



City of Austin Residential New Construction and Addition Permit Application

Residential Review, 2nd floor, One Texas Center
505 Barton Springs, Austin, TX 78704 (512) 978-4000

Property Information

Project Address: <u>1809 WEST 10TH STREET</u>	Tax Parcel ID: <u>0111041103</u>
Legal Description: <u>LOT 5, BLOCK 2, WASHINGTON HEIGHTS ADDITION</u>	
Zoning District: <u>SF3 - NP</u>	Lot Size (sq ft):
Neighborhood Plan Area (if applicable): <u>CLARKSVILLE</u>	Historic District (if applicable): <u>CLARKSVILLE</u>

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <u>N</u> (If yes, contact Austin Energy for Green Building Rating requirements. Attach signed certification letter from NHCD.)	Does project have a Green Building requirement? Y <u>N</u> (If yes, contact Austin Energy for Green Building Rating requirements)
Is this site within an Airport Overlay Zone? Y <u>N</u> (If yes, approval through Aviation is required)	Does this site have a septic system? Y <u>N</u> (If yes, submit a copy of approved septic permit)
Does the structure exceed 3600 square feet total under roof? Y <u>N</u>	(If yes, Fire review is required)
Is this property within 200 feet of a hazardous pipeline? Y <u>N</u>	(If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <u>N</u> (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <u>N</u> (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? Y <u>N</u> Note: Include tree location(s) on plot plan.	(If yes, application for a tree permit with the City Arborist is required)
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y <u>N</u>	
Does this site currently have: water availability? <u>Y</u> N wastewater availability? <u>Y</u> N	(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)
Are there existing water/waste water infrastructure, appurtenances or existing water/ wastewater easements located on site? <u>Y</u> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <u>N</u> (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	(If yes, submit approved auxiliary and potable plumbing plans)
Does this site require a cut or fill in excess of four (4) feet? Y <u>N</u>	(If yes, contact the Development Assistance Center for a Site Plan Exemption)
Is this site within the Waterfront Overlay? Y <u>N</u> (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <u>N</u> (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <u>Y</u> N (If no, contact Development Assistance Center for Site Plan requirements)	Is this site adjacent to a paved alley? <u>Y</u> N (Public Works approval required to take access from a public alley)
Does this site have a Board of Adjustment (BOA) variance? Y <u>N</u>	Case # _____ (if applicable)
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <u>N</u> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Existing Use: vacant <u>single-family residential</u> duplex residential two-family residential other: _____	
Proposed Use: vacant <u>single-family residential</u> duplex residential two-family residential other: <u>NEW GARAGE APT</u>	
Project Type: <u>new construction</u> addition addition/remodel other: _____	
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y <u>N</u> (Note: Removal of all or part of a structure requires a demolition permit application.)	
# of existing bedrooms: <u>2</u> # of bedrooms upon completion: <u>3</u> # of baths existing: <u>2</u> # of baths upon completion: <u>3</u>	
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) <u>CONSTRUCT A NEW GARAGE APARTMENT OFF ALLEY @ REAR OF LOT.</u>	
Trades Permits Required (Circle as applicable) <u>electric</u> <u>plumbing</u> <u>mechanical (HVAC)</u> concrete (R.O.W.)	

Job Valuation		
Total Job Valuation: \$ <u>112,500.00</u> <small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.</small>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>112,500.00</u> Amount for Primary Structure: \$ <u>NONE</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N Amount for Accessory Structure: \$ <u>112,500.00</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	Amount of Total Job Valuation dedicated to all Remodel/Repair: \$ <u>- 0 -</u> Bldg: \$ <u>102,000.00</u> Elec: \$ <u>3,000.00</u> Plmbg: \$ <u>3,000.00</u> Mech: \$ <u>4,500.00</u>

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1024				1024	550
b) 2 nd Floor conditioned area				550		
c) 3 rd Floor conditioned area						
d) Basement						
e) Covered parking (garage or carport)				550		
f) Covered patio, deck, porch, and/or balcony area(s)	89					
g) Other covered or roofed area						
h) Uncovered wood decks	187			43		
Total Building Area (total a through h)						
i) Pool						
j) Spa						
SEE PAGE 7 FOR DETAILS						
Building Coverage Information						
<small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>						
Total Building Coverage (sq ft): <u>1663</u> % of lot size: <u>30.70</u>						
Impervious Cover Information						
<small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small>						
Total Impervious Cover (sq ft): <u>2317</u> % of lot size: <u>42.70</u>						
Setbacks						
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y <u>(N)</u>						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y <u>(N)</u>						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y <u>(N)</u>						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)			Parking (LDC 25-6 Appendix A & 25-6-478)			
Building Height: <u>22</u> ft Number of Floors: <u>2</u>			# of spaces required: <u>3</u> # of spaces provided: <u>3</u>			
Right-of-Way Information						
Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y <u>(N)</u> <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more</small>						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <u>(Y)</u> N						
Width of approach (measured at property line): <u>23</u> ft Distance from intersection (for corner lots only): _____ ft						
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? (If yes, drainage review is required) Y <u>(N)</u>						

Subchapter F**Gross Floor Area**

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1113				
2 nd Floor		550			
3 rd Floor					
Area w/ ceilings > 15'			Must follow article 3.3.5		
Ground Floor Porch* (check article utilized)			<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)		
Basement			Must follow article 3.3.3B, see note below		
Attic			Must follow article 3.3.3C, see note below		
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 2b)		
	Detached	550	<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a)		
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		
Accessory Building(s) (detached)				450	
Totals	1113	1100		450	1763

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 1763

(Total Gross Floor Area ÷ lot area) x 100 = 32 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project?

Y ☐ N ☒

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?

Y ☐ N ☒

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings)

*Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

** Garage and carport exemptions (in relation to primary structure): Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

***Ordinance article 3.3.2 B 1 is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.

Contact Information			
Owner	RON MARSHALL EUDY	Applicant/Agent	JAMES ALLMAN
Mailing Address	1809 W 10 th , Austin 78703	Mailing Address	1711 TRACY MILLER LN CEDAR PARK, TX 78613
Phone	(512) 925-1563	Phone	(512) 663-0594
Email	marshall.eudy@gmail.com	Email	allmanarch@aol.com
General Contractor	MAURICIO CASTILLO-MARTINEZ	Design Professional	JAMES ALLMAN, ARCHITECT
Mailing Address	5700 GLENHOLLOW PATH 78745 AUSTIN	Mailing Address	1711 TRACY MILLER LN CEDAR PARK, TEXAS 78613
Phone	(737) 704-1173	Phone	(512) 663-0594
Email	24linebacker@gmail.com	Email	allmanarch@aol.com

Authorization

☒ I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.

☒ I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.

☒ I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. Water services, meters, and wastewater cleanouts are not permitted within or beneath driveways or sidewalks. Private plumbing appurtenances will not be located in public right-of-way or public easements. Private plumbing lines will not cross lot lines.

☒ I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.

☒ I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.

☒ I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.

☒ I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov. This initiates the tree permitting requirement needed to proceed with the development review process.

☒ I also understand that if there is a septic system located on the property, I am required to complete an On-site Sewage Facility (a.k.a. an OSSF or septic system) application by contacting Austin Water at (512) 972-0050 or ossf@austintexas.gov. This initiates the septic system permitting requirement needed to proceed with the development review process.

☒ Erosion and Sedimentation Controls are required per Section 25-8-181.

☒ I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

☒ I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.

☒ I am the record owner of this property and authorize the agent/applicant listed above to apply for and acquire a permit on my behalf.

Owner's signature: RM Eudy Date: 8-10-16

Applicant's signature: James Allman Date: 8-10-16

Design Professional's signature: James Allman Date: 8-10-16

General Contractor's signature: Mauricio J. Martinez Date: 8-10-16

Additional Information, Continued

Calculation Aid			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area	1024		
b) 2 nd floor conditioned area		550	
c) 3 rd floor conditioned area			
d) Basement			
e) Attached Covered Parking (garage or carport)		550	
f) Detached Covered Parking (garage or carport)			
g) Covered Wood Decks (counted at 100%)			
h) Covered Patio / Porch (separated values: /)	89		
i) Balcony			
j) Other - Specify: NEW STAIRWAY			
Total Building Area (TBA) (add: a. through j)	1113		
Total Building Coverage (TBC) (from TBA subtract, if applicable: b, c, d, and i)	1113 (A)	550	1663 (B)
k) Driveway	160	118	
l) Sidewalks	35	20 (steps)	
m) Uncovered Patio			
n) Uncovered Wood Decks (counted at 50%)	187	43	
o) AC pads and other concrete flatwork	9	9	
p) Other (Pool Coping, Retaining Walls)	50	23	
Total Site Impervious Coverage (add: TBC and k through p)	1554 (C)	763	2317 (D)
q) Pool			
r) Spa			

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq ft): 5,554

Existing Building Coverage (see above A, sq ft): 1113

Existing Coverage % of lot (A ÷ Lot area) x 100 : 20 %

Final Building Coverage (see above B, sq ft): 1663

Final Coverage % of lot (B ÷ Lot area) x 100 : 30 %

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above C, sq ft): 1554

Existing coverage % of lot (C ÷ Lot area) x 100 : 28 %

Final Impervious Coverage (see above D, sq ft): 2317

Final coverage % of lot (D ÷ Lot area) x 100 : 42 %

3/1/2016

RE: Alley Access Request for proposed two story garage apartment behind 1809 West 10th Street, Austin, 78703

From: West, Samuel <Samuel.West@austintexas.gov>

To: allmanarch <allmanarch@aol.com>

Subject: RE: Alley Access Request for proposed two story garage apartment behind 1809 West 10th Street, Austin, 78703

Date: Fri, Feb 26, 2016 7:50 am

Attachments: 2-C-468.tif (239K)

James,

I have attached the plat for the alley behind 1809 West 10th Street. Just in case you need my comment for alley access here are my comments.

The alley behind 1809 West 10th street is a paved asphalt alley the City of Austin maintains. We will continue to maintain the alley. We have no current plans to repave the alley with asphalt. The developer will need to use the top of the existing asphalt surface as their starting grade for the driveway. They will also need to do around a 3'-4' (estimate) concrete approach from the right of way line to the edge of the asphalt. I would suggest saw cut along the edge of the asphalt in the alley to use as the front form for the driveway approach. Please let me know if you need any more information or need for me to meet you on site.

Sam West Engineer Assoc. C
Office of City Engineer
Public Works Department
Phone 512-974-8775

From: allmanarch@aol.com [<mailto:allmanarch@aol.com>]

Sent: Friday, February 19, 2016 3:41 PM

To: West, Samuel

Subject: Alley Access Request for proposed two story garage apartment behind 1809 West 10th Street, Austin, 78703

Good Friday Afternoon Sam!

I have designed a new garage apartment for the owner , Marshall Eudy, at 1809 West 10th Street and beginning the review process.

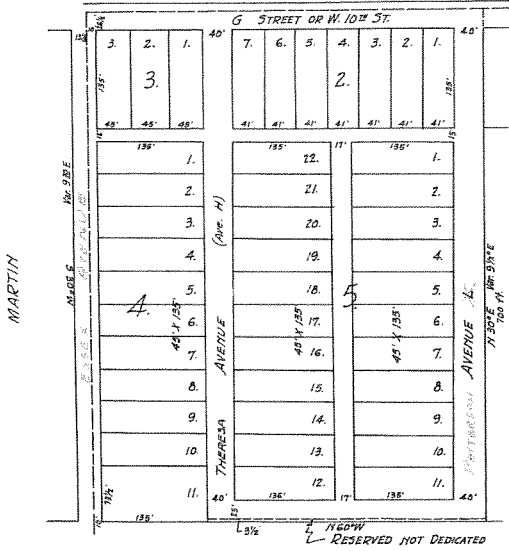
There is actually asphalt (9.5' wide) at this location.

