

THIRD READING SUMMARY SHEET

ZONING CASE NUMBER: C814-2015-0074

(The Grove at Shoal Creek Planned Unit Development)

REQUEST:

Approve third reading of an ordinance amending Title 25-2 of the Austin City Code, zoning the property locally known as 4205 Bull Creek Road from unzoned (UNZ) to planned unit development (PUD) district zoning.

The ordinance and public restrictive covenant reflect the conditions imposed by the City Council on 2nd reading.

DISTRICT AREA: 10

PROPERTY OWNER: ARG Bull Creek, Ltd. (Garrett Martin)

AGENT: Thrower Design (A. Ron Thrower)

DEPARTMENT COMMENTS:

The proposed The Grove at Shoal Creek Planned Unit Development (PUD) is generally located on Bull Creek Road at 45th Street. The property in question was previously owned by the State of Texas and therefore is listed as “UNZ” or unzoned on the zoning case map (please see Exhibits A and B: Zoning Map and Aerial Map). There are undeveloped areas along the north and east portions of the property. The south and west portions of the site are developed with state owned office buildings with parking facilities. Surrounding properties are primarily a mix of residential and office uses. The site under consideration is adjacent to single family residences to the north (SF-2 zoning) and south (SF-3 zoning). There are apartments and a senior living center to the west (MF-6-CO, MF-4 and GO-MU-CO zoning). The property directly to the east is unzoned and is developed with an industrial warehouse facility for the State of Texas archives. Further to the east are single family residences (SF-2 zoning). The site is located in the Rosedale Neighborhood Planning area, which does not have an adopted neighborhood plan.

The property is located in the Shoal Creek watershed which is classified as urban. Therefore, the allowable impervious cover is governed by the allowable zoning impervious cover not watershed impervious cover. This tract of land is not located within the Edwards Aquifer recharge or contributing zones.

The applicant is requesting PUD district zoning for a 75.74 acre mixed use project. According to the Yield sheet from Transportation Impact Analysis (TIA) dated February 2016, the proposed PUD may include up to 110 single family residential units, 600 apartment units, 425 residential condo units, a 600 unit congregate care facility, a 7,500 sq. ft. health/fitness club, 200,000 sq. ft. of office uses, 25,000 sq. ft. of medical office uses, 55,000 sq. ft. of specialty retail uses, a 35,000 sq. ft. supermarket/food sales uses, 8,500 sq. ft. of pharmacy/drug store/general retail sales (convenience) uses, a 3,000 sq. ft. walk-in bank/financial services use, 8,000 sq. ft. of drinking place/cocktail lounge uses, 15,000 sq. ft. quality restaurant/restaurant (general) uses, 9,000 sq. ft. high turnover restaurant/restaurant (limited) uses, and a 2,000 sq. ft. coffee-donut shop without drive through use//restaurant (limited) use.

Per the Land Development Code, PUD district zoning was established to implement goals of preserving the natural environment, encouraging high quality development and innovative design, and ensuring adequate public facilities and services. The City Council intends PUD district zoning to produce development that achieves these goals to a greater degree than and thus is superior to development which could occur under conventional zoning and subdivision regulations.

City Council approved revisions to the PUD regulations that became effective June 29, 2008. To help evaluate the superiority of a proposed PUD, requirements are divided into two categories: Tier 1, which is requirements that all PUDs must meet, and Tier 2 which provides criteria in 13 topical areas in which a PUD may exceed code requirements and therefore demonstrate superiority. A PUD need not address all criteria listed under Tier 2, and there is no minimum number of categories or individual items required.

As more fully detailed on the Land Use Plan and in the Tier 1 and Tier 2 Compliance Summary (please refer to Exhibits C and D), this proposed PUD meets the applicable Tier 1 items and offers some elements of superiority in thirteen Tier 2 categories (*Open Space; Environment/Drainage; Art; Community Amenities, Transportation, Affordable Housing and Accessibility*).

Proposed Code Modifications

There are 27 modifications to Code and Criteria Manual requirements requested by the Applicant (please refer to Exhibit E – Proposed Code Modifications for details). These proposed modifications are summarized below:

- Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES), Article 2 (Definitions; Measurements), Section 25-1-21(103) (*Site*) – Revises the definition of Site to allow a site to cross a public street or right-of-way if that public street or right-of-way is within the boundaries of The Grove at Shoal Creek PUD.
- Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES), Article 14 (Parkland Dedication), Section 25-1-602 (*Dedication of Parkland Required*) and Section 25-4-211 (*Parkland Dedication*) – Specifies the parkland dedication and open space requirements. Modifies Section 25-1-602(A) (*Dedication of Parkland Required*) to state that the subdivider or site plan applicant shall provide for parkland for park and recreational purposes under the terms of The Grove at Shoal Creek Parks Plan and Parkland Improvement Agreement as attached exhibits to the PUD ordinance.
- Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES), Article 2 (Definitions; Measurements), Section 25-1-21(44) (*Gross Floor Area*) – Revises the definition of Gross Floor Area to apply this term to include the addition of parking structures.
- Chapter 25-2 (ZONING), Article 2 (Principal Use and Development Regulations), Section 25-2-492 (*Site Development Regulations*) – To propose that the site development regulations applicable to the Property be as shown on the Land Use Plan.
- Chapter 25-2 (ZONING), Article 2 (Principal Use and Development Regulations), Section 25-2-492 (*Site Development Regulations*) and Chapter 25-1 (GENERAL

REQUIREMENTS AND PROCEDURES), Article 2 (Definitions; Measurements), Section 25-1-21 (47) (*Height*) – To request a modification to state that a parking level shall not be and is not considered a “story”.

- Chapter 25-2 (ZONING), Article 9 (Landscaping), Section 25-2-1006 (*Visual Screening*) – To state that Section 25-2-1006 (A) shall not apply to any water quality and/or storm water drainage facility that serves as an amenity or to any Green Storm Water Quality Infrastructure as defined in the Environmental Criteria Manual and that Section 25-2-1006 (C) shall not apply between uses or sites that are both located within the PUD boundaries. (Section 25-2-1006 (C) shall still apply at the boundaries of the PUD.)
- Chapter 25-2 (ZONING), Subchapter B (Zoning Procedures), Article 2 (Special Requirements for Certain Districts), Division 5 (Planned Unit Developments), Section 3.2.3.D.1 (*Planned Unit Development Regulations: Nonresidential Uses*) – To state that these conditions of the Code that require a minimum front yard and street side yard setbacks be at least 25 feet for a front yard and 15 feet for a street side yard shall not apply to the PUD.
- Chapter 25-2 (ZONING), Article 10 (Compatibility Standards) – To state that Compatibility Standards do not apply within the PUD. However, Compatibility Standards will apply where development outside of the PUD triggers these standards for development within the PUD.
- Chapter 25-2 (ZONING), Article 10 (Compatibility Standards), Section 25-2-1063(*Height Limitations and Setbacks for Large Sites*)(C)(2) and (3) – To establish an area within Tract B where Section 25-2-1063(C)(2) shall not apply and where Section (C)(3) is modified to allow for a structure more than 50 feet but not more than 300 feet from the property zoned SF-5 or more restrictive to have a height up to 60 feet.
- Chapter 25-2 (ZONING), Article 10 (Compatibility Standards), Section 25-2-1067(G) (*Design Regulations*) and (H) – To state that this section of the Code does not apply to the Tract A for the construction of an alley, public road, trails and/or sidewalks.
- Chapter 25-2 (ZONING), Subchapter E (Design Standards and Mixed Use) – To request to that the requirements of Subchapter E not apply to the property within the PUD and to replace these conditions with the applicant’s proposed The Grove at Shoal Creek Design Guidelines.
- Chapter 25-4 (SUBDIVISION), Section 25-4-132(B) (*Easements and Alleys*) – To modify this section so that loading and unloading may also occur in any alley that also services as a fire lane.
- Chapter 25-4 (SUBDIVISION), Section 24-4-153 (*Block Length*) – To request that this section not apply to the property within the PUD.
- Chapter 25-4 (SUBDIVISION), Section 24-4-157 (*Subdivision Access Streets*) – To request that this section that requires secondary street access not apply to the property within the PUD.

- Chapter 25-4 (SUBDIVISION), Section 24-4-171(A) (*Access to Lots*) – To modify this section so that to add that each lot in a subdivision may also abut a private street or private drive subject to a permanent access easement.
- Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES) and Chapter 25-4 (SUBDIVISION), Section 25-4-211 (*Parkland Dedication*) – To request that platting requirements for parkland dedication be modified so that it is governed by the conditions of the PUD ordinance/exhibits.
- Chapter 25-4 (SUBDIVISION), Section 25-4-151 (*Street Alignment and Connectivity*) – To state that notwithstanding the requirements of Section 25-4-151 that private drives and/or streets within the property may be aligned to connect to existing or future street on adjoining property.
- Chapter 25-4 (SUBDIVISION), Section 25-4-152 (A) (*Dead-End Streets*) – Adding to this requirement that a street may terminate in a connection with private drives and/or private streets within the property.
- Chapter 25-6 (TRANSPORTATION), Section 25-6-171(A) (*Standards for Design and Construction*) – To modify requirements so that a roadway, private drive street or alley must be designed and constructed in accordance with The Grove at Shoal Creek Design Guidelines. Stating that the Transportation Criteria Manual and City of Austin Standards and Standard Specifications shall apply to the extent they do not conflict the proposed PUD Design Guidelines.
- Chapter 25-8 (ENVIRONMENT), Section 25-8-641(B) (*Removal Prohibited*) – To change the requirements for the removal of heritage trees within the PUD. Specifically identifying which heritage trees may be removed and adding language to speak to the administrative variance process under Section 25-8-642 for trees indicated to be saved on The Grove at Shoal Creek Tree Survey and Disposition Plan.
- Chapter 25-10 (SIGN REGULATIONS), Section 25-10-1 (*Applicability*) – Adding a condition under this section to state, “(D) To the extent they are in conflict, the signage standards set forth in the project Design Guidelines for The Grove at Shoal Creek shall supersede this chapter.”
- Chapter 25-10 (SIGN REGULATIONS), Section 25-10-103 (*Signs Prohibited in the Public Right-of-Way*) – To state that this section shall not apply to the public Right-of-Way dedicated for the Jackson Avenue extension within the boundaries of the PUD as identified on the Roadway Framework Plan.
- Chapter 25-10 (SIGN REGULATIONS), Section 25-10-191 (*Sign Setback Requirements*) – To state that this section shall not apply for setbacks from the public Right-of-Way dedicated for the Jackson Avenue extension within the boundaries of PUD as identified on the Roadway Framework Plan.
- Drainage Criteria Manual, Section 1.2.4.E.1(a) (*Fencing Requirements for Drainage Facilities*) – To amend this DCM Section to remove the requirement for barrier-type fences.

- Environmental Criteria Manual, Section 1.6.3.A.4 (*Maintenance Responsibilities for Water Quality Control Facilities*) – Modify this section to state that water quality control facilities at The Grove at Shoal Creek PUD that treat publicly owned roads and facilities within and adjacent to the PUD may be privately maintained, instead of being designed and built according to the appropriate city standards.
- Transportation Criteria Manual, Section 1.3.2.B.2 (*Classification Design Criteria*) – To modify this provision to state that the extension of Jackson Avenue in the PUD as identified on the Roadway Framework Plan shall be considered a Neighborhood Collector and shall be designed per The Grove at Shoal Creek Design Guidelines. The cross section and any other design information contained in those design guidelines shall supersede any requirements of the Transportation Criteria Manual. All other circulation routes within the PUD shall be considered as private driveways and intersection with these driveways shall be subject to the 50' minimum spacing for Neighborhood Collectors.
- Transportation Criteria Manual, Section 1.3.2.F (*Classification Design Criteria*) – To state that the Jackson Avenue extension shall not be considered a Single Outlet Street upon the connection of any public access that is open to the public and connects Jackson Avenue to Bull Creek Road.

Proposed Benefits of the PUD:

The applicant is offering the following –

Affordable Housing

- Provide a substantial on-site affordable housing component. They will describe this proposal in The Grove at Shoal Creek Affordable Housing Program Plan. The project has been certified under SMART Housing and the PUD language will require 5% of permanent ownership units and 10% of the rental units for 40 years. Through compliance with the Affordable Housing Requirements of LDC Section 25-1-704(B)(2)(a), development within the Grove at Shoal Creek PUD shall be eligible for a waiver of 100% of the development fees, including capital recovery fees, described in LDC Section 25-1-704 and Section 25-9-397 as allowed by and in accordance with the City's SMART Housing Program.

Accessibility

- Provide for accessibility for persons with disabilities to a degree exceeding applicable legal requirements.

Art

- Participate in the Art in Public Places Program. The applicant will develop a Public Art Plan that will consist of a minimum of three (3) significant art pieces. A minimum budget of \$60,000 shall be spent on public art within the PUD site. The applicant will consult with and consider the City's Art in Public Places (AIPP) program for implementing this program.

Community Amenities

- Provide a large on-site, publically accessible signature park space with park improvements and amenities open to the public.

- Provide public community and public amenities including spaces for community meetings, gatherings and other community needs.
- Provide publicly accessible multi-use trails and greenways within the property along Shoal Creek.
- Provide a pedestrian and bicycle bridge across Shoal Creek.

Environmental/Drainage

- Use of a wet pond and/or green water quality controls for a minimum of 50% of the required water quality volume on-site.
- Provide that a minimum of ten acres of impervious cover on the site will drain to and be substantially treated by green water quality controls that infiltrate or reuse water, such as rain gardens, biofiltration facilities, and rainwater capture systems.
- Proposing no modification to the existing 100-year floodplain.
- Preserve more than 75% of all protected size native caliper inches and prepare a tree care plan for all preserved heritage and protected trees on site.
- Cluster development/impervious cover along Bull Creek Road and in the interior of the property away from Shoal Creek and the larger oak groves on the property to avoid environmentally sensitive areas.
- Direct storm water runoff from impervious surfaces to a landscaped area at least equal to the total required landscape area.
- Provide on-site detention for the 9.39 acres of existing impervious cover on site that is not currently detained.
- Provide educational signage at the wetland Critical Environmental Feature.
- Implement an Integrated Pest Management Plan for the whole property.
- The Grove at Shoal Creek Design Guidelines will require street trees on all internal streets and along Bull Creek Road in excess of the Code requirements in Subchapter E.
- The proposed Design Guidelines will also require that a minimum of 95% of all non-turf plant materials be from or consistent with the City's Grow Green Guide.

Great Streets

- Provide private street cross sections that will meet the intent and purposes of the Great Streets Program through the proposed The Grove at Shoal Creek Project Design Guidelines.

Green Building

- Comply with at least a 2-star Green Building requirement.

Parkland and Open Space

- Provide a minimum of 18.12 acres of open space, including parkland.
- The Parks and Recreation Department has stated that they find that The Grove at Shoal Creek PUD is not superior to traditional zoning as it pertains to parks. The plan for the Signature Park submitted by Milestone lacks adequate street frontage, acreage and opportunities for active recreation. The CEF buffer reduction and mitigation further hampers park development. The visibility from the public right-of-way could be better. The overall credited park acreage does meet minimum requirements of traditional zoning only if the 2 acres labeled as "Flex Park Space" continues to be part of the parks plan.

Transportation

- Roadway and intersection improvements through the use of turn lanes and signalization shall be funded 100% by the applicant.
- Provide bicycle facilities, including bike storage and trails.

Utility Facilities

- Provide water system improvements that will improve water pressure to the area.

DATE OF FIRST READING/VOTE: October 20, 2016

Approved the Zoning and Platting Commission's recommendation for PUD zoning at first reading, with the following conditions: 1) The total square footage of all office development within the PUD shall not exceed 115,000 square feet and 2) The total square footage of all retail development shall not exceed 100,000 square feet. The public hearing shall remain open.

Vote: (8-2, Council Member Tovo and Council Member Houston-No, Council Member Troxclair-off the dais); Mayor Adler-1st, Council Member Gallo-2nd.

DATE OF SECOND READING/VOTE: December 6, 2016:

Closed the public hearing and approved PUD zoning at 2nd reading, with the conditions of the mediation agreement between the applicant/ARG and the Bull Creek Road Coalition Neighborhood Association, as presented on the dais:

- 1) Increase residential unit cap to 1515 units
- 2) Increase affordable housing requirement by 25% (to include alternative funding to replace impact fee waivers and an additional \$1.5 million additional incentive)
- 3) Eliminate 650 unit cap on apartment/multi-family residential units
- 4) Increase height on Tracts C, D, and F to 47 feet, except within 100 feet of Tract E
- 5) Set cap on office development at 185,000 sq. ft.
- 6) Eliminate cap on affordable housing square footage
- 7) Eliminate cap on total square footage of development
- 8) Set cap on retail/commercial development at 140,000 sq. ft.
- 9) Set a single tenant non-office commercial cap at 35,000 sq. ft.
- 10) Set a cap of for cocktail lounge use at 10,000 sq. ft.
- 11) Increase credited parkland to 14.48 acres
- 12) Ensure that the PARD and ARG Parkland Agreement contains certain provisions
- 13) Outdoor Amplified Noise Cut-off at 9:00 p.m. on Sunday-Thursday and 9:30 p.m. on Friday-Saturday
- 14) Adopt Oakmont Heights Development Standards along Bull Creek Road
- 15) Conduct an independent drainage technical review showing "no adverse impact to Idlewild residents downstream"
- 16) Provide a 10 foot private drainage easement to The Grove Property Owner's Association
- 17) Create a private escrow agreement with the Ridgelea Neighborhood Association for a \$50,000 Drainage Compliance Fund
- 18) Eliminate the connection of Jackson Avenue to 45th Street, allow for optional bicycle/pedestrian connection
- 19) Reduce trip generation to 23,000 unadjusted ADTs, 1,470 unadjusted a.m. PHTs and 2,030 unadjusted p.m. PHTs
- 20) Adopt an Additional Off-Site Sidewalk and Traffic Calming Program and fund with a maximum ARG contribution of \$400,000 and a maximum contribution by the City of \$900,000.

This motion includes the following additional ordinance modifications to Part 7.B.3., Part 8.A, Part 8.B, Part 8.F, Part 9.A, Part 9.D, Part 11.A.1, new notations on the Land Use Plan concerning the applicant's discussions with Capital Metro (Sheet 1, Bus Stop Note and Sheet 2, Note 17e) and a correction to the Pages 17-18, Figures 3.4.3.a and 3.4.2.b. to correct a

typographical error.

Vote: (8-0, Council Member Garza, Council Member Tovo and Council Member Zimmerman-off the dais); Council Member Pool-1st, Council Member Gallo-2nd.

CITY COUNCIL DATE: December 15, 2016

CITY COUNCIL ACTION:

ASSIGNED STAFF: Sherri Sirwaitis

PHONE: 512-974-3057

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ZONING CHANGE REVIEW SHEET

CASE: C814-2015-0074
(The Grove at Shoal Creek Planned Unit Development)

Z.A.P. DATE: December 1, 2015
May 17, 2016
June 7, 2016
June 21, 2016
July 5, 2016
July 14, 2016

ADDRESS: 4205 Bull Creek Road

DISTRICT AREA: 10

OWNER: ARG Bull Creek, Ltd. (Garrett Martin)

AGENT: Thrower Design (A. Ron Thrower)

ZONING FROM: Unzoned (UNZ) **TO:** PUD **AREA:** 75.74 acres

SUMMARY STAFF RECOMMENDATION:

The staff recommendation is to approve The Grove at Shoal Creek Planned Unit Development (PUD) subject to the following conditions:

1. The Planning and Zoning staff recommends PUD zoning as requested subject that the following additional conditions be incorporated in the proposed Land Use Plan (Exhibit C):
 - a) The total square footage of all development within the PUD shall not exceed 2.4 million square feet.
 - b) The total square footage of all office development within the PUD shall not exceed 210,000 square feet.
 - c) The total square footage of all retail/commercial development shall not exceed 150,000 square feet.
 - d) The total number of congregate care beds shall not exceed 300.
 - e) At least 30,000 square feet of retail development shall be required once 700 units of residential development are constructed before any additional residential development can occur on the property.
 - f) At least 35% of the total required affordable rental units shall be provided once 325 multifamily residential units are constructed before any additional multifamily residential units may be constructed. At least 35% of the total required affordable for-sale residential units shall be provided once 100 condominium residential units are constructed in a "podium style" condominium residential building before any additional condominium residential units may be constructed.
 - g) 130,000 square feet of development may be used for Tier 2 affordable housing that is separate from and does not count against the overall development cap of 2.4 million square feet.
 - h) The staff recommends a baseline of 1.892 million square feet.
2. The conditions of the PUD shall be established in the proposed Land Use Plan (Exhibit C), that includes a breakdown of: a) tract layout and size/acreages, b) permitted land use tables, c) site development regulations table, d) additional setbacks on specific tracts, e) approximate driveway and trail locations, , f) notes on limitations of uses, conditions on site development regulations, definitions, provision for public art installation, conditions for a

proposed pedestrian and bicycle bridge, and benefits to encourage alternative transportation options.

3. The PUD shall be subject to the conditions regarding the riparian grow zone, CEF buffer area, wet pond surface area, detention infiltration feature, wetland fringe and upland infiltration feature as agreed to on the Environmental Resource Exhibit (Exhibit F). The proposed PUD shall comply with the Environmental staff recommendations that include:
 - a. The PUD will provide at least 18.12 acres of open space.
 - b. The PUD will exceed minimum Code requirements for landscaping through The Grove at Shoal Creek Design Guidelines by requiring a minimum of three-inch caliper street trees on all internal roadways, requiring street trees along Bull Creek and requiring that a minimum of 95% of all non-turf plan materials be from or consistent with the City's Grow Green Guide.
 - c. Provide that a minimum of ten acres of impervious cover on the site will drain to and be substantially treated by green water quality controls that infiltrate or reuse water, such as rain gardens and rainwater harvesting.
 - d. Use of a wet pond and/or green water quality controls for a minimum of 50% of the required water quality volume on-site.
 - e. Preserve a minimum of 75% of all protected size native caliper inches and prepare a tree care plan for all preserved heritage and protected trees on site.
 - f. Provide additional protections for the grove of trees surrounding the proposed wet pond.
 - g. Cluster development/impervious cover along Bull Creek Road and in the interior of the property away from Shoal Creek and the larger oak groves on the property to avoid environmentally sensitive areas.
 - h. Direct storm water runoff from impervious surfaces to a landscaped area at least equal to the total required landscape area.
 - i. Provide on-site detention for the 9.39 acres of existing impervious cover on site that is not currently detained.
 - j. The City of Austin Watershed Protection Department will choose the most effective flood mitigation option for the site at the time of subdivision or site plan review.
 - k. Provide educational signage at the wetland Critical Environmental Feature.
 - l. Implement an Integrated Pest Management Plan for the whole property.
4. The development of the PUD shall comply with the conditions stipulated in the Parks Plan Exhibit (Exhibit G). The applicant shall provide for parkland for park and recreational purposes under the terms of the Grove at Shoal Creek Parks Plan and Parkland Improvement Agreement as attached exhibits to the PUD ordinance. To be clear, the Parks and Recreation Department has determined that the parks component of the PUD application does not meet superiority for parks.
5. The development of the PUD site will be subject to the attached TIA memorandum from the Development Review Development (DRD) Department and Austin Transportation Department (ATD) dated July 11, 2016 – Exhibit M. The TIA memo limits the site development to uses and intensities that will not exceed or vary from the projected traffic conditions assumed in the final TIA [R-K Traffic Engineering, LLC – March 28, 2016]. The proposed conceptual right-of-way layout, major vehicle circulation and pedestrian and bicycle connections are shown on the Roadway Framework Plan (Exhibit H).

6. Development within the PUD shall comply with the Tree Survey & Disposition Plan (Exhibit J). A representation of the applicant's proposal for tree mitigation on the site is shown on Tree Mitigation Example conceptual plan and table (Exhibit L).
7. The PUD zoning will be subject to draft language agreed upon with the Neighborhood Housing and Community Development Department (NHCD) concerning compliance with the affordable housing on the property. The project has been certified under SMART Housing and the PUD language will require 5% of permanent ownership units and 10% of the rental for 40 years. They will receive a 100% fee waiver. Ten percent of the total number of multifamily rental housing units located within the Grove at Bull Creek PUD will be set aside for occupancy by households with incomes at 60 percent of or below the median family income. At least 5 percent of the total number of units sold as owner-occupied residential housing units located within the Grove at Bull Creek PUD will, through a mechanism agreed upon by the City and Landowner, be made permanently available at a price affordable to households with incomes at 80 percent of or below the median family income. NHCD and the developer have signed off on the attached language stated in the, The Grove at Bull Creek PUD Affordable Housing Program – Exhibit N.

The applicant agrees with the staff's recommendation.

ENVIRONMENTAL COMMISSION MOTION:

November 4, 2015: Motion to postpone the case to December 16, 2015, with a briefing on the status of the review to be presented at the November 18, 2015 meeting (8-1, H. Smith-abstain); M. Perales-1st, M. Neely-2nd.

December 16, 2015: Refer case to Development Committee when the staff review and recommendation is complete.

May 18, 2016: Refer case to Development Committee when the staff review and recommendation is complete.

June 1, 2016: Motion to postpone the case to June 15, 2016 to negotiate and find resolution of the following:

1. Obtain superiority in regards to parkland by working with the Parks and Recreation Board and the Park and Recreation Department;
2. Comply with at least three star green building requirements;
3. Create a drainage plan to ensure the safety of the surrounding properties;
4. Draft contingency plan to address unresolved drainage issues after the site is built out;
5. Remove flex space from the parkland;
6. Evaluate the impact that increased traffic to the site would have on air quality and noise pollution;
7. Protect 100% of the critical root zone of all trees on the site;
8. List all the trees on the property including those 8" – 19";
9. Evaluate the potential to tie in public transit to the site and develop other incentives to significantly reduce the number of car trips per day; and
10. Reduce the total development to 2.1 million square feet.
11. Work with staff to develop a plan to conduct an erosion control study along the entire length of the development's Shoal Creek frontage.

(Vote: 6-4-1, Gooch, Maceo, Perales, Neely, Guerrero, Thompson – For; B. Smith, Creel, Moya, Grayum-No; H. Smith-abstain); P. Maceo-1st, M. Neely-2nd.

June 15, 2016: Motion to state that the Grove at Shoal Creek PUD is found to lack of environmental superiority. The Environmental Commission included recommendations regarding the amount and arrangement of parkland, green building requirements, drainage system, air quality impacts, tree protection, density level and erosion controls for the applicant to achieve environmental superiority (6-4, Gooch, Maceo, Perales, Neely, Guerrero, Thompson-For; B. Smith, Creel, Moya, Grayum-No; H. Smith-absent); P. Maceo-1st, M. Neely-2nd.

PARKS AND RECREATION BOARD:

May 24, 2016: Affirmed the PARD (Parks and Recreation Department) staff findings that The Grove at Shoal Creek Planned Unit Development application, as currently submitted on March 28, 2016, is not superior in relation to parks (Vote: 6-1-1-3 with Board Member Casias-against, Board Member Schmitz-abstaining, and Board Members Donovan, Vane and Wimberly-absent).

ZONING AND PLATTING COMMISSION MOTION:

December 1, 2015: Postponed indefinitely at the staff's request by consent (10-0); B. Evans-1st, S. Harris-2nd.

May 17, 2016: Postponed indefinitely at the staff's request by consent (7-3, A. Aguirre-absent, B. Evans, S. Lavani, S. Harris-No); G. Rojas-1st, J. Kiolbassa-2nd.

June 7, 2016: Postponed to June 21, 2016 at the staff's request (7-1, D. Breithaupt, J. Kiolbassa, S. Lavani-absent and A. Aguirre-No); B. Evans-1st, S. Harris-2nd.

June 21, 2016: Continued the public hearing to July 5, 2016 (11-0); G. Rojas-1st, A. Denkler-2nd.

July 5, 2016: Motion to hold a Special Called Meeting on July 14, 2016 at 6:00 p.m. (Sponsors: B. Evans, Denkler, S. Lavani)

Continued the public hearing to the July 14, 2016 Special Called Meeting (10-0, T. Weber-absent); A. Denkler-1st, S. Harris-2nd.

July 14, 2016: Motion to approve staff's recommendation for PUD zoning with the following additional conditions:

- 1) Permit 250,000 square feet of additional residential units.
- 2) Provide an on street bike lane on northbound Bull Creek Road.
- 3) Request that the applicant to consider flat level structured parking garages.
- 4) Prohibit Single-Family Detached Residential uses on Tract B, with the exception of within 150 feet from Tract A.
- 5) Prohibit Single-Family Detached Residential uses on Tracts F and G.
- 6) Revise Note 17b on the Land Use Plan to allow for eight (8) car-sharing parking spaces.

- 7) Revise Note 16a on the Land Use Plan to state that if the proposed bicycle and pedestrian bridge is not constructed across Shoal Creek, then funds shall be utilized for pedestrian and bike improvements east of the site.
- 8) Provide a 25-foot building setback from homes along Bull Creek Road on Tract D.
- 9) Provide a trail connection from the greenbelt to Jefferson Street.
- 10) Add the Group Residential use to Tracts B, F and G as a permitted use.
- 11) Request that the applicant consider working with Transportation Review (ATD and DSD Departments) on a Transportation Demand Management Plan (TDM) prior to 3rd reading of the case at City Council to reduce vehicular trips to the site.

Vote: (6-4, A. Aguirre, A. Denkler, J. Kiobassa, B. Greenberg-No); S. Harris-1st, G. Rojas-2nd.

EXHIBITS AND ATTACHMENTS TO THE STAFF REPORT:

Exhibit A: Zoning Map
Exhibit B: Aerial Map
Exhibit C: The Grove at Shoal Creek Land Use Plan
Exhibit D: Tier 1 and Tier 2 Compliance Summary
Exhibit E: Proposed Code Modifications
Exhibit F: Environmental Resource Exhibit
Exhibit G: Parks Plan Exhibit
Exhibit H: Roadway Framework Plan
Exhibit I: Conceptual Site Plan
Exhibit J: Tree Survey and Disposition Plan
Exhibit K: Educational Impact Statement (EIS)
Exhibit L: Tree Mitigation Example
Exhibit M: TIA memorandum dated March 25, 2016
Exhibit N: Affordable Housing Program Language
Exhibit O: Staff Baseline Map
Exhibit P: Additional Review Information Provided by the Applicant
Exhibit Q: Written Comments from the Public
Exhibit R: Parks & Recreation Board Recommendation
Exhibit S: Environmental Commission Motion
Exhibit T: Additional Information Received
Exhibit U: Revised Exhibits Based on 2nd Reading Action at City Council

DEPARTMENT COMMENTS:

The proposed The Grove at Shoal Creek Planned Unit Development (PUD) is generally located on Bull Creek Road at 45th Street. The property in question was previously owned by the State of Texas and therefore is listed as “UNZ” or unzoned on the zoning case map (please see Exhibits A and B: Zoning Map and Aerial Map). There are undeveloped areas along the north and east portions of the property. The south and west portions of the site are developed with state owned office buildings with parking facilities. Surrounding properties are primarily a mix of residential and office uses. The site under consideration is adjacent to single family residences to the north (SF-2 zoning) and south (SF-3 zoning). There are apartments and a senior living center to the west (MF-6-CO, MF-4 and GO-MU-CO zoning). The property directly to the east is unzoned and is developed with an industrial warehouse facility for the State of Texas archives. Further to the east are single family residences (SF-2 zoning). The site is located in the Rosedale Neighborhood Planning area, which does not have an adopted neighborhood plan.

The property is located in the Shoal Creek watershed which is classified as urban. Therefore, the allowable impervious cover is governed by the allowable zoning impervious cover not watershed impervious cover. This tract of land is not located within the Edwards Aquifer recharge or contributing zones.

The applicant is requesting PUD district zoning for a 75.74 acre mixed use project. According to the Yield sheet from Transportation Impact Analysis (TIA) dated February 2016, the proposed PUD may include up to 110 single family residential units, 600 apartment units, 425 residential condo units, a 600 unit congregate care facility, a 7,500 sq. ft. health/fitness club, 200,000 sq. ft. of office uses, 25,000 sq. ft. of medical office uses, 55,000 sq. ft. of specialty retail uses, a 35,000 sq. ft. supermarket/food sales uses, 8,500 sq. ft. of pharmacy/drug store/general retail sales (convenience) uses, a 3,000 sq. ft. walk-in bank/financial services use, 8,000 sq. ft. of drinking place/cocktail lounge uses, 15,000 sq. ft. quality restaurant/restaurant (general) uses, 9,000 sq. ft. high turnover restaurant/restaurant (limited) uses, and a 2,000 sq. ft. coffee-donut shop without drive through use//restaurant (limited) use.

As shown in Exhibit C (Land Use Plan), the area has been divided into seven tracts:

- Tract A, a 7.02 acre area along the northern portion of the proposed PUD adjacent to the existing single family residences fronting W. 45th Street, and Tract E, a 6.17 acre area along the southeastern portion of the proposed PUD adjacent to the single-family residences fronting Idlewild Road, are primarily low density residential areas that permit single family residential uses through condominium/townhouse residential uses, as well as a Religious Assembly civic use.
- Tract B is a 33.77 acre area directly to the south of Tract A that fronts onto Bull Creek Road. It is the largest area within the PUD. Tract B traverses the width of the PUD property from the east along Shoal Creek to the west fronting Bull Creek Road across from 45th Street to Jackson Avenue. This tract is a mixed use area that will permit a wide range of uses from single family residential, multi-family residential to office, civic and more intensive commercial uses, such as Automotive Rentals/Sales/Washing, Cocktail Lounge, Exterminating Services, Outdoor Sports and Recreation and Research uses.

- Tract C, a 10.82 acre area, is located along the eastern edge of the PUD on Shoal Creek to the traveling to the southwest. It is bordered by Tract B to the north, Tract E to the southeast, Tract D to the immediate south and Tract G to the west. This tract of land will permit single family residential uses, multifamily residential uses, schools, religious assembly and other civic uses.
- Tract D is a 10.23 acre area that is located along the southern portion of the PUD. The tract fronts Bull Creek Road, across from the single-family residences/SF-3 zoning from W. 42nd Street to the south at about W. 40th Street. The applicant proposes to permit a mix of residential and civic uses with a live work units that will allow for office uses, art gallery and art workshop uses, counseling services, cultural services, day care services, financial services personal services, pet services, schools etc.
- Tracts F is a 3.42 acre area that fronts along Bull Creek Road, across from office/LO zoning and single family residences/SF-3 development from Jackson Street to W. 42 Street. Tract G is a 4.33 portion that is located within the central area of the PUD. Both Tracts F and G will permit the same uses: single family residential uses, multifamily residential uses, office uses, and lower intensity commercial uses such as art gallery/workshop, financial services, personal services and pet services as well as numerous civic uses. The notable difference between these two proposed tracts is allowable height. Tract F will have a maximum height of up to 40 feet, with a caveat that the height may be increased to a maximum of 60 feet for an affordable housing development with the Affordable Housing program. Tract G permits a maximum height of 60 feet outright.
- Currently, the proposed 18.12 acres of parkland and open space areas are interspersed throughout the project area over all of the Tracts within the PUD as a Signature Park, Shoal Creek Trail area, Greenbelt area and Neighborhood Park (Please see Exhibit G: Parks Plan Exhibit).

Per the Land Development Code, PUD district zoning was established to implement goals of preserving the natural environment, encouraging high quality development and innovative design, and ensuring adequate public facilities and services. The City Council intends PUD district zoning to produce development that achieves these goals to a greater degree than and thus is superior to development which could occur under conventional zoning and subdivision regulations.

City Council approved revisions to the PUD regulations that became effective June 29, 2008. To help evaluate the superiority of a proposed PUD, requirements are divided into two categories: Tier 1, which is requirements that all PUDs must meet, and Tier 2 which provides criteria in 13 topical areas in which a PUD may exceed code requirements and therefore demonstrate superiority. A PUD need not address all criteria listed under Tier 2, and there is no minimum number of categories or individual items required.

