



CITY OF AUSTIN
Development
SERVICES DEPARTMENT

Residential Review – One Texas Center
 505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

**Residential New Construction
 and Addition Permit Application**

To complete this form: Open with Internet Explorer,
 then Click Here to Save and continue.

Property Information

Project Address: 1004 MAUFRAIS ST. 78703 Tax Parcel ID: 109189
 Legal Description: LOT 18 + N 25 FT. OF LOT 19 BCK 4 OLT 4 STEVELEY HEIGHTS 2
 Zoning District: SF-3-NP Lot Area (sq ft): 992.23 SF
 Neighborhood Plan Area (if applicable): OLD WEST AUSTIN Historic District (if applicable): OLD WEST

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y N
 (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)

Does project have a Green Building requirement? Y N
 (If yes, attach signed conditional approval letter from Austin Energy Green Building)

Is this site within an Airport Overlay Zone? Y N
 (If yes, approval through Aviation is required)

Does this site have a septic system? Y N
 (If yes, submit a copy of approved septic permit)

Does the structure exceed 3,600 square feet total under roof? Y N
 (If yes, Fire review is required)

Is this property within 200 feet of a hazardous pipeline? Y N
 (If yes, Fire review is required)

Is this site located within an Erosion Hazard Zone? Y N
 (If yes, EHZ review is required)

Is this property within 150 feet of the 100 year floodplain? Y N
 (Proximity to floodplain may require additional review time.)

Is there a protected sized tree on this lot or adjacent lot(s)? Y N
 Note: Include tree location(s) on plot plan. (If yes, application for a tree permit with the City Arborist is required)

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y N

Does this site currently have: water availability? Y N
 wastewater availability? Y N
 (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)

Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y N
 (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? Y N
 (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

Does this site require a cut or fill in excess of four (4) feet? Y N
 (If yes, contact the Development Assistance Center for a Site Plan Exemption)

Is this site within the Waterfront Overlay? Y N
 (LDC 25-2 Subchapter C Article 3)

Is this site within the Lake Austin Overlay? Y N
 (LDC 25-2-180, 25-2-647)

Does this site front a paved street? Y N
 (If no, contact Development Assistance Center for Site Plan requirements.)

Is this site adjacent to a paved alley? Y N
 (Public Works approval required to take access from a public alley.)

Does this site have a Board of Adjustment (BOA) variance? Y N Case # _____ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y N
 (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

Existing Use: vacant single-family residential duplex residential two-family residential other: _____

Proposed Use: vacant single-family residential duplex residential two-family residential other: _____

Project Type: new construction addition addition/remodel other: _____

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y N
 (Note: Removal of all or part of a structure requires a demolition permit application.)

of existing bedrooms: 3 # of bedrooms upon completion: 4 # of baths existing: 2 # of baths upon completion: 3 1/2

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)
PROPOSED NEW CONSTRUCTION OF 500SF REAR DETACHED GARAGE, NEW 1,100SF 2ND FLOOR ADDITION TO EXISTING 1STORY HOUSE, NEW 400SF ADDITION AND FULL INTERIOR FINISH CONCRETE (R.O.W.)

Trades Permits Required (Circle as applicable): electric plumbing mechanical (HVAC)

Job Valuation		
Total Job Valuation: \$ <u>91,000</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>55,000</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>10,000</u> Elec: \$ <u>10,000</u> Plmbg: \$ <u>10,000</u> Mech: \$ <u>6,000</u> TOTAL: \$ <u>36,000</u>
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ _____ Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
	Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	<u>1973</u>		<u>400</u>		<u>2453</u>	
b) 2 nd Floor conditioned area			<u>1100</u>		<u>1100</u>	
c) 3 rd Floor conditioned area						
d) Basement						
e) Covered parking (garage or carport) <u>(-450sf)</u>	<u>340</u>		<u>500</u>		<u>390*</u>	
f) Covered patio, deck, porch, and/or balcony area(s)						
g) Other covered or roofed area						
h) Uncovered wood decks						
Total Building Area (total a through h)	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>3293</u>	
i) Pool						
j) Spa						

Building Coverage Information	
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
Total Building Coverage (sq ft): <u>3293</u>	% of lot size: <u>32.96%</u>