Can you also tell me what the Alley R.O.W. width is at this location. This R.O.W. dimension was not included on the survey as it sometimes is.

Thanks,

James Allman
Tx. Architect # 8541

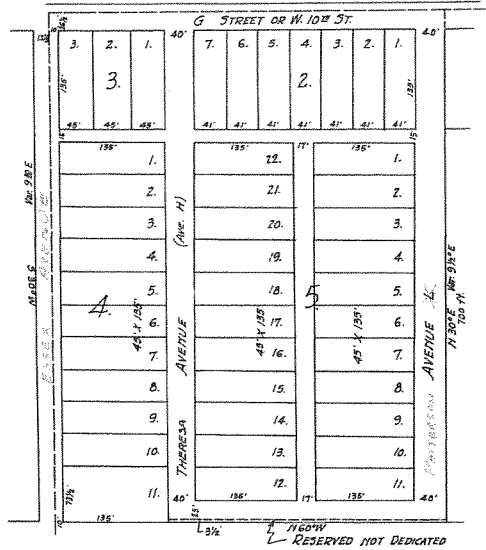
Ron Marshall Endy
1809 West 10th



MARTIN

WASHINGTON HEIGHTS
GREATHOUSE & LEDBETTER

Traced from Travis County Deed Records
Vol. 246 Page 251, for City of Austin
Engineering Department, by J.D. Wilson,
Sept. 30, 1931. Referenced by W.N. Osburn
Nov. 26, 1932.



MARTIN

WASHINGTON HEIGHTS
GREATHOUSE & LEDBETTER

Traced from Travis County Deed Records
Vol. 246 Page 251, for City of Austin
Engineering Department, by J.D. Wilson,
Sept. 30, 1931. Referred by W.H. Guburn
Nov. 26, 1932.



Water & Wastewater Service Plan Verification (WWWSPV)

REVIEWED

AUG 10 2016

Service Address: 1809 WEST 10TH STREET A+B

Lot: 5 Block: 2 Subdivision: WASHINGTON HEIGHTS ADDITION AUSTIN WATER UTILITY
CONSTRUCTION DIVISION - TAPS

Existing Use: SINGLE-FAMILY RES.

Proposed Use: Single-Family Res. Two-Family Res. Duplex Mobile Home Secondary Apt. Cottage Urban Home

Guest House Accessory Dwelling Accessory Apt. Other REAR GARAGE APT - NEW CONSTRUCTION

Existing # Baths 2 Additional # Baths 1 Total number of bathrooms the meter will serve 3 A-2
B-1

James Allen, TX. ARCHITECT #8541 8-10-16 512-663-0594
Applicant's Name & Title Date Phone

City of Austin Office Use

Water main size 6" Service stub size 1" PB Service stub upgrade required: Y (N)

Shared Dual Service? Y (N) If yes, state meter size(s) on shared service _____

Existing meter # 39004 Existing meter size 5/8"

Existing water service line/meter location 7' L of RLL

Upgrade required: Y (N) New meter(s) size _____

WW main size 8" WW Service line/clean-out location in alley 9' from PL

Secondary address needed at property: (Y) N - for 911 purposes.

AWU Pipeline Engineering approval required: Y (N)

Utility Tap Plan required: Y (N)

Comments: existing meter to remain to serve both units.

AWU Engineer Representative

Date

Phone

AWU Taps Representative

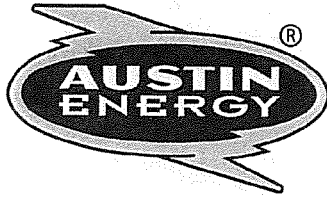
Date

Phone

Water meters & wastewater clean-outs are not permitted in sidewalks or driveways.

Relocation of services to remove them from proposed sidewalks or driveways shall be performed at the applicant's expense.

If the existing water meter was pulled for non-billing account during demolition contact Customer Care at 512-494-9400 to have account set up and the same size meter reinstalled within 120 days of meter removal (with active building permit) to avoid city re-connect charges being applied.



AUSTIN ENERGY

One Texas Center | 505 Barton Springs Road
Phone: (512) 974-2632, (512) 974-9112
Email: aebpsaesp@austinenergy.com

Building Service Planning Application (BSPA)

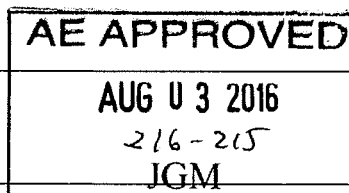
This form to be used for review of Building Permit only

For use in DAC only

Responsible Person for Service Request: JAMES ALLMAN
Email: allmanarch@aol.com Fax: _____ Phone: (512) 663-0594
☒ Residential ☐ Commercial ☒ New Construction ☐ Remodeling
Project Address: 1809 WEST 10TH (NEW GARAGE APT @ REAR) -OR-
Legal Description: LOT 5, BLOCK 2, WASHINGTON HEIGHTS ADDITION Lot: 5 Block: 2
Who is your electrical provider? ☒ AE ☐ Other: _____
☒ Overhead Service ☐ Underground Service ☐ Single-Phase (1Ø) ☐ Three-Phase (3Ø)
Location of meter: SIDE OF NEW GARAGE APT NEAR ALLEY
Number of existing meters on gutter: 1 (show all existing meters on riser diagram)
Expired permit #: _____
Comments: (2) Story Garage Apartment
All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

JAMES ALLMAN
BSPA Completed by (print name)

James Allman
BSPA Completed by (signature)



(512) 663-0594
Phone

Date

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)

SAVE Form

Office Use Only

AE Representative

Approved ☐ Yes ☐ No _____
Date Phone

TAX CERTIFICATE
Bruce Elfant
Travis County Tax Assessor-Collector
P.O. Box 1748
Austin, Texas 78767
(512) 854-9473

NO 2255467

ACCOUNT NUMBER: 01-1104-1103-0000

PROPERTY OWNER:

EUDY RON MARSHALL
1809 W 10TH ST
AUSTIN, TX 78703-3909

PROPERTY DESCRIPTION:

LOT 5 BLK 2 WASHINGTON HEIGHTS

ACRES

.1281 MIN%

.000000000000 TYPE

SITUS INFORMATION: 1809 W 10

ST

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2015	AUSTIN ISD	*ALL PAID*
	CITY OF AUSTIN (TRAV)	*ALL PAID*
	TRAVIS COUNTY	*ALL PAID*
	TRAVIS CENTRAL HEALTH	*ALL PAID*
	ACC (TRAVIS)	*ALL PAID*

TOTAL SEQUENCE 0

ALL PAID

TOTAL TAX:
UNPAID FEES:
INTEREST ON FEES:
COMMISSION:
TOTAL DUE ==>

ALL PAID
* NONE *
* NONE *
* NONE *
ALL PAID

TAXES PAID FOR YEAR 2015 \$7,042.28

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2015 EXCEPT FOR UNPAID YEARS LISTED ABOVE.
The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).
Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 08/03/2016

Fee Paid: \$10.00

Bruce Elfant
Tax Assessor-Collector

By: *Martina Forstado*



REVIEWED

AUG 10 2016

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

15' ALLEY

EDGE OF ASPHALT (N 60° W 41')

LOT 4

(S 30°5' W 135°)
S 29°59'54" W 135.13'

ONE STORY
FRAME
RESIDENCE

- LEGEND
- 1/2" REBAR FOUND
 - 1/2" CAPED REBAR SET
 - PUNCH HOLE FOUND
 - 600 HALL FOUND
 - CAPPED REBAR FOUND
 - 1" SET IN CONCRETE
 - 1" FOUND IN CONCRETE
 - SPURGE FOUND
 - CHAIN LINK FENCE
 - WOOD FENCE
 - METAL FENCE
 - BUILDING LINE
 - PUBLIC UTILITY EASEMENT
 - PER PLAT
 - CONTROL MONUMENT
 - RIGHT OF WAY
 - FINISHED FLOOR ELEVATION
 - OVERHEAD UTILITY LINE
 - UTILITY POLE
 - AIR CONDITION
 - AVERAGE ADJACENT GRADE
 - HIGHEST ADJACENT GRADE
 - LOWEST ADJACENT GRADE
 - L.A.G.

C.M.
S 60°00'00" E 81.85'
(S 60° E 82')

T.B.M.: TRIANGLE CUT ON CURB
ASSUMED ELEV.=100.00'

W. 10th STREET

Existing Site Plan

scale: 1"=20'-0"



AE APPROVED
AUG 03 2016
216-265
JGM

15'-0" R.O.W.

15' ALLEY

EDGE OF ASPHALT (N 60° W 41')

LOT 4

(S 30°5' W 135°)
S 29°59'54" W 135.13'

ONE STORY
FRAME
RESIDENCE

- LEGEND
- 1/2" REBAR FOUND
 - 1/2" CAPED REBAR SET
 - PUNCH HOLE FOUND
 - 600 HALL FOUND
 - CAPPED REBAR FOUND
 - 1" SET IN CONCRETE
 - 1" FOUND IN CONCRETE
 - SPURGE FOUND
 - CHAIN LINK FENCE
 - WOOD FENCE
 - METAL FENCE
 - BUILDING LINE
 - PUBLIC UTILITY EASEMENT
 - PER PLAT
 - CONTROL MONUMENT
 - RIGHT OF WAY
 - FINISHED FLOOR ELEVATION
 - OVERHEAD UTILITY LINE
 - UTILITY POLE
 - AIR CONDITION
 - AVERAGE ADJACENT GRADE
 - HIGHEST ADJACENT GRADE
 - LOWEST ADJACENT GRADE
 - L.A.G.

C.M.
S 60°00'00" E 81.85'
(S 60° E 82')

T.B.M.: TRIANGLE CUT ON CURB
ASSUMED ELEV.=100.00'

W. 10th STREET

Proposed Site Plan

scale: 1"=20'-0"

All structures must maintain
7'6" clearance from AE energized
distribution power lines. Enforced
by AE and NESC codes-this review
DOES NOT include transmission
power lines.

5' SIDE
SETBACK

5' SIDE
SETBACK

10' REAR
SETBACK

A New Garage Apartment For
Marshall Eudy
1809 West 10th
Austin, Texas 78703



James Allman, Architect
1711 Tracy Miller Lane
Cedar Park, Texas 78613

REVISED 7/18/16

Date	07-02-16
Sheet	1 of 12

FOUNDATION NOTES

CODES

1. Building Code: International Residential Code 2012 Edition.
2. Structural Concrete: Building Code Requirements for Reinforced Concrete, American Concrete Institute, ACI 318-08

SUBSTITUTIONS

1. All requests for substitutions of materials or details shown in the contract documents shall be submitted for approval during the bidding period. Once bids are accepted, proposed substitutions will be considered only when they are officially submitted with an identified savings to be deducted from the contract.

DESIGN LOADS

1. Live loads
 - a. Single-Family Residential
 - Typical u.o. 40 psf
 - Sleeping Areas 30 psf
 - Attic Space 10 psf
 - b. Balconies 60 psf
 - c. Stairs 100 psf
 - d. Wind-Resistant Load on Structural Frame: as per IBC requirements.

BUILDING PAD

1. Prior to placing any fill material, remove all vegetation, clay and deleterious material down to limestone. Bottom of grade beams shall have a slope less than or equal to 1 in 10. Under no circumstances shall concrete beams be placed on loose deleterious fill material including topsoil, loose rocks, crushed rock or base material.

