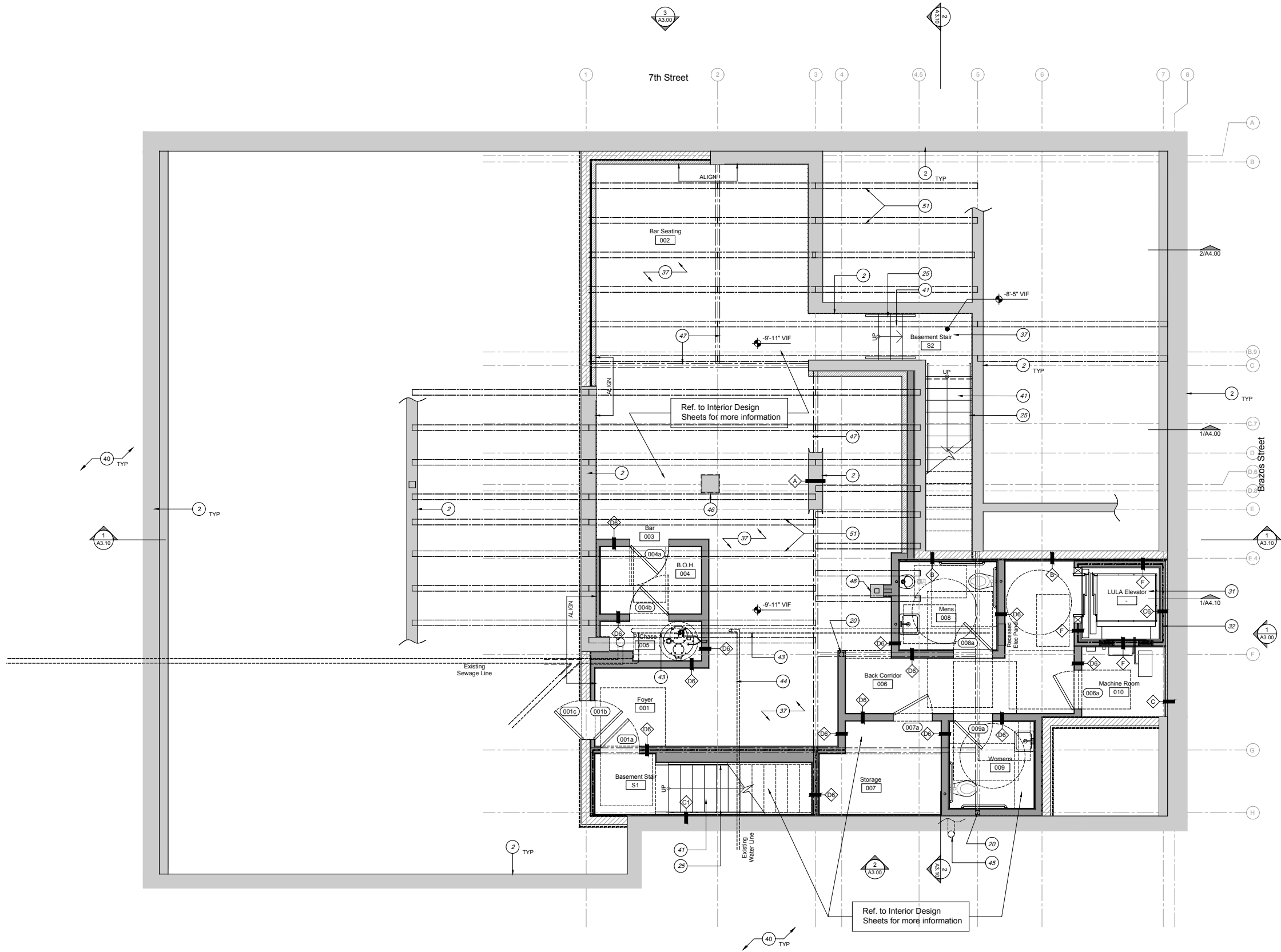
Drawing Title

Building
Demo Elevations

Sheet

AD3.0

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Floor Plan General Notes:

- The dimensions on this sheet are based off of the face of existing stud framing. All dimensions are to face of stud and/or masonry, centerline of column/beam, and face of awning.
- GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
- GC to provide portable fire extinguishers as required by local code.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Keynotes located on this sheet are for all sheets in this series (A1.XX)
- Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.
- Repair and replace exterior sheathing and water-resistive barrier as required.