As more fully detailed on the Land Use Plan and in the Tier 1 and Tier 2 Compliance Summary (please refer to Exhibits C and D), this proposed PUD meets the applicable Tier 1 items and offers some elements of superiority in thirteen Tier 2 categories (*Open Space; Environment/Drainage; Art; Community Amenities, Transportation, Affordable Housing and Accessibility*).

Proposed Code Modifications

There are 27 modifications to Code and Criteria Manual requirements requested by the Applicant (please refer to Exhibit E – Proposed Code Modifications for details). These proposed modifications are summarized below:

- Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES), Article 2 (Definitions; Measurements), Section 25-1-21(103) (*Site*) – Revises the definition of Site to allow a site to cross a public street or right-of-way if that public street or right-of-way is within the boundaries of The Grove at Shoal Creek PUD.
- Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES), Article 14 (Parkland Dedication), Section 25-1-602 (*Dedication of Parkland Required*) and Section 25-4-211 (*Parkland Dedication*) – Specifies the parkland dedication and open space requirements. Modifies Section 25-1-602(A) (*Dedication of Parkland Required*) to state that the subdivider or site plan applicant shall provide for parkland for park and recreational purposes under the terms of The Grove at Shoal Creek Parks Plan and Parkland Improvement Agreement as attached exhibits to the PUD ordinance.
- Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES), Article 2 (Definitions; Measurements), Section 25-1-21(44) (*Gross Floor Area*) – Revises the definition of Gross Floor Area to apply this term to include the addition of parking structures.
- Chapter 25-2 (ZONING), Article 2 (Principal Use and Development Regulations), Section 25-2-492 (*Site Development Regulations*) – To propose that the site development regulations applicable to the Property be as shown on the Land Use Plan.
- Chapter 25-2 (ZONING), Article 2 (Principal Use and Development Regulations), Section 25-2-492 (*Site Development Regulations*) and Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES), Article 2 (Definitions; Measurements), Section 25-1-21 (47) (*Height*) – To request a modification to state that a parking level shall not be and is not considered a “story”.
- Chapter 25-2 (ZONING), Article 9 (Landscaping), Section 25-2-1006 (*Visual Screening*) – To state that Section 25-2-1006 (A) shall not apply to any water quality and/or storm water drainage facility that serves as an amenity or to any Green Storm Water Quality Infrastructure as defined in the Environmental Criteria Manual and that Section 25-2-1006 (C) shall not apply between uses or sites that are both located within the PUD boundaries. (Section 25-2-1006 (C) shall still apply at the boundaries of the PUD.)
- Chapter 25-2 (ZONING), Subchapter B (Zoning Procedures), Article 2 (Special Requirements for Certain Districts), Division 5 (Planned Unit Developments), Section 3.2.3.D.1 (*Planned Unit Development Regulations: Nonresidential Uses*) – To state that these conditions of the Code that require a minimum front yard and street side yard setbacks be at least 25 feet for a front yard and 15 feet for a street side yard shall not apply to the PUD.
- Chapter 25-2 (ZONING), Article 10 (Compatibility Standards) – To state that Compatibility Standards do not apply within the PUD. However, Compatibility

Standards will apply where development outside of the PUD triggers these standards for development within the PUD.

- Chapter 25-2 (ZONING), Article 10 (Compatibility Standards), Section 25-2-1063(*Height Limitations and Setbacks for Large Sites*)(C)(2) and (3) – To establish an area within Tract B where Section 25-2-1063(C)(2) shall not apply and where Section (C)(3) is modified to allow for a structure more than 50 feet but not more than 300 feet from the property zoned SF-5 or more restrictive to have a height up to 60 feet.
- Chapter 25-2 (ZONING), Article 10 (Compatibility Standards), Section 25-2-1067(G) (*Design Regulations*) and (H) – To state that this section of the Code does not apply to the Tract A for the construction of an alley, public road, trails and/or sidewalks.
- Chapter 25-2 (ZONING), Subchapter E (Design Standards and Mixed Use) – To request to that the requirements of Subchapter E not apply to the property within the PUD and to replace these conditions with the applicant's proposed The Grove at Shoal Creek Design Guidelines.
- Chapter 25-4 (SUBDIVISION), Section 25-4-132(B) (*Easements and Alleys*) – To modify this section so that loading and unloading may also occur in any alley that also services as a fire lane.
- Chapter 25-4 (SUBDIVISION), Section 24-4-153 (*Block Length*) – To request that this section not apply to the property within the PUD.
- Chapter 25-4 (SUBDIVISION), Section 24-4-157 (*Subdivision Access Streets*) – To request that this section that requires secondary street access not apply to the property within the PUD.
- Chapter 25-4 (SUBDIVISION), Section 24-4-171(A) (*Access to Lots*) – To modify this section so that to add that each lot in a subdivision may also abut a private street or private drive subject to a permanent access easement.
- Chapter 25-1 (GENERAL REQUIREMENTS AND PROCEDURES) and Chapter 25-4 (SUBDIVISION), Section 25-4-211 (*Parkland Dedication*) – To request that platting requirements for parkland dedication by modified so that it is governed by the conditions of the PUD ordinance/exhibits.
- Chapter 25-4 (SUBDIVISION), Section 25-4-151 (*Street Alignment and Connectivity*) – To state that notwithstanding the requirements of Section 25-4-151 that private drives and/or streets within the property may be aligned to connect to existing or future street on adjoining property.
- Chapter 25-4 (SUBDIVISION), Section 25-4-152 (A) (*Dead-End Streets*) – Adding to this requirement that a street may terminate in a connection with private drives and/or private streets within the property.
- Chapter 25-6 (TRANSPORTATION), Section 25-6-171(A) (*Standards for Design and Construction*) – To modify requirements so that a roadway, private drive street or alley must be designed and constructed in accordance with The Grove at Shoal Creek Design Guidelines. Stating that the Transportation Criteria Manual and City of Austin

Standards and Standard Specifications shall apply to the extent they do not conflict the proposed PUD Design Guidelines.

- Chapter 25-8 (ENVIRONMENT), Section 25-8-641(B) (*Removal Prohibited*) – To change the requirements for the removal of heritage trees within the PUD. Specifically identifying which heritage trees may be removed and adding language to speak to the administrative variance process under Section 25-8-642 for trees indicated to be saved on The Grove at Shoal Creek Tree Survey and Disposition Plan.
- Chapter 25-10 (SIGN REGULATIONS), Section 25-10-1 (*Applicability*) – Adding a condition under this section to state, “(D) To the extent they are in conflict, the signage standards set forth in the project Design Guidelines for The Grove at Shoal Creek shall supersede this chapter.”
- Chapter 25-10 (SIGN REGULATIONS), Section 25-10-103 (*Signs Prohibited in the Public Right-of-Way*) – To state that this section shall not apply to the public Right-of-Way dedicated for the Jackson Avenue extension within the boundaries of the PUD as identified on the Roadway Framework Plan.
- Chapter 25-10 (SIGN REGULATIONS), Section 25-10-191 (*Sign Setback Requirements*) – To state that this section shall not apply for setbacks from the public Right-of-Way dedicated for the Jackson Avenue extension within the boundaries of PUD as identified on the Roadway Framework Plan.
- Drainage Criteria Manual, Section 1.2.4.E.1(a) (*Fencing Requirements for Drainage Facilities*) – To amend this DCM Section to remove the requirement for barrier-type fences.
- Environmental Criteria Manual, Section 1.6.3.A.4 (*Maintenance Responsibilities for Water Quality Control Facilities*) – Modify this section to state that water quality control facilities at The Grove at Shoal Creek PUD that treat publicly owned roads and facilities within and adjacent to the PUD may be privately maintained, instead of being designed and built according to the appropriate city standards.
- Transportation Criteria Manual, Section 1.3.2.B.2 (*Classification Design Criteria*) – To modify this provision to state that the extension of Jackson Avenue in the PUD as identified on the Roadway Framework Plan shall be considered a Neighborhood Collector and shall be designed per The Grove at Shoal Creek Design Guidelines. The cross section and any other design information contained in those design guidelines shall supersede any requirements of the Transportation Criteria Manual. All other circulation routes within the PUD shall be considered as private driveways and intersection with these driveways shall be subject to the 50’ minimum spacing for Neighborhood Collectors.
- Transportation Criteria Manual, Section 1.3.2.F (*Classification Design Criteria*) – To state that the Jackson Avenue extension shall not be considered a Single Outlet Street upon the connection of any public access that is open to the public and connects Jackson Avenue to Bull Creek Road.

Proposed Benefits of the PUD:

The applicant is offering the following –

Affordable Housing

- Provide a substantial on-site affordable housing component. They will describe this proposal in The Grove at Shoal Creek Affordable Housing Program Plan. The project has been certified under SMART Housing and the PUD language will require 5% of permanent ownership units and 10% of the rental units for 40 years. Through compliance with the Affordable Housing Requirements of LDC Section 25-1-704(B)(2)(a), development within the Grove at Shoal Creek PUD shall be eligible for a waiver of 100% of the development fees, including capital recovery fees, described in LDC Section 25-1-704 and Section 25-9-397 as allowed by and in accordance with the City's SMART Housing Program.

Accessibility

- Provide for accessibility for persons with disabilities to a degree exceeding applicable legal requirements.

Art

- Participate in the Art in Public Places Program. The applicant will develop a Public Art Plan that will consist of a minimum of three (3) significant art pieces. A minimum budget of \$60,000 shall be spent on public art within the PUD site. The applicant will consult with and consider the City's Art in Public Places (AIPP) program for implementing this program.

Community Amenities

- Provide a large on-site, publically accessible signature park space with park improvements and amenities open to the public.
- Provide public community and public amenities including spaces for community meetings, gatherings and other community needs.
- Provide publicly accessible multi-use trails and greenways within the property along Shoal Creek.
- Provide a pedestrian and bicycle bridge across Shoal Creek.

Environmental/Drainage

- Use of a wet pond and/or green water quality controls for a minimum of 50% of the required water quality volume on-site.
- Provide that a minimum of ten acres of impervious cover on the site will drain to and be substantially treated by green water quality controls that infiltrate or reuse water, such as rain gardens, biofiltration facilities, and rainwater capture systems.
- Proposing no modification to the existing 100-year floodplain.
- Preserve more than 75% of all protected size native caliper inches and prepare a tree care plan for all preserved heritage and protected trees on site.
- Cluster development/impervious cover along Bull Creek Road and in the interior of the property away from Shoal Creek and the larger oak groves on the property to avoid environmentally sensitive areas.
- Direct storm water runoff from impervious surfaces to a landscaped area at least equal to the total required landscape area.
- Provide on-site dentition for the 9.39 acres of existing impervious cover on site that is not currently detained.
- Provide educational signage at the wetland Critical Environmental Feature.
- Implement an Integrated Pest Management Plan for the whole property.

- The Grove at Shoal Creek Design Guidelines will require street trees on all internal streets and along Bull Creek Road in excess of the Code requirements in Subchapter E.
- The proposed Design Guidelines will also require that a minimum of 95% of all non-turf plant materials be from or consistent with the City's Grow Green Guide.

Great Streets

- Provide private street cross sections that will meet the intent and purposes of the Great Streets Program through the proposed The Grove at Shoal Creek Project Design Guidelines.

Green Building

- Comply with at least a 2-star Green Building requirement.

Parkland and Open Space

- Provide a minimum of 18.12 acres of open space, including parkland.
- The Parks and Recreation Department has stated that they find that The Grove at Shoal Creek PUD is not superior to traditional zoning as it pertains to parks. The plan for the Signature Park submitted by Milestone lacks adequate street frontage, acreage and opportunities for active recreation. The CEF buffer reduction and mitigation further hampers park development. The visibility from the public right-of-way could be better. The overall credited park acreage does meet minimum requirements of traditional zoning only if the 2 acres labeled as "Flex Park Space" continues to be part of the parks plan.

Transportation

- Roadway and intersection improvements through the use of turn lanes and signalization shall be funded 100% by the applicant.
- Provide bicycle facilities, including bike storage and trails.

Utility Facilities

- Provide water system improvements that will improve water pressure to the area.

EXISTING ZONING AND LAND USES:

	ZONING	LAND USES
<i>Site</i>	UNZ	Undeveloped, Office
<i>North</i>	SF-2	Single-Family Residences
<i>South</i>	SF-3	Single-Family Residences
<i>East</i>	UNZ, SF-3	Industrial Warehouse (State of Texas Archives), Single-Family Residences
<i>West</i>	SF-2, SF-3, MF-6-CO, MF-4, GO-MU-CO, LO, SF-3	Single-Family Residences, Multifamily Residences, Senior Living, Office, Single-Family Residences

TIA: Is required (Please see TIA Memorandum – Exhibit M)

WATERSHEDS: Shoal Creek – Urban

DESIRED DEVELOPMENT ZONE: Yes

CAPITOL VIEW CORRIDOR: No

SCENIC ROADWAY: No

NEIGHBORHOOD ORGANIZATIONS:

Allandale Neighborhood Association
 Austin Heritage Tree Foundation
 Austin Neighborhoods Council
 Bike Austin
 Central Austin Community Development
 5702 Wynona Neighbors
 45th St. Concerned Citizens
 Friends of Austin Neighborhoods
 Friends of the Emma Barrientos MACC
 Highland Park West Balcones Area Neighborhood Association
 Lower District 7 Green
 North Austin Neighborhood Alliance
 Oakmont Heights Neighborhood Association
 Preservation Austin
 Ridgelea Neighborhood Association
 Rosedale Neighborhood Association
 Save Barton Creek Association
 SELTEXAS
 Shoal Creek Conservancy
 Sierra Club, Austin Regional Group
 Sustainable Neighborhoods
 The Real Estate Council of Austin, Inc.
 Westminster Manor Residents Association

SCHOOLS: Austin Independent School District

Bryker Woods Elementary School O Henry Middle School Austin High School

Note: An Educational Impact Statement (EIS) is required. Please refer to Exhibit K.

CASE HISTORIES:

NUMBER	REQUEST	COMMISSION	CITY COUNCIL
C14-06-0200 (Kingswood Place Apartments: 4318 Bull Creek Road)	MF-4 to MF-6	2/06/07: Approved staff rec. of MF-6-CO zoning (9-0), with CO to 1) limit the site to 2,000 vtpd, 2) prohibit vehicular access to 44 th Street except for emergency vehicle use, 3) limit height to 60 feet, 4) require a 25 foot building setback from Bull Creek Road, 5) limit the max FAR to 2.25 to 1.0 and 6) limit the max density to 80 dwelling units.	3/22/07: Approved MF-6-CO zoning (6-0); all 3 readings
C14-06-0100 (Bull Creek Apartments: 4320-4330 Bull Creek Road)	MF-4 to MF-6	8/01/06: Approved staff rec. of MF-6-CO zoning (6-3, B. Baker, J. Pinnelli, J. Martinez-No), with CO to 1) limit the site to 2,000 vtpd, 2) limit height to 60 feet,	8/31/06: Approved MF-6-CO zoning (6-0); all 3 readings

		3) limit density to 250 units (64.98 units per acre, 4) require a 25 foot building setback from Bull Creek Road, 5) require a 25 foot setback from 44 th Street, 6) state upon redevelopment that vehicular access is prohibited to 44 th Street except for emergency vehicle use and 7) limit the max FAR to 2.25 to 1.0.	
C14-02-0147: Westminister Manor Health Facilities Corp., 1902-1906 W. 42 nd Street	SF-3 to SF-6	9/10/02: Case expired.	N/A
C14-99-0080: Congregation Adudas Achim: 4200 Jackson)	LO, SF-3 to GO-MU-CO	6/15/99: Approved staff's rec. of GO-MU-CO zoning (5-0-1, BH-abstain), with additional conditions: 1) limit the site to 2,000 vtpd, 2) prohibit Bed and Breakfast, College or University Facilities, Administrative and Business Offices, Cultural Services, Art and Craft Studio (Limited), Guidance Services, Business or Trade School, Hospital Services (Limited and General), Business Support Services, Local Utility Services, Medical Offices, Private Primary Educational Facilities, Off-Site Accessory Parking, Private Secondary Educational Facilities, Personal Services, Public Primary Educational Facilities, Professional Office, Public Secondary Educational Facilities, Software Development, Safety Services, Community Recreation (Private and Public), Multifamily Residential uses.	7/15/99: Approved PC rec. of GO-MU-CO zoning, with conditions (6-0); 1 st reading 9/09/99: Approved 2 nd /3 rd readings
C14-94-0054 (Westminster Manor: 4100 Jackson)	LO to GO	5/24/94: Approved GO zoning, with conditions (6-0)	7/14/94: Approved GO zoning, with ROW requirement (7-0); all 3 readings

RELATED CASES: N/A

CITY COUNCIL DATE: June 16, 2016

ACTION: Postponed to August 11, 2016 at the staff's request (11-0)

August 11, 2016

ACTION: Postponed to September 22, 2016 at the neighborhood's request (11-0); S. Gallo-1st, L. Pool-2nd.

September 22, 2016

ACTION: Postponed to October 20, 2016 by the City Council (10-0, E. Troxclair-absent)

October 20, 2016

ACTION: Approved the Zoning and Platting Commission's recommendation for PUD zoning, with the following conditions: 1) The total square footage of all office development within the PUD shall not exceed 115,000 square feet and 2) The total square footage of all retail development shall not exceed 100,000 square feet. The public hearing shall remain open.

Vote: 8-2, K. Tovo and O. Houston-No, E. Troxclair-off the dais); S. Adler-1st, S. Gallo-2nd.

November 10, 2016

ACTION: Postponed to December 6, 2016 for a Special Called Meeting (9-2, K. Tovo and L. Pool-No); D. Zimmerman-1st, O. Houston-2nd.

December 6, 2016

ACTION: Closed the public hearing and approved PUD zoning at 2nd reading, with the conditions of the mediation agreement between the applicant/ARG and the Bull Creek Road Coalition, as presented on the dais. This motion includes the following additional ordinance modifications to Part 7.B.3., Part 8.A, Part 8.B, Part 8.F, Part 9.A, Part 9.D, Part 11.A.1, new notations on the Land Use Plan concerning the applicant's discussions with Capital Metro (Sheet 1, Bus Stop Note and Sheet 2, Note 17e) and a correction to the Pages 17-18, Figures 3.4.3.a and 3.4.2.b. to correct a typographical error. Vote: 8-0, D. Garza, K. Tovo and D. Zimmerman-off the dais); L. Pool-1st, S. Gallo-2nd.

December 15, 2016

ACTION:

ORDINANCE READINGS: 1st 10/20/16

2nd 12/06/16

3rd

ORDINANCE NUMBER:

CASE MANAGER: Sherri Sirwaitis

PHONE: 512-974-3057
sherri.sirwaitis@austintexas.gov

SUMMARY STAFF RECOMMENDATION:

The staff recommendation is to approve The Grove at Shoal Creek Planned Unit Development (PUD) zoning as requested subject that the following additional conditions be incorporated in the proposed Land Use Plan (Exhibit C) and supporting Exhibits F through J.

- 1) The total square footage of all development within the PUD shall not exceed 2.4 million square feet.
- 2) The total square footage of all office development within the PUD shall not exceed 210,000 square feet.
- 3) The total square footage of all retail/commercial development shall not exceed 150,000 square feet.
- 4) The total number of congregate care beds shall not exceed 300.
- 5) At least 30,000 square feet of retail development shall be required once 700 units of residential development are constructed before any additional residential development can occur on the property.
- 6) At least 35% of the total required affordable rental units shall be provided once 325 multifamily residential units are constructed before any additional multifamily residential units may be constructed. At least 35% of the total required affordable for-sale residential units shall be provided once 100 condominium residential units are constructed in a “podium style” condominium residential building before any additional condominium residential units may be constructed.
- 7) 130,000 square feet of development may be used for Tier 2 affordable housing that is separate from and does not count against the overall development cap of 2.4 million square feet.

A Public Restrictive Covenant will include all recommendations listed in the Traffic Impact Analysis memorandum, dated March 25, 2016, as provided in Attachment M.

BASIS FOR LAND USE RECOMMENDATION (ZONING PRINCIPLES)

1. *The proposed zoning should be consistent with the purpose statement of the district sought.*

The Planned Unit Development (PUD) zoning district is intended for large or complex developments under unified control, planned as a single contiguous project. The PUD is intended to allow single or multi-use projects within its boundaries and provides greater design flexibility for development proposed within the PUD. Use of the PUD district should result in development superior to that which would occur using conventional zoning and subdivision regulations. PUD zoning is appropriate if the development enhances preservation of the natural environment; encourages high quality development and innovative design; and ensures adequate public facilities and services for development within the PUD.+

2. *Zoning changes should result in a balance of land uses, provides an orderly and compatible relationship among land uses, and incorporates environmental protection measures.*

The staff is recommending PUD zoning at this location with a reduction in the total square footage to not exceed 2.4 million square feet. The staff believes that the proposal can result in a superior mixed use development with a reduced density as the site fronts along a

collector street and is surrounded by primarily single family residential uses. The staff recommends PUD zoning based on the following factors: accessibility, affordable housing, participation in the Art in Public Places Program, environmental superiority, drainage improvements, compliance with at least a 2-star Green Building regulations, provision for a minimum of 18.12 acres of open space/ including parkland, transportation roadway and intersection improvements, and utility facility improvements that will provide for a superior development at this location.

3. *Zoning should promote clearly-identified community goals, such as creating employment opportunities or providing for affordable housing.*

One of the primary benefits of the proposed PUD is that the applicants will provide a substantial on-site affordable housing component. The applicants and the Neighborhood Housing and Community Development Department (NHCD) have agreed to language in The Grove at Shoal Creek Affordable Housing Program Plan (Exhibit N). The project has been certified under SMART Housing and the PUD language will require 5% of permanent ownership units at 80% median family income (MFI) and 10% of the rental units at 60% MFI for 40 years.

4. *Zoning should allow for reasonable use of the property.*

The proposed PUD zoning will enable the applicant to redevelop this tract of land within the core of the City with a project that will provide residential, employment and office/retail services in close proximity of each other to encourage walking, bicycling and other transit options. The evaluation of the staff's proposed baseline recommendation for this property would allow for approximately 1.892 million square feet of development at this location. The staff analyzed the applicant's revised request for approximately 2.9 million square feet of development and determined that a one million square foot difference between the staff's recommended baseline and the amended request was too great for the offered superiority through the proposed PUD. For that reason, the staff is suggesting a 2.4 million square foot cap on development for the PUD.

EXISTING CONDITIONS

Site Characteristics

The PUD site consists of undeveloped areas along the north and east portions of the property. The south and west portions of the site are developed with state owned office buildings with parking facilities. Surrounding properties are primarily a mix of residential and office uses. The site under consideration is adjacent to single family residences to the north (SF-2 zoning) and south (SF-3 zoning). There are apartments and a senior living center to the west (MF-6-CO, MF-4 and GO-MU-CO zoning). The property directly to the east is unzoned and is developed with an industrial warehouse facility for the State of Texas archives. Further to the east are single family residences (SF-2 zoning).

Impervious Cover

The overall project impervious cover is capped at 65 % and the overall project building coverage is capped at 55%. This is specified in Note # 6 on the Land Use Plan (Exhibit C).

Comprehensive Planning

This project is located on a 75.74 acre site, formerly owned by the State of Texas. The property is surrounded by single family housing to the north and south, apartments and a senior living center to the west, and single family housing and state property to east. The site is also located in the Rosedale Neighborhood Planning area, which does not have an adopted neighborhood plan.

The PUD plan for this property calls for mixed use project, including approximately 1,500 residential units (apartment units, single family and duplexes, townhouses and condominiums), a congregate care facility, general and medical office uses, a variety of retail uses, and over 10 acres of park and open space areas. Tract C and D property would permit public and private primary and secondary education, while Tract B would permit university facilities. Some of the buildings within the project area would be up to 65 ft. tall, with Tract B allowing up to 10 percent of the site to be up to 75 ft. in height.

Imagine Austin Analysis and Conclusion

One of the goals of the Imagine Austin Comprehensive Plan (IACP) is to achieve ‘*complete communities*.’ Page 88 of the IACP states that complete communities are areas that provide amenities, transportation, services, and opportunities that fulfill all residents’ material, social, and economic needs. Page 107 of the IACP also states, “*While most new development will be absorbed by centers and corridors, development will happen in other areas within the city limits to serve neighborhood needs and create complete communities. Infill development can occur as redevelopment of obsolete office, retail, or residential sites or as new development on vacant land within largely developed areas. New commercial, office, larger apartments, and institutional uses such as schools and churches, may also be located in areas outside of centers and corridors. The design of new development should be sensitive to and complement its context. It should also be connected by sidewalks, bicycle lanes, and transit to the surrounding area and the rest of the city.*”

The following IACP policies are applicable to this project:

- **LUT P4.** Protect neighborhood character by directing growth to areas of change that includes designated redevelopment areas, corridors and infill sites. Recognize that different neighborhoods have different characteristics and new and infill development should be sensitive to the predominant character of these communities.
- **LUT P5.** Create healthy and family-friendly communities through development that includes a mix of land uses and housing types and affords realistic opportunities for transit, bicycle, and pedestrian travel and provides both community gathering spaces, parks and safe outdoor play areas for children.
- **LUT P7.** Encourage infill and redevelopment opportunities that place residential, work, and retail land uses in proximity to each other to maximize walking, bicycling, and transit opportunities.
- **UD P1.** Develop accessible community gathering places such as plazas, parks, farmers’ markets, sidewalks, and streets in all parts of Austin, especially in the Downtown, future

TODs, in denser, mixed-use communities, and other redevelopment areas, that encourage interaction and provide places for people of all ages to visit and relax.

- **HN P10.** Create complete neighborhoods across Austin that have a mix of housing types and land uses, affordable housing and transportation options, and access to healthy food, schools, retail, employment, community services, and parks and recreation options.

Conclusion:

The proposed project provides a mix of uses, a mix of housing types, open space, and addresses household affordability. The proposed project also meets a number of Imagine Austin core principles for action (p. 10 - 11) including: Grow as a compact, connected city; Integrate nature into the city; and Develop as an affordable and healthy community. Based on the Imagine Austin text and policies above, this project appears to be supported by the Imagine Austin Comprehensive Plan.

Environmental

Please refer to Exhibit F.

Site Plan

Site plans will be required for any new development other than single-family or duplex residential.

Subdivision

FYI - Platting will be required. A preliminary plan application will be required if the development proposes public or private roads. Final plats will then be required to be approved and recorded prior to any site plan or residential permits.

Transportation

Please refer to Exhibit M.

Water and Wastewater

FYI: The landowner intends to serve the site with City of Austin water and wastewater utilities. The landowner, at own expense, will be responsible for providing any water and wastewater utility improvements, offsite main extensions, water or wastewater easements, utility relocations and/or abandonments required by the proposed land uses. It is recommended that Service Extension Requests be submitted to the Austin Water Utility at the early stages of project planning. Water and wastewater utility plans must be reviewed and approved by the Austin Water Utility in compliance with Texas Commission on Environmental Quality rules and regulations, the City's Utility Criteria Manual, and suitability for operation and maintenance. All water and wastewater construction must be inspected by the City of Austin. The landowner must pay the City inspection fees with the utility construction. The landowner must pay the tap and impact fee once the landowner makes an application for a City of Austin water and wastewater utility tap permit.

Water and wastewater SERs 3607 and 3608 in currently in review and must be approved.

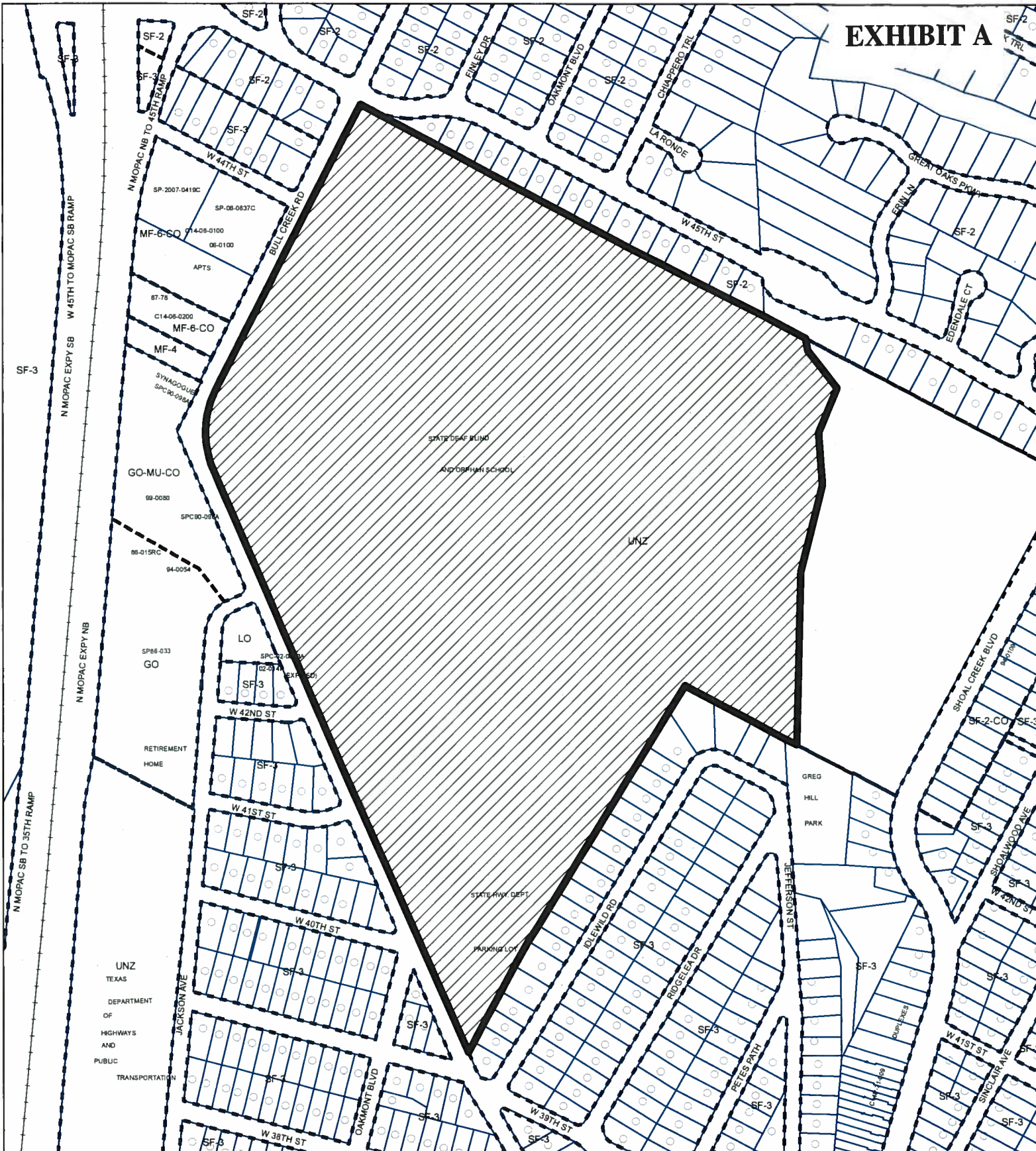
The utility strongly recommends against the proposal to plat on private streets as this results in inferior streets over our utilities and the lack of ROW greatly complicates system design with complex easement and PUE dedications. The project Engineers are advised to get with Pipeline Engineering (Lonnie Robinson) as soon as possible to discuss the private street option and what will be required regardless of any variances granted including but not limited to the requirements listed below.




Typical water system operating pressures in the area are above 65 psi. Pressure reducing valves reducing the pressure to 65 psi (552 kPa) or less to water outlets in buildings shall be installed in accordance with the plumbing code.

All AWU infrastructure and appurtenances must meet all TCEQ separation criteria. Additionally AWU must have adequate accessibility to safely construct, maintain, and repair all public infrastructure. Rules & guidelines include:

1. A minimum separation distance of 5 feet from all other utilities (measured outside of pipe to outside of pipe) and AWU infrastructure;
2. A minimum separation distance of 5 feet from trees and must have root barrier systems installed when within 7.5 feet;
3. Water meters and cleanouts must be located in the right-of-way or public water and wastewater easements;
4. Easements AWU infrastructure shall be a minimum of 15 feet wide, or twice the depth of the main, measured from finished grade to pipe flow line, whichever is greater.
5. A minimum separation of 7.5 feet from center line of pipe to any obstruction is required for straddling line with a backhoe;
6. AWU infrastructure shall not be located under water quality or detention structures and should be separated horizontally to allow for maintenance without damaging structures or the AWU infrastructure.
7. The planning and design of circular Intersections or other geometric street features and their amenities shall include consideration for access, maintenance, protection, testing, cleaning, and operations of the AWU infrastructure as prescribed in the Utility Criteria Manual (UCM)
8. Building setbacks must provide ample space for the installation of private plumbing items such as sewer connections, customer shut off valves, pressure reducing valves, and back flow prevention devices in the instance where auxiliary water sources are provided.