2. Grade subdivisions within the building limits shall be accomplished by select fill soils meeting TxDOT standard specifications item 247, Type A, Grade 4 (Crushed Limestone Base Material). All structural fill shall be placed on prepared surfaces in lifts not to exceed eight inches plus moisture with compacted thickness not to exceed six inches. The fill shall be compacted to at least 95 percent of the ASTM 699 maximum dry density at a moisture content ranging between -2 and +3 percent of optimum moisture content.

3. **Structural Fill** shall be hard durable particles of gravel or crushed stone, with no organic material and shall meet the following criteria:

- Retained on 1/4" screen 0%
- Retained on 1" screen 0% to 5%
- Retained on 3/4" screen 0% to 30%
- Retained on 3/8" screen 5% to 70%
- Retained on No. 4 mesh sieve 20% to 70%
- Retained on No. 40 mesh sieve

Material passing the No. 40 sieve shall meet the following 30% to 85% plasticity requirements:

$$\begin{array}{r} \text{Maximum PI} \\ \hline 15 \end{array} \qquad \begin{array}{r} \text{Minimum PI} \\ \hline 3 \end{array} \qquad \begin{array}{r} \text{Maximum LL} \\ \hline 35 \end{array}$$

4. Provide a 6 mil vapor barrier placed according to manufacturer's recommendations between the bottom of slab and the top of the select fill. Moisture barrier shall not be draped continuous across the bottom of grade beams.

CAST IN PLACE CONCRETE

1. Cast in place concrete shall meet the following requirements:

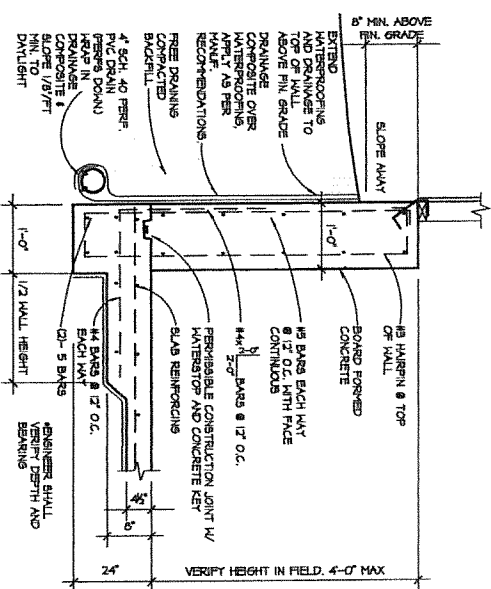
- | Class | 28 Day
Strength | Aggregate
Type | Slump | Use |
|-------|--------------------|-------------------|---------|---------------------|
| A | 3000 psi | Size 1 1/2" max | 3 to 5" | Beams, Walls, Piers |

3. Provide 5 percent plus or minus 1/2 percent of entrained at the contractor option.

4. Horizontal construction joints in concrete placements shall be positioned only where indicated on the drawings. All vertical construction joints shall be made in the center of spans in accordance with the typical details. Contractor shall submit proposed locations for construction joints not shown on drawings for review by the Architect and Structural Engineer. Additional construction joints may require additional reinforcement as specified by the Engineer which shall be provided by the contractor at no additional cost to the owner.

5. Embedded conduits, pipes, and sleeves shall meet the requirements of ACI 318-08, Section 6.3, including the following:

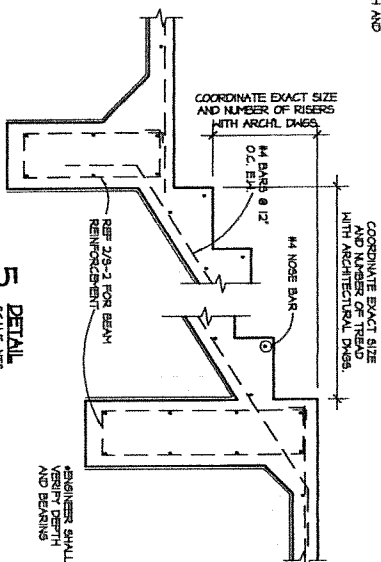
- a. Corrida and pipes embedded within a slab, wall, or beam (other than those passing through) shall not be larger in outside dimension than 1/3 the overall thickness of the slab, wall or beam in which they are embedded.
- b. Corrida, pipes and sleeves shall not be spaced closer than three diameters or 4" from center.
- c. Embedded corrida, pipes and sleeves shall be of uncoated or galvanized iron or steel not thinner than standard Schedule 40 steel pipe.



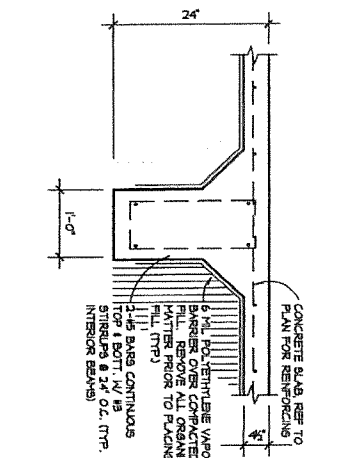
SHORT TURNED WALL
SCALE: 3/4"=1'-0" ON 22X34
SCALE: 3/8"=1'-0" ON 11X17

BEAM DEPTH	STRIPS
< 2'-6"	33 @ 24" O.C.
2'-6" TO 4'-0"	33 @ 24" O.C.
4'-0" TO 8'-0"	34 VER. @ 24" O.C.
8'-0" TO 10'-0"	34 VER. @ 16" O.C. 34 STRIPB. TOP @ BOTT

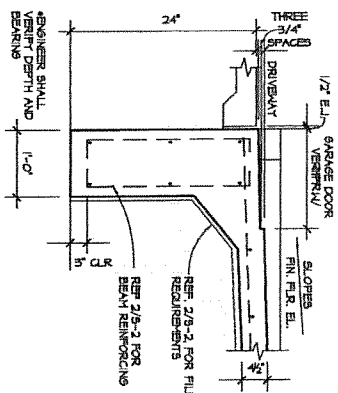
IF BEAM DEPTH EXCEEDS 10'-0" CONTACT ENGINEER



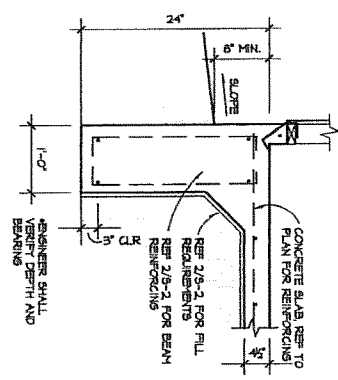
DETAIL
SCALE: NTS



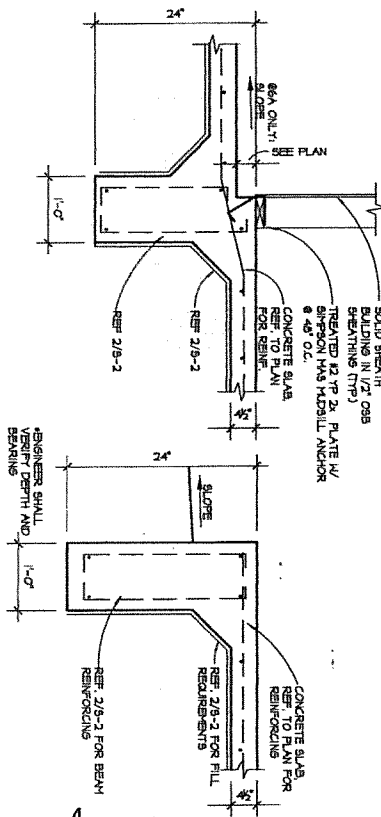
2 TYPE INTERIOR DETAIL
SCALE: 3/4"=1'-0" ON 22X34
SCALE: 3/8"=1'-0" ON 11X17



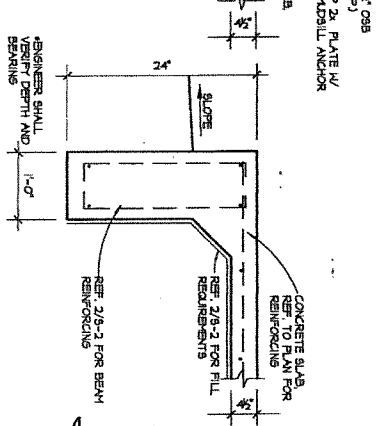
3
DETAIL
SCALE: 3/4" = 1'-0" ON 22X3-
SCALE: 3/8" = 1'-0" ON 11X7



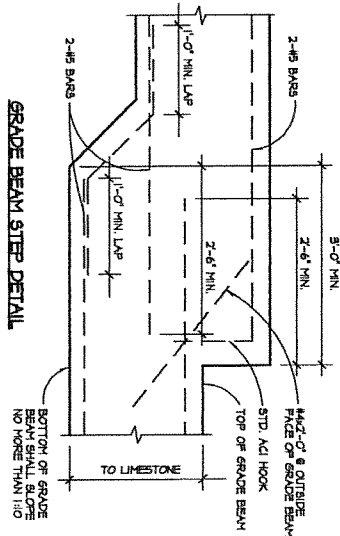
4
DETAIL
SCALE: 3/4"=1'-0" ON 22X3-
SCALE: 5/8"=1'-0" ON 11X17



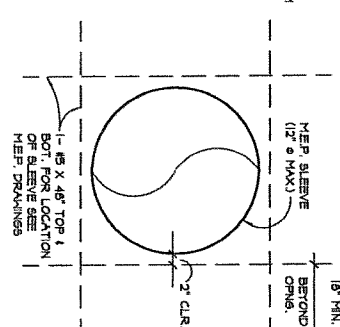
6,6A **DETAIL**
SCALE: 3/4"=1'-0" ON 22X3
SCALE: 5/8"=1'-0" ON 11X17



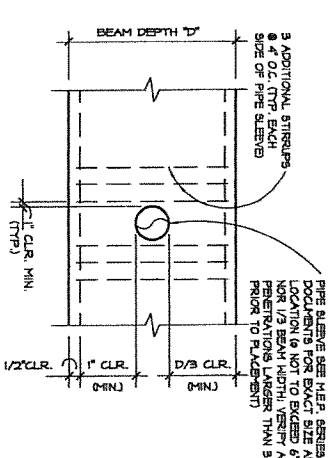
7
DETAIL
SCALE: 5/4" = 1'-0" ON 22X3
SCALE: 3/8" = 1'-0" ON 11X17



GRADE BEAM STEP DETAIL



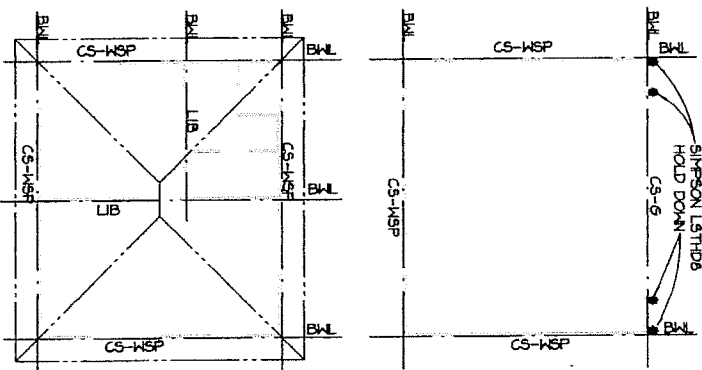
TYPICAL ROUND OPENING IN
CONCRETE SLAB



TYPICAL GRADE BEAM PENETRATION : ELEVATION
(SIMILAR @ VERTICAL PENETRATIONS)