Floor Plan Keynotes:

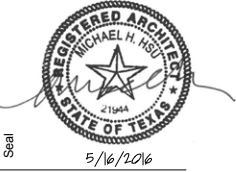
- Existing steel column to remain per Structural. Scrape and prep exposed columns for paint per Finish Schedule.
- Existing wall. Patch/ repair walls and finishes as required.
- Provide new electrical power distribution panels and circuit breakers as required.
- Existing aluminum windows to remain. Scrape misc. debris from frames. Remove old caulk joints and re-point all caulk joints to match.
- Re-clad existing sheathing with decorative glazed brick veneer (BRICK-2), stacked bond over water-resistive barrier. Provide commercial-grade sealer as required.
- Existing Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- Line of detachable, steel plate awning.
- New wall partition per Wall Types.
- Mill opening with light-gauge metal stud framing sealed tight and filled with interior insulation.
- Provide exterior sheathing, continuous insulation and water resistive barrier. See Wall Types.
- Re-clad existing sheathing with glazed brick veneer (BRICK-1) over water-resistive barrier. Provide commercial-grade sealer as required. See Finish Schedule.
- Provide new window. See Schedule.
- Provide new painted steel gate and door with panic hardware.
- Existing party wall.
- New exterior door. See Schedule.
- Existing electrical utilities. Reuse/ repair existing power service as required to meet code. Refer to MEP engineer design.
- Existing plumbing. Reuse/ repair existing sanitary waste and vent lines, water service and meter, roof drains, etc.
- Existing gas service. Reuse/ repair existing natural gas meter and service.
- Reused and relocated existing water heater. Refer to MEP.
- Reused and relocated existing electrical panels, circuits, and switchgear. Provide new electrical power distribution panels and circuit breakers as required. Refer to MEP.
- New steel column per Structural. Paint per Finish Schedule.
- New skylight. See Schedule.
- Provide prefabricated brake metal copings (MTL-1).
- Dashed line of wall framing below.
- New interior stair oak treads and risers (WD-1).
- New 36" high handrail.
- New oak bench extended from third stair tread.
- Line of new opening to above, shown dashed.
- Existing concrete slab to be ground smooth and sealed. See Finish Plans.
- Dashed line of new skylight above.
- Existing stair to remain undisturbed. Consult with MHOA regarding any field-identified code, or life and safety issues.
- New LULA Elevator. See specifications.
- Existing plumbing. Reuse/ repair existing sanitary waste and vent lines, water service and meter, roof drains, etc.
- Concrete flatwork landing. ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope).
- Line of existing steel beam above. See structural for reframing plan as required.
- New concrete ramp. Max 1:12 slope ADA compliant.
- New 36" guardrail above landing and ramp. See Interior Elevations.
- New concrete slab. See structural.
- Relocated AC unit. See MEP.
- New raised slab or metal floor framing to bring floor finish flush with adjacent main floor level. See structural.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- New concrete/ steel stair. Refer to Structural.
- Existing water heater. Reuse to serve existing bathrooms and new bathrooms per MEP.
- Relocated/ rerouted sewage line per MEP engineer design.
- Relocated/ rerouted water main per MEP engineer design.
- Relocated/ rerouted roof drain line per MEP engineer design.
- Existing concrete column to remain per Structural.
- Line of new beam above per Structural.
- Existing slab and framing removed to provide expanded opening. Refer to Structural for new framing design, shoring, and construction sequence.
- Existing steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- New 42" high wall per Wall Partitions.
- Line of existing concrete beam above per Structural. See structural for reframing plan, shoring, and construction sequence as required.
- New cricket at high side of skylight.
- New HVAC equipment. Refer to MEP drawings.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- Existing roof drains to remain. Repair/ refurbish/ flush clean as required.
- New electrical equipment. Refer to MEP drawings.
- New plumbing vents. Refer to MEP drawings.
- Existing electrical equipment. Refer to MEP drawings.
- Existing mechanical equipment. Refer to MEP drawings.
- Not used.
- Existing roofing to remain. Repair/ patch as required.
- Existing bathrooms to remain per MEP.
- Patch existing gyp bd walls as required. Finish per finish schedule.