Impervious Cover Information	
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)	
Total Impervious Cover (sq ft): <u>4315</u>	% of lot size: <u>43.18%</u>

Setbacks	
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)	<input type="radio"/> Y <input checked="" type="radio"/> N
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)	<input type="radio"/> Y <input checked="" type="radio"/> N
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)	<input type="radio"/> Y <input checked="" type="radio"/> N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	Parking (LDC 25-6 Appendix A & 25-6-478)
Building Height: _____ ft _____ in Number of Floors: _____	# of spaces required: <u>2</u> # of spaces provided: <u>2</u>

Right-of-Way Information	
Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input type="radio"/> Y <input type="radio"/> N	
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="radio"/> Y <input type="radio"/> N	
Width of approach (measured at property line): _____ ft	Distance from intersection (for corner lots only): <u>NA</u> ft
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? (If yes, drainage review is required) <input type="radio"/> Y <input checked="" type="radio"/> N	

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

		Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor		1973	480			2453
2 nd Floor			1100			1100
3 rd Floor						
Area w/ ceilings > 15'				Must follow article 3.3.5		
Ground Floor Porch* (check article utilized)				<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input checked="" type="checkbox"/> 200 sq ft (3.3.3 A 2)		
Basement				Must follow article 3.3.3B, see note below		
Attic				Must follow article 3.3.3C, see note below		
Garage**: (check article utilized)	Attached	340		<input type="checkbox"/> 200 sq ft (3.3.2 B 2b)		
	Detached		500	<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input checked="" type="checkbox"/> 200 sq ft (3.3.2 B 2a)	450	390
Carport**: (check article utilized)	Attached			<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 3) <input checked="" type="checkbox"/> 200 sq ft (3.3.2 B 1)***		
	Detached			<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		
Accessory Building(s) (detached)						
Totals						3943

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 3943

(Total Gross Floor Area ÷ Lot Area) x 100 = 39.46% Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