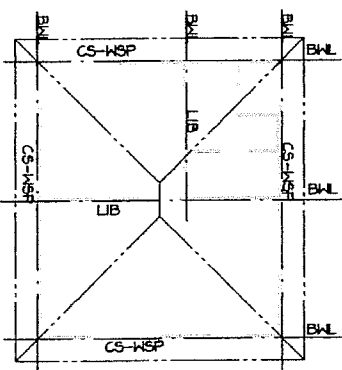
FIRST LEVEL
BRACED WALL PLAN

SCALE: 1/8"=1'-0" ON 2/23/24
SCALE: 1/16"=1'-0" ON 11/17



SECOND LEVEL
BRACED WALL PLAN

SCALE: 1/8"=1'-0" ON 2/23/24
SCALE: 1/16"=1'-0" ON 11/17



WALL BRACING NOTES

- CODES**
1. Building Code: International Residential Code 2012 Edition.
Section R602.10
- WALL BRACING LEGEND**
- CS-1-SP Solid sheath entire building in 1/4" to 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at intermediate supports or 16 ga. 1 3/4" staples at 3' on center at supported edges and 6" on center at the intermediate supports. Horizontal block of wood panels.
- CS-6 Install structural panel adjacent to garage openings as per manufacturer's requirements. Solid sheath entire building in 1/4" to 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports or 16 ga. 1 3/4" staples at 3' on center at supported edges and 6" on center at the intermediate supports. Horizontal block of wood panels.
- CS-PF Continuous portal frame braced wall panels, refer to plan for pre-engineered frame. Solid sheath entire building in 1/4" to 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports or 16 ga. 1 3/4" staples at 3' on center at supported edges and 6" on center at the intermediate supports. Horizontal block of wood panels.
- PFH Portal frame braced wall panels with haddowns, refer to plan. Construct as per manufacturer's requirements. Interim braced walls must have 1/2" gypsum wall board installed on side of wall opposite the bracing material.
- PF6 Install structural panel adjacent to garage openings as per manufacturer's requirements. Interim braced walls must have 1/2" gypsum wall board installed on side of wall opposite the bracing material.
- LIB 1x4 diagonal wood bracing continuous from top plate to bottom plate or approved metal straps at 45 to 60 degree angles for 16 stud spacing. Install straps as per manufacturer's requirements. Interim braced walls must have 1/2" gypsum wall board installed on side of wall opposite the bracing material.
- HPS Solid sheath entire building in 1/4" to 1/2" horizontal panel siding paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports or 16 ga. 1 3/4" staples at 3' on center at supported edges and 6" on center at the intermediate supports. Horizontal block of wood panels.
- BWL Braced wall line

FRAMING NOTES

- CODES**
1. Building Code: International Residential Code 2012 Edition.
2. Wood Framing: National Design Specifications for Wood Construction with Supplement, National Forest and Paper Products Association Latest Edition.
3. Structural Plywood: Plywood Design Specifications, American Plywood Association, Latest Edition.

DESIGN LOADS

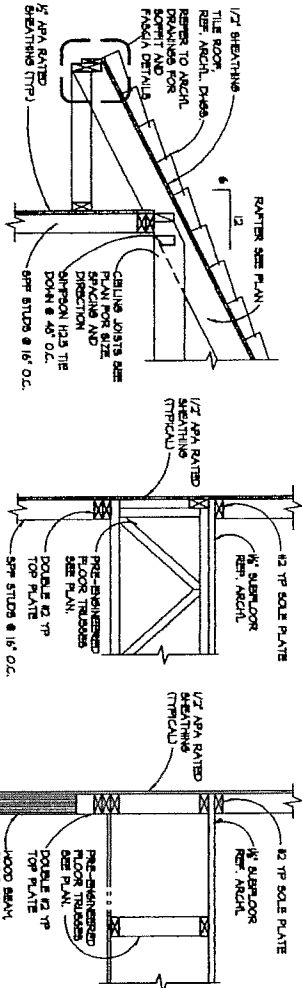
1. Live Loads
- a. Single Family Residential
- Typical unad. 40 psf
- Sleeping Areas 30 psf
- Attic Space 10 psf
- b. Balconies 60 psf
- c. Stairs 100 psf
- d. Wind Load on Structural Frame as per IRC.
- Requirements: 15 psf, Projected Area Method
2. Dead Loads include the self weight of the structural elements.
- a. Roofing (Flat) 20 psf
- b. Roofing (Pitch) 15 psf

LAMINATED VENEER LUMBER

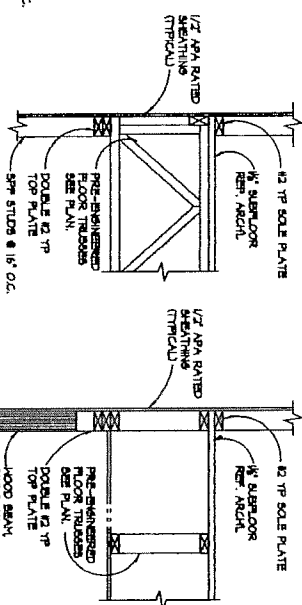
1. All LVL's shall be fabricated to standards set forth in the National Evaluation Service (NES) report no. NER-461 and shall provide minimum allowable design values of 2400 PSI in bending, 285 PSI in shear perpendicular to the glue line and 1800000 PSI in Modulus of Elasticity
2. Multiple LVL (more than 3) beams shall be bolted together full length with 1/2" through bolts at a spacing of 15 times the depth of the beam. Bolts shall be placed at top and bottom. All other multiple LVL beams shall be nailed together from each face with (2) 16d or 12" o.c. top and bottom.

WOOD FRAMING

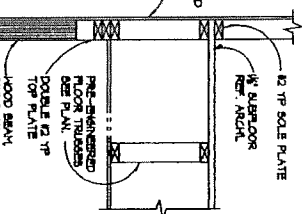
1. Unless otherwise noted, all structural framing lumber shall be clearly marked no. 2 southern yellow pine or Douglas fir.
2. All wood stud walls shall be full height without intermediate brace line unless detailed otherwise.
3. Provide double studs at all wall corners and on each side of all openings.
4. Floor sheathing: 1/2" grade tongue/groove sheathing with exterior glue. Floor sheathing shall be adhered to the wood support members with a wet use subfloor adhesive, in addition to being nailed to the supports with 10d common nails at 6" on center at supported edges and 12" on center at intermediate supports. Stagger joints in sheathing.
5. Roof sheathing: 1/2" radiant barrier sheathing with exterior glue. Panels shall be continuous over two or more spans with the long dimension oriented perpendicular to the framing members. Nail with 8d common nails at 6" on center at supported edges and 12" on center at intermediate supports. Stagger joints in sheathing.
6. Solid sheath entire building in 7/16" OSB. Provide 2x blocking as required to support all panel edges. Nail with 8d common nails at 6" on center at supported edges and 12" on center at intermediate supports.
7. Solid 2x blocking or banded shall be provided at supports and cantilever ends of all wood joists, and between supports in rows not exceeding 8'-0" apart.
8. All framing members framing into the side of a header shall be attached using metal joist hangers sized and installed in accordance with the manufacturer's recommendations for the size of joist supported.
9. Place a single plate at the bottom and a double plate at the top of all stud walls. Exterior all plates shall be bolted to the foundation with 1/2" anchor bolts with a minimum embedment of 6" spaced at 4'-0" on center. 36 plates in contact. All concrete or masonry shall be pressure treated with a preservative. All horizontal plates shall be #2 yellow pine.
10. Provide double joists under all interior partition walls oriented parallel to the joists.
11. All bolts and lag screws shall have standard washers. All anchor and expansion bolts used in wood to concrete connections in crawlspaces shall be hot dip galvanized or stainless steel.
12. Refer to the architectural drawings for additional wood framing members. Provide additional wood framing members shown on the architectural drawings even though they may not be shown on the structural drawings.



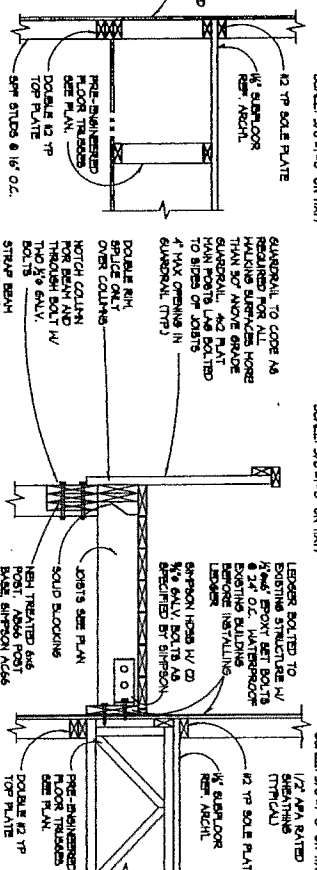
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SCALE: 3/8\"/>



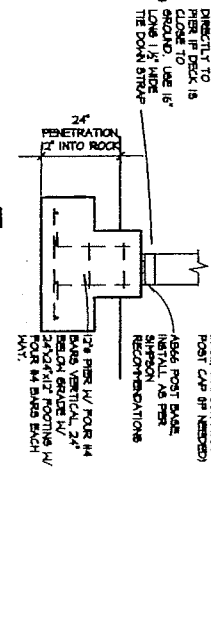
2 DETAIL
SCALE: 3/8\"/>



3 DETAIL
SCALE: 3/8\"/>



4 DETAIL
SCALE: 3/8\"/>



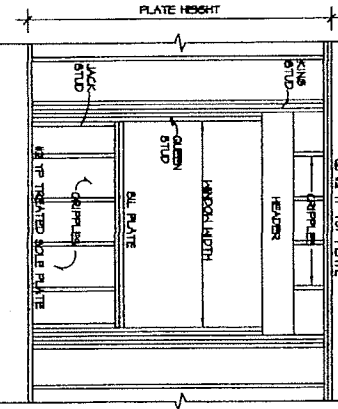
5 DETAIL
SCALE: 3/8\"/>

WALL TYPE	MINIMUM STUD SPACING	MAXIMUM STUD SPACING
1/2" >		

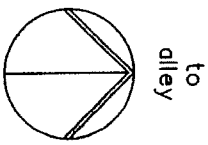
6 CONNECTION DETAIL
SCALE: 3/8\"/>

WINDH MIDTH	NUMBER OF STUDS AT EACH SIDE OF WINDH		
	KING	QUEEN	JACK PLATE
< 3'-11"	1	1	1
4'-0" to 6'-5"	2	1	1
6'-6" to 9'-0"	3	2	1
9'-1" to 11'-1"	4	3	2
12'-0" to 14'-6"	5	3	2