EXHIBIT A



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

PLANNED UNIT DEVELOPMENT ZONING CASE#: C814-2015-0074



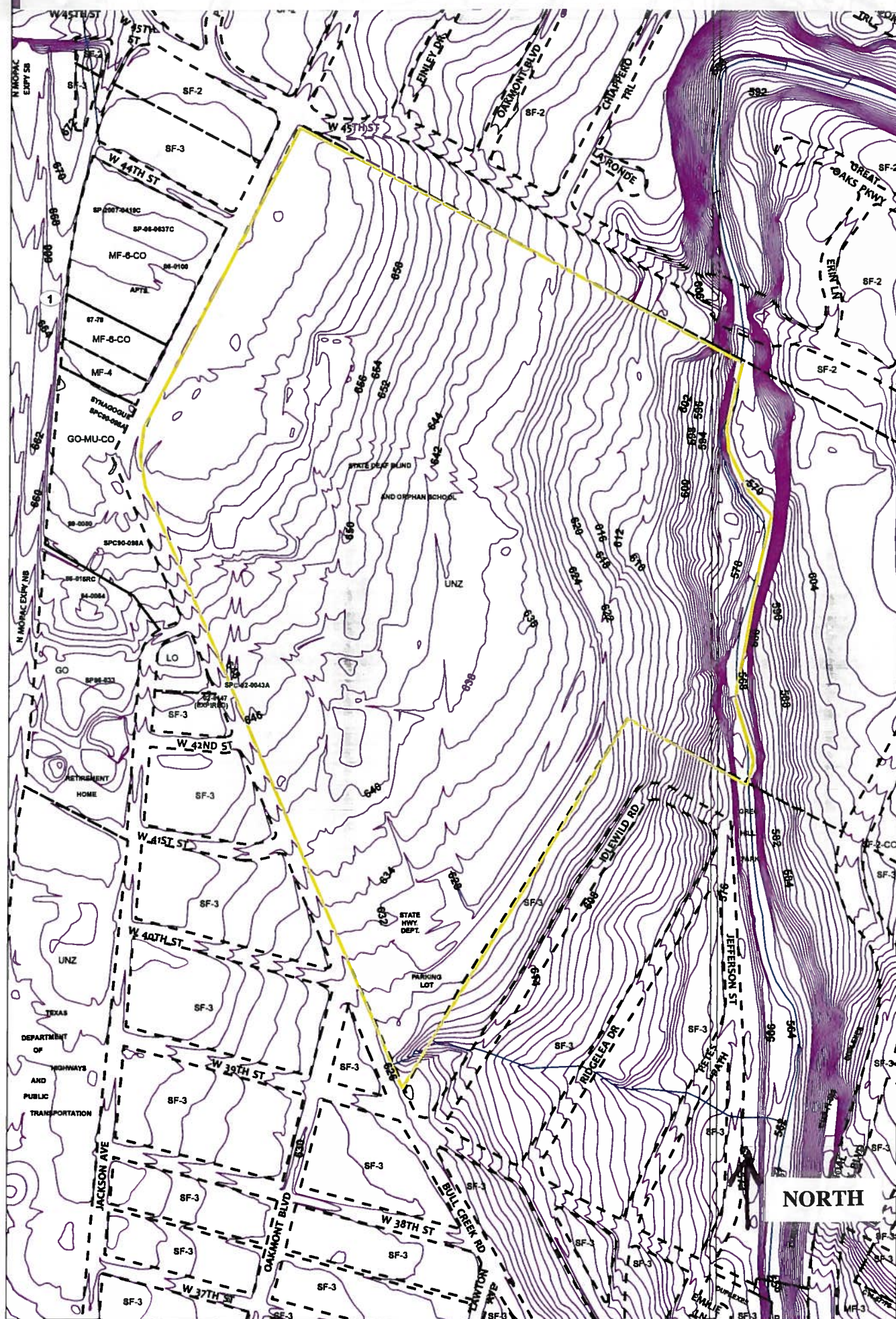
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

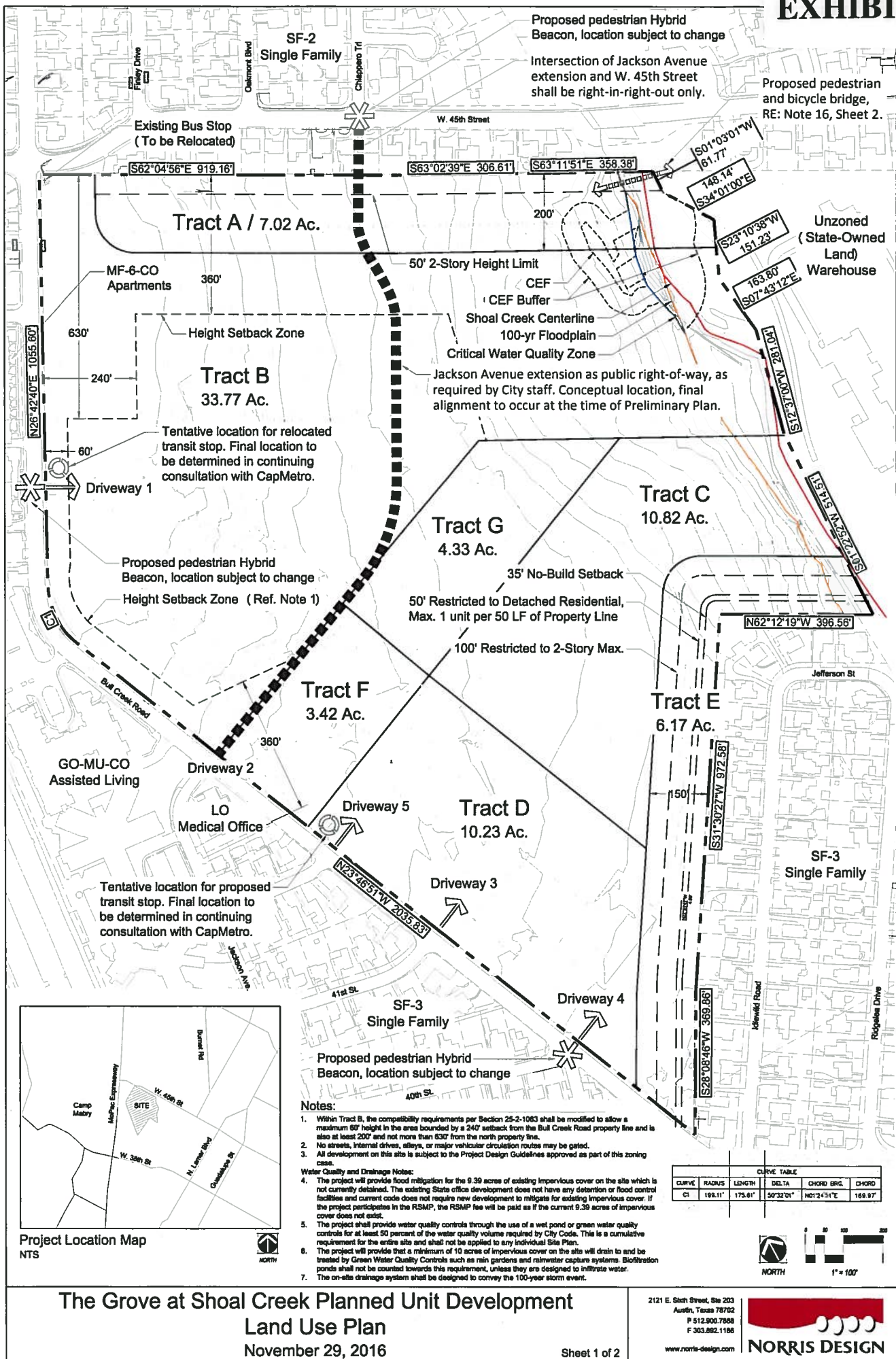
This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 400'



THE GROVE AT SHOAL CREEK PUD TOPOGRAPHICAL CONTOURS





TRACTS A & E	
Condominium Residential	
Duplex Residential	
Family Home	
Group Home, Class I (Limited)	
Public Primary Education Facilities	
Public Secondary Education Facilities	
Religious Assembly	
Retirement Housing (Small Site)	
Short-Term Rental	
Single-Family Attached Residential	
Single-Family Residential	
Small Lot Single-Family Residential	
Townhouse Residential	
Two-Family Residential	

TRACT D	
Community Garden	
Condominium Residential	
Congregate Living	
Duplex Residential	
Family Home	
Group Home, Class I (Limited)	
Multifamily Residential	
Off-site Accessory Parking	
Public Primary Education Facilities	
Public Secondary Education Facilities	
Religious Assembly	
Retirement Housing (Small Site)	
Short-Term Rental	
Single-Family Attached Residential	
Single-Family Residential	
Small Lot Single-Family Residential	
Townhouse Residential	
Two-Family Residential	
Urban Farm	

TRACT C	
Community Garden	
Condominium Residential	
Congregate Living	
Duplex Residential	
Family Home	
Group Home, Class I (Limited)	
Multifamily Residential	
Off-site Accessory Parking	
Public Primary Education Facilities	
Public Secondary Education Facilities	
Religious Assembly	
Retirement Housing (Small Site)	
Short-Term Rental	
Single-Family Attached Residential	
Single-Family Residential	
Small Lot Single-Family Residential	
Townhouse Residential	
Two-Family Residential	
Urban Farm	

TRACT F&G	
Administrative & Business Offices	
Art Gallery	
Art Workshop	
Community Garden	
Condominium Residential	
Congregate Living	
Counseling Services	
Cultural Services	
Day Care Services (Commercial)	
Day Care Services (General)	
Day Care Services (Limited)	
Duplex Residential	
Family Home	
Financial Services	
Group Home, Class I (Limited)	
Hospital (General)	
Live-Work Units	
Multifamily Residential	
Off-site Accessory Parking	
Personal Services	
Pet Services	
Private Primary Education Facilities	
Private Secondary Education Facilities	
Professional Office	
Public Primary Education Facilities	
Public Secondary Education Facilities	
Religious Assembly	
Retirement Housing (Small Site)	
Short-Term Rental	
Single-Family Attached Residential	
Single-Family Residential	
Software Development	
Townhouse Residential	
Two-Family Residential	
Urban Farm	

OPEN SPACE (Permitted in all Tracts)	
Drainage, Detention & Water Quality Facilities	
Trails (hiking trails, multi-use trails, pedestrian/bicycle bridges) and Related Improvements	
Open Space (privately owned and maintained)	
Parkland (City owned, may be privately maintained)	
Community Recreation (Public and Private)	
Parks and Recreation Services (General)	

TRACT B	
Administrative & Business Offices	
Art Gallery	
Art Workshop	
Automotive Rentals	
Automotive Sales (max. 3000 SF)	
Automotive Washing (accessory only)	
Business or Trade School	
Business Support Services	
Cocktail Lounge	
Colleges & University Facilities	
Commercial Off-Street Parking	
Community Garden	
Community Recreation (Private)	
Community Recreation (Public)	
Condominium Residential	
Congregate Living	
Consumer Convenience Services	
Consumer Repair Services	
Counseling Services	
Cultural Services	
Day Care Services (Commercial)	
Day Care Services (General)	
Day Care Services (Limited)	
Duplex Residential	
Family Home	
Financial Services	
Food Preparation	
Food Sales	
General Retail Sales (Convenience)	
General Retail Sales (General)	
Group Home, Class I (Limited)	
Group Residential	
Hospital (General)	
Hospital Services (Limited)	
Hotel/Motel	
Indoor Entertainment	
Indoor Sports & Recreation	
Liquor Sales	
Live-Work Units	
Medical Offices (all sizes)	
Mobile Food Establishments	
Multifamily Residential	
Off-site Accessory Parking	
Outdoor Sports & Recreation	
Personal Improvement Services	
Personal Services	
Pet Services	
Printing & Publishing	
Private Primary Education Facilities	
Private Secondary Education Facilities	
Professional Office	
Public Primary Education Facilities	
Public Secondary Education Facilities	
Religious Assembly	
Research Services	
Restaurant (General)	
Restaurant (Limited)	
Retirement Housing (Small Site)	
Safety Services	
Short-Term Rental	
Single-Family Attached Residential	
Single-Family Residential	
Small Lot Single-Family Residential	
Software Development	
Theater	
Townhouse Residential	
Two-Family Residential	
Urban Farm	

* Single-family detached uses permitted only within 150' of the boundary of Tract A

Notes:

- Impervious cover, number of dwelling units, and building coverage are not listed per individual Tracts in the Site Development Regulations table and shall be dealt with via a "bucket" system. Individual Tracts and/or Site Plans may vary above or below the listed limits, as long as the calculation for the overall 75.78 acre site does not exceed the limit. Applicants shall add a tabulation table (as adopted per this PUD ordinance) to each site plan and subdivision application submittal which will show the current standing of the overall Site Development Regulations. City Staff shall review the table provided with each application and verify that it is in accordance with the Site Development Regulations outlined in the PUD Land Use Plan.
- Total residential units on the site is capped at 1335 dwelling units (affordable housing units are not included in this cap). Affordable housing units are defined as rental or for-sale units that are restricted to 120% MFI or below. Congregate living does not count towards this 1335 unit cap, and is limited to a maximum of 300 beds.
- Total multi-family residential units, that are not also condominium residential units, on the site are capped at 650 dwelling units. Congregate living and the first 250 affordable housing units do not count towards this 650 unit cap.
- Total office uses on site, including Administrative and Business Office, Medical Office, and Professional Office, are capped at 210,000 square feet.
- Total non-office commercial uses on the site are capped at 150,000 square feet and a maximum size of 47,500 square feet for any one tenant space.
- Overall project impervious cover is capped at 65% and overall project building coverage is capped at 55%.
- The FAR maximums listed in the Site Development Regulations table apply to individual Tracts within the PUD and the FAR shall not be exceeded on an individual Tract basis but may be exceeded on an individual site plan within a Tract. Tackling the allocated and remaining FAR within each Tract is the responsibility of the Applicant.
- Parks and open space are allowed uses in all Tracts.
- Cocktail lounge uses are capped at 15,000 SF total and a maximum size of 7500 SF for any one tenant space. Additionally, cocktail lounge uses are not permitted within 300' of an SF-6 or more restrictive zoning district or properties on which uses permitted in an SF-6 or more restrictive zoning district are located.
- Liquor sales uses are capped at 15,000 SF total and a maximum size of 10,000 SF for any one tenant space.
- Hospital (General) uses are allowed only in association with Congregate Living, on the same site as Congregate Living, and are limited to a total of 55,000 SF.
- Live-work units are defined as residential units which are similarly configured to residential row houses or townhomes but are distinguished by a workspace, studio, storefront, or business that is flush with the street frontage. The non-residential portion of the unit shall be located on the ground floor only and the residential and non-residential areas must be used and occupied by the same owner or occupant.
- Driveway and trail locations shown on the Land Use Plan are approximate and will be determined at the time of Site Plan.
- Public art shall be installed in a minimum of three (3) locations throughout the project. A minimum budget of \$60,000 shall be spent on public art within the PUD site.
- Off-site Parking per 25-5-501 may be provided for a use located in any Tract within the PUD so long as the off-site parking is located in a Tract where Off-site Accessory Parking is a permitted use.
- Proposed Pedestrian and Bicycle Bridge over Shoal Creek.
 - The applicant will post fiscal with the City of Austin for the construction of a bicycle and pedestrian bridge crossing Shoal Creek enabling a trail connection from the site to Shoal Creek Blvd. The amount of the fiscal shall be based on the Applicant's approved engineering cost estimate. Subject to City approval of the proposed bridge location (the City considering environmental, connectivity and other factors) the Applicant will construct the bridge and trail. If the City of Austin or the applicant is unable to secure an easement to allow for the construction of said bridge, the posted fiscal may be utilized by the City to complete other bicycle and pedestrian improvements in the area east of the property. The Applicant further agrees to provide easements, if needed, for future bicycle and pedestrian bridge crossings at both the northern and southern portions of Shoal Creek, whether or not the bridge described above is constructed.
 - Bridge location shown is approximate and subject to change. Bridge may be located anywhere on site with City approval so long as it does not impact the wetland CEF or the portion of the wetland CEF buffer that is outside the 100-year flood plain.
- The project shall provide the following benefits to encourage alternative transportation options:
 - A minimum of one location shall be set aside for a B-cycle station, as coordinated with B-cycle (station to be installed by B-cycle when network is expanded to encompass project)
 - A minimum of 8 car-sharing parking spaces will be reserved on the site, subject to inclusion of the site in the coverage area of a car-share service.
 - All office buildings that are 10,000 SF or greater will provide shower and changing facilities meeting the requirements of Austin Energy Green Building Commercial Ratings (2013)
 - Bike parking will be provided for a minimum of 10% of all required vehicular parking spaces. Private garages serving a residential unit are considered to meet this requirement.
 - A minimum of two bus stops will be provided on Bull Creek Road for any bus routes located along Bull Creek Road. Each stop shall feature improvements including, at a minimum: a bench, a trash receptacle, and some form of shade located nearby (shade structure, bus shelter, trees, etc.) Bus stops should be approximately 25 feet in length by 10 feet in width and incorporated into the sidewalk. A larger area of approximately 15 feet in width (perpendicular to the road by 50 feet in length (parallel to the road) surrounding the stop should maintain a level slope to ensure that all ADA slope requirements are met.
 - All multi-family developments shall incorporate bicycle cage parking for residents.
- The total square footage of all development in the PUD shall not exceed 2.65 million square feet.
 - At least 30,000 square feet of retail development shall be required once 700 units of residential development are constructed before any additional residential development can occur on the property.
 - At least 35% of the total required affordable rental units shall be provided once 325 multi-family residential units are constructed before any additional multi-family units may be constructed. At least 35% of the total required affordable-for-sale residential units shall be provided once 100 "podium style" condominium residential units are constructed before any additional "podium style" condominium residential units may be constructed.
 - 130,000 square feet of development may be used for Tier 2 affordable housing that is separate from and does not count against the overall development cap of 2.65 million square feet.

SITE DEVELOPMENT REGULATIONS

	TRACT A	TRACT B	TRACT C	TRACT D	TRACT E	TRACT F	TRACT G
Minimum Lot Size in s.f.	3,000	3,000	3,000	3,000	3,000	3,000	3,000
Minimum Lot Width	30'	30'	30'	30'	30'	30'	30'
Maximum Height	40'	65' ⁽¹⁾	40' ⁽²⁾	40' ⁽²⁾	35'	40' ⁽²⁾	60'
Minimum Setbacks from Public Streets ⁽⁴⁾							
Front Yard	10'	0'	10'	0' ⁽⁵⁾	10'	0'	0'
Street Side Yard	10'	0'	10'	0'	10'	0'	0'
Minimum Interior Yard Setbacks							
Interior Side Yard	0'	0'	0'	0'	0'	0'	0'
Rear Yard	0'	0'	0'	0'	0'	0'	0'
Maximum Floor Area Ratio ⁽³⁾	0.75:1	1.5:1	0.75:1	1:1	0.75:1	1:1	1:1
Impervious Cover Maximum ⁽³⁾	55%	NA ⁽³⁾	NA ⁽³⁾	NA ⁽³⁾	55%	NA ⁽³⁾	NA ⁽³⁾
Building Coverage Maximum ⁽³⁾	45%	NA ⁽³⁾	NA ⁽³⁾	NA ⁽³⁾	45%	NA ⁽³⁾	NA ⁽³⁾
Maximum Residential Units	87	NA ⁽³⁾	NA ⁽³⁾	NA ⁽³⁾	77	NA ⁽³⁾	NA ⁽³⁾

DEVELOPMENT ENTITLEMENTS SUMMARY

Reference Notes 1-18 and Site Development Regulations for additional information.

Total Impervious Cover	65%
Total Building Coverage	55%
Total Square Footage (Not including Affordable Housing)	2.65 million SF
Additional Square Footage for Affordable Housing Only	130,000 SF
Total Retail Square Footage	150,000 SF
Total Office Use Square Footage	210,000 SF
Total Residential Units (Not including Affordable Housing)	1335 units
Total Apartment Units (Not including Affordable Housing)	650 units
Total Congregate Care Beds	300 beds
Maximum Cocktail Lounge Use Square Footage	15,000 SF
Maximum Liquor Sales Use Square Footage	15,000 SF
Maximum Hospital (General) Use Square Footage	65,000 SF

EXHIBIT D

ATTACHMENT 1

Tier 1 and Tier 2 Compliance Summary

October 2016

Tier 1 Requirements – Section 2.3.1	Compliance/ Superiority
<p>A. meet the objectives of the City Code;</p>	<p>YES. The Project is located in the urban core and within an Urban watershed. The Project is located near Mopac Expressway and is located along the proposed Shoal Creek Urban Trail and an existing CapMetro bus route. The Project will promote the Imagine Austin priority of creating a “compact and connected” City increasing population density within the urban core. The Project is compatible with surrounding uses and zoning which is consistent with the general neighborhood preferences. Except as set forth in the Proposed Code Modifications Summary, the Project will comply with the current City Code requirements.</p>
<p>B. provide for development standards that achieve equal or greater consistency with the goals in Section 1.1 (<i>General Intent</i>) than development under the regulations in the Land Development Code;</p>	<p>YES. The Project will meet the goals of Section 1.1 as follows:</p> <ol style="list-style-type: none"> 1. <u>Preserve Natural Environment.</u> The Project will preserve all of the high quality heritage trees on the Property, and remove only a handful poor to fair condition “heritage” pecan trees. The Project will provide for greater open space than required by the City Code. The Project will provide green water quality controls and will provide water quality controls and drainage improvements for the entire site. The current state office development does not have any detention or flood control facilities. 2. <u>High Quality Development and Innovative Design.</u> The Project will utilize mixed use and urban design principles that will allow clustering of uses in higher densities that promote urban

	<p>living, working and shopping on the site and encourage use of alternative transportation options. The Project will integrate pedestrian and bicycle connectivity throughout the Property. The Project will be designed to make use of scenic views from public spaces. Parking structures will be used in connection with office and apartment uses. Higher development intensity will be focused along Bull Creek Road and the interior of the Property and lower development intensity will be located near existing single family residences.</p> <p>3. <u>Adequate Public Facilities and Services.</u> The Project will provide (i) a large on-site, publicly accessible signature park space with park improvements and amenities open to the public providing recreation and natural open space to the whole City; (ii) plazas and other open and community spaces with public amenities that will provide opportunities for people to gather and socialize; (iii) hike and bike trails along Bull Creek Road and Shoal Creek and improvements to enhance transit use so that area residents will have greater transportation options; (iv) roadway intersection improvements through the use of turn lanes and signalization funded 100% by the Applicant, (v) water system improvements that will improve water pressure (especially for fire flow purposes) to the area, (vi) a pedestrian and bicycle bridge across Shoal Creek.</p> <p>YES. Even though the Project is an "urban property", the Project will <i>exceed</i> these requirements by providing at least 19.38 acres of open space as shown on the Parks Plan Exhibit. This <i>minimum</i> amount of open space for the purpose of determining compliance with Tier 1 and Tier 2 requirements is also shown on the Parks Plan Exhibit and is approximately 11 and 12 acres respectively. The Applicant actually intends that the Project will provide more open space than the minimum 19.38 acres. This open space, which the Applicant may sometimes also refer to as "Park Space",</p>
<p>C. provide a total amount of open space that equals or exceeds 10 percent of the residential tracts, 15 percent of the industrial tracts, and 20 percent of the nonresidential tracts within the PUD, except that:</p> <p>1. a detention or filtration area is excluded from the calculation unless it is designed and maintained as an amenity; and</p>	

2. the required percentage of open space may be reduced for urban property with characteristics that make open space infeasible if other community benefits are provided;	will be publicly accessible and offer excellent recreational and natural areas throughout the Project.
D. comply with the City's Planned Unit Development Green Building Program;	YES. The Project will comply with at least a 2-star Green Building requirement.
E. be consistent with applicable neighborhood plans, neighborhood conservation combining district regulations, historic area and landmark regulations, and compatible with adjacent property and land uses;	YES. There is no applicable neighborhood plan, NCCD or historic area or landmark regulations applicable to the site. However, as stated above, the largely residential Project will be compatible with area land uses and zoning districts and is consistent with the principles and priorities of Imagine Austin. In addition, the Applicant believes the Project is consistent with neighborhood preferences established in surveys conducted by the Applicant and with the Bull Creek Road Coalition's Design Principles.
F. provide for environmental preservation and protection relating to air quality, water quality, trees, buffer zones and greenbelt areas, critical environmental features, soils, waterways, topography, and the natural and traditional character of the land;	YES. The Project will preserve all of the higher quality heritage oak trees on the Property, and remove only a handful poor to fair condition "heritage" pecan trees. The project will preserve a minimum of 75% of Protected Size native tree inches on site. The Project will provide for greater open space than required by the City Code. The Project will provide green water quality controls and will provide water quality controls and drainage improvements for the entire site. The current state office development does not have any detention or flood control facilities. The Project will not propose any flood plain modifications. The Project will incorporate the natural features, topography and character of the land in its overall design.
G. provide for public facilities and services that are adequate to support the proposed development including school, fire protection, emergency service, and police facilities;	YES. As stated above, the Project will provide (i) a large on-site, publicly accessible signature park space with park improvements and amenities open to the public providing recreation and natural open space to the whole City; (ii) plazas and other open and

	<p>community spaces with public amenities that will provide opportunities for people to gather and socialize;; (iii) hike and bike trails along Bull Creek Road and Shoal Creek and improvements to enhance transit use so that area residents will have greater transportation options; (iv) roadway intersection improvements through the use of turn lanes and signalization funded 100% by the Applicant, (v) water system improvements that will improve water pressure (especially for fire flow purposes) to the area, and (vi) a pedestrian and bicycle bridge across Shoal Creek. In addition, there are currently existing adequate school, fire protection, emergency service, and police facilities located in the area. Bryker Woods School for example is populated by approximately 20% - 30% of transfer students and, therefore, has sufficient capacity to meet the needs of the Project.</p>
H. exceed the minimum landscaping requirements of the City Code;	<p>YES. The Project will exceed the minimum Code requirements for landscaping. The Project will implement an Integrated Pest Management Plan, which shall apply to all sites and uses within the PUD. The project Design Guidelines require minimum 3" caliper street trees on all internal streets. Under conventional zoning, Tracts A, C, D, and E would be residential zoning districts and would not require street trees under Subchapter E. This area of additional street trees represents 34.24 acres or approximately 45% of the total project area. Additionally, street trees will be required along Bull Creek Road where they would not be required by Subchapter E. The Design Guidelines will additionally require that a minimum of 95% of all non-turf plant materials be from or consistent with the City's Grow Green Guide.</p>
I. provide for appropriate transportation and mass transit connections to areas adjacent to the PUD district and mitigation of adverse cumulative transportation impacts with sidewalks, trails, and roadways;	<p>YES. There is currently a CapMetro bus route located on Bull Creek Road adjacent to the Property that provide transit to major employment centers like the Seton Medical Center, the University of Texas and downtown. The Applicant is in discussions with CapMetro about how to provide enhancements to this transit stop</p>

	to facilitate increased ridership. In addition, the Project will provide greater pedestrian and bicycle trails and sidewalks along Bull Creek Road, within the Property and along Shoal Creek, including a pedestrian and bicycle bridge across Shoal Creek. A TIA has been performed and demonstrates that impacts on area intersections from the Project are properly mitigated with turn lane and signal improvements.
J. prohibit gated roadways;	YES. The Project will prohibit gated communities.
K. protect, enhance and preserve areas that include structures or sites that are of architectural, historical, archaeological, or cultural significance; and	NOT APPLICABLE. There are no such areas within the Property. However, the Applicant is willing to memorialize the prior use of the site for the education of disabled African Americans in public spaces located within the Project.
L. include at least 10 acres of land, unless the property is characterized by special circumstances, including unique topographic constraints.	YES. The Property is approximately 75.74 acres.
Additional Requirements – Section 2.3.2	
A. comply with Chapter 25-2, Subchapter E (<i>Design Standards And Mixed Use</i>);	Compliance/ Superiority MODIFICATIONS REQUESTED. As permitted by Section 2.2 of PUD Code Provisions, the Applicant will be proposing modifications to the Subchapter E standards that will replace and supersede Subchapter E. The Project Design Guidelines meet the intent and purposes of Subchapter E, while making compliance simpler and easier to implement.
B. inside the urban roadway boundary depicted in Figure 2, Subchapter E, Chapter 25-2 (<i>Design Standards and Mixed Use</i>), comply with the sidewalk standards in Section 2.2.2., Subchapter E, Chapter 25-2 (<i>Core Transit Corridors: Sidewalks And Building Placement</i>); and	MODIFICATIONS REQUESTED. As permitted by Section 2.2 of PUD Code Provisions, the Applicant has proposed modifications to the Subchapter E sidewalk and building placement standards that will replace and supersede Subchapter E. The Project Design Guidelines meet the intent and purposes of Subchapter E, while making compliance simpler and easier to implement.
C. contain pedestrian-oriented uses as defined in Section 25-2-691(C) (<i>Waterfront Overlay District Uses</i>) on the first floor of a multi-story commercial or mixed use building.	YES. The Project will contain pedestrian-oriented uses on the first floor of multi-story commercial or mixed use buildings located along roadways with pedestrian walkways. The size of

	the Project is such that some interior buildings that are not located on significant pedestrian walkways do not have such uses.
Tier 2 Requirements – Section 2.4	Compliance/ Superiority
A. Open Space – Provides open space at least 10% above the requirements of Section 2.3.1.A. (<i>Minimum Requirements</i>). Alternatively, within the urban roadway boundary established in Figure 2 of Subchapter E of Chapter 25-2 (<i>Design Standards and Mixed Use</i>), provide for proportional enhancements to existing or planned trails, parks, or other recreational common open space in consultation with the Director of the Parks and Recreation Department.	YES. The Project will provide at least 19.38 acres of open space as shown on the Park Plan Exhibit which is far above the requirement in Section 2.3.1.A. This <i>minimum</i> amount of open space for the purpose of determining compliance with Tier 1 and Tier 2 requirements is also shown on the Parks Plan Exhibit and is approximately 11 and 12 acres respectively. The Applicant actually intends that the Project will provide more open space than the minimum 19.38 acres. This open space will largely consist of dedicated parkland and will be publicly accessible and offer excellent recreational and natural areas throughout the Project.
B. <u>Environment/Drainage</u> –	
1. Complies with current code instead of asserting entitlement to follow older code provisions by application of law or agreement.	NOT APPLICABLE.
2. Provides water quality controls superior to those otherwise required by code.	YES. The project will meet current code requirements for water quality volume. The Project will provide water quality controls through the use of a wet pond and/or Green Water Quality Controls for a minimum of 50% of the required water quality volume on-site, which provide superior Total Suspended Solid and nutrient removal to more conventional controls and also offer wetland and habitat benefits that are particularly appropriate to the Project. Makeup water for the wet pond will be provided by air conditioner condensate from commercial buildings on site. Site plans for commercial buildings will be required to include plumbing connections to the makeup water system unless it has been demonstrated that prior connections (from other buildings on site) will provide sufficient makeup water for the pond. Potable

	or well water may be used for makeup water only during buildout of the project.
3. Uses green water quality controls as described in the Environmental Criteria Manual to treat at least 50 percent of the water quality volume required by code.	YES AS MODIFIED. The project will provide that a minimum of 10 acres of impervious cover on the site will drain to and be treated by Green Water Quality Controls such as rain gardens, and rainwater capture systems. Biofiltration ponds shall not be counted toward this requirement.
4. Provides water quality treatment for currently untreated, developed off-site areas of at least 10 acres in size.	NOT APPLICABLE.
5. Reduces impervious cover by five percent below the maximum otherwise allowed by code or includes off-site measures that lower overall impervious cover within the same watershed by five percent below that allowed by code.	NOT APPLICABLE. The site is not currently zoned. While a baseline may be established by City Council, Council has been directed by City Staff that the baseline is solely for determining development bonuses and not for other zoning factors. As such, it would not be appropriate to apply the established baseline to determine environmental superiority.
6. Provides minimum 50-foot setback for at least 50 percent of all unclassified waterways with a drainage area of 32 acres.	NOT APPLICABLE.
7. Provides volumetric flood detention as described in the Drainage Criteria Manual.	NO.
8. Provides drainage upgrades to off-site drainage infrastructure that does not meet current criteria in the Drainage or Environmental Criteria Manuals, such as storm drains and culverts that provide a public benefit.	NOT APPLICABLE.
9. Proposes no modifications to the existing 100-year floodplain.	YES. The Project will not modify the existing 100-year flood plain.
10. Uses natural channel design techniques as described in the Drainage Criteria Manual.	NOT APPLICABLE.
11. Restores riparian vegetation in existing, degraded Critical Water Quality Zone areas.	NO. Existing riparian vegetation along the top of the bank is already in good condition and will be protected by a Riparian

	Grow Zone. This Riparian Grow Zone will also serve as wetland mitigation.
12. Removes existing impervious cover from the Critical Water Quality Zone.	NOT APPLICABLE.
13. Preserves all heritage trees; preserves 75% of the caliper inches associated with native protected size trees; and preserves 75% of all of the native caliper inches.	YES AS MODIFIED. The Project will preserve more than 75% of all Protected Size native caliper inches. The Project will preserve all of the higher quality heritage oak trees on the Property, and remove only a handful of poor to fair condition "heritage" pecan trees. The heritage pecan trees to be removed are of a variety that is not native to the area and structurally poor and of lower quality. The Applicant has met with the City Arborist to discuss removal of these small number of trees and the preservation of all of the high-quality heritage oak trees. Additionally, the project will provide additional protection for the ¾ critical root zone for all protected and heritage trees within the Signature Grove, which includes all trees around the proposed pond and the highest quality oak trees throughout the Signature Park.
14. Tree plantings use Central Texas seed stock native and with adequate soil volume.	NO. While the Project will utilize native and adapted trees from the Grow Green Guide, a commitment to 100% native seed stock is not feasible at this time.
15. Provides at least a 50 percent increase in the minimum waterway and/or critical environmental feature setbacks required by code.	NO. While the project does propose a Riparian Grow Zone along the Critical Water Quality Zone boundary that would effectively increase the waterway buffer for Shoal Creek, it also proposes a reduction in the Wetland CEF buffer.
16. Clusters impervious cover and disturbed areas in a manner that preserves the most environmentally sensitive areas of the site that are not otherwise protected.	YES. The Project will cluster development along Bull Creek Road and the interior of the Property and away from Shoal Creek and the large oak groves located on the Property where a large amount of open space will be provided instead.
17. Provides porous pavement for at least 20 percent or more of all paved areas for non-pedestrian in non-aquifer recharge areas.	NO.

18. Provides porous pavement for at least 50 percent or more of all paved areas limited to pedestrian use.	NO.
19. Provides rainwater harvesting for landscape irrigation to serve not less than 50% of the landscaped areas.	NO. Due to the size of the proposed parks in particular, this option is not feasible for this Project.
20. Directs stormwater runoff from impervious surfaces to a landscaped area at least equal to the total required landscape area.	YES. The Project will direct stormwater runoff from impervious surfaces to a landscaped area at least equal to the total required landscape area.
21. Employs other creative or innovative measures to provide environmental protection.	YES. The Project will provide flood mitigation for the 9.39 acres of existing impervious cover on site that is not currently detained. The current state office development does not have any detention or flood control facilities, and current code does not require new development to detain for existing impervious cover. If the Project participates in the RSMP, the RSMP fee will be paid as if the current 9.39 acres of impervious cover does not exist. The City of Austin Watershed Protection Department will choose the most effective flood mitigation option for the site, which may include onsite detention in compliance with the Environmental Criteria Manual or RSMP participation, at the time of commercial site plan or residential subdivision application. The City of Austin selected flood mitigation option will be required to demonstrate no downstream adverse impact up to the confluence of Shoal Creek with Lady Bird Lake. Additionally, the Project will provide educational signage for the Wetland CEF.
C. <u>Austin Green Builder Program</u> – Provides a rating under the Austin Green Builder Program of three stars or above.	NO. While certain buildings and development within the Project may meet or exceed a 3-star rating, requiring such compliance for all such buildings and development is not feasible.
D. <u>Art</u> – Provides art approved by the Art in Public Places Program in open spaces, either by providing the art	YES AS MODIFIED. The Project will provide art in public places through development of a public art plan developed by the

directly or by making a contribution to the City's Art in Public Places Program or a successor program.	Applicant that will consist of a minimum of three (3) significant art pieces. The Applicant will consult with and consider the City's Art in Public Places (AIPP) program in implementing this program.
E. <u>Great Streets</u> – Complies with City's Great Streets Program, or a successor program. Applicable only to commercial, retail, or mixed-use development that is not subject to the requirements of <u>Chapter 25-2, Subchapter E (Design Standards and Mixed Use)</u> .	YES AS MODIFIED. The Project will provide private street cross sections that will meet the intent and purposes of the Great Streets Program through its Project Design Guidelines.
F. <u>Community Amenities</u> – 1. Provides community or public amenities, which may include spaces for community meetings, community gardens or urban farms, day care facilities, non-profit organizations, or other uses that fulfill an identified community need. 2. Provides publicly accessible multi-use trail and greenway along creek or waterway.	YES. The Project will provide community and public amenities including spaces for community meetings, gatherings and other community needs, and publicly accessible multi-use trails and greenways along Shoal Creek. The project will also provide a pedestrian and bicycle bridge across Shoal Creek.
G. <u>Transportation</u> – Provides bicycle facilities that connect to existing or planned bicycle routes or provides other multi-modal transportation features not required by code.	YES. The Project will provide (i) bicycle trails and shared use paths throughout the project that will facilitate connection to existing and planned bike routes and trails, (ii) a pedestrian and bicycle bridge across Shoal Creek, (iii) a location for a B-cycle Station, (iv) at least 8 car-sharing parking spaces, (v) shower facilities in all office buildings over 10,000 SF, (vi) bike parking for a minimum of 10% of required vehicular spaces, (vii) bicycle cage parking in multifamily buildings, and (viii) improved bus stops developed in consultation with CapMetro and the neighborhood.
H. <u>Building Design</u> – Exceeds the minimum points required by the Building Design Options of Section 3.3.2. of <u>Chapter 25-2, Subchapter E (Design Standards and Mixed Use)</u> .	NO. While certain buildings and development within the Project may exceed such minimum points, requiring such compliance for all such buildings and development is not feasible. The intent and purpose of such building design will be met through the Project Design Guidelines.

I. <u>Parking Structure Frontage</u> – In a commercial or mixed-use development, at least 75 percent of the building frontage of all parking structures is designed for pedestrian-oriented uses as defined in <u>Section 25-2-691(C) (Waterfront Overlay District Uses)</u> in ground floor spaces.	NO. While certain buildings and development within the Project may meet such percentage, requiring such compliance for all such buildings and development is not feasible.
J. <u>Affordable Housing</u> – Provides for affordable housing or participation in programs to achieve affordable housing.	YES. The Applicant will provide a substantial on-site affordable housing component as more particularly set forth in the The Grove at Shoal Creek Affordable Housing Plan.
K. <u>Historic Preservation</u> – Preserves historic structures, landmarks, or other features to a degree exceeding applicable legal requirements.	NOT APPLICABLE. There are no such features within the Property. However, the Applicant is willing to memorialize the prior use of the site for the education of disabled African Americans in public spaces located within the Project.
L. <u>Accessibility</u> – Provides for accessibility for persons with disabilities to a degree exceeding applicable legal requirements.	YES. The Project will provide for accessibility for person with disabilities to a degree exceeding applicable legal requirements.
M. <u>Local Small Business</u> – Provides space at affordable rates to one or more independent retail or restaurant small businesses whose principal place of business is within the Austin metropolitan statistical area.	NO. While the Applicant fully intends to actively seek local small businesses for the Project and may use incentives to induce such local businesses, given the on-site affordable housing commitment, increased parks and open space commitments, and increased traffic mitigation commitments, requiring a specific criteria for affordable retail rates is not feasible.