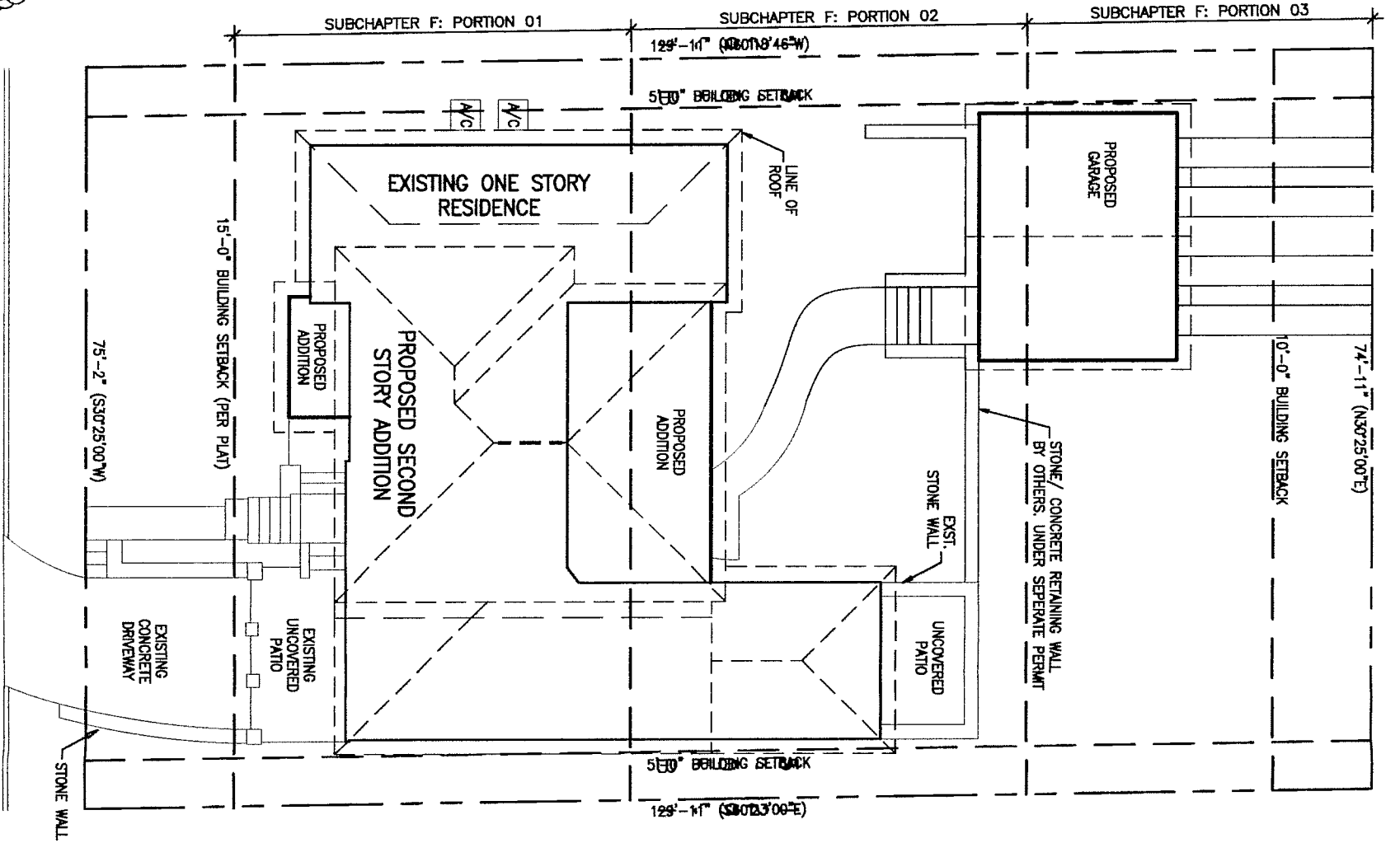
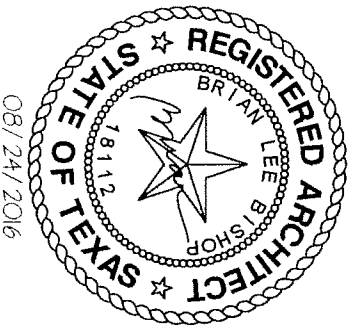
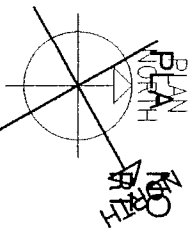
Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

REAR OF HOUSE



1004 MANUFRA'S THIS EXT. WOULD BE REMOVED. IF I WILL GET LINEAR FT. IN THIS AREA

1004 MANUFRA'S THIS 2ND STORY ADDITION TO BE BUILT IN THIS AREA



SITE PLAN
1
1/16" = 1'-0"

COVERAGES

AREA DESCRIPTION (BUILDING)	LOT SIZE	EXIST. (SF)	NEW (SF)	TOTAL (SF)
FIRST FLOOR	9,992.23 SF	1,973	480	2,453
SECOND FLOOR FLOOR			1,100	1,100
THIRD FLOOR				
BASEMENT				
COVERED PARKING (+/- 450 SF)			500	390*
COVERED PATIO/DECK/PORCH				
BALCONY				
OTHER (ACC. STRUCT.-SHED)				
TOTAL BUILDING COVER	2,313	1,973	980	3,283
% OF LOT	23.15%			32.98%
AREA DESCRIPTION (IMPERVIOUS)		EXIST. (SF)	NEW (SF)	TOTAL (SF)
DRAWNWAY	243	288	511	511
SIDEWALKS	254	254	254	254
UNCOVERED PATIO	284	284	284	284
UNCOVERED WOOD DECK (50%)	18	18	18	18
AC PATOS	89	89	89	89
OTHER (POOL COPING)				
TOTAL IMPERVIOUS COVER	3,092	1,337	4,428	4,428
% OF LOT	30.94%			44.32%
GROSS FLOOR AREA				3,943
FLOOR AREA RATIO				39.48%

GENERAL

- IF NOT EXISTING PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS. IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. IN ACCORDANCE WITH 2012 IRC SECTION R314.
- GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW PER 2007 NFPA 72 CHAPTER 11
- IF NOT EXISTING PROVIDE CARBON MONOXIDE ALARM - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. IN ACCORDANCE WITH 2012 IRC SECTION R315.