TYPICAL FRAMED OPENING SCHEDULE

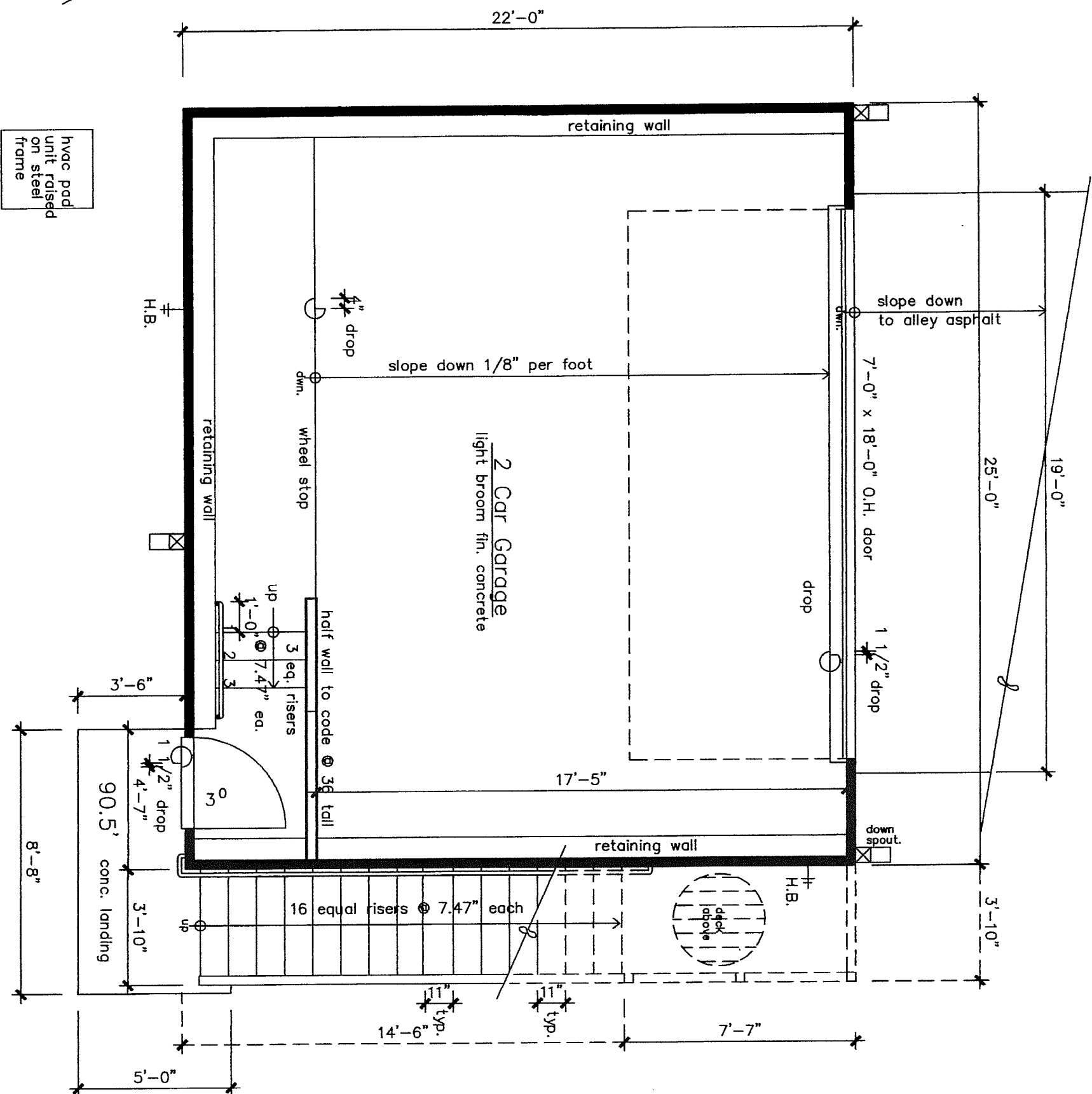
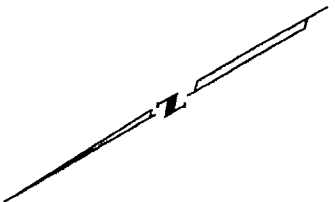
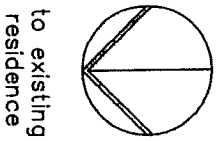


FRAMING DETAIL
SCALE: NTS



Insulation Spec:

R-15 total for exterior walls.
Attic: R-38 blown insulation.
Floor: R-13 Fiberglass Batts.



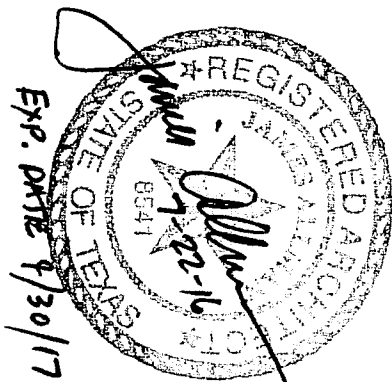
hvac pad
unit raised
on steel
frame

First Floor Plan

SCALE: 1/4" = 1'-0"

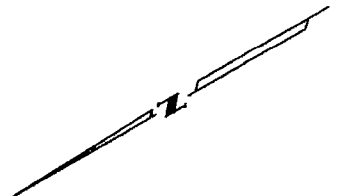
All work to comply with 2012 IRC as amended by City of Austin or code in force at the time of construction.

A New Garage Apartment For
Marshall Eudy
1809 West 10th
Austin, Texas 78703



revised 07-18-16
revised 04-20-16
revised 04-13-16
revised 02-17-16
revised 02-15-16

Date
02-10-16
Sheet
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SCALE: 1/4" = 1'-0"

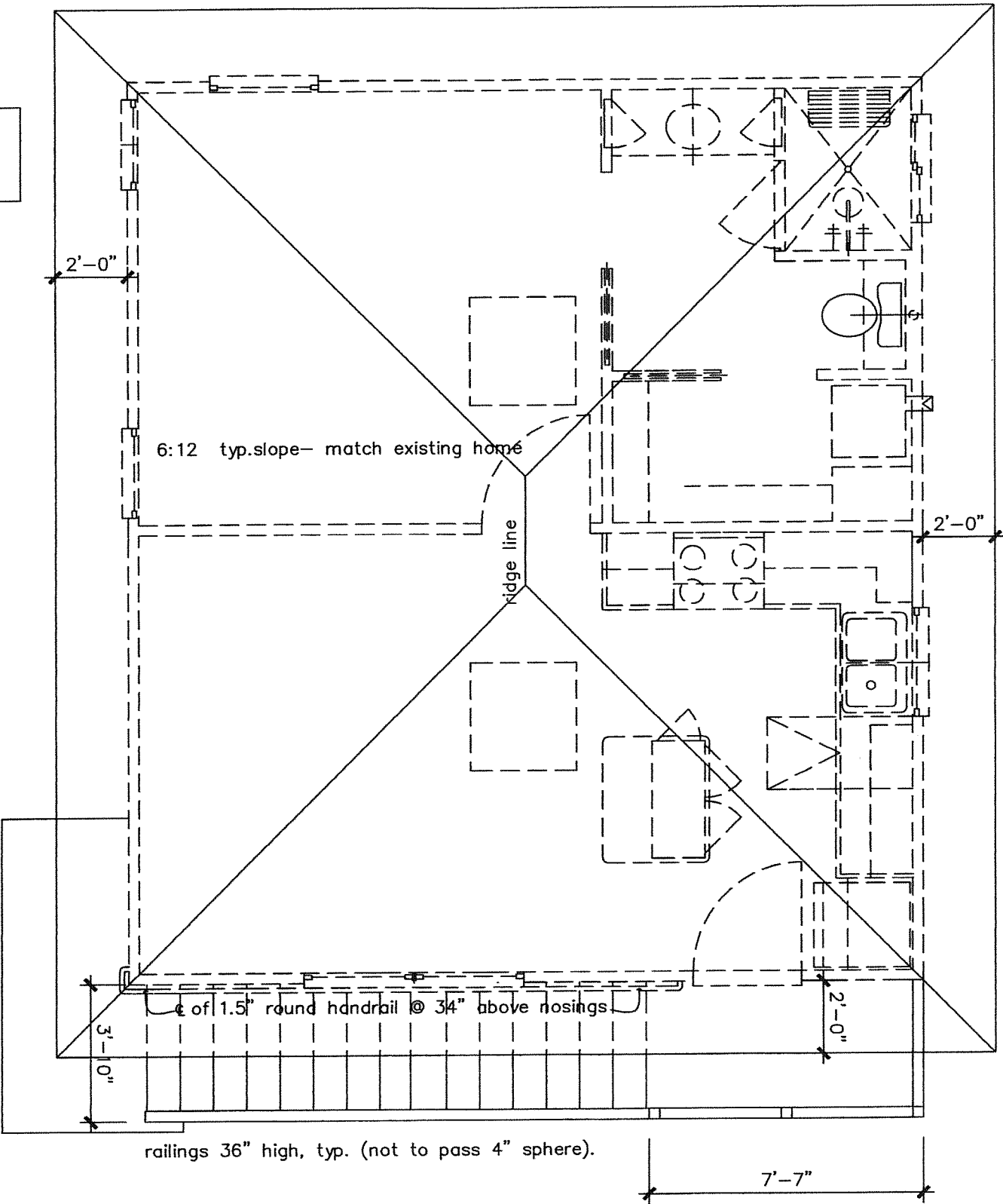
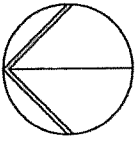
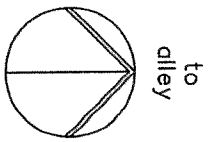
EXP. DATE 4/30

Seal of the State of Texas, Registered Architect, James A. [illegible], 8541. The seal includes the text "STATE OF TEXAS", "REGISTERED ARCHITECT", and "JAMES A. [illegible]". A handwritten signature is written across the seal, and the date "EXP. DATE 4/30" is written to the left.

EXP. DATE 4/30/17

Date
02-10-16

Sheet
3 of 12



hvac pad
unit raised
on steel
frame

6:12 typ.slope- match existing home

ridge line

of 1.5" round handrail @ 34" above nosings.

railings 36" high, typ. (not to pass 4" sphere).

7'-7"

2'-0"

2'-0"

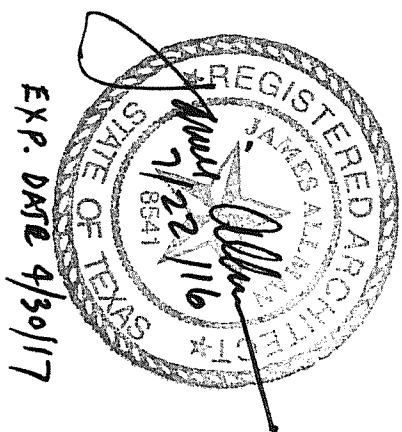
2'-0"

3'-10"

Roof Plan

SCALE: 1/4" = 1'-0"