EXHIBIT E

ATTACHMENT 2
Proposed Code Modifications
October 2016

CHAPTER 25-1 MODIFICATIONS	CURRENT CODE LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
CODE SECTIONS TO BE MODIFIED		
1. <i>Definitions, Article 2, Chapter 25-1-21</i>	“SITE means a contiguous area intended for development, or the area on which a building has been proposed to be built or has been built. A site may not cross a public street or right-of-way.”	“SITE means a contiguous area intended for development, or the area on which a building has been proposed to be built or has been built. A site may cross a public street or right-of-way if that public street or right-of-way is within the boundaries of The Grove at Shoal Creek PUD.”
2. <i>Parkland Requirements, Article 14, Chapter 25-1 and 25-4-211</i>	25-1-602(A) “A subdivider or site plan applicant shall provide for the parkland needs of the residents by the dedication of suitable parkland for park and recreational purposes under this article.”	“Section 25-1-602 (Dedication of Parkland Required) is modified to provide that subdivider or site plan applicant shall provide for the parkland needs of the residents by providing suitable parkland for park and recreational purposes under the terms of The Grove at Shoal Creek Parks Plan and Parkland Improvement Agreement attached as exhibits to Planned Unit Development Ordinance No. _____.”
3. <i>Gross Floor Area, 25-2-21(44)</i>	25-1-21 “(44) GROSS FLOOR AREA means the total enclosed area of all floors in a building with a clear height of more than six feet, measured to the outside surface of the exterior walls.	“(44) GROSS FLOOR AREA means the total enclosed area of all floors in a building with a clear height of more than six feet, measured to the outside surface of the exterior walls. The term includes loading docks and excludes atria airspace,

	The term includes loading docks and excludes atria airspace, parking facilities, driveways, and enclosed loading berths and off-street maneuvering areas.”	parking facilities, parking structures, driveways, and enclosed loading berths and off-street maneuvering areas.”
CHAPTER 25-2 MODIFICATIONS		
CODE SECTIONS TO BE MODIFIED		
4. <i>Site Development Regulations, 25-2-492</i>	Not applicable.	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD The Applicant proposes that the site development regulations applicable to the Property be as shown on the Land Use Plan
5. <i>Site Development Regulations, 25-2-492 and Height, 25-1-21(47)</i>	City staff interprets a parking level to be a “story” for the purposes of determining compliance with site development regulations.	“In determining compliance with the applicable height limitations, a parking level shall not be and is not considered a ‘story’.”
6. <i>Visual Screening, 25-2-1006</i>	25-2-1006 Visual Screening of certain features	“Section 25-2-1006 (A) shall not apply to any water quality and/ or storm water drainage facility that serves as an amenity or to any Green Storm Water Quality Infrastructure as defined in the Environmental Criteria Manual, except that any green infrastructure hardened outfalls and control structures should still be buffered from public ROW. Section 25-2-1006 (C) shall not apply between uses or sites that are both located within the PUD boundaries. This section shall still apply at the boundaries of the PUD.”
7. <i>Planned Unit Development Regulations, Chapter 25-2, Subchapter B, Article 2, Division 5, Section 3.2.3.D.1</i>	“D. the minimum front yard and street side yard setbacks, which must be not less than the greater of:	“Chapter 25-2, Subchapter B, Article 2, Division 5, Section 3.2.3.D.1 shall not apply to the PUD. Notwithstanding the foregoing the remainder of that section

	1. 25 feet for a front yard, and 15 feet for a street side yard; or”	shall apply to the PUD.”
<p>8. <i>Compatibility Standards, Chapter 25-2, Article 10</i></p> <p>NOTE: This Code modification only applies where the triggering property is located within the PUD. This Code modification does not apply where the triggering property is located outside the PUD. This Code modification is identical to the one granted in the Mueller PUD</p>	Chapter 25-2, Article 10, Compatibility Standards applied to triggering property within the PUD only	<p>“Chapter 25-2, Article 10 (Compatibility Standards) does not apply only where development within the PUD triggers such compatibility standards. Notwithstanding the foregoing, Chapter 25-2, Article 10 (Compatibility Standards) shall apply, except as provided herein, where development outside of the PUD triggers such compatibility standards.”</p>
<p>9. <i>Compatibility Standards, 25-2-1063(C)(2) and (3)</i></p>	<p>25-2-1063(C) “(2) three stories and 40 feet, if the structure is more than 50 feet and not more than 100 feet from property:</p> <p>(a) in an SF-5 or more restrictive zoning district; or (b) on which a use permitted in an SF-5 or more restrictive zoning district is located;</p> <p>(3) for a structure more than 100 feet but not more than 300 feet from property zoned SF-5 or more restrictive, 40 feet plus one foot for each 10 feet of distance in excess of 100 feet from the property zoned SF-5 or more restrictive;”</p>	<p>“In the rectangular area of land in Tract B that is bounded by (i) the property line adjacent to Bull Creek Road on the west, (ii) a line 240 feet east from the property line adjacent to Bull Creek Road on the east, (iii) a line that is 200 feet south of the northern property line on the north, and (iv) a line that is 630 feet south of the northern property line on the south, Section 25-2-1063(C) (2) of the Austin City Code shall not apply, and Section 25-2-1063(C)(3) is modified to read to provide that for a structure more than 50 feet but not more than 300 feet from the property zoned SF-5 or more restrictive, height may be limited to 60’.”</p>
<p>10. <i>Compatibility Standards, 25-2-1067(G) and (H)</i></p>	25-2-1067 “(G) Unless a parking area or driveway is on a site that is less than 125 feet wide, a parking area or driveway may not be constructed 25 feet or less from a	<p>“Section 25-2-1067(G) and (H) of the Austin City Code shall not apply to Tract A only, with respect to the construction of an alley, public road, trails and/or sidewalks.”</p>

	lot that is: (1) in an SF-5 or more restrictive zoning district; or (2) on which a use permitted in an SF-5 or more restrictive zoning district is located.”	
11. <i>Commercial Design Standards, Subchapter E, Chapter 25-2</i>	Chapter 25-2, Subchapter E, Design Standards and Mixed Use	“The Grove at Shoal Creek Design Guidelines generally address the physical relationship between commercial and other nonresidential development and adjacent properties, public streets, neighborhoods, and the natural environment, in order to implement the City Council's vision for a more attractive, efficient, and livable community. The requirements of Chapter 25-2, Subchapter E of the Austin City Code shall not apply to the property. All requirements in the Austin City Code that reference Chapter 25-2, Subchapter E shall be modified to refer to such Design Guidelines.”
CHAPTER 25-4 MODIFICATIONS		
CODE SECTIONS TO BE MODIFIED	CURRENT CODE LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
12. <i>Alleys, 25-4-132(B)</i>	25-4-132 “(B) Off-street loading and unloading facilities shall be provided on all commercial and industrial lots, except in the area described in Subsection (C). The subdivider shall note this requirement on a preliminary plan and a plat.”	“Off-street loading and unloading shall be provided on all commercial lots, except that loading and unloading may also occur in any alley that also serves as a fire lane. The subdivider shall note this requirement on a preliminary plan and a plat.”
13. <i>Block Length, 25-4-153</i>	25-4-153 Block Length requirements	“Section 25-4-153 of the Austin City Code shall not apply to the property.”
14. <i>Secondary Street Access, 25-4-157</i>	Section 25-4-157 – Subdivision Access Streets	“Section 25-4-157 of the Austin City Code shall not apply to the property.”

15. Lots on Private Streets, 25-4-171(A)	“(A) Each lot in a subdivision shall about a dedicated public street.”	“(A) Each lot in a subdivision shall about a public street, private street or private drive subject to a permanent access easement.”
16. Parkland Requirements, Article 14, Chapter 25-1 and 25-4-211 [NOTE: this is the same as No. 1 above]	25-4-211 “The platting requirement for parkland dedication is governed by Chapter 25-1, Article 14 (Parkland Dedication).”	“The platting requirement for parkland dedication is modified to provide that such requirement is governed by the terms of The Grove at Shoal Creek Planned Unit Parks Plan and Parkland Improvement Agreement attached as exhibits to Development Ordinance No. _____.”
17. Public Street Alignment, 25-4-151	25-4-151 “Streets of a new subdivision shall be aligned with and connect to existing streets on adjoining property unless the Land Use Commission determines that the Comprehensive Plan, topography, requirements of traffic circulation, or other considerations make it desirable to depart from the alignment or connection.”	“Notwithstanding Section 25-4-151 of the Austin City Code, the private drives and/ or private streets within the property may be aligned with and connect to existing or future streets on adjoining property.”
18. Dead-End Streets, 25-4-152(A)	25-4-152 “(A) A street may terminate in a cul-de-sac if the director determines that the most desirable plan requires laying out a dead-end street.”	“A street may terminate in a cul-de-sac if the director determines that the most desirable plan requires laying out a dead-end street, or may terminate in a connection with the private drives and/ or private streets within the property.”
CHAPTER 25-6 MODIFICATIONS		
CODE SECTIONS TO BE MODIFIED	CURRENT CODE LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
19. Street Design, 25-6-171(A)	“(A) Except as provided in Subsections (B) and (C), a roadway, street, or alley must be designed and constructed in accordance with the Transportation	“A roadway, private drive, street or alley must be designed and constructed in accordance with The Grove at Shoal Creek Design Guidelines. The Transportation

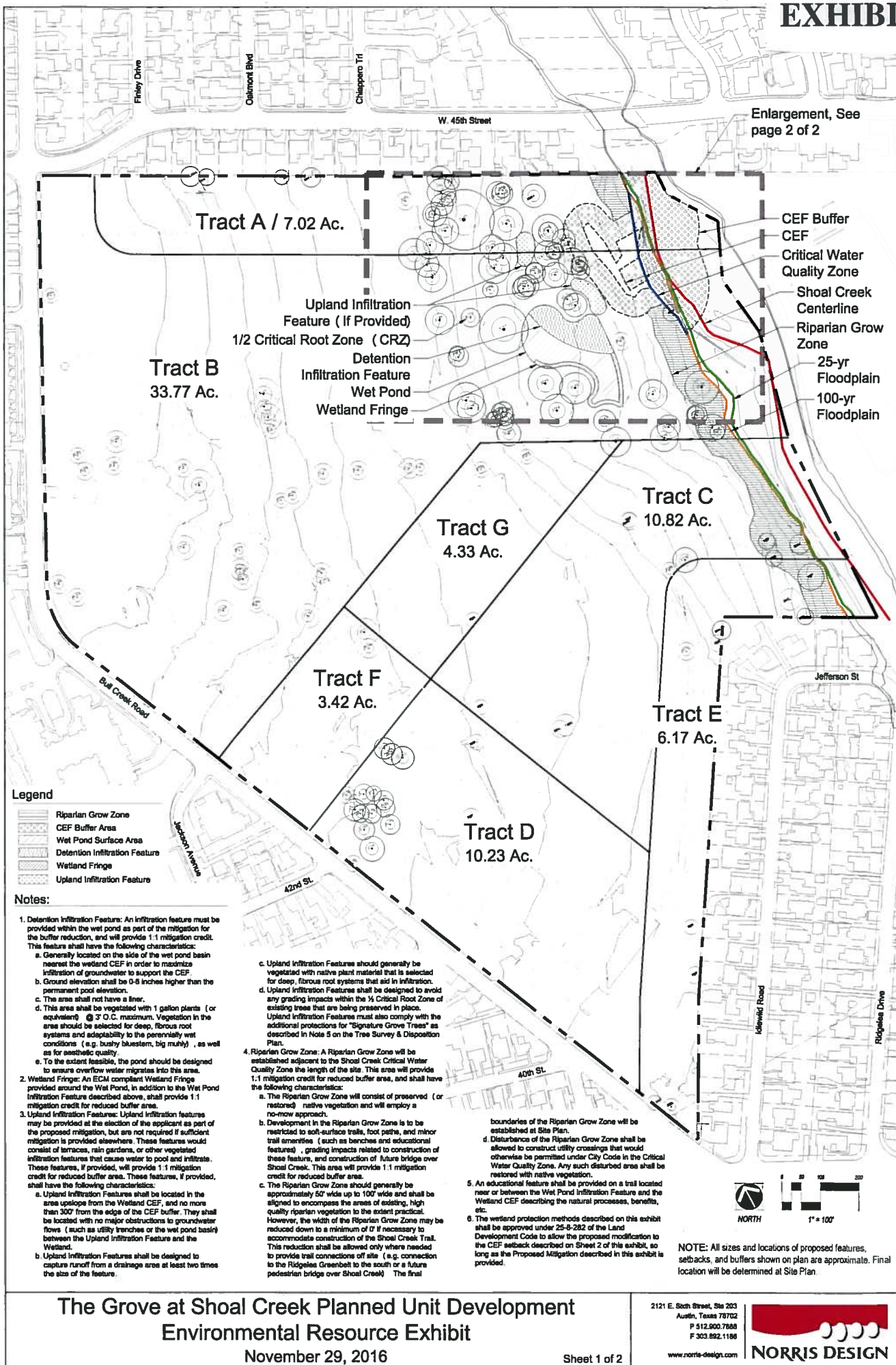
	Criteria Manual and City of Austin Standards and Standard Specifications shall apply to the extent they do not conflict with The Grove at Shoal Creek Design Guidelines.”	Criteria Manual and City of Austin Standards and Standard Specifications.
CHAPTER 25-8 MODIFICATIONS		
CODE SECTIONS TO BE MODIFIED	CURRENT CODE LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
20. <i>Heritage Trees, 25-8-641(B)</i>	“(B) A permit to remove a heritage tree may be issued only if a variance is approved under Section 25-8-642 (<i>Administrative Variance</i>) or 25-8-643 (<i>Land Use Commission Variance</i>).”	<p>“A permit to remove a heritage tree may be issued only if:</p> <p>(1) a variance is approved under Section 25-8-642 (Administrative Variance) or (25-8-643) Land Use Commission Variance, or</p> <p>(2) the tree is indicated as "Trees that May Be Removed" on The Grove at Shoal Creek Tree Survey and Disposition Plan as attached to The Grove at Shoal Creek Planned Unit Development Ordinance No. _____. Sections 25-8-642 and 25-8-643 shall not apply to the trees indicated as "Trees that May Be Removed" on The Grove at Shoal Creek Tree Survey and Disposition Plan. Specifically, the Heritage Trees that may be removed under this paragraph are identified as tag numbers 3076, 3077, 3078, 3079, 3080, 3201, 3202, 3203, 3204, 3207, and 3232.</p> <p>A permit issued under 25-8-642 (A) (2) shall require mitigation at the rates prescribed on The Grove at Shoal Creek</p>

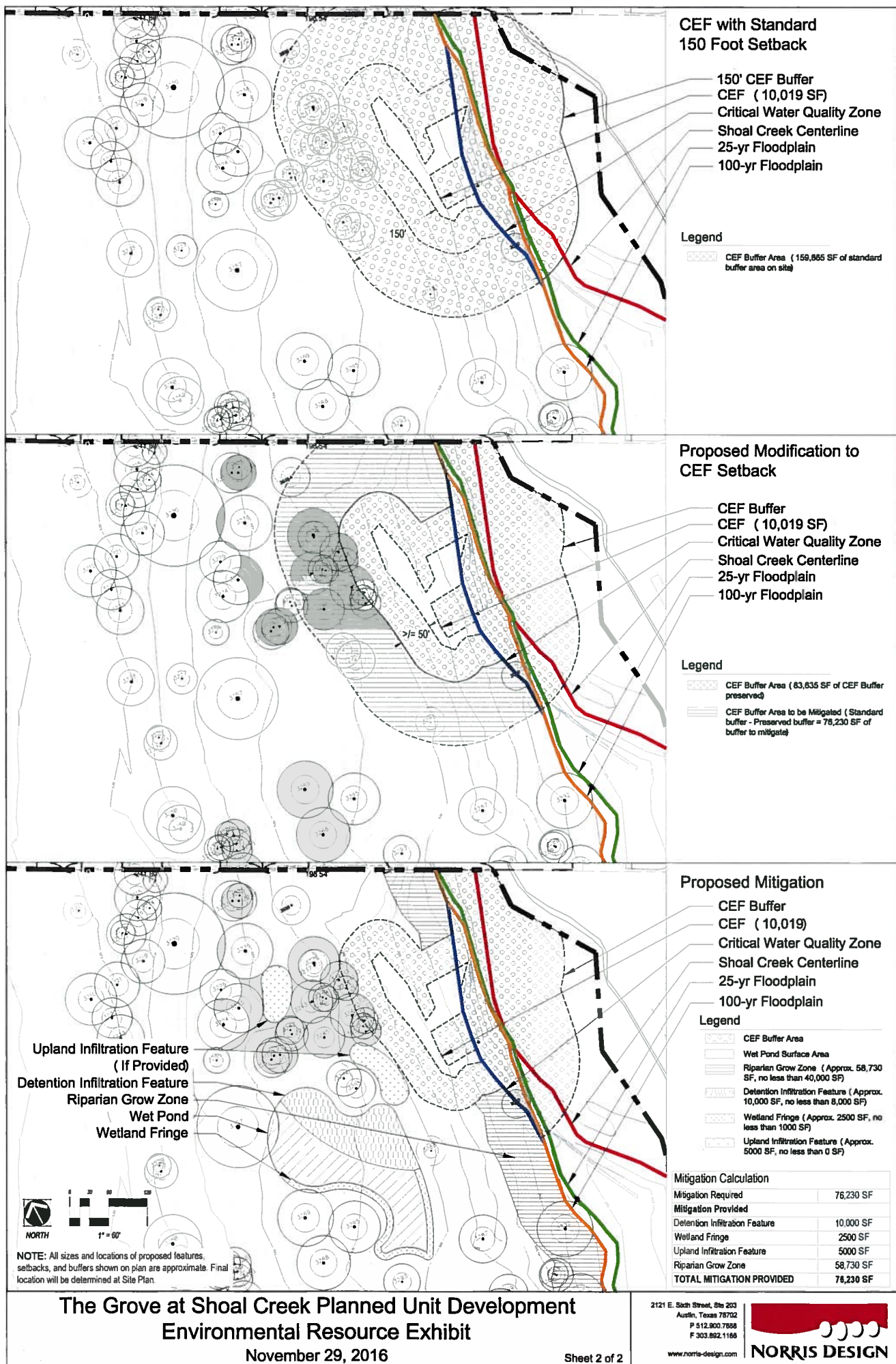
		Tree Survey and Disposition Plan. (3) Administrative variances under 25-8-642 for trees indicated to be saved on The Grove at Shoal Creek Tree Survey and Disposition Plan may be granted only for trees that are dead, diseased, or hazardous under paragraph (A) of that section. Variances for removal under Paragraph (C) for reasonable use shall not be allowed for these trees.”
CHAPTER 25-10 MODIFICATIONS		
CODE SECTIONS TO BE MODIFIED	CURRENT CODE LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
21. 25-10-1 - <i>Applicability</i>	25-10-1 – Applicability	“(D) To the extent they are in conflict, the signage standards set forth in the Design Guidelines for The Grove at Shoal Creek shall supersede this chapter.”
22. 25-10-103 – <i>Signs Prohibited in the Public Right-of-Way.</i>	25-10-103 – Signs Prohibited in the Public Right-of-Way.	“Section 25-10-103 of the Austin City Code shall not apply to the public Right-of-Way dedicated for the Jackson Avenue Extension within the boundaries of The Grove at Shoal Creek PUD as identified on the Roadway Framework Plan.”
23. 25-10-191 – <i>Sign Setback Requirements.</i>	25-10-191 – Sign Setback Requirements.	“Section 25-10-191 of the Austin City Code shall not apply for setbacks from the public Right-of-Way dedicated for the Jackson Avenue Extension within the boundaries of The Grove at Shoal Creek PUD as identified on the Roadway Framework Plan.”
DRAINAGE CRITERIA MANUAL MODIFICATIONS		

DCM SECTIONS TO BE MODIFIED	CURRENT DCM LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
<p>24. <i>Fencing Requirements for Drainage Facilities, Section 1.2.4.E.1(a)</i></p>	<p>DCM Section 1.2.4.E “1. (a) Where a portion of the stormwater facility either has an interior slope or wall steeper than three (3) feet horizontal to one (1) foot vertical with a height exceeding one (1) foot, or, an exterior slope or wall steeper than three (3) feet horizontal to one (1) foot vertical with a height exceeding three (3) feet above adjacent ground, barrier-type fences at least six (6) feet high, and/or steel grating are required for all single-family or duplex residential development, City maintained stormwater facilities, and/or for any privately maintained stormwater facilities located within 500 feet of a residential structure. Barrier type fences include, but are not limited to chain link, solid wood, masonry, stone or wrought iron.”</p>	<p>“1. (a) Where a portion of the stormwater facility either has an interior slope or wall steeper than three (3) feet horizontal to one (1) foot vertical with a height exceeding one (1) foot, or, an exterior slope or wall steeper than three (3) feet horizontal to one (1) foot vertical with a height exceeding three (3) feet above adjacent ground, steel grating is required for all single-family or duplex residential development, City maintained stormwater facilities, and/or for any privately maintained stormwater facilities located within 500 feet of a residential structure.</p>
<p>ENVIRONMENTAL CRITERIA MANUAL MODIFICATIONS</p>		
ECM SECTIONS TO BE MODIFIED	CURRENT ECM LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
<p>25. <i>Maintenance Responsibilities for Water Quality Control Facilities, Section 1.6.3.A.4</i></p>	<p>4. obtain final warranty release approval from the Watershed Protection Department. The City will also maintain water</p>	<p>“4. obtain final warranty release approval from the Watershed Protection Department. Water quality control facilities at The Grove at Shoal Creek</p>

	quality control facilities designed to service primarily publicly owned roads and facilities. These water quality control facilities must be designed and built according to the appropriate city standards.	PUD that treat publicly owned roads and facilities within and adjacent to The Grove at Shoal Creek PUD may be privately maintained.”
TRANSPORTATION CRITERIA MANUAL MODIFICATIONS		
TCM SECTIONS TO BE MODIFIED	CURRENT TCM LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD
26. <i>Classification Design Criteria, Section 1.3.2.B.2</i>	2. Collector, Neighborhood. A neighborhood collector street is characterized by serving several districts or subdivisions. Neighborhood collector streets provide limited access to abutting property and may provide on-street parking, except where bus routes can be expected. Typically multifamily developments, schools, local retail developments and public facilities are located adjacent to neighborhood collectors. Direct driveway access for detached houses should be discouraged (see Figure 1-28 in Appendix H of this manual for design criteria).	2. Collector, Neighborhood. The Extension of Jackson Avenue in The Grove at Shoal Creek PUD as identified on the Roadway Framework Plan shall be considered a Neighborhood Collector and shall be designed per The Grove at Shoal Creek Design Guidelines. The cross section and any other design information contained in those design guidelines shall supersede any requirements of the Transportation Criteria Manual. All other circulation routes within The Grove including internal circulation routes and alleys shall be considered as private driveways and intersections with these driveways shall be subject to the 50' minimum spacing for Neighborhood Collectors.
27. <i>Classification Design Criteria, Section 1.3.2.F</i>	F. Single Outlet Streets	“The Jackson Avenue Extension shall not be considered a Single Outlet Street upon

		the construction of any publicly accessible private street, drive, or internal circulation route that is open to the public and connects Jackson Avenue to Bull Creek Road.”
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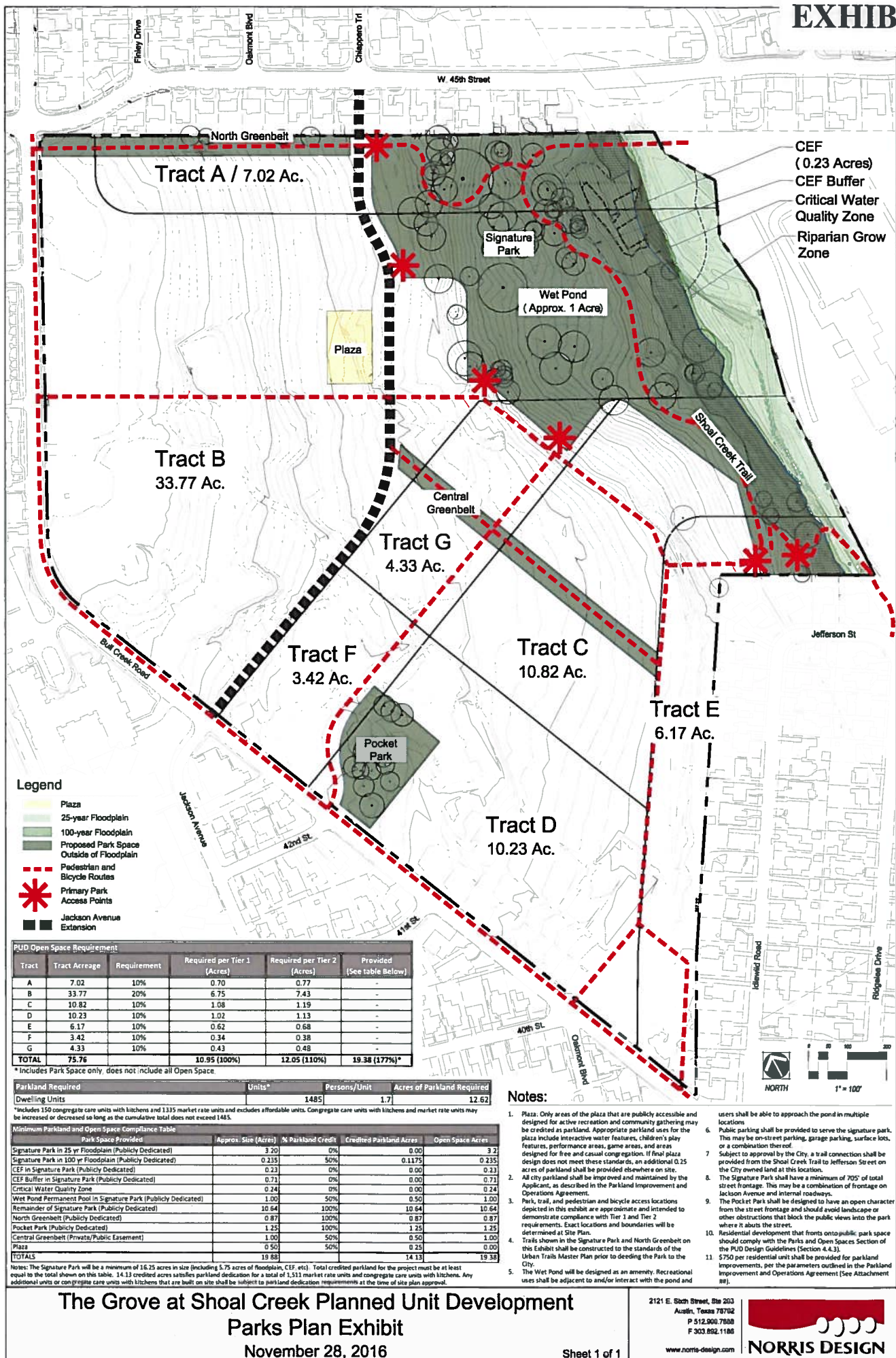
Proposed Environmental Code Modifications

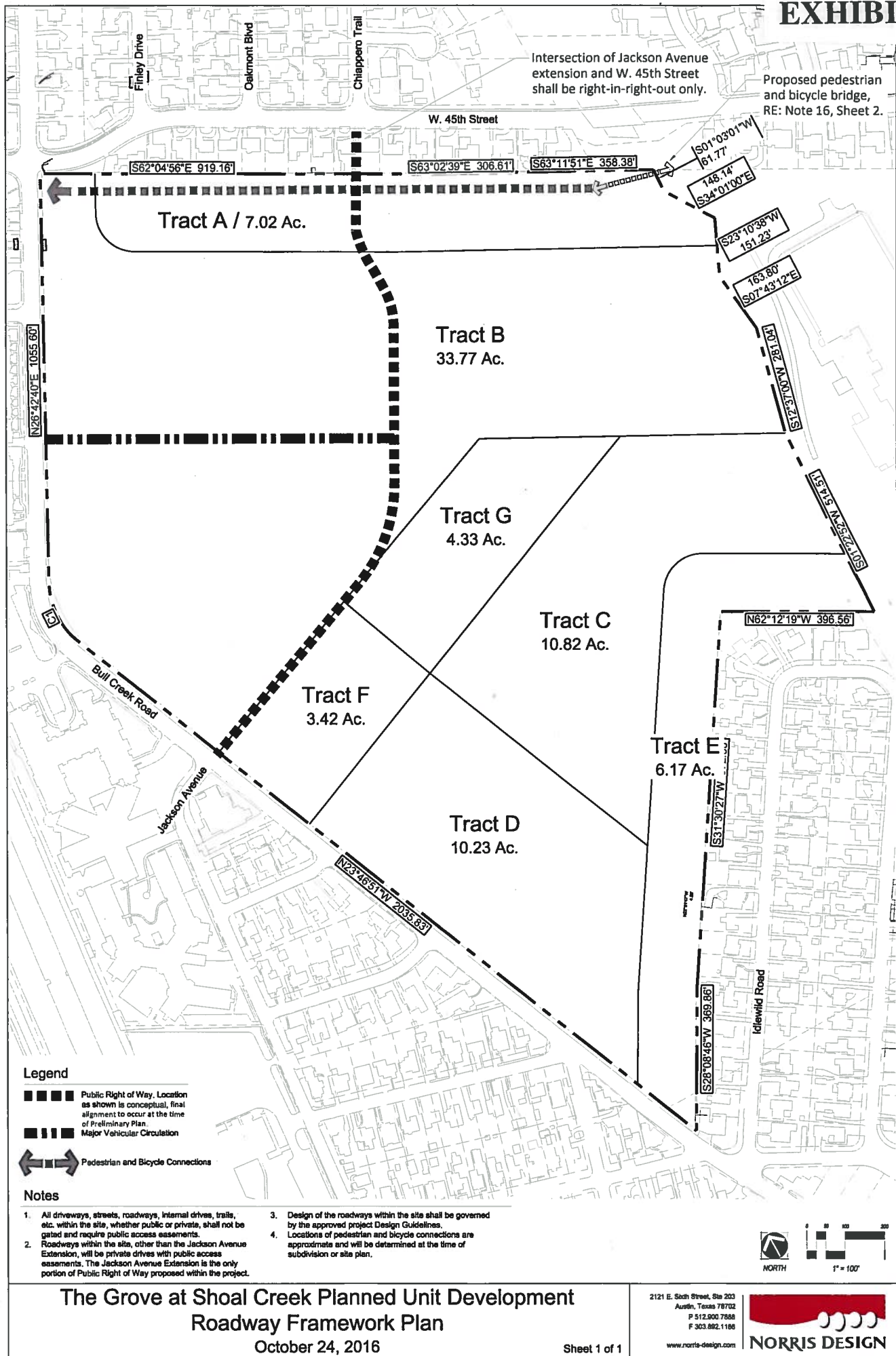
CHAPTER 25-8 MODIFICATIONS CODE SECTIONS TO BE MODIFIED	CURRENT CODE LANGUAGE	PROPOSED MODIFICATION FOR THE GROVE AT SHOAL CREEK PUD	IMPACT ON DEVELOPABLE AREA
20. <i>Heritage Trees, 25-8-641(B)</i>	“(B) A permit to remove a heritage tree may be issued only if a variance is approved under Section 25-8-642 (<i>Administrative Variance</i>) or 25-8-643 (<i>Land Use Commission Variance</i>).”	<p>“A permit to remove a heritage tree may be issued only if:</p> <p>(1) a variance is approved under Section 25-8-642 (<i>Administrative Variance</i>) or (25-8-643) <i>Land Use Commission Variance</i>, or</p> <p>(2) the tree is indicated as "Trees that May Be Removed" on The Grove at Shoal Creek Tree Survey and Disposition Plan as attached to The Grove at Shoal Creek Planned Unit Development Ordinance No. _____.</p> <p>Sections 25-8-642 and 25-8-643 shall not apply to the trees indicated as "Trees that May Be Removed" on The Grove at Shoal Creek Tree Survey and Disposition Plan.</p> <p>A permit issued under 25-8-642 (A) (2) shall require mitigation at the rates prescribed on The Grove at Shoal Creek Tree Survey and Disposition Plan.”</p>	None. While a small area of land within the critical root zone of the heritage trees that may be removed will become developable, this will not impact the overall developable acreage as the maximum impervious cover for the site is 65% per the PUD and that maximum could be reached whether or not these trees are removed.

The Grove at Shoal Creek

List of Environmental Superiority Items

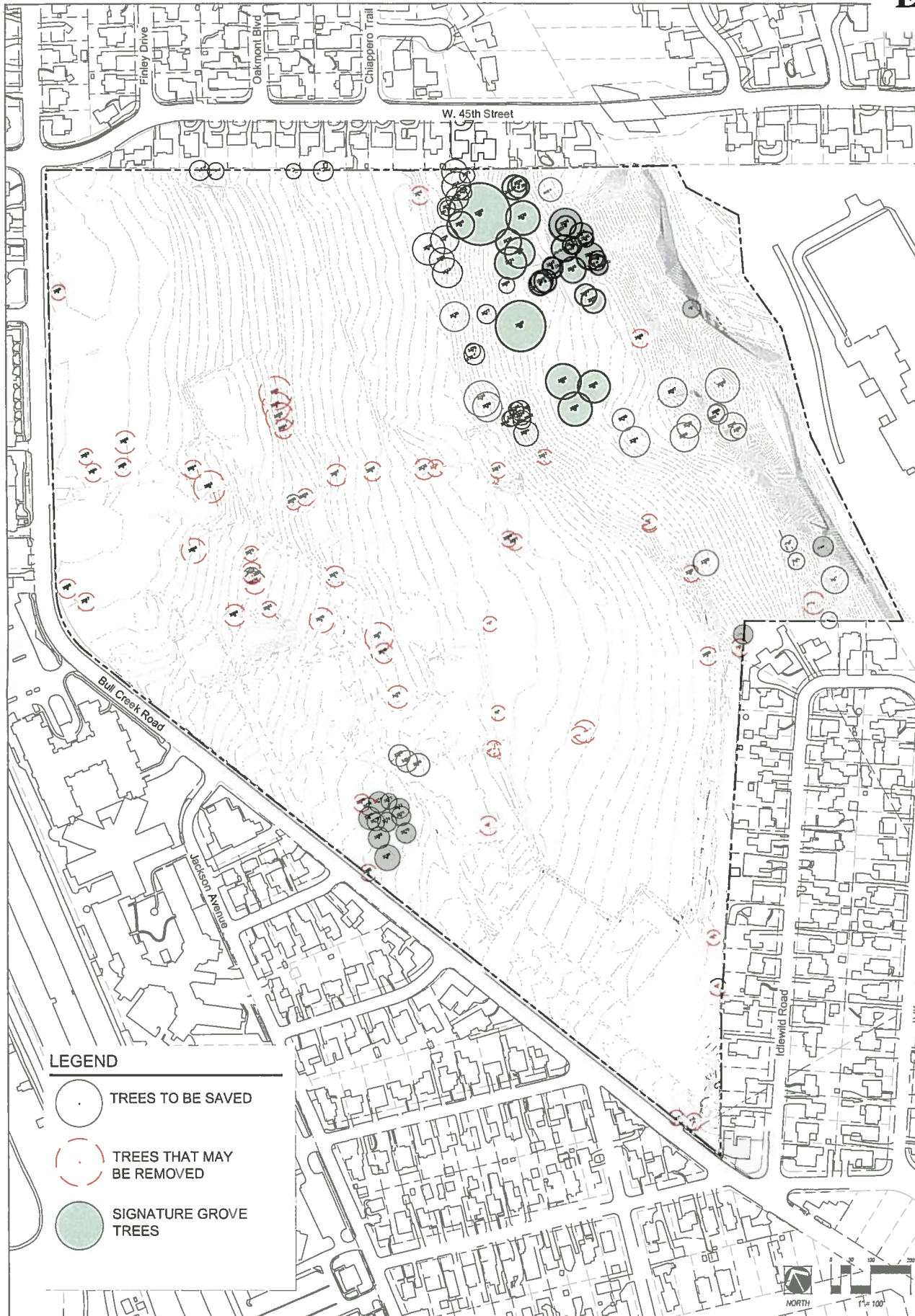
1. The project will substantially exceed open space requirements (by more than 50%) and will cluster development away from Shoal Creek.
2. The project will provide water quality controls through the use of a wet pond and/or green infrastructure for a minimum of 50% of the required water quality volume on-site.
3. The project will provide that a minimum of 10 acres of impervious cover on the site will drain to and be substantially treated by Green Water Quality Controls such as rain gardens and biofiltration facilities.
4. The project will not modify the existing 100-year floodplain.
5. The project will preserve a minimum of 75% of protected quality native tree inches on site.
6. The project will provide a tree care plan for all preserved protected and heritage trees on site.
7. The project will direct stormwater runoff from impervious surfaces to a landscaped area at least equal to the total required landscape area.
8. The project will provide flood mitigation for the 9.39 acres of existing impervious cover on the site which is not currently detained. The existing State office development does not have any detention or flood control facilities and current code does not require new development to mitigate for existing impervious cover. If the project participates in the RSMP, the RSMP fee will be paid as if the current 9.39 acres of impervious cover does not exist.
9. The project will provide educational signage at the Wetland CEF.
10. The project will provide minimum 3" caliper street trees on all internal streets. Under conventional zoning, Tracts A, C, D, and E would be residential zoning districts and would not require street trees under Subchapter E. This area of additional street trees represents 34.24 acres or approximately 45% of the total project area.
11. The project will provide street trees along Bull Creek Road where they would not be required by Subchapter E.
12. The Project will provide an Integrated Pest Management Plan for all sites.
13. The Project will commit to 95% of non-turf plant species from Grow Green or equivalent per the Design Guidelines.
14. The project will provide additional protection for the $\frac{3}{4}$ critical root zone for all protected and heritage trees within the Signature Grove, which includes all trees around the proposed pond and the highest quality oak trees throughout the Signature Park.