ABBREVIATIONS

BRK & CENTER LINE	O.C.	ON CENTER
CSMK CASE WORK	REF.	REFRIGERATOR
CONC. CONCRETE	SC	SOLID CORE
CONT. CONTINUOUS	T.M.E.	TO MATCH EXISTING
ENG. ENGINEERED	T.O.	TOP OF
EXST. EXISTING	TYP.	TYPICAL
DW DISH WASHER	U.N.O.	UNLESS NOTED OTHERWISE
GALV GALVANIZED	V.I.F.	VERIFY IN FIELD
HGT HEIGHT	WH	WATER HEATER
JS JACK STUD	W/W	WITH
MIN. MINIMUM	W/W	WELDED WIRE FABRIC

**1004 MAUFRAIS ST.
RENOVATION/ADDITION**

PROJECT ADDRESS

1004 MAUFRAIS ST.
AUSTIN, TX 78703

OWNER

GREG JACOBSON
2303 RR 620 SOUTH
AUSTIN, TX 78734

CONSULTANTS

PAGE DESIGN & ACCESSIBILITY
11782 JOLLYVILLE ROAD, SUITE 207
AUSTIN, TX 78759

CONTACT:
BILL PAGE
512.517.7551

ARCHITECT OF RECORD:
BRIAN BISHOP
512.653.1487

PROFESSIONAL DESIGN GROUP
1705 S. CAPITAL OF TEXAS HIGHWAY, SUITE 150
AUSTIN, TX 78746

CONTACT:
JOE QUINTANILLA
512.457.0344

DRAWINGS

- A1.1 COVER SHEET & SITE PLAN
- A1.2 DEMO SITE PLAN
- A2.1 FIRST FLOOR DEMO PLAN
- A2.2 FIRST FLOOR PLAN
- A2.3 SECOND FLOOR PLAN
- A2.4 ROOF DEMO PLAN
- A2.5 ROOF PLAN
- A2.6 GARAGE FLOOR PLAN
- A2.7 GARAGE ROOF PLAN
- A3.1 CEILING, POWER & LIGHTING PLAN
- A3.2 CEILING, POWER & LIGHTING PLAN
- M4.1 EXTERIOR ELEVATIONS
- M4.2 EXTERIOR ELEVATIONS
- M4.3 EXTERIOR ELEVATIONS
- A5.1 BUILDING SECTIONS
- A7.1 ENLARGED FLOOR PLAN
- A7.2 STAIR SECTION
- S-1 FOUNDATION LAYOUT
- S-2 FOUNDATION DETAILS
- S-3 1ST STORY WALL FRAMING
- S-4 1ST STORY CEILING FRAMING
- S-5 2ND STORY CEILING FRAMING
- S-6 ROOF FRAMING
- S-7 TYPICAL WALL CROSS SECTION
- S-8 GARAGE FOUNDATION LAYOUT
- S-9 GARAGE FOUNDATION DETAILS
- S-10 GARAGE WALL & CEILING FRAMING
- S-11 GARAGE ROOF FRAMING
- S-12 GARAGE ROOF FRAMING
- S-13 GARAGE TYPICAL WALL CROSS SECTION