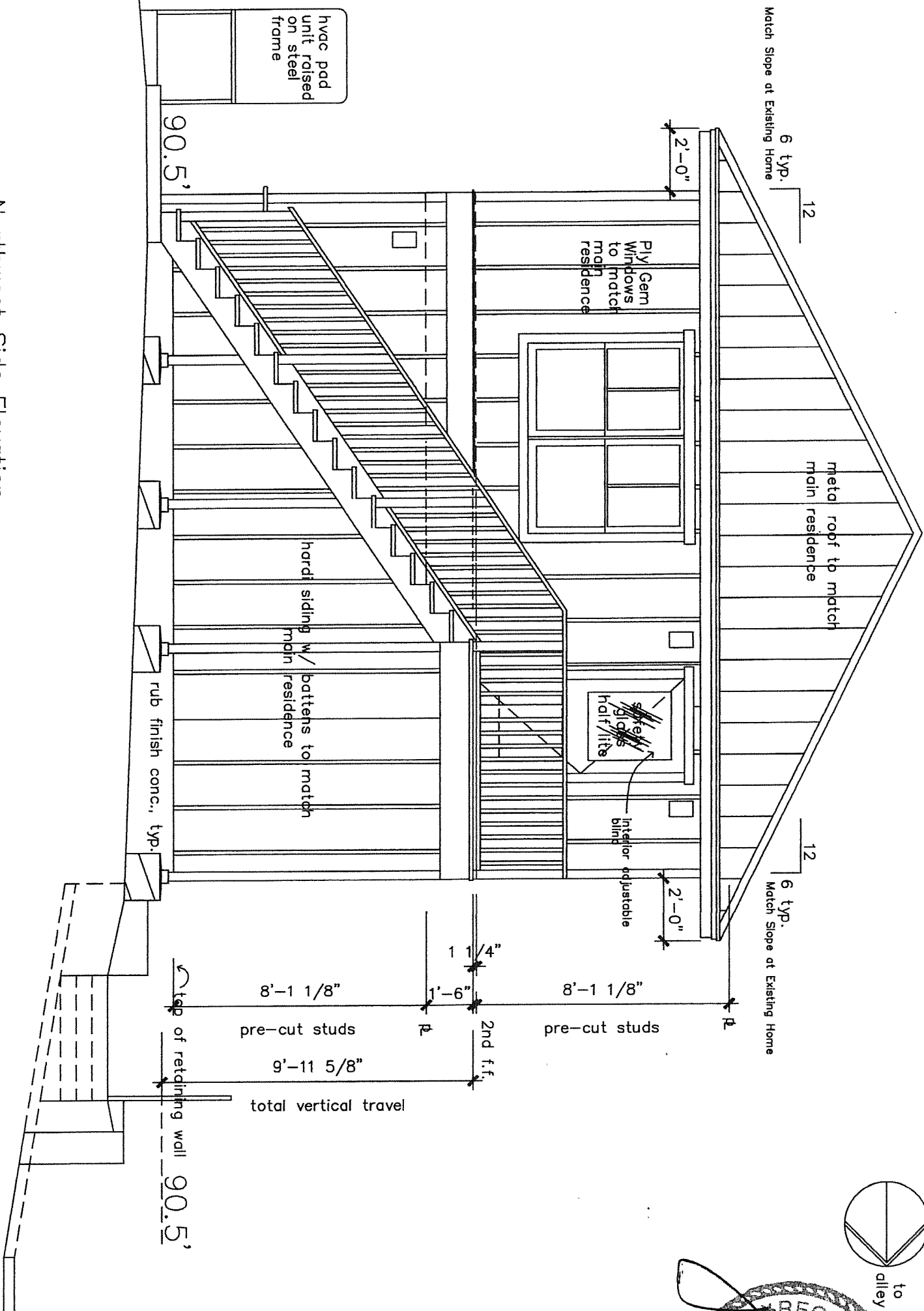
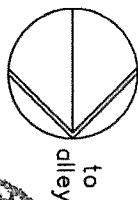
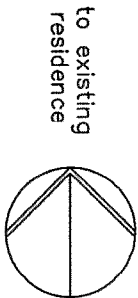
James Allman, Architect
1711 Tracy Miller Lane
Cedar Park, Texas 78613



A New Garage Apartment For
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revised 07-18-16
revised 04-20-16
revised 04-13-16
revised 02-17-16
revised 02-15-16

Date
02-10-16
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Northwest Side Elevation

SCALE: 1/4" = 1'-0"

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revised 04-13-16
revised 02-17-16
revised 02-15-16

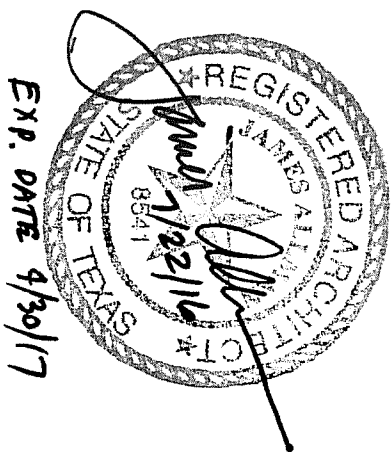
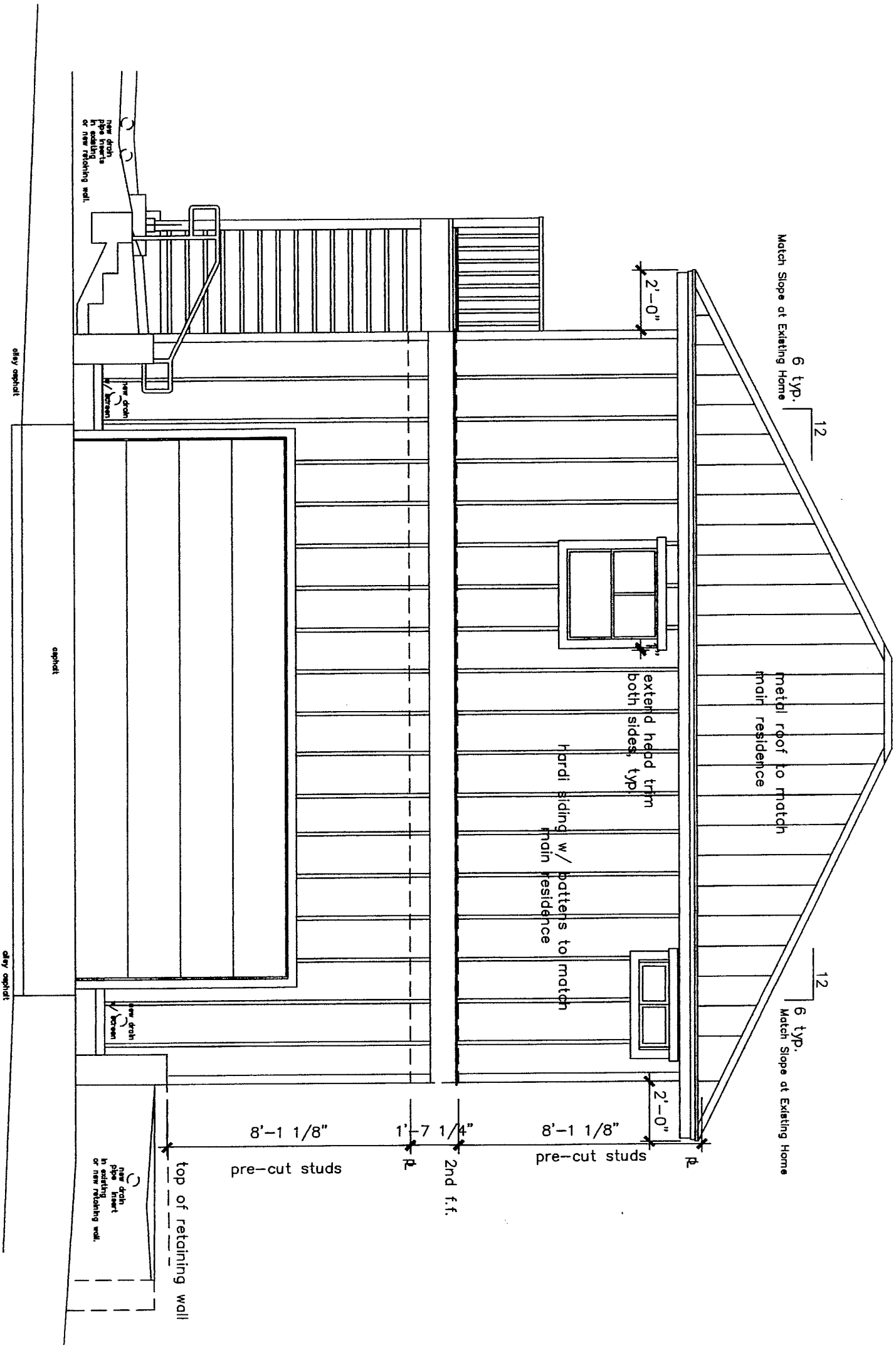
Date
02-10-16
Sheet
5 of 12

James Allman, Architect
1711 Tracy Miller Lane
Cedar Park, Texas 78613

Exterior Elevation @ Alley Side

SCALE: 1/4" = 1'-0"

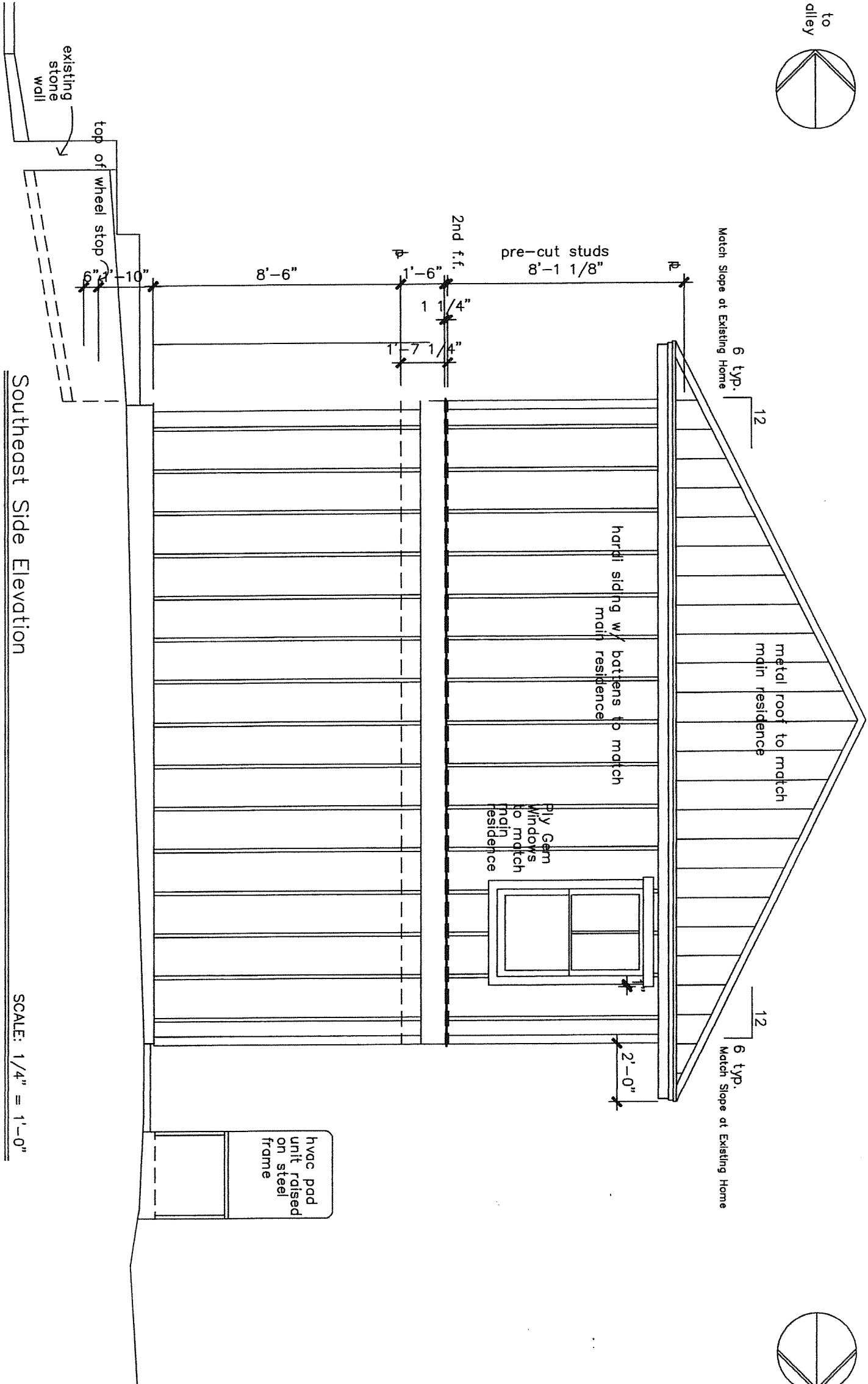
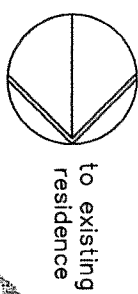
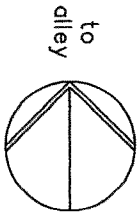
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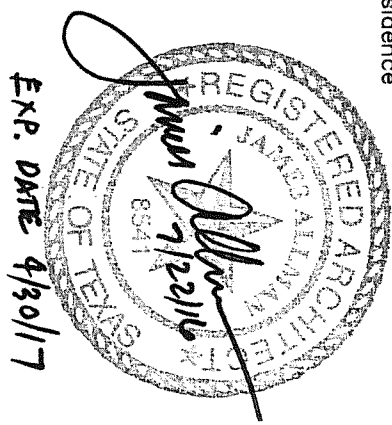
A New Garage Apartment For
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Austin, Texas 78703

revised 07-22-16
revised 07-18-16
revised 04-13-16
revised 02-17-16
revised 02-15-16