The Grove at Shoal Creek
Austin, Texas
Exhibit I



The Grove at Shoal Creek Tree Disposition Plan

July 13, 2016

THE GROVE AT SHOAL CREEK TREE SURVEY

			TOTAL APPENDIX F PROJECTED TREES SURVIVED	TOTAL APPENDIX F TREES TO BE SAVED		TOTAL APPENDIX F TREES TO BE REMOVED		TOTAL NON-APPENDIX F TREES TO BE REMOVED	TOTAL REMAINING TREES (REMOVED + MITIGATION)	ARBORISTS' RATHGOS USE AMOUNT REPORT (PIU + NO. RATHGOS)	
TREE #	SPECIES	DBH		HEIGHT	PROJECTED HGT	HEIGHT	PROJECTED HGT	HGT			
001	RED OAK	28	48			28					1.2
002	SHORTLEAFED	40	40			40					1
003	CHINESE TALLOW	38							33		3
004	PECAN	23	25			23					3
005	CHINESE	28	26			28					3.4
006	HACHSBERGIA	27	27			27					1
007	CHINESE WHITELEAF	22						22			1
008	HACHSBERGIA	26						26			1
009	SHORTLEAFED	25							25		NR
010	CHINESE	22	22					22			3
011	PECAN	31	31			31					2.2
012	PECAN	27	27			27					3
013	CHINESE	28	24			28					3
014	PELANDA	29	26			29					3
015	HACHSBERGIA	24	24			24					NR
016	CHINESE	19	19								2
017	CHINESE TALLOW	38			18					28	3
018	CHINESE TALLOW	23								23	3
019	CHINESE TALLOW	25								25	NR
020	CHINESE TALLOW	28								28	NR
021	PECAN	23	23					23			NR
022	CHINESE WHITELEAF	23								23	2
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TOTAL APPENDIX F TREE INCHES SURVEYED:	3,561	
TOTAL APPENDIX F TREE INCHES SAVED:	2,744	77% OF TOTAL INCHES SAVED
TOTAL APPENDIX F TREE INCHES MAY BE REMOVED:	837	23% OF TOTAL INCHES SAVED

Notes:

1. Arborist rating 2 = poor. Trees #3080, 3202, 3207 & 3232 were rated poor by the applicant's arborist and reviewed in the field by City Arborist Michael Embesi.
2. Applicant is committing to save a minimum of 75% of Appendix F (Native) Protected size trees as shown in this table. Trees shown as saved may be removed if a similar size, similar condition tree noted for removal is substituted at Site Plan review.
3. A mitigation rate of 100% shall be required for trees #3080, 3202, 3207 & 3232 (note that mitigation is typically not required for trees in this condition, but a 100% mitigation rate is offered as an element of superiority). A mitigation rate of 300% shall be required for any other Heritage Trees that are removed. All other trees shall be mitigated per the Environmental Criteria Manual.
4. The applicant shall provide a tree care plan for all preserved protected and heritage trees on site. The applicant shall allot a minimum of \$100 toward this plan for each inch of heritage trees removed from the site. This shall be above and beyond any mitigation required for these trees. The tree care plan shall prioritize remediation of construction impacts through air spading, root pruning, deep root fertilizing, and/or other practices as recommended by a certified arborist. Basic watering, mulching, and fencing during construction are assumed to be provided as best practices and would not count toward fulfillment of the tree care plan.
5. For protected and heritage trees identified on the plan as "Signature Grove Trees", cut in the $\frac{1}{4}$ Critical Root Zone (CRZ) shall not exceed 4". This requirement may be administratively reduced to the $\frac{1}{2}$ CRZ if a minimum of 75% of the total area of the full CRZ is preserved and a tree care plan in the amount of \$100 per caliper inch is provided for the tree in question.
 - a. Any cuts within the $\frac{1}{4}$ CRZ of these trees shall be made with an airspade or air knife and hand pruning prior to machine excavation.
 - b. Stormwater pipes to and from the water quality pond shall not be permitted to impact the full CRZ of Heritage Trees in the Signature Grove.
 - c. Where high intensity, hardscape uses are planned around heritage trees located in the signature grove, the use areas should be constructed with decks, sand bridging, or other root bridging constructions to avoid heavy disturbance or compaction of the $\frac{1}{2}$ CRZ of these trees.
6. Full tree mitigation in the form of tree plantings shall be provided within the site plan proposing the tree removal. Under no circumstances will the required tree mitigation be planted on one site plan to address the tree mitigation owed on a different site plan. Payment into the tree fund is not an acceptable form of mitigation for the trees indicated on this Plan. Regardless of maximum entitled impervious cover, applicant may need to reduce impervious cover, increase caliper of proposed trees, or provide other measures as necessary to facilitate full on site tree mitigation planting within a given site plan.

H = Heritage Tree, S = Trees in the Signature Grove (See Note 5)



The Grove at Shoal Creek Tree Survey
June 07, 2016

Sheet 1 of 2

2121 E. 84th Street, Ste 203
Austin, Texas 78702
P 512.900.7888
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www.norris-design.com



EDUCATIONAL IMPACT STATEMENT

Prepared for the City of Austin

Austin Independent
School DistrictPROJECT NAME: The Grove at Shoal Creek (Scenario #1—1,315 total units)ADDRESS/LOCATION: 4205 Bull Creek RoadCASE #: C814-2015-0074☒ NEW SINGLE FAMILY☐ DEMOLITION OF MULTIFAMILY☒ NEW MULTIFAMILY☐ TAX CREDIT# SF UNITS: 395 STUDENTS PER UNIT ASSUMPTION

<i>SF Detached</i>	Elementary School: <u>0.117</u>	Middle School: <u>0.034</u>	High School: <u>0.067</u>
<i>SF Attached (Townhomes)</i>	Elementary School: <u>0.038</u>	Middle School: <u>0.011</u>	High School: <u>0.022</u>

MF UNITS: 920 STUDENTS PER UNIT ASSUMPTION

<i>Apartments</i>	Elementary School: <u>0.124</u>	Middle School: <u>0.035</u>	High School: <u>0.071</u>
<i>MF Attached (Condos)</i>	Elementary School: <u>0.038</u>	Middle School: <u>0.011</u>	High School: <u>0.022</u>

Two scenarios were presented to AISD by the developer for this application. Scenario #1 reflects 1,315 total units (220 students), including a mix of single-family, multifamily, townhouse and condominiums. Scenario #2 reflects 1,515 total units (211 students) including a mix of multifamily, townhouse and condominiums (no single-family detached). Please see attached table for specific information on unit types and students per unit assumptions.

This Educational Impact Statement (EIS) uses Scenario #1 which reports the higher number of estimated students (due to the inclusion of single-family detached).

This EIS was prepared using information presented by the developer on September 10, 2015. As the development parameters are refined, a revised subsequent EIS may be prepared for the Planning Commission. The Planning Commission date is pending.

IMPACT ON SCHOOLS

Because the proposed development is not typical of most residential developments within the district, the staff consulted with the district's demographer, Davis Demographics & Planning to calculate the student yield. Based on an analysis of the information provided by the developer, the number of students per unit from a Planned Unit Development (PUD) with similar residential patterns within the district was used as the basis for estimating the number of students for this proposed project.

The mixed use development with 1,315 residential units is projected to add approximately 220 students across all grade levels to the projected student population. It is estimated that of the 220 students, 118 will be assigned to Bryker Woods Elementary School, 34 to O. Henry Middle School, and 68 at Austin High School.

EDUCATIONAL IMPACT STATEMENT

Prepared for the City of Austin

Austin Independent
School District



The percent of permanent capacity by enrollment for SY 2019-20, including the additional students projected with this development, would be within the target range of 75-115% for all three schools (Bryker Woods at 115%; O. Henry at 109% and Austin at 101%), assuming the mobility rates remain the same.

In the event that enrollment should exceed 115% of permanent capacity at any of the schools, the administration would closely monitor enrollment and possibly discuss intervention strategies with the school community to address overcrowding.

TRANSPORTATION IMPACT

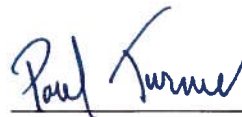
Bryker Woods Elementary School is located within 2 miles of the proposed development; therefore students would not qualify for transportation unless a hazardous route condition was identified. Students within the proposed development attending O. Henry Middle School and Austin High School will qualify for transportation due to the distance from the proposed development to the schools. Due to the relatively high number of students anticipated from the development, one new bus at each secondary school will most likely be needed to accommodate the additional bus riders.

SAFETY IMPACT

There are no known safety impacts at this time.

Date Prepared: 10/05/2015

Director's Signature: _____



EDUCATIONAL IMPACT STATEMENT

Prepared for the City of Austin

Austin Independent
School District



DATA ANALYSIS WORKSHEET

ELEMENTARY SCHOOL: Bryker Woods

RATING: Met Standard

ADDRESS: 3309 Kerbey Lane

PERMANENT CAPACITY: 418

% QUALIFIED FOR FREE/REDUCED LUNCH: 10.18%

MOBILITY RATE: +19.3%

POPULATION (without mobility rate)

ELEMENTARY SCHOOL STUDENTS	2014-15 Population	5- Year Projected Population (without proposed development)	5-Year Projected Population (with proposed development)
Number	331	303	421
% of Permanent Capacity	79%	72%	101%

ENROLLMENT (with mobility rate)

ELEMENTARY SCHOOL STUDENTS	2014-15 Enrollment	5- Year Projected Enrollment* (without proposed development)	5-Year Projected Enrollment* (with proposed development)
Number	395	362	480
% of Permanent Capacity	94%	87%	115%

MIDDLE SCHOOL: O. Henry

RATING: Met Standard

ADDRESS: 2610 West 10th Street

PERMANENT CAPACITY: 945

% QUALIFIED FOR FREE/REDUCED LUNCH: 29.74%

MOBILITY RATE: +2.2%

POPULATION (without mobility rate)

MIDDLE SCHOOL STUDENTS	2014-15 Population	5- Year Projected Population (without proposed development)	5-Year Projected Population (with proposed development)
Number	871	976	1,010
% of Permanent Capacity	92%	103%	107%

ENROLLMENT (with mobility rate)

MIDDLE SCHOOL STUDENTS	2014-15 Enrollment	5- Year Projected Enrollment* (without proposed development)	5-Year Projected Enrollment* (with proposed development)
Number	890	997	1,031
% of Permanent Capacity	94%	106%	109%

EDUCATIONAL IMPACT STATEMENT

Prepared for the City of Austin

Austin Independent
School District



HIGH SCHOOL: Austin	RATING: Met Standard
ADDRESS: 1715 W. Cesar Chavez	PERMANENT CAPACITY: 2,205
% QUALIFIED FOR FREE/REDUCED LUNCH: 28.74%	MOBILITY RATE: +6.4%

POPULATION (without mobility rate)			
HIGH SCHOOL STUDENTS	2014-15 Population	5- Year Projected Population (without proposed development)	5-Year Projected Population (with proposed development)
Number	1,962	2,036	2,104
% of Permanent Capacity	89%	92%	95%

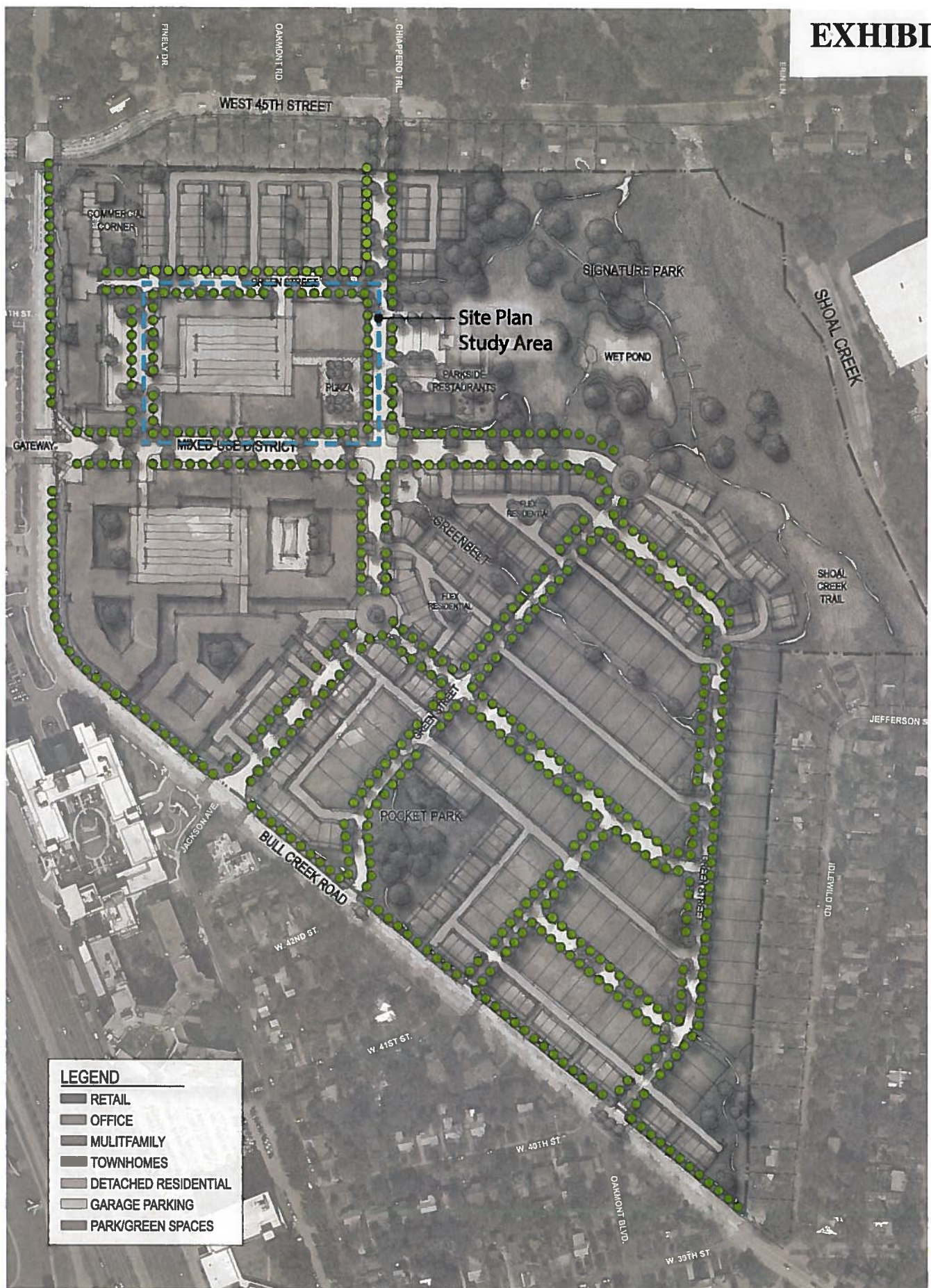
ENROLLMENT (with mobility rate)			
HIGH SCHOOL STUDENTS	2014-15 Enrollment	5- Year Projected Enrollment* (without proposed development)	5-Year Projected Enrollment* (with proposed development)
Number	2,087	2,166	2,234
% of Permanent Capacity	95%	98%	101%

*The 5-Year Projected Enrollment (with and without the proposed development) is an estimate calculated with the assumption that the stated mobility rates (transfers in and out of the school) remain the same over the 5-year period. These estimates are for the sole purpose of the Educational Impact Statement and should not be used for any other purposes.

The Grove at Shoal Creek
C814-2015-0074
Educational Impact Statement Attachment

Scenario 1 1,315 Total Units	Total Students Projected 219.245	ES		MS		HS	
		Student Yield	ES Students	Student Yield	MS Students	Student Yield	HS Students
Market Rate							
110 Single Family (SFD)		0.117	12.87	0.034	3.74	0.067	7.37
600 Apartments (APT)		0.124	74.4	0.035	21	0.071	42.6
140 Condo (MFA)		0.038	5.32	0.011	1.54	0.022	3.08
285 Townhome (SFA)		0.038	10.83	0.011	3.135	0.022	6.27
1,135 Units							
Affordable							
90 Apartments (APT)		0.124	11.16	0.035	3.15	0.071	6.39
90 Condo (MFA)		0.038	3.42	0.011	0.99	0.022	1.98
180 Units			118		33.555		67.69

Scenario 2 1,515 Total Units	Total Students Projected 210.915	ES		MS		HS	
		Student Yield	ES Students	Student Yield	MS Students	Student Yield	HS Students
Market Rate							
560 Apartments (APT)		0.124	69.44	0.035	19.6	0.071	39.76
195 Condo (MFA)		0.038	7.41	0.011	2.145	0.022	4.29
580 Townhome (SFA)		0.038	22.04	0.011	6.38	0.022	12.76
1,335 Units							
Affordable							
90 Apartments (APT)		0.124	11.16	0.035	3.15	0.071	6.39
90 Condo (MFA)		0.038	3.42	0.011	0.99	0.022	1.98
180 Units			113.47		32.265		65.18



Tree Mitigation Example
The Grove at Shoal Creek
March 25, 2016

EXHIBIT L

Tree Mitigation Example
The Grove at Shoal Creek | 3.25.16

Overall Site Mitigation	Inches	Notes
Mitigation Inches Required	1135	
Mitigation Provided by 3" Street Trees	927	1.5" per tree, 618 trees
Mitigation Provided by 4" Street Trees	1545	2.5" per tree, 618 trees

Site Plan Study	Inches	Notes
Mitigation Inches Required	248	
Mitigation Provided by 4" Street Trees	75	
Mitigation Provided by 6" Street Trees	108	Along retail main street
Total Mitigation Provided by Street Trees	183	
Mitigation Req'd via Additional Trees	65	Plaza, parking bumpouts, courtyards, etc. (approx. 16 additional trees)

**MEMORANDUM**

TO: Sherri Sirwaitis, Case Manager
Planning and Zoning Department

CC: Members of the Zoning and Platting Commission
Jeff Howard, McLean & Howard, LLP

FROM: Andrew Linseisen, P.E.
Acting Assistant Director,
Development Services Department

Gordon Derr, P.E.
Assistant Director,
Austin Transportation Department

DATE: July 11, 2016

SUBJECT: Traffic Impact Analysis for Bull Creek Parcel
Zoning Case No. CD – 2015 - 0009

Section 25-6-113 of the Land Development Code requires that a traffic impact analysis be conducted for a project proposed with a zoning application if the project is anticipated to generate more than 2,000 daily trips. The project site of 75.59 acres is located east of Bull Creek Road and south of West 45th Street. The project is proposed to be built in two phases, the first to be completed in 2018, with full build out of Phase 2 in 2024.

The traffic impact analysis was to determine the likely consequences of the site development with respect to the following five components: data collection, trip generation, trip distribution, trip assignment and operational analysis.

A traffic model (using Synchro™ software) was developed to evaluate the intersection levels of service (LOS) and estimate congestion conflicts and queuing related to peak hour traffic accessing the site. Both existing and future conditions were studied.

As shown in the analysis, existing, future and site traffic will combine to support finding need for roadway improvements, including traffic signal improvements to serve future traffic volumes. Detailed analysis of the traffic model and resulting improvements will be continued at the time of site development permit plan review. All traffic operational analysis and resulting design elements are to be reviewed and approved by the Austin Transportation Department as part of the ongoing review

process in coordination with the Development Services Department. This memorandum will summarize the preliminary findings of the TIA and identify the agreed upon necessary mitigation measures. Further analysis at the time of site development permit plan review will result in more detailed elements of the proposed infrastructure improvements.

Summary of Project

The proposed development, called “The Grove at Shoal Creek” will be a mixed-use, urban infill redevelopment to be completed by 2024 and will include residential, retail and office uses. A detailed breakdown of the proposed land uses and intensities is shown in Table 1.

Access will come from five (5) proposed connections to Bull Creek Road, including one (1) public roadway (Jackson Avenue) which will cross the project site and connect to West 45th Street. Operationally, the points of access are as follows:

- Driveway 1 – located approximately 800 feet south of West 45th Street. Outbound left turns onto Bull Creek Road will not be permitted and a second northbound lane will facilitate outbound right turns when Phase 2 is complete.
- Driveway 2/Jackson Avenue – located across from Jackson Avenue and will be a public street, offering thru connection to West 45th Street (built as part of Phase 2).
- Driveway 3 – located across from 41st Street on Bull Creek Road.
- Driveway 4 – located across from 40th Street on Bull Creek, restricted to right in/right out operation only.
- Driveway 5 – located across from 42nd Street on Bull Creek.

Additional Analysis – Access to 45th Street

Vehicular access to West 45th Street was included in the TIA (as an extension of Jackson Avenue). The extension of Jackson Avenue is proposed to operate as a right-in/right-out connection. The analysis assigns 150 of the estimated 279 right turning site traffic vehicles from the intersection of Bull Creek Road/West 45th Street to the eastern connection, assuming they will travel through the intersection and use the new access point. The analysis also assumes that 100 of the estimated 151 right turning site traffic vehicles from northbound Bull Creek to eastbound 45th will exit the new access point. Additional detailed analysis of the crossing traffic from Bull Creek Road (or West 35th Street & Jackson Avenue) has not been included in this memorandum.

Surrounding network of roadways

MoPac is currently a major six lane divided freeway in the vicinity of the site with a posted speed limit of sixty-five miles per hour (65 MPH). The frontage roads offer connection to West 35th and West 45th Street respectively.

West 45th Street is a four lane undivided minor arterial roadway in the vicinity of the site with a posted speed limit of thirty-five miles per hour (35 MPH). There is sidewalk along the north side of West 45th Street in the vicinity of the site.

Bull Creek Road is a two lane undivided collector roadway with a posted speed limit of thirty-five miles per hour (35 MPH). There are bicycle lanes and sidewalk along both sides of the roadway in the vicinity of the site.

Jackson Avenue is a two lane undivided collector roadway with a posted speed limit of thirty miles per hour (30 MPH). Sidewalk is installed along the west side of the roadway.

Shoal Creek Boulevard is a two lane undivided roadway in the vicinity of the site. The posted speed limit is thirty miles per hour (30 MPH). Sidewalk is installed along both sides of the roadway.

Jefferson Street is a two lane divided roadway with a continuous center left turn lane between Bull Creek Road and West 35th Street. The posted speed limit is 30 MPH.

West 35th Street is a four lane undivided major arterial roadway with a posted speed limit of thirty-five miles per hour (35 MPH).

Trip Generation and Traffic Analysis

The proposed development will be mixed use, and include up to 110 single family dwelling units, 600 apartments, 425 condominium/townhouse units, 600 congregate care units, 25,000 SF of medical office, 200,000 SF of general office space, 55,000 SF of retail (shopping center) and 35,000 SF of supermarket land uses, plus pharmacy, bank, and other retail and commercial land uses. According to the 9th Edition of the ITE Trip Generation Manual, the total number of estimated daily trips (unadjusted) for this development is 23,969. A detailed table of the proposed land uses and intensities is presented in Table 1 below:

Table 1 provides the estimated daily trip generation rates for the proposed development.

Table 1 – Unadjusted Trip Generation		
Land Use	Size	Estimated Daily Trips
Single Family (210)	110 du	1146
Apartment (220)	600 du	3760
Residential Condo (230)	425 du	2265
Congregate Care (253)	600 du	1212
Health/Fitness Club (492)	7500 SF	247
General Office (710)	200,000 SF	2223
Medical Office (720)	25,000 SF	807
Specialty Retail (826)	55,000 SF	2438
Supermarket (850)	35,000 SF	3578
Pharmacy/Drugstore w/o DT (880)	8,500 SF	766
Walk-in Bank (911)	3,000 SF	364
Drinking Place (925)	8,000 SF	907
Quality Restaurant (931)	15,000 SF	1349
High Turnover Restaurant (932)	9,000	1144
Coffee/Donut shop w/o DT (936)	2,000 SF	1762
Totals		23,969

The scoping document allowed for the following trip reduction credits: Internal Capture: 10% for PM peak for office, residential, shopping center and supermarket land uses only, with a 5% AM peak reduction for Coffee shop. In addition, a transit reduction of 5% was allowed, with the understanding that negotiations with CapMetro are necessary to facilitate access to the site.

Current Capital Metro bus service (Routes #491 and #19) along Bull Creek Road is infrequent. Route #491 is run hourly three days a week during non-peak hours: Route #19 is run daily (every 35 to 40 minutes in each direction). To support the 5% transit reduction, approximately 73 trips during the AM Peak and approximately 102 trips during the PM Peak would use transit. Maintaining the current 35-40 minute headways offers transit access between four and five buses per peak hour (counting both directions). The TIA estimates future ridership demand (of approximately 20 to 26 riders per bus) would be met by current service levels, subject to CapMetro's assessment after build out. In addition, the applicant was granted the following trip reduction credits for non-motorized travel modes:

Table 2 – Non-motorized trip credits by land use		
Land Use	AM reduction	PM reduction
Office (ITE code 710)	4 %	4 %
Shopping Center/Retail (ITE codes 826/880)	3 %	3 %
Restaurant (ITE codes 925/931/932/936)	3 %	3 %

Staff also agreed that for certain identified land uses, additional trip reduction percentages would apply:

Table 3 – Pass by reduction rates (by land use)		
Land Use	AM reduction	PM reduction
Shopping Center (ITE codes 826)	0 %	34 %
Supermarket (ITE code 850)	0 %	36 %
Pharmacy w/o Drive-thru (ITE code 880)	0 %	34 %
Restaurant (ITE codes 925/931/932)	0 %	20%/34%/34%
Coffee shop w/o Drive-thru (ITE code 936)	20 %	34 %

As a result, the overall estimated daily trips are reduced from 23,969 to 19,442 daily trips as shown in Table 4 below.

Table 4 – Trip Generation (Adjusted)		
Land Use	Size	Adjusted Estimated Daily Trips
Single Family (210)	110 du	1032
Apartment (220)	600 du	3384
Residential Condo (230)	425 du	2038
Congregate Care (253)	600 du	1151
Health/Fitness Club (492)	7500 SF	235
General Office (710)	200,000 SF	1912
Medical Office (720)	25,000 SF	727
Specialty Retail (826)	55,000 SF	1706
Supermarket (850)	35,000 SF	2576
Pharmacy/Drugstore w/o DT (880)	8,500 SF	574
Walk-in Bank (911)	3,000 SF	355
Drinking Place (925)	8,000 SF	780
Quality Restaurant (932)	15,000 SF	1012
High Turnover Restaurant (932)	9,000	858
Coffee/Donut shop w/o DT (936)	2,000 SF	1101
Total adjusted daily trips		19,442

Due to the nature of the surrounding roadway network, and in combination with the proposed mix of land uses, the distribution of site related traffic was developed assuming approximately 50% of the site traffic will come from Mo-Pac. The other access routes are shown in Table 5, and were used to assign site traffic within the TIA analysis:

Table 5 – Trip Distribution		
Street Name	AM	PM
Mo-Pac/45 th Street (from the north)	20%	18%
Mo-Pac (from the south)	21%	17%
Mo-Pac/35 th Street (from the south)	12%	13%
Bull Creek Road (from the north)	4%	5%
Shoal Creek Blvd (from the north)	4%	6%
45 th Street (from the east)	17%	16%
35 th Street (from the west)	7%	9%
Jefferson Street (from the south)	5%	6%
Bull Creek Road (from the south)	10%	10%
Totals	100%	100%

Turning movement count data was collected at the following locations and times:

Table 6 – Peak Hour Turning Movement Traffic Counts	
Location	Date
Mo-Pac southbound frontage road & West 45 th Street	December 10, 2014
Mo-Pac northbound frontage road & West 45 th Street	December 10, 2014
West 45 th Street & Bull Creek Road	December 10, 2014
West 45 th Street & Shoal Creek Blvd	December 10, 2014
Mo-Pac/Jackson Street & West 35 th Street	December 10, 2014
Jefferson Street & Bull Creek Road	December 10, 2014
West 35 th Street & Jefferson Street	December 10, 2014
Bull Creek Road & Jackson Avenue	January 22, 2015
Mo-Pac southbound frontage & West 45 th Street/Highland Terrace	March 24, 2015

In addition, 24 hour daily volume traffic counts were conducted on the following streets:

Table 7 – 24 hour travel count data for residential streets	
Jackson Avenue	Week of March 24, 2015
Oakmont Street	Week of March 24, 2015
West 39 th Street	Week of March 24, 2015
West 40 th Street	Week of March 24, 2015
West 41 st Street	Week of March 24, 2015
West 42 nd Street	Week of March 24, 2015
West 44 th Street	Week of March 24, 2015
Lawton Avenue	Week of September 29, 2015

No background developments were identified and an annual growth rate of 1% was applied as determined from historic traffic volume data provided by TxDOT. The intersections identified for analysis were evaluated using the Highway Capacity Manual (HCM) method for capacity analysis. The results of the analysis are shown in the following tables:

- Table 8 – 2014 Existing Conditions
- Table 9 – 2018 No Build Conditions (no development)
- Table 10 – 2018 Build Conditions (Phase 1 of development)
- Table 11 – 2024 No Build Conditions (no development)
- Table 12 – 2024 Build Conditions (Phases 1 & 2 of development)

Analysis methodology and results

Operational analyses were performed for each intersection (AM and PM peak hour), to identify the capacity and congestion anticipated. The procedure follows the methodology set forth in the 5th Edition of the Transportation Research Board of the Highway Capacity Manual (HCM) 2010. All of the various scenarios, including existing and proposed conditions for this study area were analyzed using this methodology, which determines the intersection delay as the average control delay per vehicle for the signalized intersection. LOS refers to the perception by motorists of the

TABLE 8

ANALYSIS RESULTS FOR 2014 EXISTING CONDITIONS

Intersection	Traffic Control Type	2014 EXISTING CONDITION											
		AM Peak Hour ²						PM Peak Hour ³					
		MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C
MoPac SBFR at 45 th	Signal	25.5	C					17.2	B				
Westbound left		42.1	D	517	635	315	0.84	19.9	B	228	176	315	0.49
Southbound left		20.5	C	115	153	N/A	0.3	23.1	C	200	253	N/A	0.47
Southbound right		3.1	A	0	47	N/A	0.32	7.1	A	39	102	N/A	0.39
MoPac NBFR at 45 th	Signal	42.2	D					41.0	D				
Eastbound left		23.1	C	8	15	340	0.1	29.8	C	60	61	340	0.67
Eastbound through		33	C	58	62	340	0.71	26.3	C	64	58	340	0.68
Westbound		4.1	A	22	22	N/A	0.57	14.1	B	151	523	N/A	0.71
Northbound		118.9	F	367	591	900	1.16	171.9	F	300	489	900	1.23
Southbound left		47	D	1	6	N/A	0.02	52.0	D	1	10	N/A	0.03
Southbound right		1.8	A	0	0	N/A	1.8	0.4	A	0	0	N/A	0.05
Bull Creek at 45th	Signal	67.9	E					68.2	E				
Eastbound		35.2	D	192	205	480	0.79	89.5	F	267	334	480	1.00
Westbound		107	F	391	522	N/A	1.1	48.8	D	308	390	N/A	0.83
Northbound left		46	D	72	123	130	0.58	78.5	E	323	523	130	0.96
Northbound through/right		36.6	D	69	131	N/A	0.33	60.6	E	277	447	N/A	0.86
Southbound left		33.1	C	14	191	130	0.08	51.0	D	14	39	130	0.12
Southbound through/right		88.5	F	36	358	N/A	0.94	77.0	E	99	207	N/A	0.81
MoPac NBFR at 35th/Jackson	Signal	280.3	F					65.7	E				
Eastbound left/through		37.2	D	335	411	N/A	0.68	78.0	E	323	429	N/A	0.92
Eastbound right		4.9	A	0	43	N/A	0.2	9.8	A	3	90	N/A	0.56
Westbound		49.6	D	426	554	N/A	0.94	35.8	D	774	813	N/A	0.83
Northbound		813.3	F	1355	1614	1050	2.75	255.1	F	370	569	1050	1.44
Southbound left		49.5	D	9	30	80	0.18	76.8	E	25	63	80	0.42
Southbound through/right		12.9	B	13	68	N/A	0.3	39.8	D	110	201	N/A	0.59
Bull Creek at Jefferson	Signal	9.6	A					17.8	B				
Eastbound left/through		8.8	A	8	16	N/A	0.1	15.0	B	15	41	N/A	0.10
Eastbound right		3.2	A	0	26	130	0.14	4.3	A	0	36	130	0.28
Westbound		8.3	A	6	37	N/A	0.08	18.3	B	74	150	N/A	0.45
Northbound left		18.5	B	8	33	130	0.17	27.4	C	83	155	130	0.67
Northbound through/right		12	B	6	37	N/A	0.27	11.8	B	8	31	N/A	0.13
Southbound left		17.5	B	2	15	100	0.05	20.7	C	3	14	100	0.04
Southbound through/right		17.7	B	7	32	N/A	0.16	20.0	B	24	61	N/A	0.40