SHEET #:
A1.1

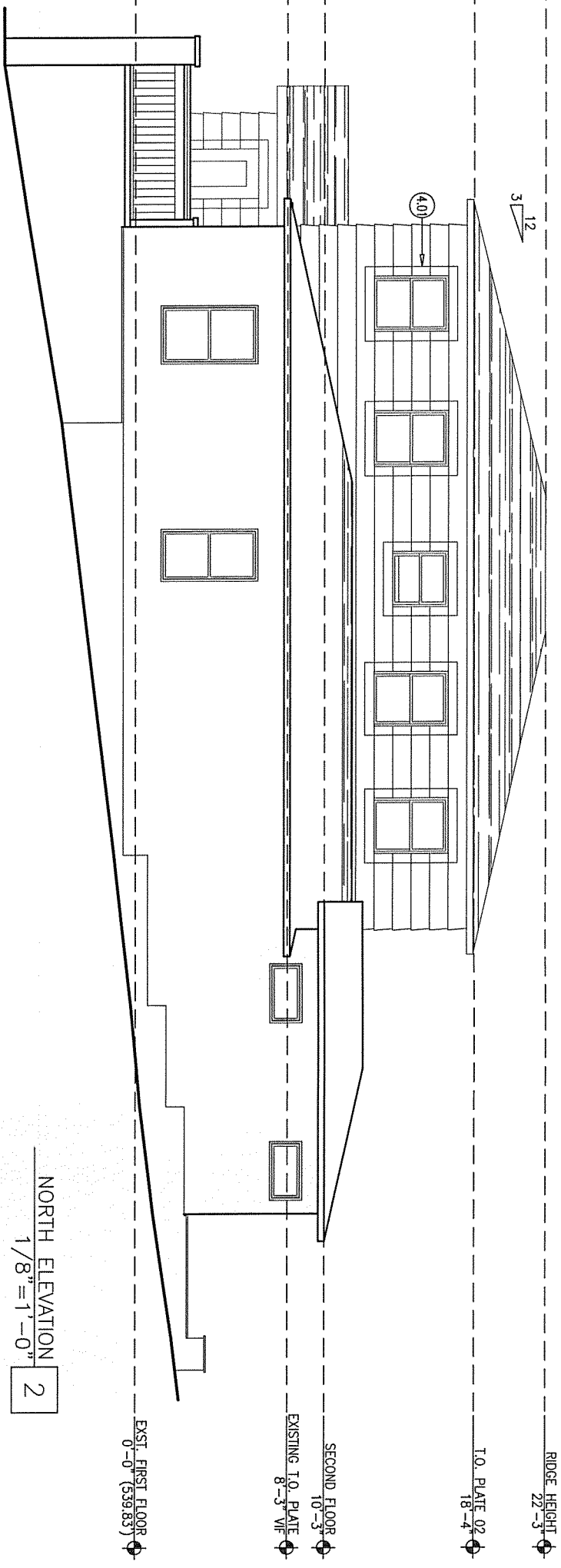
SHEET NAME:
COVER SHEET &
SITE PLAN

ISSUED	REVISIONS
08.03.16	REVIEW SET
08.29.16	PERMIT SET

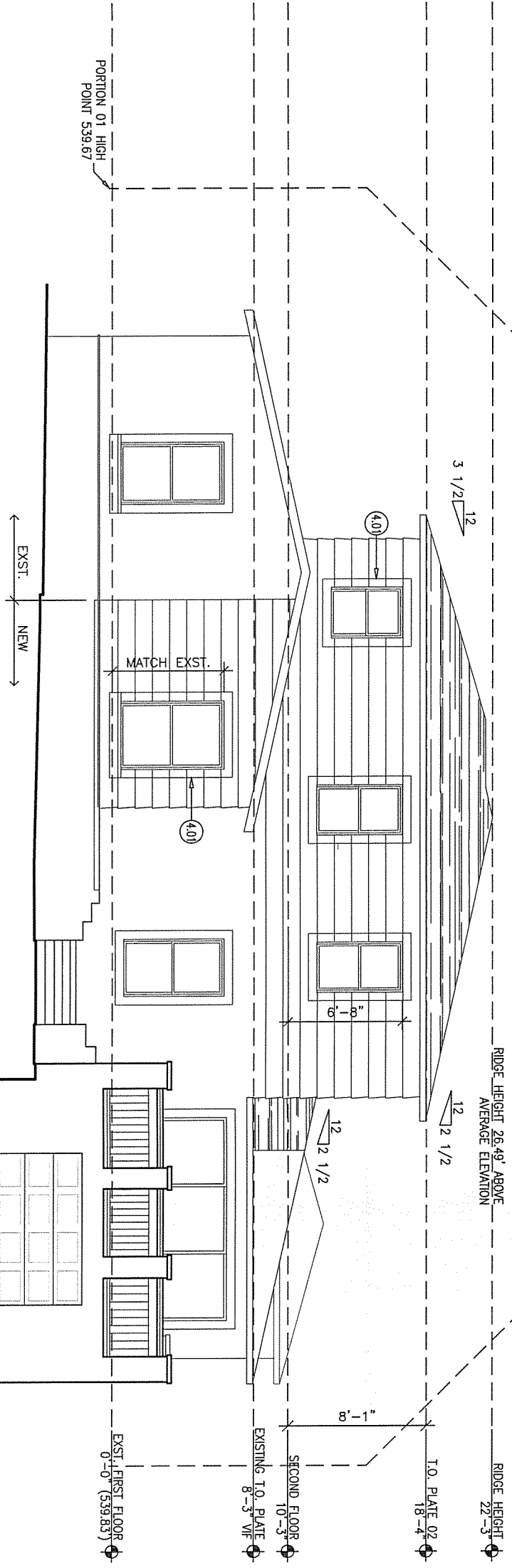
PROJECT NO. 18.051

**1004 MAUFRAIS
RENOVATION / ADDITION
AUSTIN, TEXAS**

3 1/2" 12"



NORTH ELEVATION 2
1/8" = 1'-0"



EAST ELEVATION 1
1/8" = 1'-0"