Date
02-10-16
Sheet
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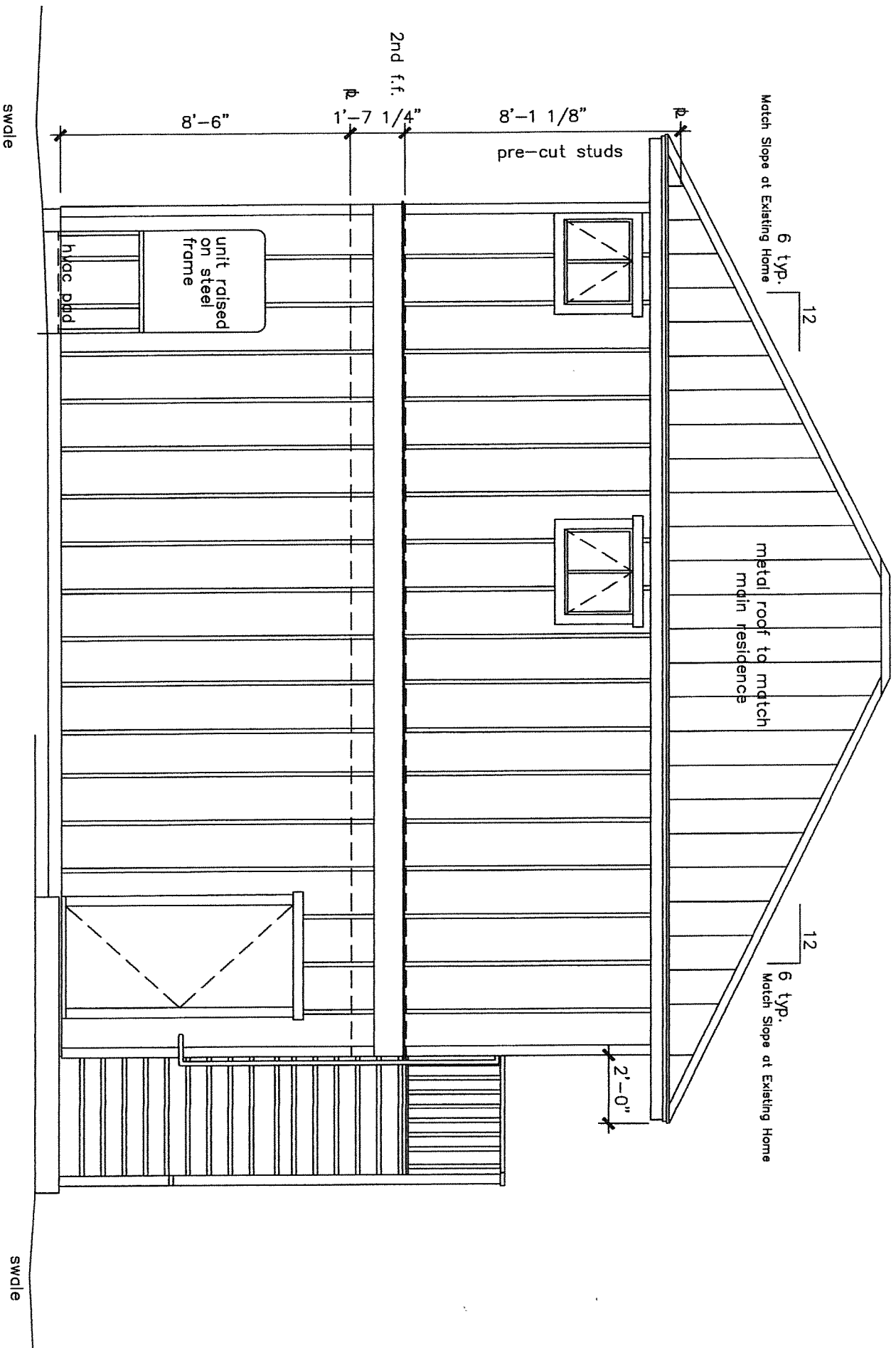


A New Garage Apartment For
Marshall Eudy
1809 West 10th
Austin, Texas 78703

revised 07-22-16
revised 07-14-16
revised 04-20-16
revised 04-13-16
revised 02-17-16
revised 02-15-16

Date
02-10-16
Sheet
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James Allman, Architect
1711 Tracy Miller Lane
Cedar Park, Texas 78613



Exterior Elevation @ Existing Home Side

SCALE: 1/4" = 1'-0"

All work to comply with 2012 IRC as amended by City of Austin or code in force at the time of construction.

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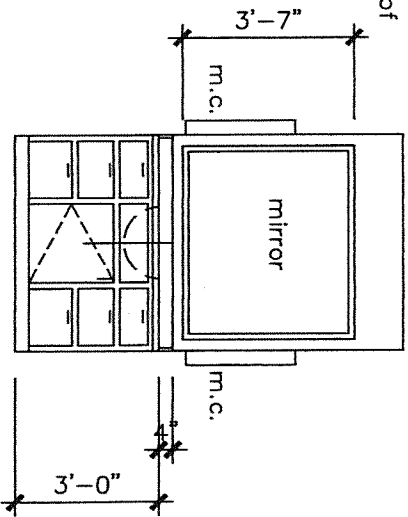
revised 07-22-16
revised 07-18-16
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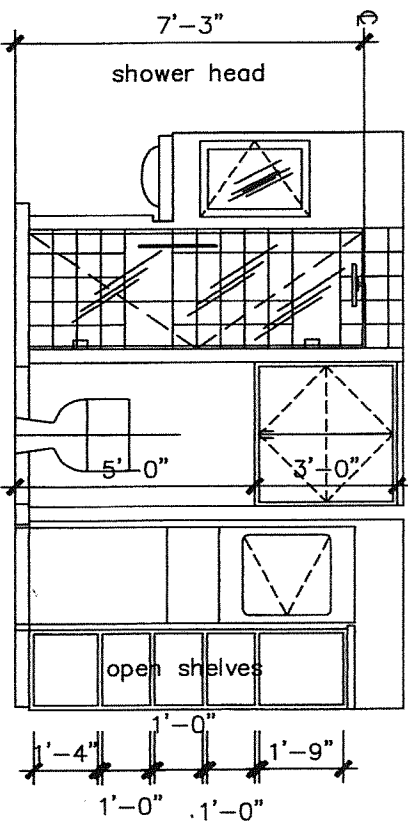
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02-10-16
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Cabinet Notes:

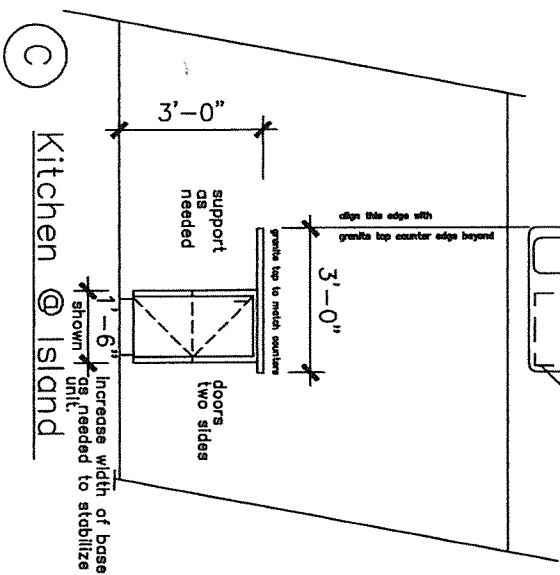
1. Cabinet Maker, Fin. Carpenter, Gen. Con, and/or Cabinet supplier to field measure as built conditions (including square and level all surfaces) prior to fabrication or order.
2. If Mfg. cabinets to be installed verify and convert these plans to standards of selected mfg. to minimize filler strips and errors. Do this prior to final cabinet order.
3. Verify all final appliance, plumbing fixtures, hardware, & misc. selections prior to fabrication or placing order. Verify plumbing rough locations. As built plumbing roughs may require cabinet changes as a best solution.
4. Allow clearance for Refrig. door to operate.



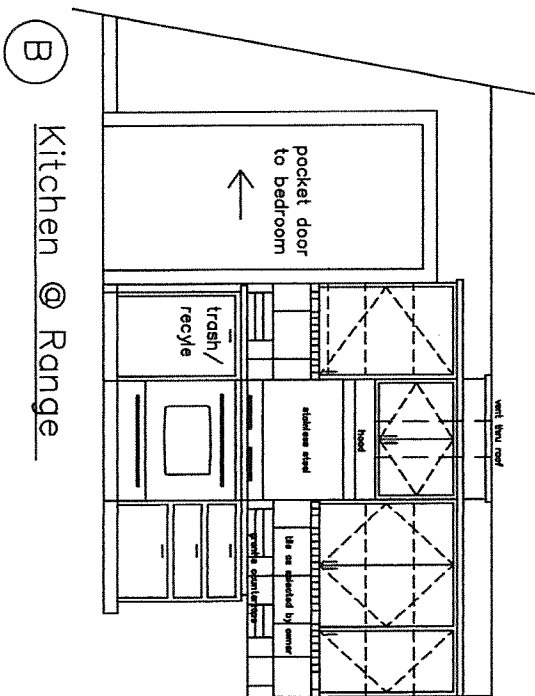
E Bath @ Lavatory



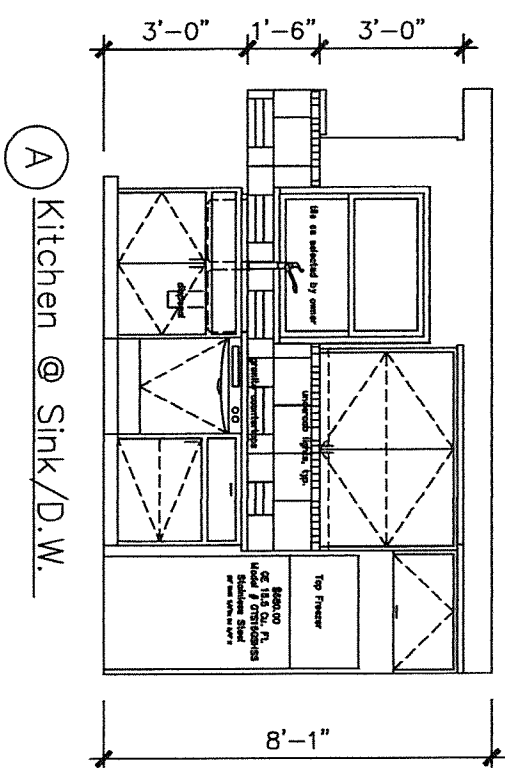
D Lav., Shower, Tilt Stack W/D



C Kitchen @ Island



B Kitchen @ Range



A Kitchen @ Sink/D.W.