Plan Legend:

- Existing Wall to Remain
- Proposed Metal Stud Framing
- Proposed CMU Wall
- Proposed Brick Veneer (Salvaged)
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)
- 1-hour Fire Rated Wall (See Wall Types)

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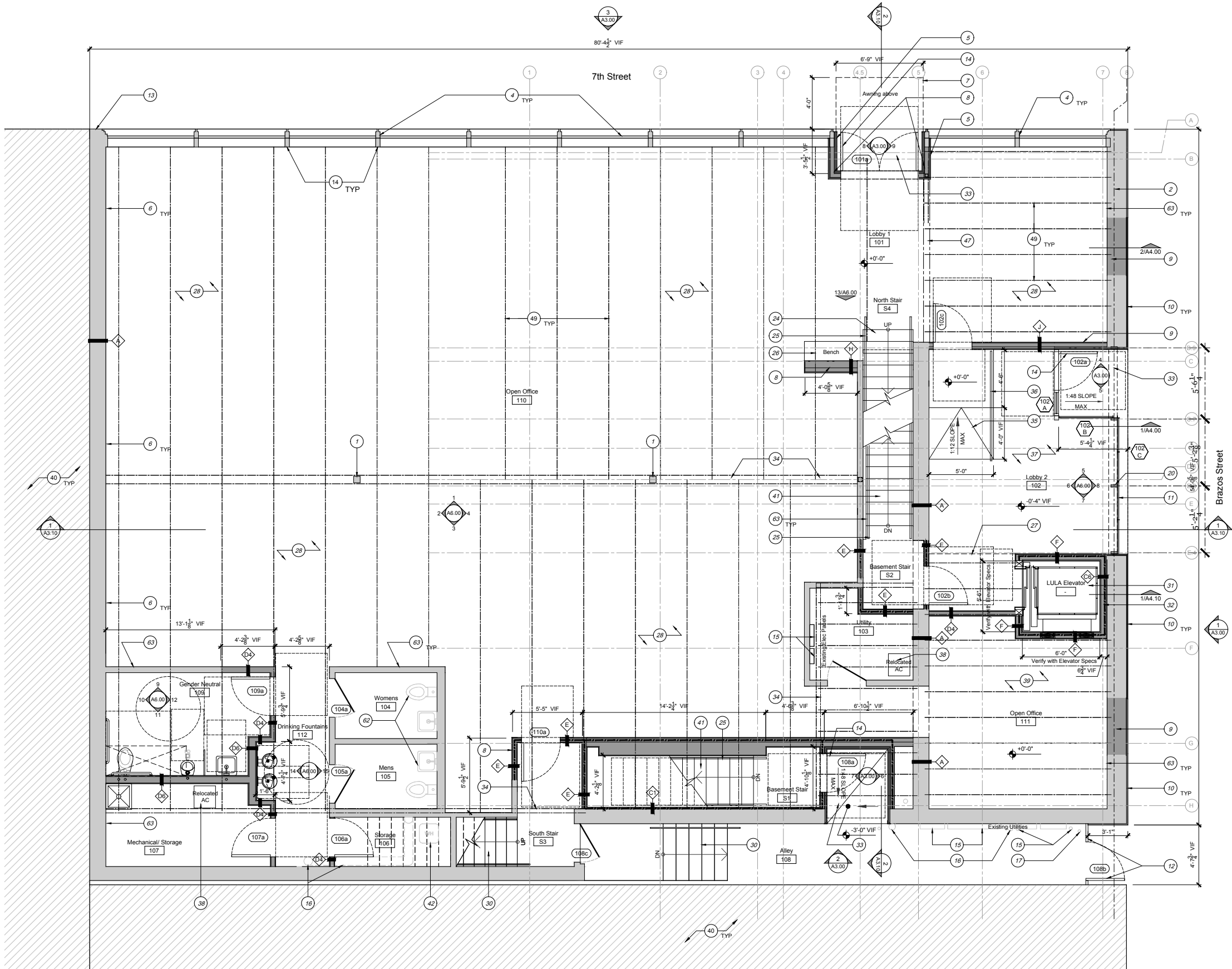
Basement
Floor Plan

Sheet

A1.00

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1 Basement Floor Plan
Scale: 1/4"=1'-0"



Floor Plan General Notes:

- The dimensions on this sheet are based off of the face of existing stud framing. All dimensions are to face of stud and/or masonry, centerline of column/beam, and face of awning.
- GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
- GC to provide portable fire extinguishers as required by local code.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Keynotes located on this sheet are for all sheets in this series (A1.XX).
- Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.
- Repair and replace exterior sheathing and water-resistive barrier as required.