GENERAL

- ALL PAINT COLORS TO B. SELECTION BY OWNER
- NEW EXTERIOR FINISH TO BE FIBER CEMENT SIDING

KEYNOTES

(40) HARDIE TRIM I.M.E.

LEGEND

(1) TEMPERED GLAZING

ELEVATIONS

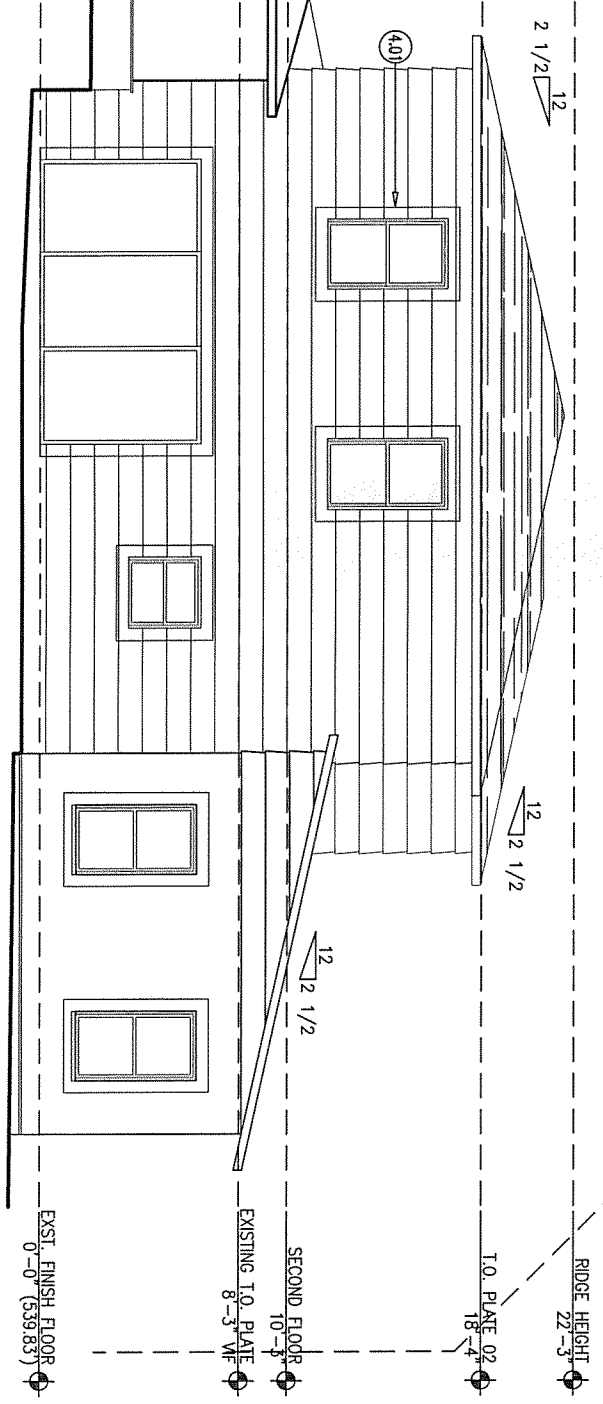
706.26' PROPOSED RIDGE HEIGHT (31.76' ABOVE AVE)
 539.83' EXISTING FINISHED FLOOR
 538.00' AVERAGE ELEVATION OF PROPERTY