TABLE 8

ANALYSIS RESULTS FOR 2014 EXISTING CONDITIONS

Intersection	Traffic Control Type	2014 EXISTING CONDITION										
		AM Peak Hour ²					PM Peak Hour ³					
		MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length
35 th at Jefferson	Signal	14.9	B	3	22	180	0.27	25.6	C	2	6	180
Eastbound left		11.1	B	3	22	180	0.27	5.7	A	2	6	180
Eastbound through/right		6.2	A	20	195	N/A	0.45	3.7	A	13	52	N/A
Westbound left		11.6	B	29	55	110	0.27	18.3	B	58	95	110
Westbound through/right		15.5	B	393	500	N/A	0.62	25.4	C	510	605	N/A
Northbound left		44.1	D	35	71	215	0.21	44.9	D	83	139	215
Northbound through		66.5	E	44	85	N/A	0.41	84.1	F	219	341	N/A
Northbound right		9	A	0	39	215	0.28	7.4	A	0	61	215
Southbound left		57.4	E	86	129	150	0.5	55.3	E	108	173	150
Southbound through		55.8	E	10	30	N/A	0.09	60.5	E	110	180	N/A
Southbound right		0.4	A	0	0	160	0.06	7.2	A	2	44	160
Bull Creek at Jackson	Two-Way Stop	0.7	A					6.9	A			
Eastbound	Stop	11.3	B	N/A	0.2	N/A	0.051	29.2	D	N/A	4.1	N/A
Northbound left	Free	8.2	A	N/A	0	N/A	0.002	7.6	A	N/A	0.0	N/A
45 th /Highland Terrace at MoPac Ramp	Two-Way Stop	8.6	A					126.8	F			
Eastbound	Stop	0	A	N/A	0	50	0	10.7	B	N/A	1.5	50
Westbound left	Stop	17.6	C	N/A	3.9	1200	0.591	230.8	F	N/A	36.0	1200
Westbound right	Stop	8.5	A	N/A	0	175	0.004	8.8	A	N/A	0.2	175
Shoal Creek at 45th	All-Way Stop	52.3	F					55.8	F			
Eastbound inside lane	Stop	41.8	E	N/A	7.9	N/A	0.306	38.9	E	N/A	6.6	N/A
Eastbound outside lane	Stop	47.4	E	N/A	8.9	N/A	0.067	37.3	E	N/A	6.4	N/A
Westbound inside lane	Stop	61.9	F	N/A	11	N/A	0.828	77.5	F	N/A	11.9	N/A
Westbound outside lane	Stop	49.3	E	N/A	9.3	N/A	0.869	76.8	F	N/A	12.0	N/A
Northbound left/through	Stop	17.4	C	N/A	1.3	N/A	0.944	64.2	F	N/A	10.1	N/A
Northbound right	Stop	12.7	B	N/A	0.2	100	0.878	13.8	B	N/A	0.7	100
Southbound left/through	Stop	76.9	F	N/A	12	N/A	1.041	39.2	E	N/A	6.2	N/A
Southbound right	Stop	12.6	B	N/A	0.5	100	0.146	13.2	B	N/A	0.4	100

1. MOE is seconds delay per vehicle.

2. 7:30 AM – 8:30 AM

3. 4:30 PM – 5:30 PM

4. 95th Queue for signalized intersection measured in feet and for non-signalized intersection measured in vehicles

TABLE 9
ANALYSIS RESULTS FOR 2018 NO BUILD CONDITIONS

2018 NO BUILD CONDITIONS													
Intersection	Traffic Control Type	AM Peak Hour ²					PM Peak Hour ³						
		MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C
MoPac SBFR at 45 th	Signal	20.3	C					13.9	B				
Westbound left		39.2	D	502	707	315	0.88	20.3	C	216	200	315	0.51
Southbound left		9.2	A	53	67	N/A	0.31	16.9	B	127	190	N/A	0.49
Southbound right		1	A	0	0	N/A	0.33	4.7	A	8	75	N/A	0.40
MoPac NBFR at 45 th	Signal	13.6	B					27.7	C				
Eastbound left		24.1	C	8	17	340	0.1	43.6	D	99	85	340	0.67
Eastbound through		32.9	C	58	72	340	0.71	40.8	D	104	80	340	0.68
Westbound		4.8	A	23	23	N/A	0.6	16.8	B	486	543	N/A	0.86
Northbound left/through		44.3	D	54	101	900	0.25	63.1	E	131	220	900	0.68
Northbound right		10.4	B	0	108	550	0.73	11.2	B	0	64	550	0.47
Southbound left		46	D	1	6	N/A	0.01	52.0	D	1	10	N/A	0.03
Southbound right		1.9	A	0	0	N/A	0.26	0.4	A	0	0	N/A	0.06
Bull Creek at 45th	Signal	79.3	E					73.7	E				
Eastbound		48	D	315	397	480	0.83	96.6	F	288	414	480	1.04
Westbound		122.5	F	420	552	N/A	1.15	55.4	E	325	435	N/A	0.88
Northbound left		47.6	D	74	128	130	0.61	83.2	F	342	556	130	0.98
Northbound through/right		37	D	73	137	N/A	0.34	63.0	E	294	478	N/A	0.88
Southbound left		33.1	C	14	37	130	0.09	51.1	D	15	41	130	0.12
Southbound through/right		92.3	F	200	376	N/A	0.96	80.5	F	104	218	N/A	0.83
MoPac NBFR at 35th/Jackson	Signal	52.9	D					42.2	D				
Eastbound left/through		38.1	D	354	433	N/A	0.71	80.9	F	338	458	N/A	0.94
Eastbound right		5.2	A	2	45	N/A	0.21	11.1	B	13	106	N/A	0.58
Westbound		55.1	E	451	583	N/A	0.98	33.5	C	804	858	N/A	0.86
Northbound left/through		140	F	270	450	1050	1.12	85.1	F	103	203	1050	0.72
Northbound right		52.6	D	267	537	700	1.01	10.1	B	0	75	700	0.48
Southbound left		45.2	D	9	29	80	0.12	55.0	E	24	57	80	0.15
Southbound through/right		13	B	14	69	N/A	0.31	41.7	D	120	214	N/A	0.61
Bull Creek at Jefferson	Signal	11.5	B					18.3	B				
Eastbound left/through		10.5	B	18	50	N/A	0.12	15.3	B	16	42	N/A	0.11
Eastbound right		7.8	A	0	36	130	0.38	5.6	A	0	38	130	0.38
Westbound		9.7	A	13	40	N/A	0.09	19.4	B	83	157	N/A	0.49
Northbound left		18.7	B	11	34	130	0.17	27.0	C	87	163	130	0.67
Northbound through/right		12.1	B	8	37	N/A	0.27	11.8	B	8	32	N/A	0.13
Southbound left		18.4	B	3	15	100	0.05	20.8	C	3	14	100	0.04
Southbound through/right		18.5	B	10	34	N/A	0.17	20.2	C	26	63	N/A	0.40

TABLE 9
ANALYSIS RESULTS FOR 2018 NO BUILD CONDITIONS

Intersection	Traffic Control Type	2018 NO BUILD CONDITIONS										
		AM Peak Hour ²					PM Peak Hour ³					
		MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length
35 th at Jefferson	Signal	15.7	B					27.1	C			
Eastbound left		12.6	B	7	19	180	0.29	12.9	B	13	18	180
Eastbound through/right		6.7	A	74	232	N/A	0.47	5.8	A	88	124	N/A
Westbound left		12.1	B	31	57	110	0.29	19.2	B	98	58	110
Westbound through/right		16.5	B	431	536	N/A	0.65	27.1	C	637	969	N/A
Northbound left		44.5	D	36	74	215	0.21	44.5	D	145	83	215
Northbound through		66.7	E	45	88	N/A	0.42	84.6	F	365	204	N/A
Northbound right		9.6	A	0	44	215	0.29	7.4	A	62	17	215
Southbound left		58.6	E	90	136	150	0.52	56.3	E	186	108	150
Southbound through		55.5	E	10	30	N/A	0.09	60.1	E	190	108	N/A
Southbound right		0.4	A	0	0	160	0.06	9.0	A	52	19	160
Bull Creek at Jackson	Two-Way Stop	0.7	A					8.0	A			
Eastbound	Stop	11.5	B	N/A	0.2	N/A	0.054	33.6	D	N/A	4.8	N/A
Northbound left	Free	8.2	A	N/A	0.0	N/A	0.002	7.6	A	N/A	0.0	N/A
45 th /Highland Terrace at MoPac Ramp	Signal	27.9	C					19.0	B			
Eastbound		0.0	A	0	0	50	0	1.8	A	4	29	50
Westbound left		51.1	D	156	196	1200	0.72	26.2	C	232	197	1200
Westbound right		0.0	A	0	1	175	0.01	1.8	A	0	13	175
Northbound left		0.0	A	0	0	130	0	23.5	C	1	7	130
Northbound		4.0	A	6	13	N/A	0.04	17.8	B	15	47	N/A
Southbound		6.5	A	41	72	N/A	0.14	29.0	C	38	80	N/A
Shoal Creek at 45th	All-Way Stop	57.2	F					60.6	F			
Eastbound inside lane	Stop	46.3	E	N/A	8.6	N/A	0.863	45.3	E	N/A	7.5	N/A
Eastbound outside lane	Stop	53.4	F	N/A	9.8	N/A	0.911	42.4	E	N/A	7.2	N/A
Westbound inside lane	Stop	71.0	F	N/A	12.1	N/A	0.99	78.5	F	N/A	11.8	N/A
Westbound outside lane	Stop	55.8	F	N/A	10.2	N/A	0.925	77.8	F	N/A	11.9	N/A
Northbound left/through	Stop	17.8	C	N/A	1.4	N/A	0.32	77.6	F	N/A	11.5	N/A
Northbound right	Stop	12.8	B	N/A	0.2	100	0.07	14.1	B	N/A	0.8	100
Southbound left/through	Stop	77.6	F	N/A	11.9	N/A	1.098	44.8	E	N/A	7.0	N/A
Southbound right	Stop	12.9	B	N/A	0.5	100	0.155	13.5	B	N/A	0.4	100

1. MOE is seconds delay per vehicle.

2. 7:30 AM – 8:30 AM

3. 4:30 PM – 5:30 PM

4. 95th Queue for signalized intersection measured in feet and for non-signalized intersection measured in vehicles

TABLE 10
ANALYSIS RESULTS FOR 2018 BUILD CONDITIONS

2018 BUILD CONDITIONS													
Intersection	Traffic Control Type	AM Peak Hour ²					PM Peak Hour ³						
		MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C
MoPac SBFR at 45 th	Signal	25.7	C					14.4	B				
Westbound left		50.6	D	494	770	315	0.92	20.3	C	214	198	315	0.51
Southbound left		9.1	A	52	66	N/A	0.31	17.6	B	138	204	N/A	0.51
Southbound right		1.0	A	0	0	N/A	0.33	5.3	A	10	84	N/A	0.40
MoPac NBFR at 45 th	Signal	15.2	B					28.5	C				
Eastbound left		24.7	C	8	17	340	0.1	40.3	D	94	79	340	0.65
Eastbound through		33.1	C	58	72	340	0.71	39.6	D	105	79	340	0.70
Westbound		8.6	A	57	73	N/A	0.64	19.9	B	290	332	N/A	0.87
Northbound left/through		44.3	D	54	101	900	0.25	63.1	E	131	220	900	0.68
Northbound right		10.3	B	0	107	550	0.73	11.2	B	0	69	550	0.51
Southbound left		46.0	D	1	6	N/A	0.01	52.0	D	1	10	N/A	0.03
Southbound right		1.9	A	0	0	N/A	0.26	0.4	A	0	0	N/A	0.06
Bull Creek at 45th	Signal	61.5	E					58.7	E				
Eastbound		31.1	C	180	478	480	0.9	85.3	F	323	452	480	1.09
Westbound		92.2	F	390	521	N/A	1.06	42.6	F	325	469	N/A	0.78
Northbound dual lefts		59.7	E	76	115	400	0.6	55.3	E	170	217	400	0.75
Northbound through/right		38.0	D	101	168	N/A	0.46	49.3	D	258	450	N/A	0.78
Southbound left		46.5	D	17	44	130	0.11	48.5	D	15	40	130	0.13
Southbound through/right		90.0	F	199	385	N/A	0.95	63.5	E	108	196	N/A	0.73
MoPac NBFR at 35th/Jackson	Signal	54	D					42.9	D				
Eastbound left/through		39.2	D	357	437	N/A	0.72	78.9	E	346	465	N/A	0.93
Eastbound right		5.5	A	2	46	N/A	0.22	11.5	B	18	112	N/A	0.57
Westbound		55.3	E	451	583	N/A	0.98	35.4	D	831	860	N/A	0.90
Northbound left/through		166.3	F	280	458	1050	1.20	81.4	F	126	231	1050	0.74
Northbound right		48.4	D	246	528	700	1.00	9.6	A	0	74	700	0.46
Southbound left		43.8	D	9	29	80	0.11	53.6	D	24	56	80	0.15
Southbound through/right		11.6	B	14	47	N/A	0.36	38.8	D	118	212	N/A	0.58
Bull Creek at Jefferson	Signal	11.4	B					18.6	B				
Eastbound left/through		10.6	B	21	57	N/A	0.13	16.0	B	17	45	N/A	0.12
Eastbound right		7.8	A	0	36	130	0.40	5.3	A	0	38	130	0.37
Westbound		9.7	A	12	39	N/A	0.09	21.4	C	89	173	N/A	0.55
Northbound left		18.6	B	11	33	130	0.16	25.9	C	89	165	130	0.66
Northbound through/right		12.0	B	8	37	N/A	0.27	11.3	B	8	31	N/A	0.13
Southbound left		18.4	B	3	15	100	0.05	20.7	C	3	14	100	0.04
Southbound through/right		18.5	B	10	34	N/A	0.17	20.0	B	25	63	N/A	0.39

TABLE 10

ANALYSIS RESULTS FOR 2018 BUILD CONDITIONS

Intersection	Traffic Control Type	2018 BUILD CONDITIONS											
		AM Peak Hour ³						PM Peak Hour ³					
		MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C
35 th at Jefferson	Signal	15.5	B	7	18	180	0.28	27.6	C	8	14	180	0.31
Eastbound left		11.9	B	65	219	N/A	0.46	13.2	B	54	89	N/A	0.40
Eastbound through/right		6.6	A	30	57	110	0.29	5.7	A	65	98	110	0.38
Westbound left		12.0	B	417	537	N/A	0.67	19.4	B	575	637	N/A	0.73
Westbound through/right		16.3	B	36	74	215	0.23	27.4	C	84	145	215	0.37
Northbound left		45.1	D	44	87	N/A	0.42	44.2	D	237	389	N/A	0.85
Northbound through		66.5	E	0	44	215	0.29	86.8	F	0	62	215	0.35
Northbound right		9.6	A	80	136	150	0.48	7.4	A	110	192	150	0.66
Southbound left		54.4	D	17	45	N/A	0.14	56.5	E	114	190	N/A	0.42
Southbound through		55.9	E	0	0	160	0.05	59.6	E	8	52	160	0.27
Southbound right		0.4	A	0	0			9.0	A				
Bull Creek at Jackson	Two-Way Stop	0.6	A					5.3	A				
Eastbound	Stop	12.8	B	N/A	0.2	N/A	0.064	25.3	D	N/A	3.7	N/A	0.591
Westbound left	Free	8.3	A	N/A	0.0	N/A	0.002	7.9	A	N/A	0.0	N/A	0.003
Northbound left													
45 th /Highland Terrace at MoPac Ramp	Signal	28.0	C					18.4	B				
Eastbound		0.0	A	0	0	50	0	1.7	A	4	26	50	0.33
Westbound left		51.4	D	155	195	1200	0.73	24.3	C	230	187	1200	0.76
Westbound right		0.0	A	0	1	175	0.01	1.6	A	0	12	175	0.07
Northbound left		0.0	A	0	0	130	0	27.5	C	1	7	130	0.00
Northbound		7.4	A	11	24	N/A	0.04	22.1	C	20	51	N/A	0.09
Southbound		6.4	A	40	71	N/A	0.14	30.9	C	41	84	N/A	0.12
Sheal Creek at 45th	All-Way Stop	60.0	F					61.3	F				
Eastbound inside lane	Stop	55.9	F	N/A	10.1	N/A	0.917	46.8	E	N/A	7.8	N/A	0.834
Eastbound outside lane	Stop	60.7	F	N/A	10.9	N/A	0.944	43.4	E	N/A	7.3	N/A	0.815
Westbound inside lane	Stop	70.6	F	N/A	12.1	N/A	0.981	78.7	F	N/A	11.8	N/A	1.123
Westbound outside lane	Stop	55.6	F	N/A	10.2	N/A	0.916	78.0	F	N/A	11.9	N/A	1.204
Northbound left/through	Stop	17.9	C	N/A	1.4	N/A	0.321	79.1	F	N/A	11.7	N/A	0.989
Northbound right	Stop	12.9	B	N/A	0.2	100	0.071	14.2	B	N/A	0.8	100	0.210
Southbound left/through	Stop	77.9	F	N/A	11.9	N/A	1.113	45.2	E	N/A	7.0	N/A	0.808
Southbound right	Stop	12.9	B	N/A	0.5	100	0.151	13.8	B	N/A	0.5	100	0.154
Bull Creek at Driveway 3	Two-Way Stop	4.1	A					4.6	A				
Eastbound	Stop	11.1	B	N/A	0.0	N/A	0.015	31.3	D	N/A	1.0	N/A	0.264
Westbound left/throughs	Stop	12.8	B	N/A	0.4	N/A	0.124	29.8	D	N/A	0.8	N/A	0.213
Westbound rights	Stop	9.4	A	N/A	0.5	N/A	0.136	13.2	B	N/A	0.4	N/A	0.127
Southbound lefts	Free	7.5	A	N/A	0.1	N/A	0.021	9.3	A	N/A	0.4	N/A	0.128
Northbound lefts	Free	7.7	A	N/A	0.0	N/A	0.003	7.5	A	N/A	0.0	N/A	0.007

1. MOE is seconds delay per vehicle.

2. 7:30 AM - 8:30 AM

3. 4:30 PM - 5:30 PM

4. 95th Queue for signalized intersection measured in feet and for non-signalized intersection measured in vehicles

TABLE 11
ANALYSIS RESULTS FOR 2024 NO BUILD CONDITIONS

Intersection	Traffic Control Type	2024 NO BUILD CONDITIONS											
		AM Peak Hour ²						PM Peak Hour ³					
		MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C
MoPac SBFR at 45 th	Signal	27.6	C					13.5	B				
Westbound left		56	E	538	782	315	0.93	20.2	C	209	182	315	0.54
Southbound left		9.3	A	56	71	N/A	0.33	18.2	B	149	212	N/A	0.52
Southbound right		0.3	A	0	0	N/A	0.20	0.3	A	0	0	N/A	0.23
MoPac NBFR at 45 th	Signal	14.2	B					30.5	C				
Eastbound left		24	C	8	18	340	0.10	39.8	D	96	78	340	0.68
Eastbound through		32.8	C	63	77	340	0.73	37.2	D	101	74	340	0.69
Westbound		5.8	A	41	23	N/A	0.65	24.0	C	533	554	N/A	0.94
Northbound left/through		44.5	D	56	105	900	0.26	66.0	E	140	241	900	0.72
Northbound right		10.7	B	0	114	550	0.75	11.1	B	0	65	550	0.48
Southbound left		46	D	1	6	N/A	0.01	52.0	D	1	10	N/A	0.03
Southbound right		2.3	A	0	3	N/A	0.27	0.4	A	0	0	N/A	0.06
Bull Creek at 45th	Signal	92.3	F					95.7	F				
Eastbound		51.7	D	345	427	480	0.88	114.3	F	323	449	480	1.10
Westbound		148.7	F	466	600	N/A	1.22	93.1	F	352	480	N/A	0.93
Northbound left		51.6	D	80	141	130	0.66	99.3	F	395	601	130	1.05
Northbound through/right		37.8	D	78	145	N/A	0.35	72.9	E	318	522	N/A	0.94
Southbound left		33.2	C	15	38	130	0.09	51.2	D	16	43	130	0.13
Southbound through/right		107.6	F	229	408	N/A	1.03	86.9	F	113	240	N/A	0.87
MoPac NBFR at 35th/Jackson	Signal	66.1	E					45.8	D				
Eastbound left/through		39.7	D	384	467	N/A	0.75	92.8	F	365	504	N/A	1.00
Eastbound right		6	A	6	52	N/A	0.23	13.5	B	29	132	N/A	0.61
Westbound		69.4	E	520	644	N/A	1.04	33.3	C	901	950	N/A	0.92
Northbound left/through		177.8	F	309	491	1050	1.23	106.8	F	114	236	1050	0.86
Northbound right		74.7	E	378	627	700	1.08	10.1	B	0	77	700	0.50
Southbound left		46.8	D	10	30	80	0.15	55.5	E	26	59	80	0.16
Southbound through/right		13	B	15	72	N/A	0.33	44.3	D	132	230	N/A	0.65
Bull Creek at Jefferson	Signal	11.6	B					19.0	B				
Eastbound left/through		10.6	B	19	53	N/A	0.12	16.0	B	18	45	N/A	0.14
Eastbound right		7.8	A	0	37	130	0.39	4.9	A	0	38	130	0.36
Westbound		9.8	A	14	43	N/A	0.10	24.0	C	89	170	N/A	0.65
Northbound left		18.7	B	12	35	130	0.17	25.5	C	87	179	130	0.64
Northbound through/right		12	B	8	38	N/A	0.28	11.7	B	8	34	N/A	0.13
Southbound left		18.5	B	3	16	100	0.05	20.5	C	4	15	100	0.04
Southbound through/right		18.6	B	11	36	N/A	0.17	19.3	B	26	67	N/A	0.38

TABLE 11
ANALYSIS RESULTS FOR 2024 NO BUILD CONDITIONS

Intersection	Traffic Control Type	2024 NO BUILD CONDITIONS											
		AM Peak Hour ²						PM Peak Hour ³					
		MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	50th Queue	95th Queue ⁴	Bay Length	V/C
35 th at Jefferson	Signal	16.4	B					29.0	C				
Eastbound left		18.2	B	10	19	180	0.35	18.0	B	11	21	180	0.35
Eastbound through/right		7.3	A	117	234	N/A	0.49	5.3	A	74	88	N/A	0.42
Westbound left		12.2	B	34	53	110	0.33	20.0	B	71	104	110	0.43
Westbound through/right		16.9	B	494	523	N/A	0.69	29.0	C	657	705	N/A	0.78
Northbound left		45.4	D	38	78	215	0.23	45.9	D	89	154	215	0.41
Northbound through		66.9	E	48	93	N/A	0.44	89.4	F	240	395	N/A	0.87
Northbound right		10.1	B	0	48	215	0.30	11.2	B	19	90	215	0.38
Southbound left		61.8	E	95	145	150	0.57	63.1	E	116	208	150	0.73
Southbound through		55.8	E	11	32	N/A	0.10	61.2	E	119	198	N/A	0.45
Southbound right		0.4	A	0	0	160	0.06	12.5	B	20	68	160	0.30
Bull Creek at Jackson	Two-Way Stop	0.7	A					10.2	B				
Eastbound	Stop	11.7	B	N/A	0.2	N/A	0.059	43.2	E	N/A	6.2	N/A	0.769
Northbound left	Free	8.3	A	N/A	0.0	N/A	0.002	7.6	A	N/A	0.0	N/A	0.002
45 th /Highland Terrace at MoPac Ramp	Signal	27.8	C					17.3	B				
Eastbound		0.0	A	0	0	50	0.00	1.5	A	4	26	50	0.33
Westbound left		50.1	D	166	205	1200	0.73	22.1	C	224	189	1200	0.75
Westbound right		0.0	A	0	1	175	0.01	1.4	A	0	11	175	0.07
Northbound left		0.0	A	0	0	130	0.00	26.5	C	1	7	130	0.01
Northbound		4.7	A	6	16	N/A	0.04	20.8	C	20	54	N/A	0.10
Southbound		7.1	A	46	80	N/A	0.15	33.0	C	45	88	N/A	0.14
Shoal Creek at 45th	All-Way Stop	65.5	F					64.7	F				
Eastbound inside lane	Stop	58.5	F	N/A	10.4	N/A	0.926	55.0	F	N/A	8.9	N/A	0.893
Eastbound outside lane	Stop	68.8	F	N/A	11.9	N/A	0.972	50.7	F	N/A	8.4	N/A	0.871
Westbound inside lane	Stop	74.2	F	N/A	12.4	N/A	1.052	78.2	F	N/A	11.8	N/A	1.136
Westbound outside lane	Stop	72.3	F	N/A	12.4	N/A	0.988	77.5	F	N/A	11.9	N/A	1.219
Northbound left/through	Stop	18.5	C	N/A	1.5	N/A	0.343	79.9	F	N/A	11.6	N/A	1.066
Northbound right	Stop	13.0	B	N/A	0.2	100	0.077	14.6	B	N/A	0.9	100	0.225
Southbound left/through	Stop	77.6	F	N/A	11.9	N/A	1.161	54.9	F	N/A	8.3	N/A	0.861
Southbound right	Stop	13.1	B	N/A	0.6	100	0.165	13.7	B	N/A	0.5	100	0.137

1. MOE is seconds delay per vehicle.

2. 7:30 AM – E:30 AM

3. 4:30 PM – 5:30 PM

4. 95th Queue for signalized intersection measured in feet and for non-signalized intersection measured in vehicles

TABLE 12
ANALYSIS RESULTS FOR 2024 BUILD CONDITIONS

Intersection	Traffic Control Type	2024 BUILD CONDITIONS											
		AM Peak Hour ³						PM Peak Hour ³					
		MOE ¹	LOS	50th Queue ²	Bay Length	V/C	MOE ¹	LOS	50th Queue ²	Bay Length	V/C	MOE ¹	V/C
MePac SBPR at 45 th	Signal	32.6	C				16.9	B					
Westbound left		58	E	695	315	0.98	15.9	B	120	95	315	0.64	0.64
Southbound left		21.4	C	207	244	0.49	25.2	C	248	336	N/A	0.67	
Southbound right		0.3	A	0	N/A	0.2	0.3	A	0	0	N/A	0.23	
MePac NBPR at 45 th	Signal	20.6	C				37.3	D					
Eastbound left		6.3	A	2	340	0.08	21.5	C	47	53	340	0.59	0.59
Eastbound through		13.1	B	22	19	0.76	23.0	C	64	62	340	0.76	
Westbound		23.4	C	358	652	N/A	46.7	D	369	784	N/A	1.08	
Northbound left/through		45.6	D	57	106	0.27	78.8	E	143	265	900	0.82	
Northbound right		20.9	C	45	282	0.87	12.9	B	0	90	550	0.68	
Southbound left		48.0	D	1	6	N/A	0.01	54.5	D	2	11	N/A	0.03
Southbound right		9.7	A	0	36	N/A	0.34	0.5	A	0	0	N/A	0.06
Ball Creek at 48th	Signal	45.8	D				36.3	D					
Eastbound left		8.2	A	13	17	100	13.7	B	11	19	100	0.24	0.24
Eastbound through/right		35.7	D	483	628	0.99	23.7	C	334	449	480	0.92	
Westbound left		64.0	E	133	286	0.90	42.2	D	135	251	250	0.74	
Westbound through/right		27.9	C	254	320	N/A	29.2	C	255	322	N/A	0.60	
Northbound dual lefts		92.1	F	170	254	0.86	57.9	E	275	379	400	0.89	
Northbound through		40.1	D	57	138	N/A	0.23	35.7	D	186	323	N/A	0.54
Northbound right		6.3	A	17	55	0.32	5.7	A	36	75	250	0.33	
Southbound left		39.6	D	16	43	130	0.08	48.2	D	15	41	130	0.11
Southbound through/right		94.2	F	237	427	N/A	86.0	F	147	288	N/A	0.90	
MePac NBPR at 35th/Jackson	Signal	64.7	E				48.7	D					
Eastbound left/through		41.4	D	411	499	N/A	100.7	F	432	566	N/A	1.04	
Eastbound right		6.7	A	10	56	N/A	0.23	0.3	A	0	0	N/A	0.22
Westbound		69.8	E	521	644	N/A	22.5	C	763	657	N/A	0.92	
Northbound left/through		137.4	F	384	584	1050	1.19	91.1	F	221	371	1050	0.87
Northbound right		74.7	E	378	627	700	1.08	10.7	B	0	79	700	0.52
Southbound left/through		45.5	D	25	58	80	0.18	75.1	E	81	146	80	0.58
Southbound right		8.4	A	0	73	N/A	0.49	11.0	B	0	94	N/A	0.63
Ball Creek at Jefferson	Signal	11.9	B				22.1	C					
Eastbound left/through		11.7	B	33	85	N/A	17.2	B	39	82	N/A	0.26	
Eastbound right		7.0	A	0	40	130	0.42	4.7	A	0	41	130	0.39
Westbound		11.3	B	27	73	N/A	29.7	C	125	264	N/A	0.76	
Northbound left		19.1	B	21	51	130	0.26	30.6	C	115	241	130	0.73
Northbound through/right		11.2	B	8	38	N/A	0.26	11.8	B	9	34	N/A	0.13
Southbound left		19.3	B	3	16	100	0.05	20.7	C	4	15	100	0.05
Southbound through/right		19.3	B	11	37	N/A	0.17	20.6	C	29	67	N/A	0.41
35 th at Jefferson	Signal	19.3	B				32.5	C					
Eastbound left		23.4	C	14	24	180	0.36	30.7	C	23	37	180	0.39
Eastbound through/right		11.5	B	147	424	N/A	0.52	8.2	A	72	91	N/A	0.45
Westbound left		13.1	B	34	57	110	0.34	21.9	C	69	104	110	0.46
Westbound through/right		18.6	B	495	563	N/A	0.71	32.5	C	636	705	N/A	0.82
Northbound left		44.2	D	37	76	215	0.24	44.4	D	91	154	215	0.41
Northbound through		68.3	E	76	129	N/A	0.55	87.3	F	308	515	N/A	0.90
Northbound right		9.9	A	0	45	215	0.31	12.4	B	25	95	215	0.39
Southbound left		51.7	D	81	139	150	0.49	62.5	E	119	231	150	0.74
Southbound through		54.7	D	38	78	N/A	0.22	60.9	E	165	256	N/A	0.50
Southbound right		0.2	A	0	0	160	0.04	13.0	B	23	71	160	0.28

TABLE 12
ANALYSIS RESULTS FOR 2024 BUILD CONDITIONS

Intersection	Traffic Control Type	2024 BUILD CONDITIONS											
		AM Peak Hour ³						PM Peak Hour ³					
		MOE ¹	LOS	95th Queue ⁴	Bay Length	V/C	MOE ¹	LOS	95th Queue ⁴	Bay Length	V/C	MOE ¹	V/C
Bull Creek at Jackson/Driveway 2	Signal	16.3	B	19	55	0.19	38.0	D	158	278	100	0.86	
Eastbound left		17.2	B	23	68	N/A	53.8	D	47	93	N/A	0.27	
Eastbound through/right		26.4	C	18	54	0.19	36.4	D	37	74	100	0.36	
Westbound left		17.2	B	31	85	0.32	82.6	F	73	176	100	0.84	
Westbound through		30.1	C	0	49	0.40	13.7	B	0	55	100	0.60	
Westbound right		9.5	A	0	4	0.00	7.3	A	1	4	150	0.01	
Northbound left		9.5	A	110	209	N/A	46.1	D	408	657	N/A	0.95	
Northbound through		21.2	C	0	0	0.07	0.1	A	0	0	150	0.04	
Northbound right		0.2	A	32	72	0.29	38.4	D	51	159	300	0.78	
Southbound left		10.7	B	120	316	N/A	0.53	B	94	186	N/A	0.36	
Southbound through/right		14.4	B										
45°/Highland Terrace at McPac Ramp	Signal	27.8	C				17.8	B					
Eastbound		0.0	A	0	0	0.00	1.8	A	10	38	50	0.35	
Westbound left		47.5	D	192	229	1200	0.75	B	203	267	1200	0.77	
Westbound right		0.0	A	0	1	0.01	1.4	A	0	13	175	0.06	
Northbound left		0.0	A	0	0	0.00	37.0	D	1	6	130	0.01	
Northbound		14.9	B	35	73	N/A	0.06	C	42	68	N/A	0.18	
Southbound		8.8	A	62	105	N/A	0.19	D	59	93	N/A	0.19	
Shovel Creek at 45th	All-Way Stop	69.7	F				72.5	F					
Eastbound inside lane	Stop	74.6	F	N/A	12.4	N/A	1.149	F	N/A	11.7	N/A	1.099	
Eastbound outside lane	Stop	74.2	F	N/A	12.4	N/A	1.124	F	N/A	11.8	N/A	0.234	
Westbound inside lane	Stop	74.7	F	N/A	12.3	N/A	1.207	F	N/A	11.7	N/A	1.164	
Westbound outside lane	Stop	74.2	F	N/A	12.4	N/A	1.135	F	N/A	11.8	N/A	1.032	
Northbound left/through	Stop	18.9	C	N/A	1.5	N/A	0.349	C	N/A	11.4	N/A	1.332	
Northbound right	Stop	13.2	B	N/A	0.3	0.078	15.2	C	N/A	0.9	100	1.426	
Southbound left/through	Stop	78.1	F	N/A	11.8	N/A	1.176	F	N/A	8.5	N/A	0.876	
Southbound right	Stop	14.2	B	N/A	0.9	0.235	15.9	C	N/A	1.1	100	0.270	
Bull Creek at Driveway 1	Two-Way Stop	1.5	A				1.6	A					
Westbound right	Stop	0.0	A	N/A	0.0	0.000	0.0	A	N/A	0.0	210	0.000	
Southbound lefts	Free	9.6	A	N/A	0.9	0.231	15.1	C	N/A	1.8	N/A	0.385	
Bull Creek at Driveway 3/41st	Two-Way Stop	2.4	A				6.3	A					
Eastbound	Stop	15.2	C	N/A	0.1	N/A	0.047	F	N/A	1.9	N/A	0.440	
Westbound left/through	Stop	17.5	C	N/A	0.4	0.120	51.3	F	N/A	1.9	90	0.433	
Westbound right	Stop	10.1	B	N/A	0.2	0.066	14.9	B	N/A	0.5	90	0.132	
Northbound lefts	Free	8.0	A	N/A	0.0	N/A	0.004	A	N/A	0.0	N/A	0.008	
Southbound lefts	Free	7.9	A	N/A	0.1	N/A	0.037	A	N/A	0.4	N/A	0.120	
Bull Creek at Driveway 4	Two-Way Stop	1.1	A				0.8	A					
Westbound right	Stop	9.8	A	N/A	0.3	0.090	14.9	B	N/A	0.5	85	0.132	
Bull Creek at Driveway 5/42nd	Two-Way Stop	2.4	A				8.9	A					
Eastbound	Stop	14.9	B	N/A	0.1	N/A	0.026	F	N/A	2.5	N/A	0.543	
Westbound left/through	Stop	17.6	C	N/A	0.5	0.152	97.2	F	N/A	3.4	190	0.681	
Westbound right	Stop	10.6	B	N/A	0.3	0.103	15.0	C	N/A	0.2	190	0.070	
Northbound lefts	Free	8.0	A	N/A	0.0	N/A	0.001	A	N/A	0.0	N/A	0.008	
Southbound lefts	Free	8.0	A	N/A	0.1	N/A	0.019	B	N/A	0.5	N/A	0.145	

1. MOE is seconds delay per vehicle.

2. 7:30 AM - 8:30 AM

3. 4:30 PM - 5:30 PM

4. 95th Queue for signalized intersections measured in feet and for non-signalized intersections measured in vehicles

delay, freedom to maneuver, existing traffic congestion, and sense of comfort, convenience and perceived safety. Presented below is a summary table for the six LOS capacity conditions designated from "A" to "F" for both unsignalized and signalized intersections.

TABLE 13 – Definitions of Level of Service (LOS) Criteria

Level of Service	Delay Range for Unsignalized Intersections (sec/veh)	Delay Range for Signalized Intersections (sec/veh)	Description
A	≤10	≤10	Very low delays, nearly free traffic flow
B	>10 and ≤15	>10 and ≤20	Good traffic flow, more vehicles stop than LOS A
C	>15 and ≤25	>20 and ≤35	Stable traffic flow, significant number of vehicles stop
D	>25 and ≤35	>35 and ≤55	Noticeable traffic congestion, longer delays and queue lengths
E	>35 and ≤50	>55 and ≤80	Unstable traffic flow, significant congestion, traffic near roadway capacity
F	>50	>80	Unacceptable delay, extremely unstable flow, heavy congestion, traffic exceeds capacity

Neighborhood Traffic Analysis

Section 25-6-116 of the Land Development Code (LDC) specifies the desirable operating levels for streets with various pavement widths. Based on LDC, 25-6-116, a residential collector with a pavement width of 30' should not exceed 1,800 vehicles per day (vpd) to continue to operate at a desirable level. Several residential streets were reviewed as a part of this TIA to determine if the existing or projected daily volumes of traffic will exceed the thresholds set forth in the LDC. Table 14 below summarizes the evaluation of neighborhood streets performed for this project.