Floor Plan Keynotes:

- Existing steel column to remain per Structural. Scrape and prep exposed columns for paint per Finish Schedule.
- Existing wall. Patch/ repair walls and finishes as required.
- Provide new electrical power distribution panels and circuit breakers as required.
- Existing aluminum windows to remain. Scrape misc. debris from frames. Remove old caulk joints and re-point all caulk joints to match.
- Re-clad existing sheathing with decorative glazed brick veneer (BRICK-2), stacked bond over water-resistive barrier. Provide commercial-grade sealer as required.
- Provide custom painted steel and glass exterior entry pivot doors.
- Line of detachable, steel plate awning.
- New wall partition per Wall Types.
- Infill opening with light-gauge metal stud framing sealed tight and filled with interior insulation. Provide exterior sheathing, continuous insulation and water resistive barrier. See Wall Types.
- Re-clad existing sheathing with glazed brick veneer (BRICK-1) over water-resistive barrier. Provide commercial-grade sealer as required. See Finish Schedule.
- Provide new window. See Schedule.
- Provide new painted steel gate and door with panic hardware.
- Existing party wall.
- New exterior door. See Schedule.
- Existing electrical utilities. Reuse/ repair existing power service as required to meet code. Refer to MEP engineer design.
- Existing plumbing. Reuse/ repair existing sanitary waste and vent lines, water service and meter, roof drains, etc.
- Existing gas service. Reuse/ repair existing natural gas meter and service.
- Reused and relocated existing water heater. Refer to MEP.
- Reused and relocated existing electrical panels, circuits, and switchgear. Provide new electrical power distribution panels and circuit breakers as required. Refer to MEP.
- New steel column per Structural. Paint per Finish Schedule.
- New skylight. See Schedule.
- Provide prefinished brake metal copings (MTL-1).
- Dashed line of wall framing below.
- New interior stair oak treads and risers (WD-1).
- New 36" high handrail.
- New oak bench extended from third stair tread.
- Line of new opening to above, shown dashed.
- Existing concrete slab to be ground smooth and sealed. See Finish Plans.
- Dashed line of new skylight above.
- Existing stair to remain undisturbed. Consult with MHOA regarding any field-identified code, or life and safety issues.
- New LULIA Elevator. See specifications.
- LULIA Elevator enclosure per elevator installer. 6" metal stud wall shown.
- Concrete flatwork landing. ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope).
- Line of existing steel beam above. See structural for reframing plan as required.
- New concrete ramp. Max 1:12 slope ADA compliant.
- New 36" guardrail above landing and ramp. See Interior Elevations.
- New concrete slab. See structural.
- Relocated AC unit. See MEP.
- New raised slab or metal floor framing to bring floor finish flush with adjacent main floor level. See structural.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- New concrete/ steel stair. Refer to Structural.
- Existing water heater. Reuse to serve existing bathrooms and new bathrooms per MEP.
- Relocated/ rerouted sewage line per MEP engineer design.
- Relocated/ rerouted water main per MEP engineer design.
- Relocated/ rerouted roof drain line per MEP engineer design.
- Existing concrete column to remain per Structural.
- Line of new beam above per Structural.
- Existing slab and framing removed to provide expanded opening. Refer to Structural for new framing design, shoring, and construction sequence.
- Existing steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- New 42" high wall per Wall Partitions.
- Line of existing concrete beam above per Structural. See structural for reframing plan, shoring, and construction sequence as required.
- New cricket at high side of skylight.
- New HVAC equipment. Refer to MEP drawings.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- Existing roof drains to remain. Repair/ refurbish/ flush-clean as required.
- New electrical equipment. Refer to MEP drawings.
- New plumbing vents. Refer to MEP drawings.
- Existing electrical equipment. Refer to MEP drawings.
- Existing mechanical equipment. Refer to MEP drawings.
- Not used.
- Existing roofing to remain. Repair/ patch as required.
- Existing bathrooms to remain per MEP.
- Patch existing gyp bd walls as required. Finish per finish schedule.

Plan Legend:

- Existing Wall to Remain
- New Wall (Refer to Partition Types)
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)
- 1-hour Fire Rated Wall (See Wall Types)