ISSUED		REVISIONS	
08.19.16	REVIEW SET		
08.24.16	PERMIT SET		



SOUTH ELEVATION
1/8"=1'-0" 2



WEST ELEVATION
1/8"=1'-0" 1

GENERAL

- ALL PAINT COLORS TO B. SELECTION BY OWNER
- NEW EXTERIOR FINISH TO BE FIBER CEMENT SIDING

KEYNOTES

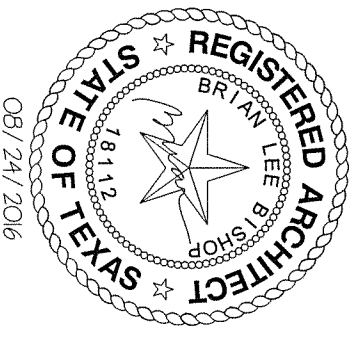
(40) HARDIE TRIM T.M.E.

LEGEND

(1) TEMPERED GLAZING

ELEVATIONS

706.26' PROPOSED RIDGE HEIGHT (31.76' ABOVE AVE.)
539.83' EXISTING FINISHED FLOOR
536.00' AVERAGE ELEVATION OF PROPERTY



ISSUED	REVISIONS
08.19.16 REVIEW SET	
08.24.16 PERMIT SET	

PROJECT NO.: 16:051

GENERAL