Interior Elevations

SCALE 1/4" = 1'-0"

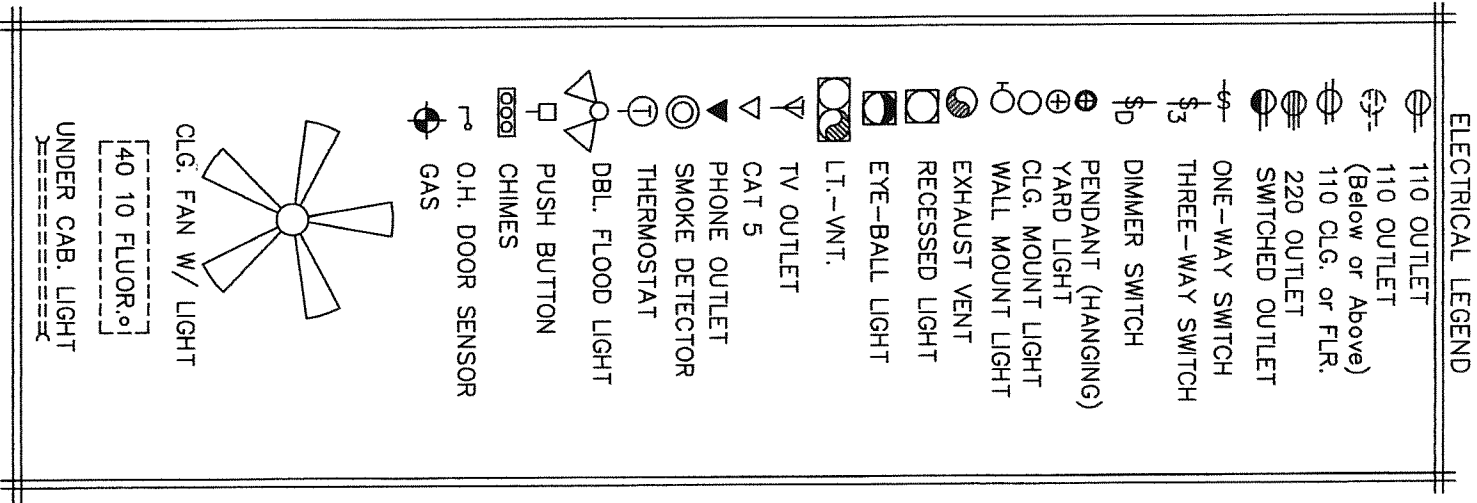
James Allman, Architect
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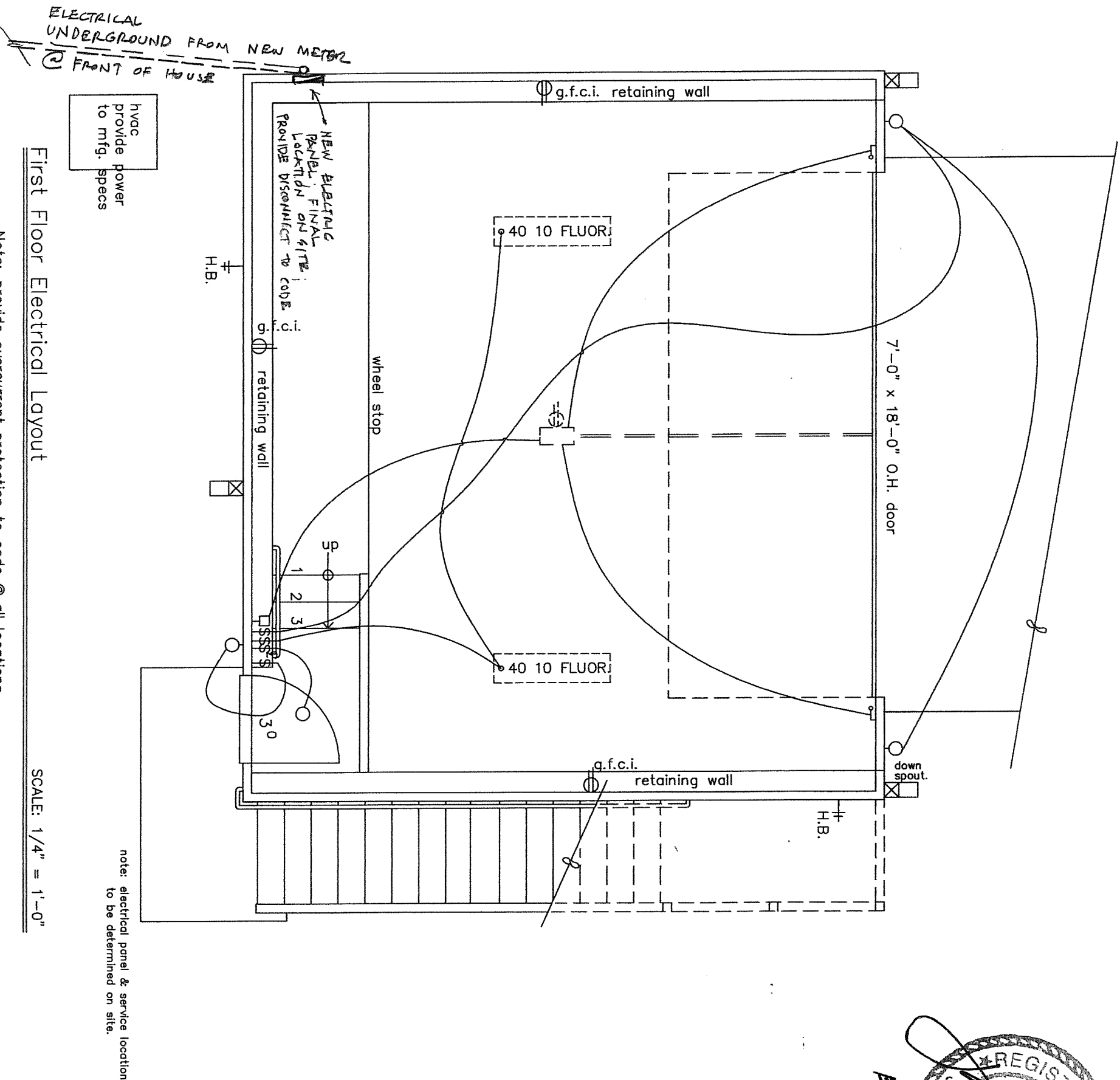
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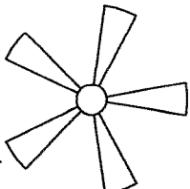


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JKK
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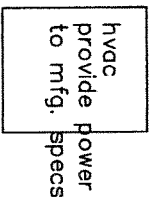
	110 OUTLET
	110 OUTLET (Below or Above)
	110 CLG. or FLR.
	220 OUTLET
	SWITCHED OUTLET
	ONE-WAY SWITCH
	THREE-WAY SWITCH
	DIMMER SWITCH
	PENDANT (HANGING)
	YARD LIGHT
	CLG. MOUNT LIGHT
	WALL MOUNT LIGHT
	EXHAUST VENT
	RECESSED LIGHT
	EYE-BALL LIGHT
	LT.-VNT.
	TV OUTLET
	CAT 6
	PHONE OUTLET
	SMOKE DETECTOR
	THERMOSTAT
	DBL. FLOOD LIGHT
	PUSH BUTTON
	CHIMES
	O.H. DOOR SENSOR
	GAS



CLG. FAN W/ LIGHT

40 10 FLUOR. 01

UNDER CAB. LIGHT



SCALE: 1/4" = 1'-0"

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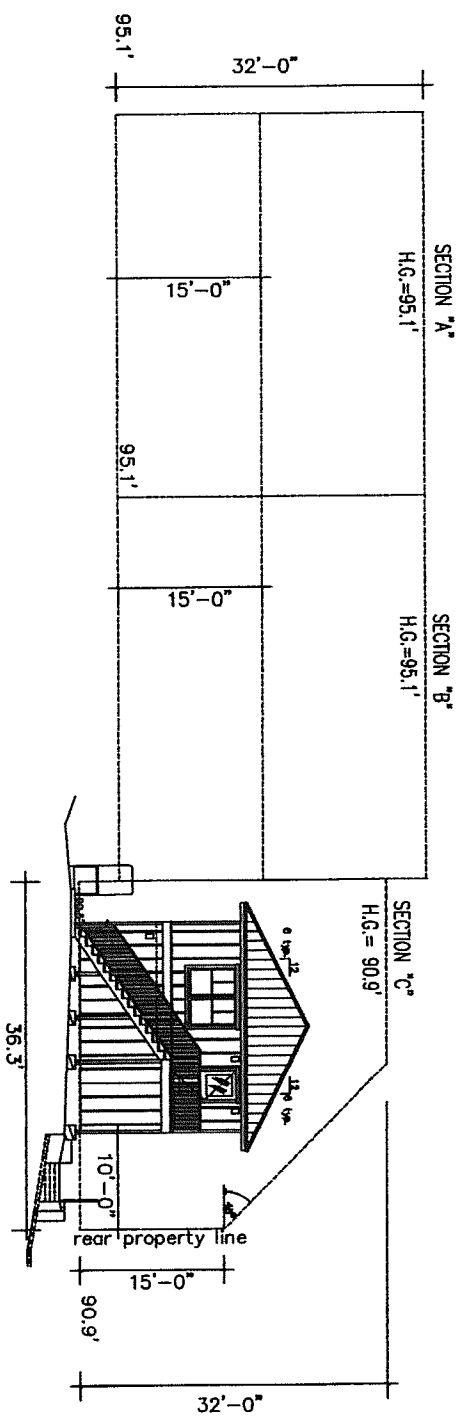
EXP. DATE 4/30/17

REGISTERED ARCHITECT
JAMES A. ALLEN
STATE OF TEXAS
8541
7-22-16

Date
02-10-16

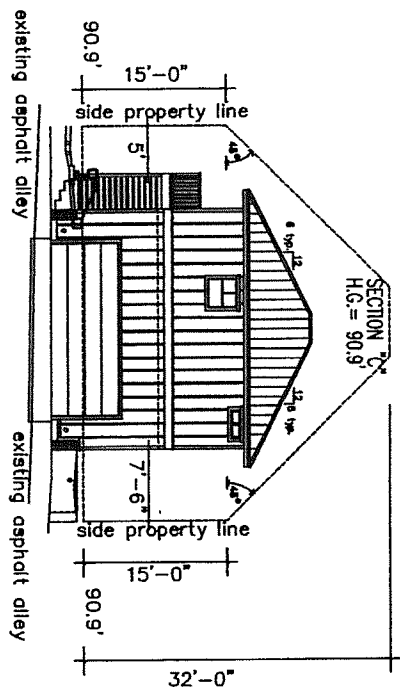
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Residential Design and Compatibility Standards



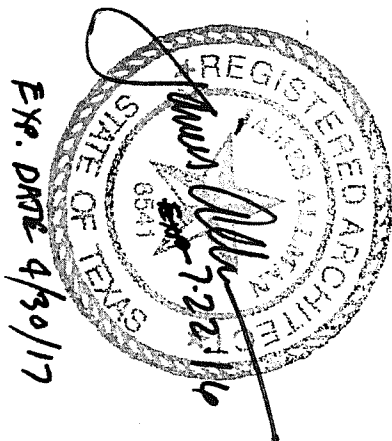
Northwest Side Elevation - McMansion Tent

Note: The Sections of the Tent are shown on the Survey with the Elevations of defining points identified.
H.G.=High Ground or the highest elevation of the four points defining each section of the tent.



Alley Elevation - McMansion Tent

Note: The Sections of the Tent are shown on the Survey with the Elevations of defining points identified.
H.G.=High Ground or the highest elevation of the four points defining each section of the tent.



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