1 First Floor Plan
Scale: 1/4"=1'-0"

Yin



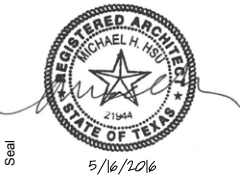
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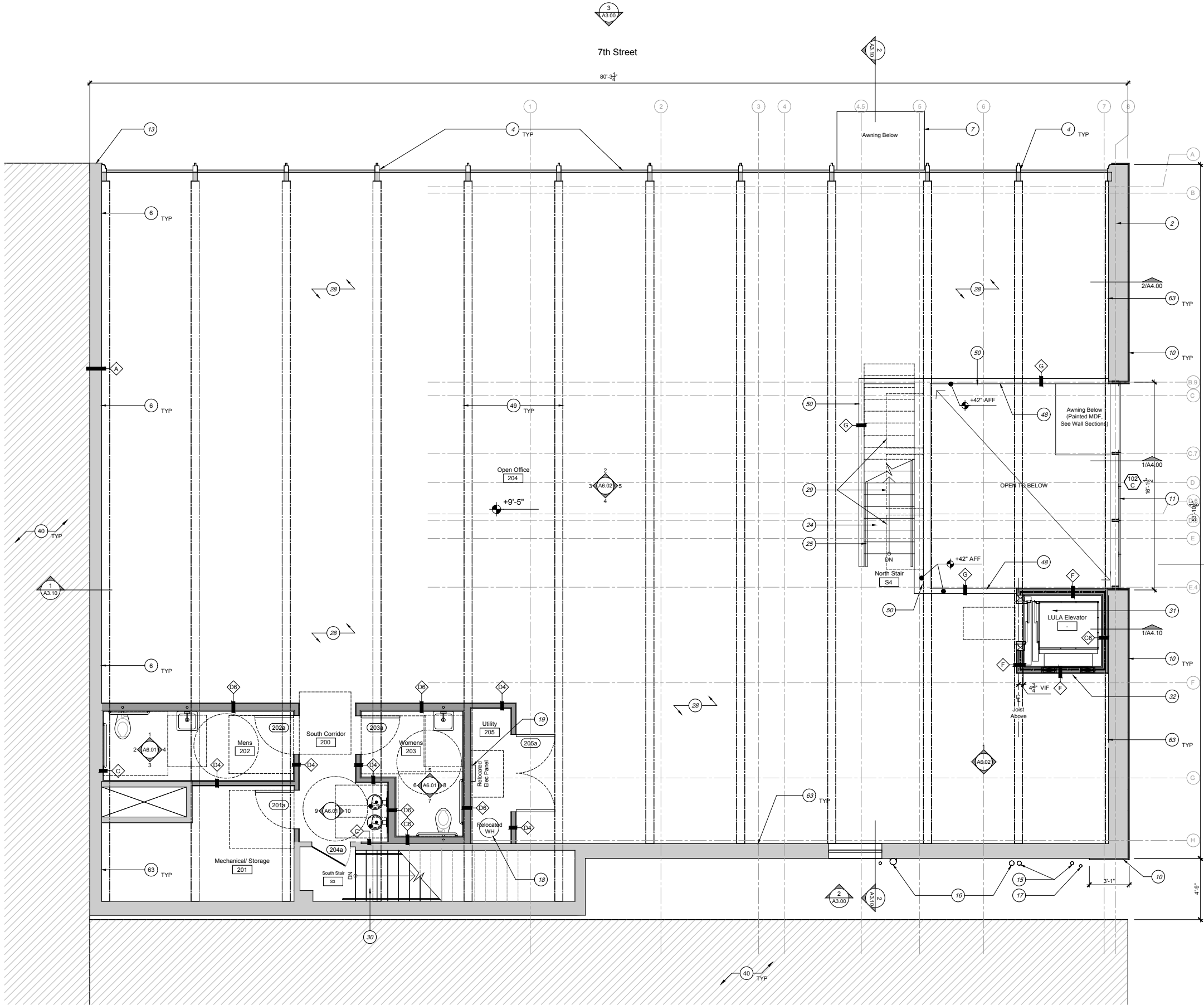
Drawing Title

First Floor Plan

Sheet

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Floor Plan General Notes:

- The dimensions on this sheet are based off of the face of existing stud framing. All dimensions are to face of stud and/or masonry, centerline of column/beam, and face of awning.
- GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
- GC to provide portable fire extinguishers as required by local code.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
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- Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.
- Repair and replace exterior sheathing and water-resistive barrier as required.

Floor Plan Keynotes:

- Existing steel column to remain per Structural. Scrape and prep exposed columns for paint per Finish Schedule.
- Existing wall. Patch/ repair walls and finishes as required.
- Provide new electrical power distribution panels and circuit breakers as required.
- Existing aluminum windows to remain. Scrape misc. debris from frames. Remove old caulk joints and re-point all caulk joints to match.
- Re-clad existing sheathing with decorative glazed brick veneer (BRICK-2), stacked bond over water-resistive barrier. Provide commercial-grade sealer as required.
- Existing Brick wall to remain. Clean, patch, and re-point mortar joints as required.
- Line of detachable, steel plate awning.
- New wall partition per Wall Types.
- Infill opening with light-gauge metal stud framing sealed tight and filled with interior insulation. Provide exterior sheathing, continuous insulation and water resistive barrier. See Wall Types.
- Re-clad existing sheathing with glazed brick veneer (BRICK-1) over water-resistive barrier. Provide commercial-grade sealer as required. See Finish Schedule.
- Provide new window. See Schedule.
- Provide new painted steel gate and door with panic hardware.
- Existing party wall.
- New exterior door. See Schedule.
- Existing electrical utilities. Reuse/ repair existing power service as required to meet code. Refer to MEP engineer design.
- Existing plumbing. Reuse/ repair existing sanitary waste and vent lines, water service and meter, roof drains, etc.
- Existing gas service. Reuse/ repair existing natural gas meter and service.
- Reused and relocated existing water heater. Refer to MEP.
- Reused and relocated existing electrical panels, circuits, and switchgear. Provide new electrical power distribution panels and circuit breakers as required. Refer to MEP.
- New steel column per Structural. Paint per Finish Schedule.
- New skylight. See Schedule.
- Provide prefabricated brake metal copings (MTL-1).
- Dashed line of wall framing below.
- New interior stair oak treads and risers (WD-1).
- New 36" high handrail.
- New oak bench extended from third stair tread.
- Line of new opening to above, shown dashed.
- Existing concrete slab to be ground smooth and sealed. See Finish Plans.
- Existing stair to remain undisturbed. Consult with MHOA regarding any field-identified code, or life and safety issues.
- New LULA Elevator. See specifications.
- LULA Elevator enclosure per elevator installer. 6" metal stud wall shown.
- Concrete flatwork landing. ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope).
- Line of existing steel beam above. See structural for reframing plan as required.
- New concrete ramp. Max 1:12 slope ADA compliant.
- New 36" guardrail above landing and ramp. See Interior Elevations.
- New concrete slab. See structural.
- Relocated AC unit. See MEP.
- New raised slab or metal floor framing to bring floor finish flush with adjacent main floor level. See structural.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- New concrete/ steel stair. Refer to Structural.
- Existing water heater. Reuse to serve existing bathrooms and new bathrooms per MEP.
- Relocated/ rerouted sewage line per MEP engineer design.
- Relocated/ rerouted water main per MEP engineer design.
- Relocated/ rerouted roof drain line per MEP engineer design.
- Existing concrete column to remain per Structural.
- Line of new beam above per Structural.
- Existing slab and framing removed to provide expanded opening. Refer to Structural for new framing design, shoring, and construction sequence.
- Existing steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- New 42" high wall per Wall Partitions.
- Line of existing concrete beam above per Structural. See structural for reframing plan, shoring, and construction sequence as required.
- New cricket at high side of skylight.
- New HVAC equipment. Refer to MEP drawings.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- Existing roof drains to remain. Repair/ refurbish/ flush-clean as required.
- New electrical equipment. Refer to MEP drawings.
- New plumbing vents. Refer to MEP drawings.
- Existing electrical equipment. Refer to MEP drawings.
- Existing mechanical equipment. Refer to MEP drawings.
- Not used.
- Existing roofing to remain. Repair/ patch as required.
- Existing bathrooms to remain per MEP.
- Patch existing gyp bd walls as required. Finish per finish schedule.

Plan Legend:

- Existing Wall to Remain
- New Wall
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)
- 1-hour Fire Rated Wall (See Wall Types)

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Issue:

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Drawing Title

Second
Floor Plan

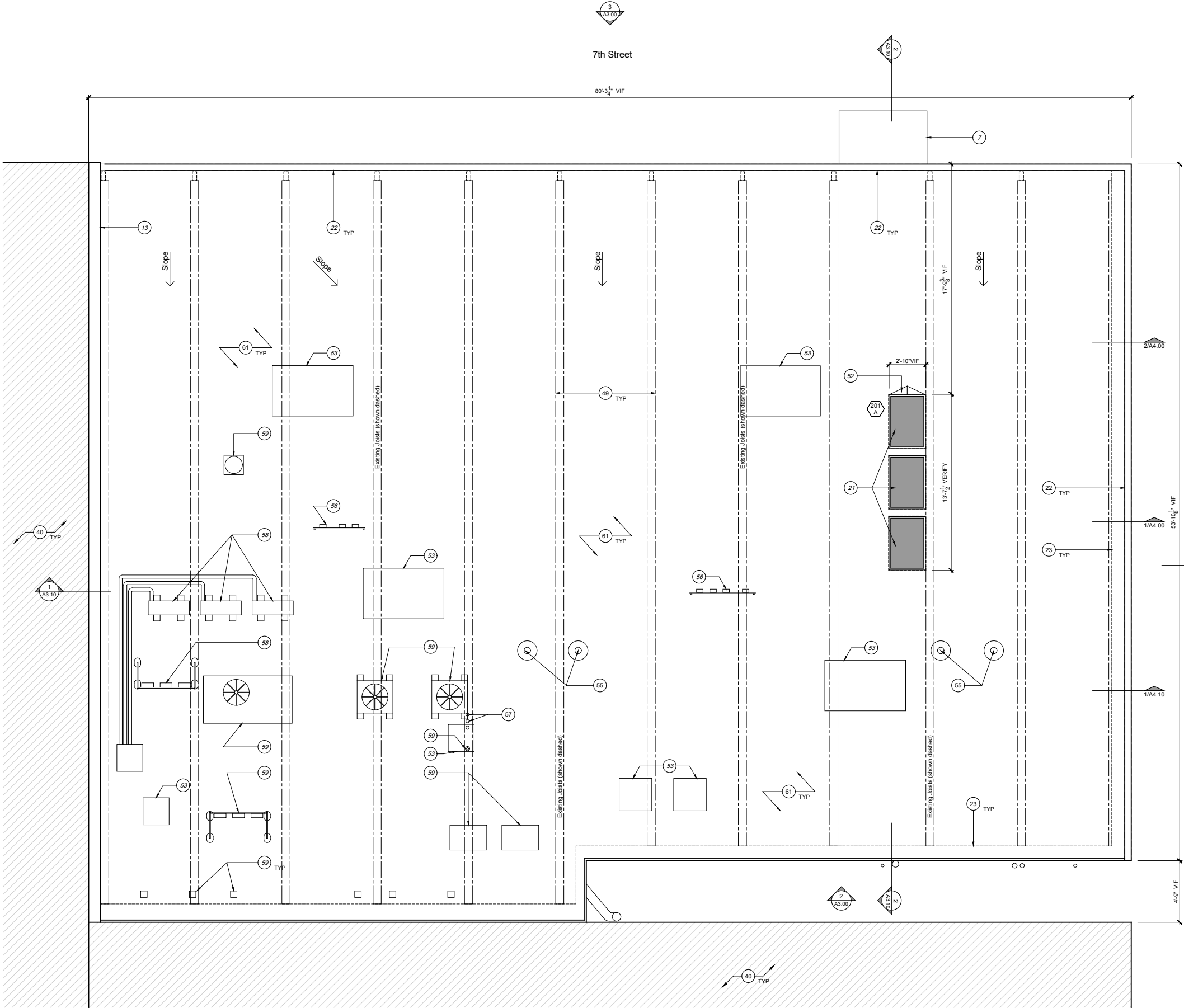
Sheet



1 Second Floor Plan
Scale: 1/4"=1'-0"

A1.20

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Floor Plan General Notes:

- The dimensions on this sheet are based off of the face of existing stud framing. All dimensions are to face of stud and/or masonry, centerline of column/beam, and face of awning.
- GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
- GC to provide portable fire extinguishers as required by local code.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Keynotes located on this sheet are for all sheets in this series (A1.XX)
- Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.
- Repair and replace exterior sheathing and water-resistive barrier as required.

Floor Plan Keynotes:

- Existing steel column to remain per Structural. Scrape and prep exposed columns for paint per Finish Schedule.
- Existing wall. Patch/ repair walls and finishes as required.
- Provide new electrical power distribution panels and circuit breakers as required.
- Existing aluminum windows to remain. Scrape misc. debris from frames. Remove old caulk joints and re-point all caulk joints to match.
- Re-clad existing sheathing with decorative glazed brick veneer (BRICK-2), stacked bond over water-resistive barrier. Provide commercial-grade sealer as required.
- Existing Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- Line of detachable, steel plate awning.
- New wall partition per Wall Types.
- Infill opening with light-gauge metal stud framing sealed tight and filled with interior insulation. Provide exterior sheathing, continuous insulation and water resistive barrier. See Wall Types.
- Re-clad existing sheathing with glazed brick veneer (BRICK-1) over water-resistive barrier. Provide commercial-grade sealer as required. See Finish Schedule.
- Provide new window. See Schedule.
- Provide new painted steel gate and door with panic hardware.
- Existing party wall.
- New exterior door. See Schedule.
- Existing electrical utilities. Reuse/ repair existing power service as required to meet code. Refer to MEP engineer design.
- Existing plumbing. Reuse/ repair existing sanitary waste and vent lines, water service and meter, roof drains, etc.
- Existing gas service. Reuse/ repair existing natural gas meter and service.
- Reused and relocated existing water heater. Refer to MEP.
- Reused and relocated existing electrical panels, circuits, and switchgear. Provide new electrical power distribution panels and circuit breakers as required. Refer to MEP.
- New steel column per Structural. Paint per Finish Schedule.
- New skylight. See Schedule.
- Provide prefinished brake metal copings (MTL-1).
- Dashed line of wall framing below.
- New interior stair oak treads and risers (WD-1).
- New 36" high handrail.
- New oak bench extended from third stair tread.
- Line of new opening to above, shown dashed.
- Existing concrete slab to be ground smooth and sealed. See Finish Plans.
- Dashed line of new skylight above.
- Existing stair to remain undisturbed. Consult with MHOA regarding any field-identified code, or life and safety issues.
- New LULIA Elevator. See specifications.
- LULIA Elevator enclosure per elevator installer. 6" metal stud wall shown.
- Concrete flatwork landing. ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope).
- Line of existing steel beam above. See structural for reframing plan as required.
- New concrete ramp. Max 1:12 slope ADA compliant.
- New 36" guardrail above landing and ramp. See Interior Elevations.
- New concrete slab. See structural.
- Relocated AC unit. See MEP.
- New raised slab or metal floor framing to bring floor finish flush with adjacent main floor level. See structural.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- New concrete/ steel stair. Refer to Structural.
- Existing water heater. Reuse to serve existing bathrooms and new bathrooms per MEP.
- Relocated/ rerouted sewage line per MEP engineer design.
- Relocated/ rerouted water main per MEP engineer design.
- Relocated/ rerouted roof drain line per MEP engineer design.
- Existing concrete column to remain per Structural.
- Line of new beam above per Structural.
- Existing slab and framing removed to provide expanded opening. Refer to Structural for new framing design, shoring, and construction sequence.
- Existing steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- New 42" high wall per Wall Partitions.
- Line of existing concrete beam above per Structural. See structural for reframing plan, shoring, and construction sequence as required.
- New cricket at high side of skylight.
- New HVAC equipment. Refer to MEP drawings.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- Existing roof drains to remain. Repair/ refurbish/ flush-clean as required.
- New electrical equipment. Refer to MEP drawings.
- New plumbing vents. Refer to MEP drawings.
- Existing electrical equipment. Refer to MEP drawings.
- Existing mechanical equipment. Refer to MEP drawings.
- Not used.
- Existing roofing to remain. Repair/ patch as required.
- Existing bathrooms to remain per MEP.
- Patch existing gyp bd walls as required. Finish per finish schedule.

Plan Legend:

- Existing Wall to Remain
- New Wall
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)

Yin



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Seal

Project
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Set
Permit Set

Issue:

16 May 2016, Permit/ Bid Set

Drawing Title

Roof Plan

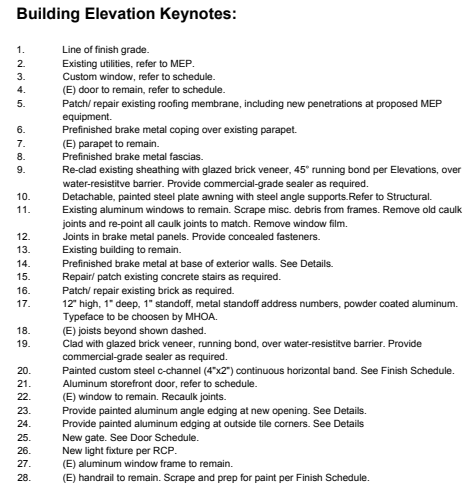
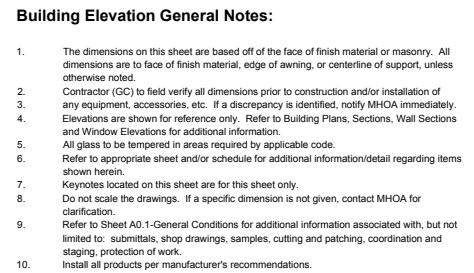
Sheet



1 Roof Plan
Scale: 1/4"=1'-0"

A1.30

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1. Per Subchapter E 1.2.3. B for a "remodeled building or facade"
 - 1.1. Since the extent of remodeling is such that the work area does not exceed 50% of the principal street facade (Brazos St), compliance with Article 3 is **not required**.