1. ALL PAINT COLORS TO B. SELECTION BY OWNER
2. NEW EXTERIOR FINISH TO BE FIBER CEMENT SIDING

KEYNOTES

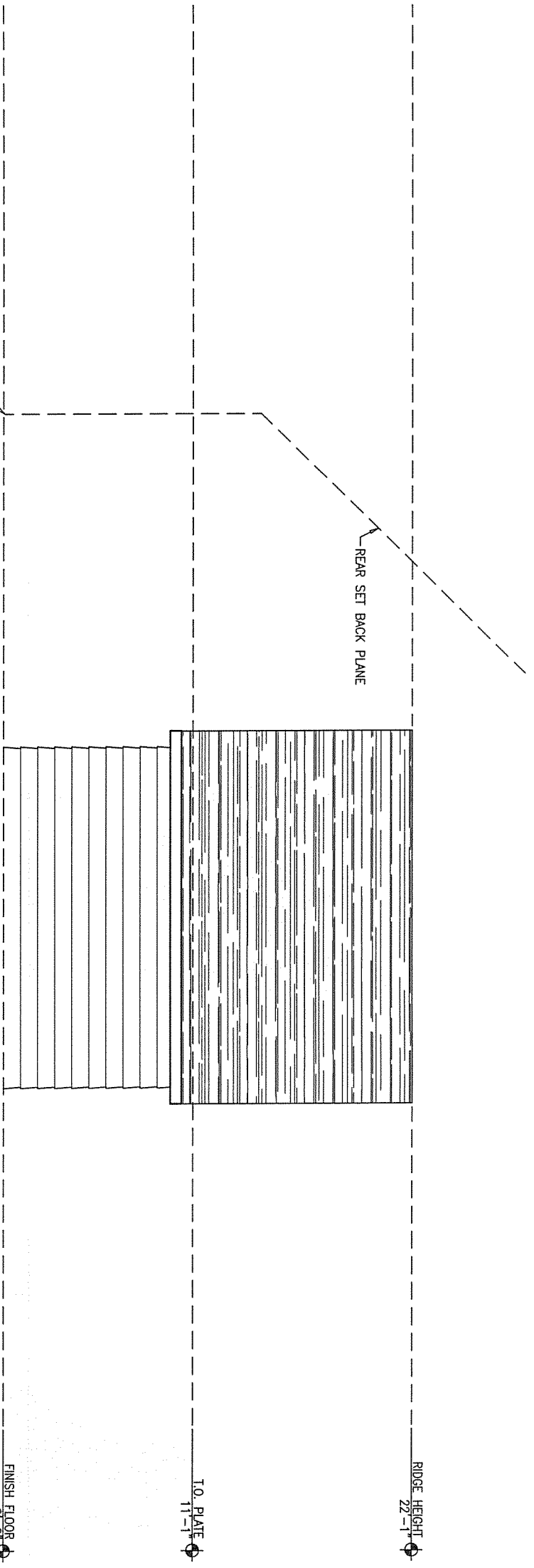
(40) HARDIE TRIM T.M.E

LEGEND

(1) TEMPERED GLAZING

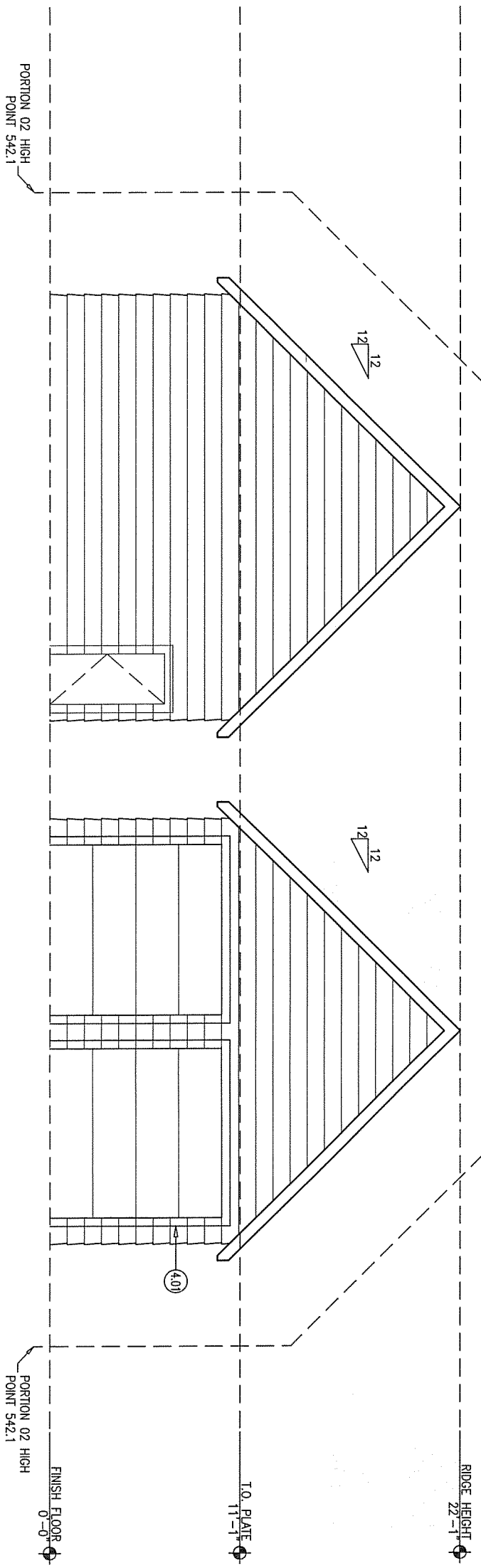
ELEVATIONS

706.26' PROPOSED RIDGE HEIGHT (31.76' ABOVE AVE)
 539.83' EXISTING FINISHED FLOOR
 538.00' AVERAGE ELEVATION OF PROPERTY



WEST ELEVATION
 1/8" = 1'-0"

3

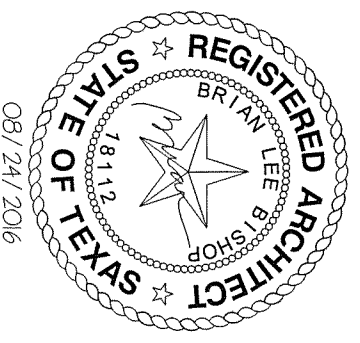


SOUTH ELEVATION
 1/8" = 1'-0"

2

NORTH ELEVATION
 1/8" = 1'-0"

1



ISSUED		REVISIONS	
08.19.16	REVIEW SET		
08.24.16	PERMIT SET		