TABLE 14 – Neighborhood Traffic Analysis

Roadway	Width (ft)	Threshold Volume (vpd)	Existing Volume (vpd)	Site Volume (vpd)	Total Volume (vpd)	% Site Traffic
West 44 th St.	27	1,200	268	0	268	0%
Jackson Ave.	27	1,200	2,333	2,746	5,079	54.1%
West 42 nd St.	27	1,200	293	587	880	66.7%
West 41 st St.	27	1,200	428	536	964	55.6%
West 40 th St.	27	1,200	422	0	422	0%
Oakmont St.	27	1,200	551	0	551	0%
West 39 th St.	27	1,200	354	0	354	0%
Lawton St.	27	1,200	574	0	574	0%

Development of the project is proposed in two phases:

For Phase 1, only residential land uses are proposed:

TABLE 15
Adjusted Trip Generation – Phase 1

Land Use	Size		24-Hour	AM Peak Hour of Adjacent Street One Hour Between			PM Peak Hour of Adjacent Street One Hour Between		
				7 and 9 am			4 and 6 pm		
	Amount	Units		Total	Enter	Exit	Total	Enter	Exit
Single Family (210)	110	DU	1,089	82	21	62	109	69	40
Residential Condo (230)	375	DU	1,929	141	24	117	169	113	56
TxDOT Office				-88	-74	-14	-90	-10	-80
Total			3,019	136	-29	165	188	172	16

Phase 2 includes the remaining land uses (full buildout) and will reflect all the land uses described previously in Table 2.

TABLE 16
Adjusted Trip Generation – Full Buildout (Phase 2)

Land Use	Size		24-Hour	AM Peak Hour of Adjacent Street One Hour Between			PM Peak Hour of Adjacent Street One Hour Between		
				7 and 9 am			4 and 6 pm		
	Amount	Units		Total	Enter	Exit	Total	Enter	Exit
Single Family (210)	110	DU	1,032	82	21	62	97	61	36
Apartment (220)	600	DU	3,384	283	57	226	296	192	103
Residential Condo (230)	425	DU	2,038	156	27	130	167	112	55
Congregate Care Facility (253)	600	DU	1,151	34	20	14	97	53	44
Health/Fitness Club (492)	7,500	SF	235	10	5	5	25	14	11
Office (710)	200,000	SF	1,912	303	267	36	241	41	200
Medical Office (720)	25,000	SF	727	57	45	12	71	20	51
Specialty Retail (826)*	55,000	SF	1,706	100	62	38	83	37	47
Supermarket (850)	35,000	SF	2,576	113	70	43	180	92	88
Pharmacy/Drugstore w/o DT (880)	8,500	SF	574	10	7	4	43	21	22
Walk-in Bank (911)**	3,000	SF	355	0	0	0	35	15	19
Drinking Place (925)**	8,000	SF	780	0	0	0	67	44	23
Quality Restaurant (931)	15,000	SF	1,012	11	9	2	68	46	23
High Turnover Restaurant (932)	9,000	SF	858	90	49	40	54	32	22
Coffee/donut shop w/o DT (936)***	2,000	SF	1,101	151	77	74	49	25	25
TxDOT Office				-88	-74	-14	-90	-10	-80
Total			19,442	1,312	640	672	1,485	796	689

Applicant Proposed Improvements and Recommendations from the TIA

The analysis presented in the TIA assumes the following infrastructure improvements prior to the 2018 completion of Phase 1:

- Installation of a traffic signal at the 45th Street/Highland Terrace and Mo-Pac southbound exit ramp intersection to provide dual lefts prior to 2018 (by others).
- Construction of a second northbound lane at both West 35th and West 45th exit ramps for serving Mo-Pac traffic (by TxDOT).
- Construction of a northbound approach lane on Bull Creek Road to serve left turn movements at the intersection of West 45th Street. This improvement is to be constructed 100% by the developer.
- Construction of Driveway 3 on Bull Creek Road (across from 41st Street).

The analysis was not updated to reflect the construction of the 2024 improvements in the 2018 analysis. The AM and PM peak hour results for the 2024 Build Conditions indicate the following additional improvements are required (beyond those listed previously):

- Construct Driveway 2 across from Jackson Street.
- Stripe 150 feet of northbound and 300' southbound left turn lanes on Bull Creek.
- Construct 150 feet of right turn lane on northbound Bull Creek at Driveway 2.

- Restripe Jackson Avenue to provide a left turn lane and shared through/right turn lane.
- Install a traffic signal at Jackson Avenue/Bull Creek Road when warranted per Texas MUTCD.
- Construct Driveway 1 with 350 feet of southbound left turn bay on Bull Creek Road.
- Restripe and sign the southbound Jackson Avenue approach to West 35th Street to provide a shared left/through lane and right turn only lane.
- Reconstruct 45th Street to provide 100 feet of eastbound and 250 feet of westbound left turn bays at Bull Creek and
- Add a 250 feet northbound right turn lane on Bull Creek at 45th.
- Reconfigure traffic signal to remove split phasing at 45th and Bull Creek.
- Construct Driveway 4 across from West 40th Street (right-in/right-out).
- Construct Driveway 5 on Bull Creek Road across from West 42nd Street.

Conclusions of staff review

Staff evaluation of the TIA has determined that there are details related to the traffic operations and geometric elements of the proposed improvements that are as yet unresolved. The TIA assumed certain improvements, if those improvements cannot be completed then a revised TIA will have to be submitted or the development will be limited less than 2,000 trips per day. Specifically, the need for additional right-of-way at the intersections identified for signal upgrades and/or installation (West 45th Street/Bull Creek Road and Jackson Avenue/Bull Creek Road) and right-of-way required along Bull Creek Road to accommodate the improvements proposed, and the specific design details of the connection of Jackson Avenue to 45th Street.

Assuming all of the proposed improvements are constructed, staff finds this proposed development will adequately mitigate the anticipated traffic impact as determined in the TIA document, however, staff reserves the right to request further detailed analysis during the subdivision and site plan review process. Further, all traffic operations and design elements and transportation related improvements will be subject to review and approval by the Austin Transportation Department as part of the site development review process in coordination with DSD.

Staff Recommendations

1. Prior to the permitting of any portions of the development that exceed the Phase 1 trip limit of 2,000 daily vehicle trips, the dedication of the right-of-way or easements at the southeast and northwest corners of the Bull Creek/45th Street intersection, and the dedication of the right-of-way along Bull Creek Road sufficient to allow construction of the proposed improvements.
2. All the improvements listed in Table 17 below as being constructed by the developer must be constructed when EITHER the 110 single-family homes and 188 residential condominium units OR when 375 residential condominiums units are complete. No certificate of occupancies on-site will occur beyond these unit thresholds until all the developer constructed improvements identified as being constructed by the developer in 2018 – Phase 1 are complete.

3. Prior to 3rd reading at Council, fiscal surety in the amount of \$750,000 shall be paid to the City of Austin for construction of a pedestrian/bicycle bridge across Shoal Creek. The applicant shall be responsible for the full cost of construction of said bridge crossing, if the City of Austin secures the required easement to complete extension to Shoal Creek Boulevard. Should the City be unable to secure the necessary easement within seven (7) years of the date of PUD approval, the fiscal dedication shall become a non-refundable contribution and will satisfy the applicant's obligation for this pedestrian/bicycle improvement.
4. The multi-use trail along Bull Creek Road shall be within a public access easement for its entirety.
5. Prior to 3rd reading at Council, fiscal surety for all other TIA improvements shall be paid to the City of Austin as listed in Table 17 below:

Table 17 – List of improvements for Site Development		
Intersection	Proposed Improvements	Developer Share
Initial Improvements		
Bull Creek Road Trail	<ul style="list-style-type: none"> Dedicate an easement for the 12' shared use path from 45th to south end of development 	100%
Jackson Ave to 45 th Street	<ul style="list-style-type: none"> Dedicate and construct Jackson Avenue extension from Bull Creek to West 45th Street 	100% (*Note 1)
Bull Creek from Driveway 5 to 45 th	<ul style="list-style-type: none"> Dedicate Right-of-way to accommodate the improvements per the TIA 	100%
2018 – Built as part of Phase 1		
West 45th Street at Bull Creek Road	<ul style="list-style-type: none"> Construct additional northbound left turn lane on Bull Creek to westbound 45th Restripe northbound approach as dual lefts and shared through/right lane 	100% \$259,000 (*Note 2)
Highland Terrace /45 th /MoPac Exit Ramp	<ul style="list-style-type: none"> Install Traffic Signal when/if warranted Restripe to provide westbound dual lefts when signal installed 	12.2% \$30,388
Shoal Creek Trail	<ul style="list-style-type: none"> Construct from south end of park to Idlewild Road 	100% \$30,000 (*Note 2)
Bull Creek Road Trail	<ul style="list-style-type: none"> Construct 12' shared use path from 45th to south end of development 	100% \$5,000 (*Note 2)
MoPac at West 45 th	<ul style="list-style-type: none"> Update signal timing 	100% \$5,000

West 45 th Street at Bull Creek Road	<ul style="list-style-type: none"> Reconstruct intersection to provide turn bays on 45th Street and a turn lane on Bull Creek Modify signal to remove split phasing 	100% \$770,000 (*Note 2)
Bull Creek from Driveway 1 to 45 th	<ul style="list-style-type: none"> Construct 2nd north bound lane 	100% \$253,000 (*Note 2)
Bull Creek from Driveway 1 to Driveway 2	<ul style="list-style-type: none"> Construct 2nd north bound lane 	100% \$253,000 (*Note 2)
Pedestrian Hybrid Beacon	<ul style="list-style-type: none"> Across Bull Creek Road adjacent to Driveway 4 	100% \$250,000
Jackson Ave between 35 th and Bull Creek	<ul style="list-style-type: none"> Complete Study of potential mitigation improvements as part of the warrant study for the Jackson / Bull Creek signal 	100%
Pedestrian Hybrid Beacon	<ul style="list-style-type: none"> Across Bull Creek Road adjacent to Driveway 1 	100% \$250,000
Shoal Creek bikeway	<ul style="list-style-type: none"> Construction of pedestrian/bicycle bridge across Shoal Creek 	100% \$750,000 (*Note 3)
	Total cost estimate Phase 1 Improvements	\$2,855,388
2024 – Built as part of Phase 2		
Jackson Ave at 35 th	<ul style="list-style-type: none"> Restripe approach of Jackson Avenue at 35th Street 	100% \$3,500
Jackson Ave between 35 th and Bull Creek	<ul style="list-style-type: none"> Implement mitigation recommendations of study of Jackson Ave. 	100%
Jackson Avenue/Bull Creek Road	<ul style="list-style-type: none"> Install a traffic signal at Jackson Avenue/Bull Creek Road when warranted per Texas MUTCD. 	100% \$330,000 (*Note 2)
	Total cost estimate Phase 2 Improvements	\$333,500

Note 1 Final design of the extension of Jackson Street to 45th Street will be completed as part of the subdivision infrastructure improvements internal to the development. The applicant is responsible for 100% of this construction cost as part of the subdivision infrastructure to serve the development.

Note 2 Construction costs shown are based on engineer's estimates of probable cost provided by the applicant's engineer. Applicant's cost contribution is not limited to this estimated amount and the applicant is responsible for the full construction of these improvements.

Note 3 Construction cost shown is based on engineer's estimates of probable cost provided by the applicant's engineer. Applicant's cost contribution is not limited to this estimated amount and the applicant is responsible for full the construction cost of these improvements provided the City of Austin secures the required easement to complete extension to Shoal Creek Boulevard. Should the City be unable to secure the necessary easement within seven (7) years of the date of PUD approval, the fiscal dedication shall become a non-refundable contribution to be used bicycle and pedestrian improvements in the adjacent area and will satisfy the applicant's obligation for this pedestrian/bicycle improvement.

- A signal warrant study is to be conducted by the developer for the intersection of Jackson Avenue and Bull Creek Road once the extension of Jackson Avenue from Bull Creek Road to West 45th Street is complete.

7. The developer will also study Jackson Avenue to determine appropriateness of additional mitigation to address traffic impacts from the development prior to the start of construction on Phase 2 of the development.
8. Right-of-way for the proposed Jackson Avenue extension shall be dedicated with the first subdivision plat for the project. The final detailed design of the connection at Jackson Avenue will be completed as part of the review of the subdivision construction plan application(s).
9. As recommended in the TIA, the site driveways and all internal streets/ private drives shall meet City of Austin geometric street design criteria and shall be located in accordance with City of Austin standards. Cross sections may reflect approved Grove Design Guidelines as provided by the PUD.
10. No later than five (5) years after approval, the TIA shall be revised by the developer and/or updated to reflect current conditions. Upon completion of the revised analyses, copies of the TIA revisions shall be submitted to the City of Austin for review and approval.
11. Based on the proposed PUD land use plan, outlets for additional street access may be required at the time of subdivision application.
12. Development of this property should be limited to uses and intensities which do not exceed or vary from the from the projected traffic conditions assumed in the TIA, including peak hour trip generation, traffic distribution, roadway conditions, and other traffic related characteristics.



MEMORANDUM REVISED

To: Jeff Howard
McLean & Howard, LLP

Date: June 28, 2016

Project: The Grove At Shoal
Creek

CC: Andrew Linseisen, P.E.
Development Services Department

Sherri Serwaitis
Planning and Zoning Department

From: Austin Transportation Department

Re: Review Comments

The Austin Transportation Department has reviewed the March 28, 2016 (received June 16, 2016) traffic report regarding the *"The Grove at Shoal Creek, Traffic Impact Analysis"*, prepared by R-K Traffic Engineering, LLC. The proposal calls for constructing 110 Single Family Homes, a 600 unit apartment building, 425 condo/townhouse dwelling units, a 600 room congregate care facility, 225,000 SF of office, 55,000 SF of shopping center, a 35,000 SF supermarket, plus additional uses. The development would be constructed between Bull Creek Road, Shoal Creek and 45th street. The following comments summarize our review findings:

Unresolved Traffic Impact Analysis (TIA) Comments

Analysis Comments

1. The 2018 analysis, as presented in the TIA, does not include the following:
 - Full build out of the Bull Creek Road and West 45th Street intersection
 - The improvements at the Bull Creek Road/Driveway 1 intersection
 - The improvements at the Bull Creek Road/Jackson Avenue intersection
 - The improvements at the Mopac/45th Street intersection
 - The improvements at driveways 2 through 5 along Bull Creek Road

This analysis was however included in the 2024 analysis. Based on the information provided in the current revision of the TIA, ATD understands that these intersection improvements will be fully built out prior to completion of Phase 1 of the development (see other comments below). Please clarify if otherwise.

2. **Repeat Comment ATD7 from March 2016:** It appears from the information provided in the TIA that 14% of the site generated volumes will use Jackson



Avenue. This site generated traffic will significantly increase traffic volume on Jackson Avenue. However, mitigation has not been proposed along Jackson Avenue to address this increase in traffic. We recommend that when a signal warrant study is conducted by the Applicant for the signal at Jackson Avenue and Bull Creek Road, the Applicant also study Jackson Avenue to determine whether mitigation is needed address the increase in traffic.

Geometric Comments

The Applicant will include design plans addressing these geometric comments, and those addressed by the ATD memorandum dated March 28, 2016 as part of the site plans:

Bull Creek Road/West 45th Street Intersection Plan – Preferred Option 2:

1. ATD had conceptually accepted the concept plan (Option 2) at the intersection of 45 Street/ Bull Creek Road, submitted by the Applicant, dated December 15, 2015 (as per Transmittal, dated March 25, 2016).

ATD recommends that acquisition of all necessary ROW (as proposed in the Plan – Option 2 submitted by the Applicant) and construction of the intersection at 45 Street / Bull Creek Road according to the plan be one of the conditions of approval of the PUD.

ATD also recommends that the Applicant provide documentation that this, and all other ROW, has been obtained to allow construction of the proposed improvements at this location as proposed.

2. The northbound right turn is too narrow to allow for a WB-50 design vehicle to make the turn. The lane should be widened by shifting the outermost curb and not the island curb line.
3. The northern curb face of the pork-chop island must be offset by two (2) feet from the travel lane for eastbound traffic.
4. On the eastbound approach, the 100 feet approach taper is insufficient in length. The taper should be lengthened by narrowing the painted island.
5. The concept plan shows four (4) feet wide sidewalk on the northwest of the intersection along 45th Street. All sidewalks must be minimum five (5) feet wide.

Bull Creek Road Improvements Plan (comments start at the north and head south):

1. It is unclear at this time if sufficient ROW will be obtained for the proposed improvements along Bull Creek Road. In addition, since there are a number of comments regarding the proposed design along Bull Creek Road, it is unclear if



the total ROW needed has been adequately identified, particularly at the PHB locations and the traffic signal at Jackson Avenue. If this ROW is not obtained there is concern that the proposed improvements along Bull Creek Road will not be able to be constructed.

ATD requests that the Applicant provide verification that the required ROW along Bull Creek Road, has been dedicated/obtained to allow construction of the proposed improvements at this location as proposed.

2. Tapers shown between the back-to-back turn lanes are insufficient in length. A single taper between the two turn lanes should be provided.
3. The PHB, crosswalks and landings are not shown at Driveway 1. Please show this information.
4. The 185 feet taper on the northbound left turn approach to Jackson Avenue is insufficient in length. Lengthen the taper and narrow the painted island.
5. The traffic signal, crosswalks and landings are not shown at Driveway 2/Jackson Avenue. In addition, no information is presented on Jackson Avenue related to length of turn lanes and tapers. Please present this information.
6. Between Driveway 5 and Driveway 4, the Applicant is proposing a 10-foot wide southbound lane, 11-foot wide lane northbound with a 9-foot wide shoulder. ATD recommends that the Applicant provide 10-foot wide travel lanes including a center two-way left-turn lane.
7. The pedestrian refuge island shown at Driveway 4 does not appear to have offsets to the travel lanes as provided. We recommend that one foot (1') minimum offsets be provided.
8. The PHB, crosswalks and landings are not presented at Driveway 4 in the concept plan. Please present this information.
9. The 167' lane taper south of Driveway 4 appears to be too short. In addition, it is unclear how the improvements south of Driveway 4 will match the existing conditions, including how the existing northbound bicycle lane will transition onto the multi-use path. Please present this information.
10. It is unclear from the information contained in the TIA as to when the concrete safety barrier for the bicycle lane will be constructed along Bull Creek Road. The Applicant has indicated in conversations with ATD that the barrier will be installed when Bull Creek Road is reconstructed to provide the other proposed improvements listed in the TIA. The Applicant will include design plans of this barrier installation with the site plans for the development.



Vehicular Connection to 45th Street from Jackson Avenue Extension

1. The Applicant provided traffic analysis for this proposed connection and included it in Appendix J of the TIA. However, the applicant didn't model full connection of Jackson Avenue from Bull Creek Road to 45th Street in Synchro. Also the TIA did not document how the diversion of the site trips and additional diverted trips (if any) were determined. We recommend that the Applicant review and provide justification of the diverted site trips and any additional diverted trips.
2. The site plan must include the proposed layout and cross section for the Jackson Avenue Extension from Bull Creek Road to West 45th Street. At the connection to West 45th Street, the cross section of Jackson Avenue should be wide enough to accommodate emergency vehicles. Bicycles and pedestrians should be accommodated as part of the complete streets policy.
3. Since no internal plans have been provided for the Jackson Avenue Extension from Bull Creek Road to 45th Street, we recommend that as part of the site plans for the development this roadway (called a driveway in the TIA) be designed such that a consistent cross-section, with bike lanes and sidewalks is provided between Bull Creek Road and 45th Street. In addition, we recommend that the design speed of this new roadway connection be 30 mph.
4. It is Austin Transportation Department's understanding that the Jackson Avenue Extension connection from Bull Creek Road to 45th Street shall be fully funded by the Applicant, including the PHB, as part of the improvements during the implementation of the 2018 improvements.
5. The Austin Transportation Department understands that the Applicant has purchased 2627 45th Street for ROW and additional ROW is being pursued along 45th Street which will be provided for this connection. Austin Transportation Department also understands that movements at this "new" intersection will be restricted to right in/right out only. Plans will need to show how turning movements will be restricted and which design vehicles can be accommodated. ATD requests that the applicant submit plans presenting these details at this proposed connection. If the additional ROW is not obtained we recommend that this access be limited to right-out only.



6. Advisory Comment: ATD had significant comments on the preliminary plan(s) previously submitted for this proposed new access (please submit plans as per comments 2, 3, and 4 above). The comments on the previously submitted plans are as follow:
 - a. The proposed splitter island is shown as 20.5' along 45th Street. This distance is insufficient to prevent vehicles from making an illegal left into the site or an illegal through movement from the site to Chiappero Trail. We recommend that the island be enlarged to prevent these movements.
 - b. The proposed splitter island is proposed to be constructed with type 1 mountable curb. We recommend that the island be constructed with non-mountable curb to prevent illegal movements.
 - c. The lanes on either side of the splitter island appear to be approximately 12'. We recommend that these lanes be widened to accommodate, at a minimum, a fire truck.
 - d. The Pedestrian Hybrid Beacon Signal on the west side of the proposed driveway is too close to the stop bar. This needs to be a minimum of 40' from the stop bar to allow for sight distance. We recommend that the design be modified to meet proper sight distance.

Development Phasing Comments

1. Based on the analysis presented in the TIA, all the improvements need to be constructed in 2018. The Applicant is requesting that these improvements be constructed when Phase 1 development reaches 2,000 vehicle trips per day. These improvements must be constructed when either the 110 single-family homes and half of the residential condominiums (188 units) or when all the residential condominiums (375 units) are complete. These intensities equate to the approximately 2,000 vehicle trips per day requested. It is our understanding that no construction on-site will occur beyond these units until all the improvements identified in the TIA for 2018 are complete. We recommend that these thresholds and restrictions be included in the Final TIA memorandum prepared by DSD and be one of the conditions of approval of the PUD.

Staff will conduct further review of the subject application with regard to geometric constraints that may arise due to inadequate or unavailable right-of-way that may affect the operational objectives of proposed infrastructure improvements. These elements may affect site plan review and approval as they are considered integral to the viability of the subject development as proposed.

PART XX. The Grove at Bull Creek PUD Affordable Housing Program.

A. In order to meet the City's affordable housing goals and to ensure long-term affordability, the Landowner and the Landowner's successors and assigns (collectively referred to as the "Landowner") agree to the following:

1. Ten percent of the total number of multifamily rental housing units located within the Grove at Bull Creek PUD will be set aside for occupancy by households with incomes at 60 percent of or below the median family income (each an "Affordable Rental Unit," collective "Affordable Rental Units") in the Austin metropolitan statistical area for a rental affordability period of forty years (collectively, the "Rental Affordability Requirement") from the date of a certificate of occupancy. In addition the Landowner agrees to comply with the following:
 - a) The Rental Affordability Requirement period for each multifamily development with Affordable Rental Units (the "Affordable Development") begins on the date a final certificate of occupancy is issued for each Affordable Development.
 - b) Affordable Rental Units must contain a product unit mix of studio, one, two and three bedroom units in accordance with Fair Housing Laws.
 - c) Each lot or site sold or developed for use as an Affordable Development shall be subject to a restrictive covenant using the form shown in Exhibit XX (subject to revision) or agreed upon by the Director of Neighborhood Housing and Community Development (NHCD) and Landowner at the time of the sale or development and recorded in the official public records of the county where the Affordable Development is located.

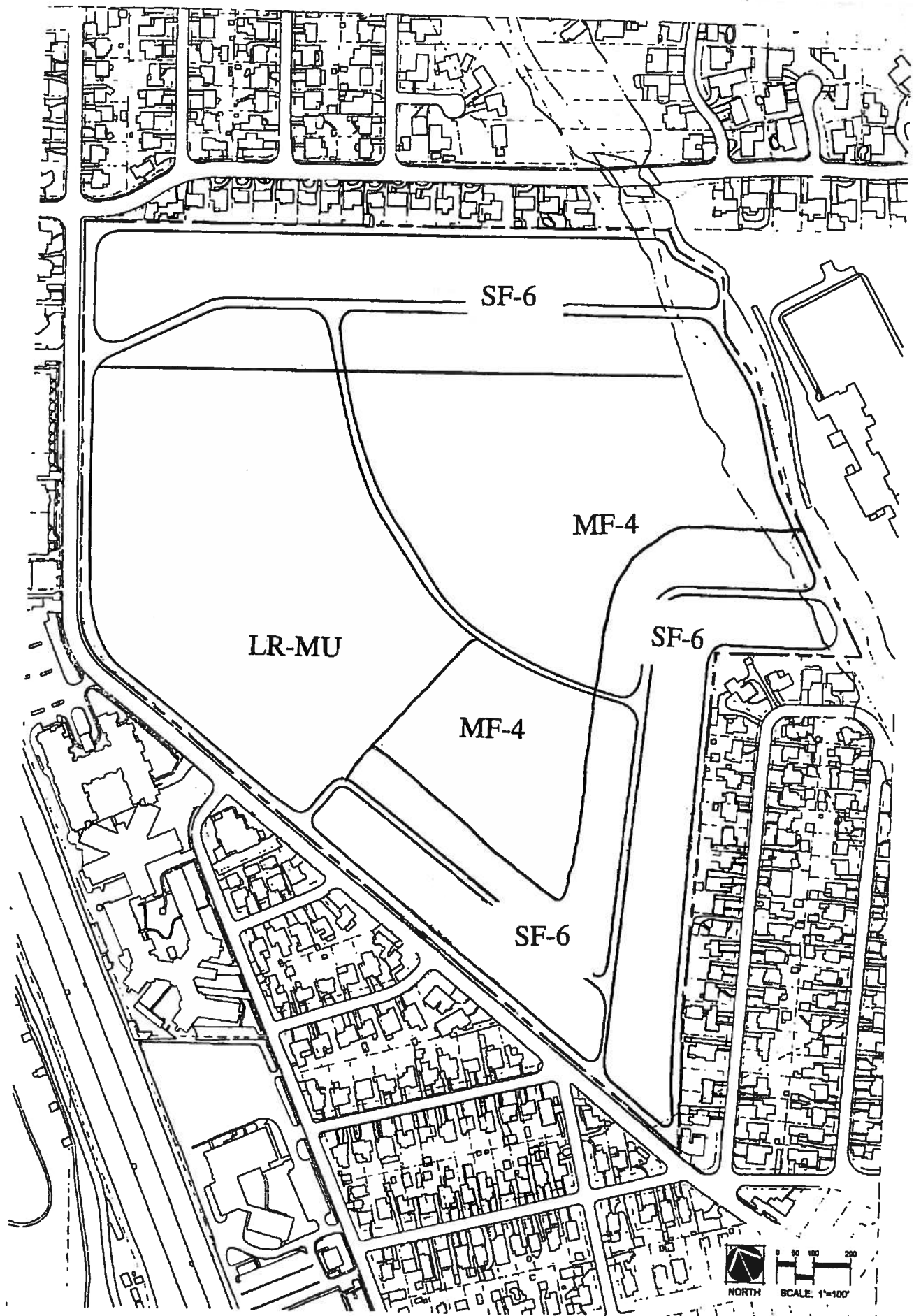
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B. At least 5 percent of the total number of units sold as owner-occupied residential housing units located within the Grove at Bull Creek PUD will, through a mechanism agreed upon by the City and Landowner, be made permanently available at a price affordable to households with incomes at 80 percent of or below the median family income (each an "Affordable Ownership Unit," collective "Affordable Ownership Units") in the Austin metropolitan statistical area (collectively, the "Ownership Affordability Requirement").

1. The Affordable Ownership Units constructed on any site shall have substantially similar architectural design and restrictions as other residential units offered for sale to the general public on such site.
2. The Affordable Ownership Units must contain a product unit mix of studio, one, two and three bedroom units deemed feasible by Developer; provided that, however, no fewer than 50% of the Affordable Ownership Units shall have at least 2 bedrooms.
3. Affordable Ownership units must:

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- a) Be sold to an income eligible household at 80 percent of or below median family income;
 - b) Include resale restrictions that require that resale of the affordable unit must be to a household at 80 percent of or below median family income; and
 - c) Contain restrictions that will cap the equity gain to the homeowner that can be realized upon resale of the affordable unit. The resale formula will be set by the director of the Neighborhood Housing and Community Development Department, and may change from time to time; and
 - d) Contain a Right of First Refusal to the Austin Housing Finance Corporation (AHFC) or other entity designated by the City that is assignable to an income-qualified buyer, to ensure long term affordability.
- C. The Landowner agrees to enter into an agreement with the City of Austin that ensures compliance with Part XX of this PUD ordinance.
- D. Income limits for the Affordable Housing Requirements shall be established annually as determined by the United States Department of Housing and Urban Development.
- E. The Landowner shall file a written report with the Director on the number and location of each Affordable Ownership Unit and Affordable Rental Unit meeting the Affordable Housing Requirements within the Grove at Bull Creek PUD (the "Affordability Report"). The initial Affordability Report shall be filed within 15 calendar days following the March 31 or September 30 next following the date of recordation of a plat or site plan within the Grove at Bull Creek PUD and be continuously filed on a semi-annual basis until the project is fully built out and sold.
- F. Compliance with the Affordable Housing Requirements will be monitored by the City's Neighborhood Housing and Community Development Department through an annual audit of the sale and rental of Affordable Ownership Units and Affordable Rental Units within the Grove at Bull Creek PUD. Income qualifications, rents and sales price of the ownership units must comply with NHCD compliance guidelines.
- G. Compliance with this Part XX of this PUD Ordinance satisfies the requirements of Section 25-1-704(B)(2)(a) of the Austin City Code so that development within The Grove at Shoal Creek PUD shall be eligible for a waiver of 100% of the development fees, including capital recovery fees, described in Section 25-1-704 and Section 25-9-397 of the Austin City Code as allowed by and in accordance with the City's SMART Housing Program.



The Grove at Shoal Creek Planned Unit Development

C814-2015-0074

April 4, 2016

List of Superiority Items:

Parks Superiority

- 1) The project exceeds the minimum amount of parkland by at least 1.55 acres. This is clearly superior to the minimum code requirements for parkland dedication as this represents a 13.66% increase above code requirements.
- 2) The developer will spend \$1 million for the improvements to the Parks within the project whereas there is no code requirement for any monies to be spent on park improvements. This represents a 100% increase over Code requirements.
- 3) The developer will perpetually maintain the parkland. The estimate is over \$200,000 per year and this is at no cost to the City of Austin or the taxpayers. This represents a 100% increase over Code requirements.

Transportation Superiority

- 1) Funding and Constructing all mitigation measures identified for Bull Creek Road. Mitigation measures include additional auxiliary lanes at Jackson Avenue and other Site Driveways, widening of Bull Creek Road between Driveway 1 and 45th Street, and the dedication of ROW from the subject Site to construct these improvements.
- 2) Funding and Constructing 100% of Intersection Improvements for 45th and Bull Creek when pro-rata share is 26.5%. Improvements will include eastbound and westbound left turn lanes on 45th Street, additional northbound left turn lane on Bull Creek Road, and additional northbound right turn lane on Bull Creek Road as well as improved pedestrian crossings and reconstruction of sidewalk at all four corners of the intersection.
- 3) Providing trail connectivity to Ridglea Greenbelt.
- 4) Constructing 12-foot Shared Use Path along Bull Creek Road.

- 5) Constructing 12-foot Shared Use Path along 45th Street Greenbelt.
- 6) Constructing protected southbound Bike Lane on Bull Creek Road in front of Site.
- 7) Installation of Pedestrian Hybrid Beacons on Bull Creek Road and 45th Street to facilitate pedestrian connectivity.
- 8) Post fiscal for, and if easement obtained, construction of Bike and Pedestrian Bridge across Shoal Creek and trail connection from Bridge to Shoal Creek Blvd.
- 9) Bike lanes on major internal street cross-sections.
- 10) Installation of racks to park 400 bicycles.
- 11) Require shower facilities in offices to help facilitate bicycle commuters.
- 12) Contribution of \$100k in seed money for neighborhood multi-modal improvements.

Environmental Superiority

- 1) The project will substantially exceed open space requirements (by more than 50%) and will cluster development away from Shoal Creek.
- 2) The project will provide water quality controls through the use of a wet pond and/or green infrastructure for a minimum of 50% of the required water quality volume on-site.
- 3) The project will provide that a minimum of 10 acres of impervious cover on the site will drain to and be substantially treated by Green Water Quality Controls such as rain gardens and biofiltration facilities.
- 4) The project will not modify the existing 100-year floodplain.
- 5) The project will preserve a minimum of 75% of protected quality native tree inches on site.
- 6) The project will provide a tree care plan for all preserved protected and heritage trees on site.

- 7) The project will direct stormwater runoff from impervious surfaces to a landscaped area at least equal to the total required landscape area.
- 8) The project will provide flood mitigation for the 9.39 acres of existing impervious cover on the site which is not currently detained. The existing State office development does not have any detention or flood control facilities and current code does not require new development to mitigate for existing impervious cover. If the project participates in the RSMP, the RSMP fee will be paid as if the current 9.39 acres of impervious cover does not exist.
- 9) The project will provide educational signage at the Wetland CEF.
- 10) The project will provide minimum 3" caliper street trees on all internal streets. Under conventional zoning, Tracts A, C, D, and E would be residential zoning districts and would not require street trees under Subchapter E. This area of additional street trees represents 34.24 acres or approximately 45% of the total project area.
- 11) The project will provide street trees along Bull Creek Road where they would not be required by Subchapter E.
- 12) The Project will provide an Integrated Pest Management Plan for all sites.
- 13) The Project will commit to 95% of non-turf plant species from Grow Green or equivalent per the Design Guidelines.
- 14) The project will provide additional protection for the $\frac{3}{4}$ critical root zone for all protected and heritage trees within the Signature Grove, which includes all trees around the proposed pond and the highest quality oak trees throughout the Signature Park.

Affordable Housing

- 1) At least 10% of the rental units affordable to 60% MFI or less with long term affordability provided.
- 2) At least 5% of for sale units affordable to 80% or less with long term affordability.



Don Gardner
Consulting Arborist

Registered Consulting Arborist #438
Certified Arborist TX0228

**PECANS ON
THE GROVE SITE**

November 7, 2015

For: AGR Bull Creek

I examined all protected trees on this entire site in February and March, 2015.

The magnificent live oak grove is a natural wonder. How can trees this old be so healthy and vigorous? Now, the job is to make sure they stay healthy. Protecting 3/4 of the critical root zone, which I've heard is proposed, is one of the ways to do that.

Most of the pecans on the site, however, are an altogether different story. They are all planted pecan varieties, not native pecans.

Orchardists have been developing new pecan varieties for decades. None are as good a tree (i.e., hardy, strong structure, long-lasting) as the old, original native varieties. Some varieties are better than others, but some are truly horrendous and should have never gotten out into the landscape market.

These varieties are not good, strong pecan trees, but are weak with multiple structural issues. They have more in common with Arizona ash trees, with notorious flaws, than with native pecan trees.

The health of a tree can go bad, or the structure can go bad.

The structural issues with the pecans in question include, 1) poor branch attachment, 2) co-dominant trunks with one trunk growing laterally, not upward, and 3) included bark that holds water, and decays easily and rapidly.

In addition, pecans have the reputation for branch breakage, which they deserve. And, it can be counted on, the newer varieties will break when they get a little size and weight on them.

Further, due to prolonged heat and drought, many of the pecans at this site, like pecans all over central Texas, have major crown dieback, with all the decay and structural issues that come with large dead wood.

Someone planted poor pecan varieties and they lasted a while. But now, the trees are coming apart. They should be removed.

Unfortunately, the pecans are not good, strong, long-lived natives like the live oaks in the groove.

Please contact me if you have any questions.

A handwritten signature in black ink, appearing to read 'Don Gardner', with a stylized, cursive script.

Don Gardner, RCA
Registered Consulting Arborist #438
Certified Arborist TX 0228



Don Gardner
Consulting Arborist

Registered Consulting Arborist #438
Certified Arborist TX0228

**TREE CARE
RECOMMENDATIONS
FOR
LIVE OAK GROVE**

**ON FORMER
TX DOT PROPERTY
LOCATED NEAR THE
INTERSECTION OF
BULL CREEK ROAD AND 45TH STREET**

SPRING, 2015

**PRODUCED FOR
MILESTONE BUILDERS
NORRIS DESIGN**

**Produced By
Don Gardner, RCA
Registered Consulting Arborist #438
Certified Arborist TX0228**

LEGEND FOR ABBREVIATIONS USED IN THE FIELD REPORT FORMS

By Don Gardner, RCA

- RV: Remove volunteers. The areas around and between the trees has been mowed using a tractor and shredder for many years. Fortunately, the mowers stayed away from the bases of trees and did not regularly hit them, which is often the case. However, in the spaces between the mowed areas and the tree trunk bases, many young sapling trees have grown. They range from one-half inch to three inches in diameter. In many instances there are so many volunteer trees and shrubs around the bases, one can barely get to the tree. The volunteer tree root systems are becoming interwoven with the large tree's root system. All of these volunteers must be removed. This work must be done carefully and sensitively.
- DW: Prune dead wood two inches in diameter and larger. Pruning large dead and decayed wood minimizes and prevents larger decay in trees, prevents many structural problems from happening, and preserves the tree many more years. Proper and skilled pruning, according to International Society of Arboriculture standards, is critical to preserving trees.
- Rep.: Repair is a pruning term that means to prune broken branches (usually caused by high winds) properly so the wound will close and decay will be minimized.
- Train: When tree crowns grow into each other, become tangled and branches interwoven, training prunes to separate the trees so they don't constantly rub wounds and cause broken and dead branches.
- Vines: Wild grape vines and poison ivy vines are not good for trees. They eventually shade out and break canopy branches.

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3211	C elm						RV = remove vegetation RV, DW, repair, remove low limbs around base
3212	LO						DW, repair remove characteristics
3213	LO						RV, close by
3215	LO						RV, DW, Repair
3214	C elm						RV DW, repair
3608	LO				Tree 3/5m 1 tree		RV Repair ends
3609	LO				low 2/4 possible		RV Repair DW, leave
3216	LO						RV DW, repair
3926	LO						RV, DW, Rep
3217	LO						RV DW, rep.
3218	LO						RV DW, rep.
3925	LO						RV

Tree ID	Tree Species	Vigor	Structure	Observations	Maint. Task	Maint. Priority	Tree Comment
3927	LO						Remove. Trunk lateral
3928	elm.						and ladder often
3219	LO				DW, repair, RV-13ep		RV, DW, rep
3220	LO						RV, DW, rep
3233	LO						RV, DW, rep, remove wire,
3234	LO						RV, DW, rep
3235	LO						RV, DW, rep
3236	LO						RV, DW, rep, poison ivy
3238	LO						RV, DW, rep, remove
3237	LO						RV, DW, rep, vines
3241	LO						RV, DW, rep, vines
3242	LO						RV, DW, rep.
3239	LO						RV, DW, rep, train
3240	LO						RV, DW, rep, train
3244	LO						RV, DW, rep, train
3245	LO						DW, Rep, train
3251	LO						RV, DW, Rep, vines

Page 3

1=dead or dying 2=poor 3=fair 4=good

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3252	LO						RV, DW, Rep, Vines, train
3253	LO						RV, DW, Rep, Vines, train
3254	LO						RV, DW, Rep, train
3255	LO						RV, DW, rep
3246	LO	✓	1 Crown				RV, DW, rep, train
3247	LO	✓					RV, DW, rep, train
3248	LO						RV, DW, rep, train
3249	LO						RV, DW, rep, train
3250	LO						RV, DW, rep, train
3224	LO						RV, DW, rep, Vines
3225	LO						RV, DW, rep, train, Vines
3226	LO						RV, DW, rep, train

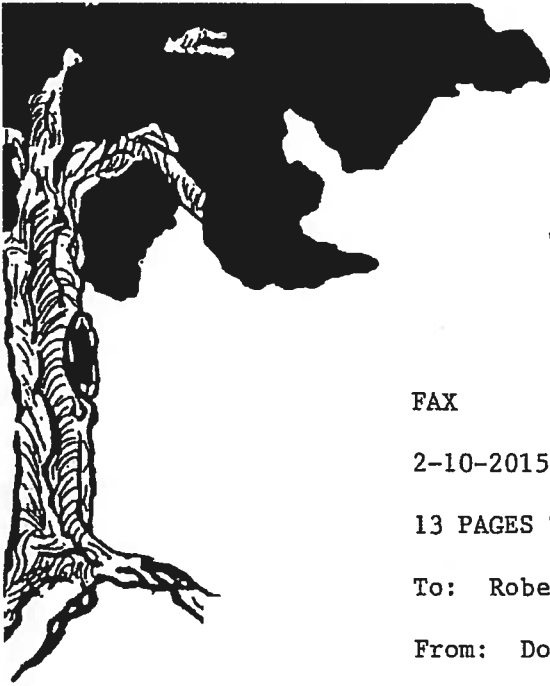
P4

1=dead or dying 2-poor 3-fair 4-good

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3221	LO						Dead - remove
3220	LO						RV, DW, rep
3222	LO						RV, DW, rep
3223	LO						RV, DW, rep, vines
3257	LO						RV, DW, rep, vines
3246	elm						Remove - center leader broken
3228	LO						RV, DW, Rep
3229	LO						RV, DW, Rep
3230	LO						RV, DW, Rep
3227	elm						RV, DW, Rep
3258	LO						RV, DW, Rep
3259	LO						RV, DW, Rep

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3260	LO						RV, DW, Rep
3261	LO						RV, DW, Rep
3262	LO						RV, DW, Rep
3265	LO						RV, DW, Repair, Veneer
3266	LO						RV, DW, Repair, Veneer
3263	LO						RV, DW, Repair
3264	LO						RV, DW, Repair
3268	LO						RV, DW, Rep
3269	LO						RV, DW, Repair, Veneer
3267	Dead						RV, DW
3295	LO						Remove broken branches RV, DW, repair to
3293	C. Jun						Dead crown MT remove

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3294	LO						RV, DW, Rep, Vains
3287	LO		no tree top				RV, DW, Rep, Vains elevated outlet edge of street
3298	LO						
3299	—		not here				
3292	LO						RV, DW, Rep, Vains
3290	LO						RV, DW, Rep, Vains
3288	LO						RV, DW, Rep, Vains
3289	LO						RV, DW, Rep, Vains
3291	LO						RV, DW, Rep, Vains
3300	LO						DW, Rep



Don Gardner
Consulting Arborist

Registered Consulting Arborist #438
Certified Arborist TX0228

FAX

2-10-2015

13 PAGES TOTAL

To: Robert Deegan

From: Don Gardner, Consulting Arborist

Enclosed please find the 12 pages of ^{completed} evaluation forms
for the Milestone project.

Bull Creek Project 2-4-75

P1

1=dead or dying 2=poor 3=fair 4=good

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment	2-4-75
3065	Western wood			2			2 nichia contacted base decay pockets	
3064	live oak			3/4			15" high surface rot, from headwound planted 20-inches	
3085	Tallow			3			ca tallow protected?	
3084	Tallow			3	DN repair			
3083	Tallow			3	"			
3082	C. elm			3	"		18" - not 20"	
3081	Hock honey			2			trunk decay/branch decay/ mistletoe	
3080	ant elm			2			CO-dom, hypox, crown 400g gone wet wood, decay pockets	
3067	Pear			3	DN repair			
3066	Tallow 33"			3	"			
3073	Lygus multi-trunk							
3072	dead cottonwood			1			16' protected	

42

1=dead or dying 2=poor 3=fair 4=good

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3071	Crape myrtle			3			18.5 inches
3070	"			3			22 inches
3068	Pecan			3/4	DW repair		
3069	Black holly			2			multiple co-doms, very weak structure
3073	Pecan			3	DW repair		27 inches
3076	Pecan			3	"		unusual form. low stem goes 45° - Over extended
3074	Pecan			2			18" Very bad structure Weak. Trunk Trunk will break
3077	Pecan			2/3			27" Been de-horned
3078	Pecan			3			Over extended branch
3079	Pecan			3			Over extended branch

2-16-15

live oaks not on tree list

2-4-15 P3

1=dead or dying 2=poor 3=fair 4=good

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3203	live oak (LO)			3			
3204	"			3			
3285	"			3			
3270	"			4			
3281	"			4			
3280	"			3			old lightning strike on fire scar
3277	"			3			
3278	"			4			
3279	"			3			
3271	"			3			fire scar
3272	"			4			
3273	"			3			fire scar + 90° trunk bend

2-4-15 PD

1=dead or dying 2=poor 3=fair 4=good

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Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3205	C. elm			2			Crown filled w/ mistletoe
3206	"			2			stem removed crown dropped much mistletoe + dead wood 3 scaffolds - 1 w/ much wood + dead Crown weak in rest
3207	Pecan			2			19" happy weak crown
3208	Pecan			2/3			multiple co-doms / dead + broken branches. perhaps mitigate
3209	Pecan			3			
3210	Pecan			3			26" central leader
3211	Pecan			2			26" w/ happy low
3212	Pecan			2/3			26" crown dieback + only extended branches

1=dead or dying 2=poor 3=fair 4=good

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3211	C elm			2/3			much mistletoe + old storm breaker
3212	L0			3			31"
3213	L0			3			18.5"
3215	L0			3			lightning strike clearing
3214	C elm			3/4			great tree
3216	L0			3			28" Big storm break
3218	L0			3			
3217	L0			3/4			30" FAB
3925	16" L0			3			
3926	18" L0			3/4			
3220	L0			3/4			Grand
3233	L0			3/4			33" old primary

P.7

1=dead or dying 2=poor 3=fair 4=good

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3234	LO			3/4			
3235	LO			3			
3238	LO			3/4			Twin trunks 40+'' dbh 1 trunk has entirely rotten
3237	LO			3/4			25''
3243	LO			3			need pruning / scaffold breaks
3239	LO			3			''
3240	LO			3			
3241	LO			3/4			
3242	LO			3/4			
3236	LO			3			FAB
3226	LO			3/4			25'' side stem doesn't count in dbh
3225	LO			4			Twin trunks 50''+ dbh FAB

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3255	LO			3			22" side stem doesn't count
3257	LO			3/4			3 Trunks 60" grand
3277	C elm			2	poor form		low scaffold broken lots low scaffold decaying main leader broken at 12' & decaying.
3280	C elm			2			
3221	LO			1			
3219	LO			3/4			old pile near cavity closing
3210	LO			3			Big scaffold breaks
3222	LO			3			old pile near cavity
3223	LO			3/4			35"
3228	LO			3			not counting big lateral 30"4 crown stem breaks
3229	LO			3/4			
3230	LO			3/4			

1=dead or dying 2=poor 3=fair 4=good									
Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment	2-6-15	
3224	L0			3					
3244	L0			3/4					
3251	L0			4/3			Primary scaffold broken		
3252	L0			3/4					
3253	L0			3					
3245	L0			4			Grand		
3247	L0			3/4					
3246	L0			3/4					
3248	L0			3/4			3 together are grand		
3249	L0			3/4					
3250	L0			3/4					
3254	L0			3/4					

1=dead or dying 2=poor 3=fair 4=good 2-9-15 P:10

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3232	Pearson			2/3			Potom Aug! poor structure 26' bad co-dom - broken crown branched
3231	Pearson			2			18'-19" active decay at co-dom
3258	LO			3			
3259	LO			3			2 trunks 50+ inches 18-19" present live
3265	LO			3			
3266	LO			3			
3263	LO			3			
3262	LO			3			
3261	LO			3			
3260	LO			3			
3264	LO			3			
3267	Cedron (Pearson)			3			

P11

1=dead or dying 2=poor 3=fair 4=good

2-9-75

Tree ID	Tree Species	Vigor	Structure	RATING 1-4	Maint. Task	Maint. Priority	Tree Comment
3296	Quercus ferrug			2			
3297	"			2			
3100	"			2			DN, decay
3200	LO			3			
3298	LO			3			poor long
3298	LO			3			
3289	LO			3			stump fore it up
3299	LO			1-2			
3290	LO			3			
3291	LO			3			
3292	LO						35" Homestead
noted tag 3287	LO						40" Homestead Camp

1=dead or dying 2-poor 3-fair 4-good

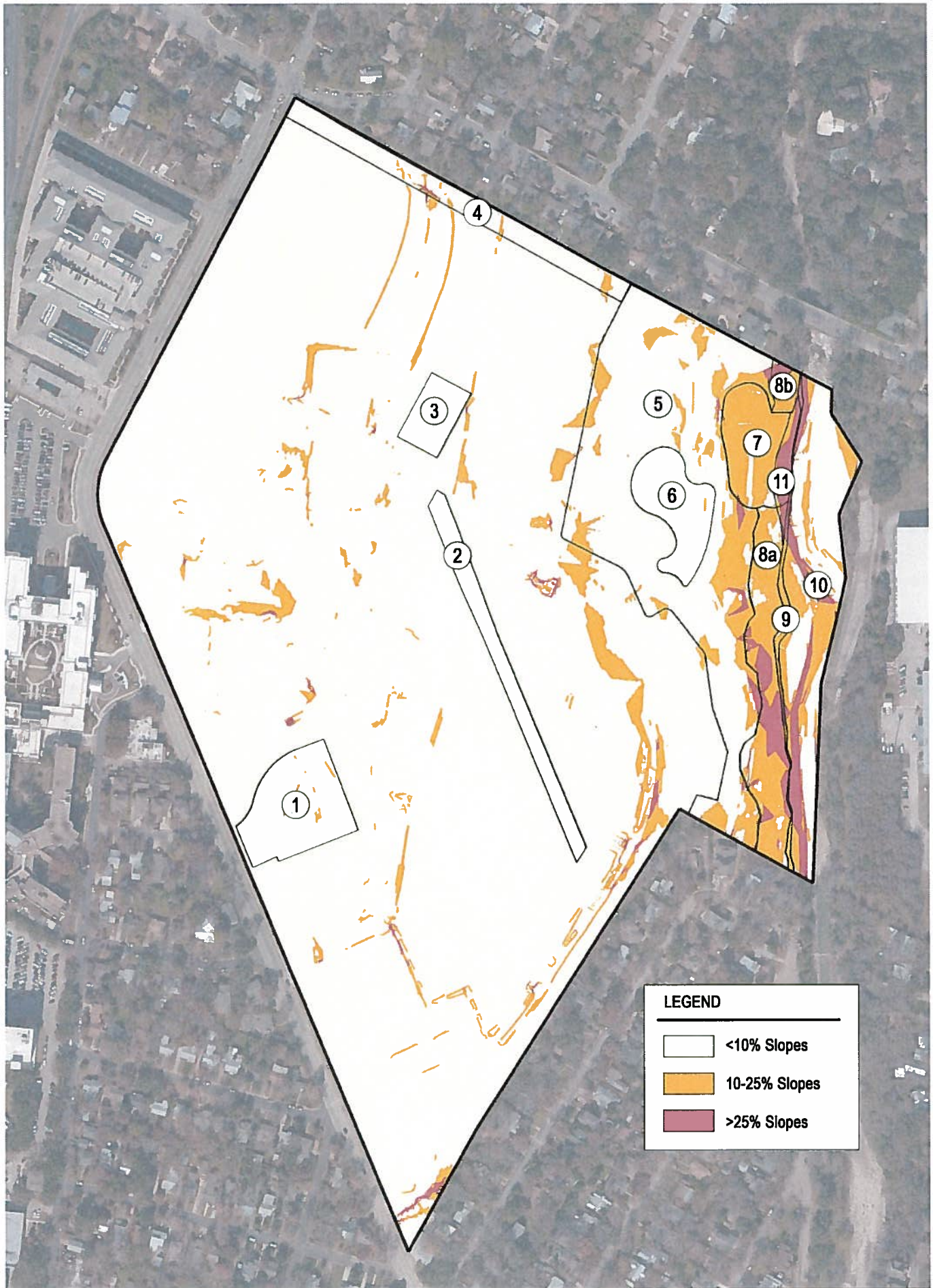
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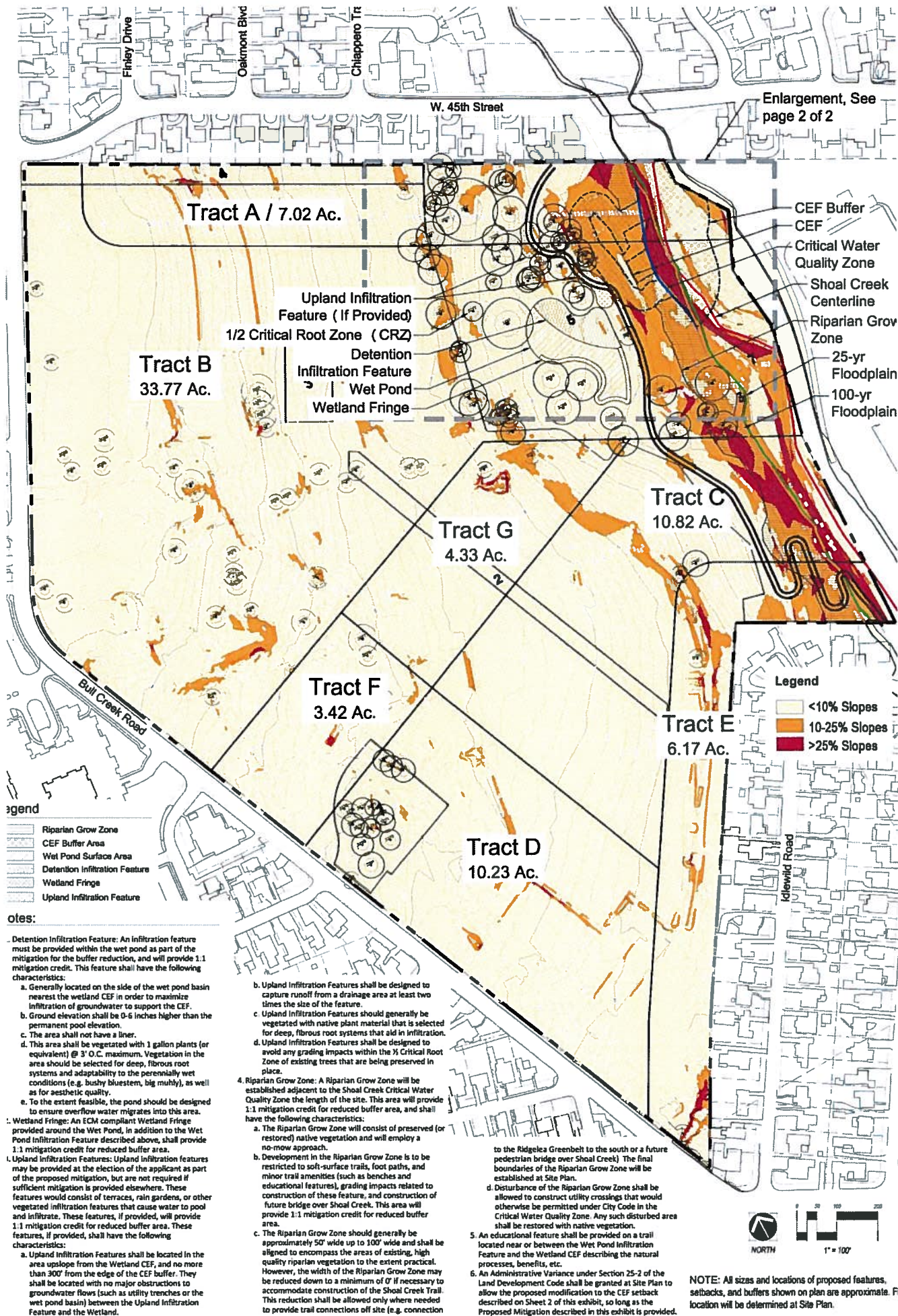
Parkland Slope Analysis
The Grove at Shoal Creek
February 15, 2016

Map Code	Park Description	Acreage of Park in Slope Category			Total Park Acreage
		<10% Slope	10-25% Slope	>25% Slope or Floodplain	
1	Neighborhood Park	1.22	0.03	0.00	1.25
2	Central Greenbelt	1.00	0.00	0.00	1.00
3	Plaza	0.50	0.00	0.00	0.50
4	North Greenbelt	0.78	0.08	0.01	0.87
5	Signature Park	3.77	1.64	0.13	5.54
6	Wet Pond	0.00	0.00	1.00	1.00
7	CEF and Buffer	0.00	0.00	0.94	0.94
8	Grow Zone	0.16	1.24	0.44	1.84
9	Signature Park - 100 yr FP	0.00	0.00	0.23	0.23
10	Signature Park - 25 yr FP	0.00	0.00	3.20	3.20
11	CWQZ (Outside FP)	0.00	0.00	0.24	0.24
NA	Flex Park Space	1.46	0.38	0.16	2.00
	TOTAL ACREAGE	8.89	3.38	6.35	18.62

Description	Acres	Percent of Requirement
Total Required Park Space	12.88	100%
Total Provided Park Space	18.62	145%
Total Credited Parkland	12.88	100%
Total Park Space under 10% slopes	8.89	69%



Parkland Slope Analysis
The Grove at Shoal Creek
February 17, 2016



The Grove at Shoal Creek Planned Unit Development Environmental Resource Exhibit



The Grove at Shoal Creek

Design Guidelines

October 24, 2016

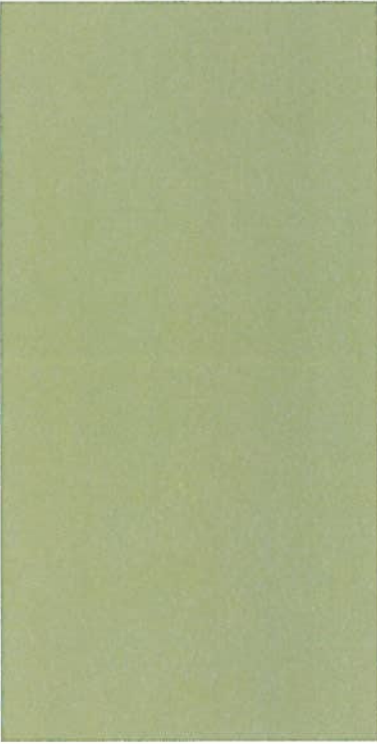






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1.0 BACKGROUND

1.1 The Site

The site for The Grove at Shoal Creek is an approximate 76-acre parcel in north-central Austin. The property was owned by TxDOT until ARG Bull Creek acquired the site in early 2015 and initiated the planning process that resulted in the Master Plan, Planned Unit Development (PUD) Zoning, and this document.

The Grove at Shoal Creek is surrounded by existing and established Central Austin neighborhoods including Allandale and Shoalmont to the north, Rosedale to the east, Ridgelea and Oakmont Heights to the south, and Westminster and the Post West Austin Apartments to the west. The site is accessed by Bull Creek Road to the west and 45th Street to the North, with the Mopac Freeway located just one block west of the site. There are existing CapMetro bus routes on Bull Creek Road with stops adjacent to the site. There are existing bike lanes on Bull Creek Road which are planned for improvement. The Shoal Creek Trail is also planned to eventually extend up to the project site along Shoal Creek.

Topography on the site falls from west to east, with the west end of the site occupied by existing 1-story office buildings and parking areas as well as relatively flat, undeveloped land. The east end of the site has slightly higher gradients and is dominated by a large grove of heritage oak trees as well as Shoal Creek, which is the site's eastern boundary. About 3.5 acres along Shoal Creek are in the 100-year floodplain.

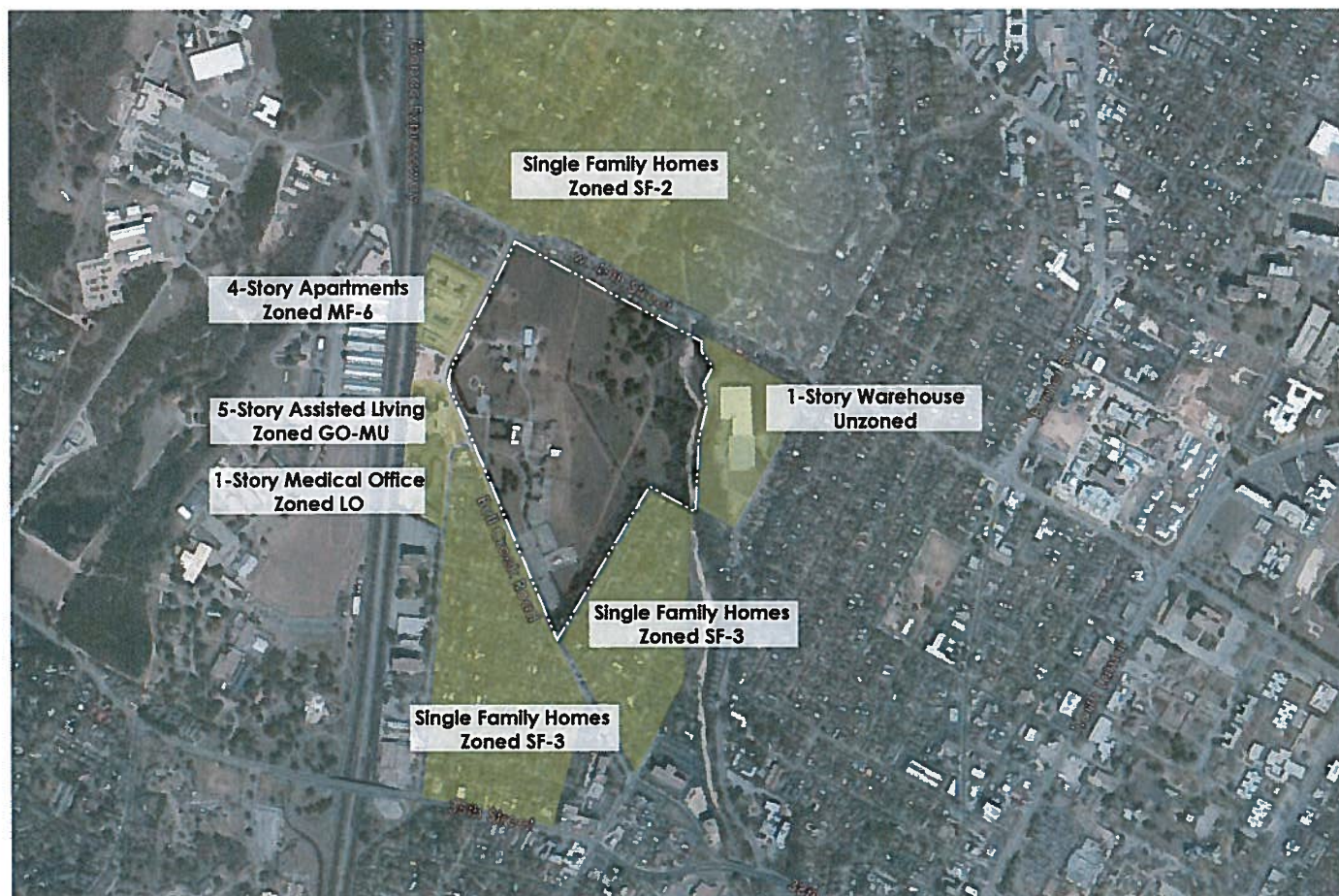


Figure 1.1: Context Map

1.2 Project History

ARG Bull Creek has put considerable effort into building a shared vision for The Grove at Shoal Creek through an inclusive and productive process. To achieve that vision, the project team has conducted an energetic community outreach program for The Grove.

The process began in January 2015 by surveying residents in Allandale, Bryker Woods, Highland Park West/Balcones, Oakmont Heights, Ridgelea, Rosedale, and Westminster at two workshops, and also online. Approximately 216 surveys were collected at the workshops, and 488 were taken online for a total of 704 surveys. Using these survey results, the team developed a vision for The Grove that reflects the community's collective vision in terms of its residential and commercial character, open space and the density of the development.

The team also engaged in dozens of formal meetings with various community groups and neighborhood leaders. Among these groups is the Bull Creek Road Coalition, a group formed in 2012 to help craft a vision and voice for sustainable development on the land ARG Bull Creek purchased from the State of Texas in late 2014, as well as the more recently formed Friends of The Grove.

The effort to publicize these meetings, events, and activities has included hundreds of signs and thousands of pieces of direct mail. The team has also maintained a website (www.TheGroveAtShoalCreek.com).



1.3 Using This Document

This document sets forth Design Guidelines for the design of the built environment within The Grove at Shoal Creek and is incorporated as part of the Planned Unit Development with the City of Austin. These guidelines are intended to supplement the zoning provisions of The Grove at Shoal Creek Planned Unit Development (PUD), which was adopted by the City of Austin on XXXX. The Design Guidelines will be administered by the City of Austin, through the Site Development Permit review process, and are subject to the final recommendations of the Traffic Impact Analysis (TIA).

The Design Guidelines are not intended to be prescriptive solutions that dictate a particular style, but rather performance criteria that can encourage diversity, creativity, and innovation within the framework established here. The Design Guidelines are organized into 5 Sections. This, the first Section, provides an introduction to the property and the document. Section 2 provides an overview of the overall vision and PUD Requirements. Section 3 establishes a framework of streets and transportation corridors that will form the structure of the community. This is the foundation off of which Sections 4 and 5 are built, and many of the guidelines in the other Sections are provided in relation to the framework established in Section 3. Section 4 establishes the architectural character of the community that will develop within that framework, and Section 5 establishes the landscape and open space character and establishes guidelines for lighting and signage. The NACTO Urban Street Design Guide was used as a reference in formulating the street designs in these guidelines and may be a useful guide in determining appropriate solutions for conditions not specifically addressed here.

2.0 THE PLAN

2.1 Vision

The Grove at Shoal Creek is envisioned as a legacy-quality neighborhood and model for innovative mixed-use urban infill development. This vision of community has three primary components: equity, economy, and ecology:



Build Bull Creek as a legacy-quality neighborhood;
a model for sustainable and innovative mixed-use
urban infill development.

Figure 2.1: Vision Diagram

2.2 Guiding Principles

Based on that vision, the development team for The Grove at Shoal Creek developed the following Guiding Principles for the project. These principals where considered in developing the Master Plan and this document.

2.2.1 Create an inviting and integrated project that enhances the experience of the site and its surroundings

2.2.2. Develop a comprehensive built environment with high-quality parks and open spaces shaped by massing and appropriately scaled to their context

2.2.3 Establish a vibrant, people-oriented development pattern that promotes connectivity and prioritizes pedestrian and bicycle circulation over cars

2.2.4 Establish a restorative approach to the development of the site by integrating sustainable strategies and honoring the history and natural character of the land

2.2.5. Create an economically viable development model that maximizes the mix of uses and captures the essence of Austin living.

2.2.6 Shift the conventional interaction between developer and neighborhood to a shared-purpose relationship

2.3 Development Districts

The project is composed of two development districts and a number of park and open space elements. The Development District Map below shows the conceptual layout of these districts on the site. For each building or project on the site, the applicant may select the most appropriate district for the desired use. As described in Section 4, the Architectural Design Guidelines for that building will be based on the selected district.

The Development District Map shown here is conceptual in nature and is not intended as a regulating document. Land Use regulations shall be governed by the approved Land Use Plan in the PUD zoning ordinance approved by the city of Austin on XXXX. Each building or project may select the most appropriate district for the desired project if the project is located in a Tract where that district is allowed, as described in Section 2.4.

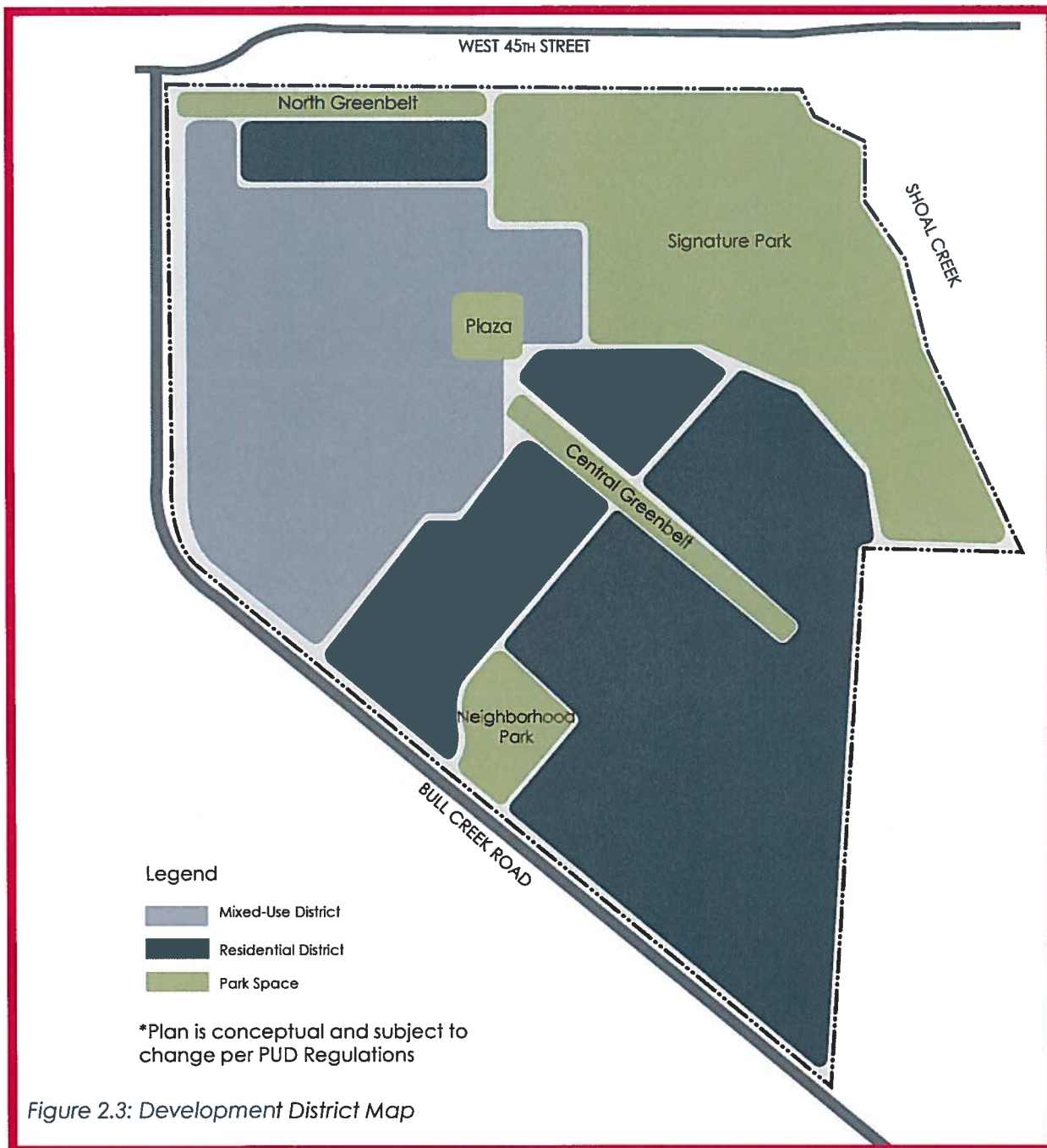


Figure 2.3: Development District Map

2.4 Description of Development Districts



2.4.1 The Mixed-Use District. The heart of the master plan, this district contains a vibrant mix of uses which may include retail, office, high-density residential, live/work, and/or congregate care. This district is allowed in Tracts B, F, and G of the Land Use Plan.



2.4.2 The Residential District. This district contains a mix of for-sale and rental housing products including detached residential, townhomes, row houses, live-work units, stacked flats, and apartments. This district is allowed in all Tracts of the Land Use Plan.



2.4.3 Parks and Open Space. The parks and open space component of The Grove at Shoal Creek shall consist, at a minimum, of the Signature Park, Pocket Park, Central Greenbelt, North Greenbelt, and Plaza. Approximate locations and sizes are depicted in Figure 2.3. Park buildings and park structures are premitted in parks and open space.

2.5 Planned Unit Development (PUD) Land Use Plan

The Land Use Plan, shown here for reference, as adopted in the City's zoning ordinance, provides the land use regulations for the project and asserts the site development regulations for each tract, including height, FAR, setbacks, and impervious cover limitations for each parcel.

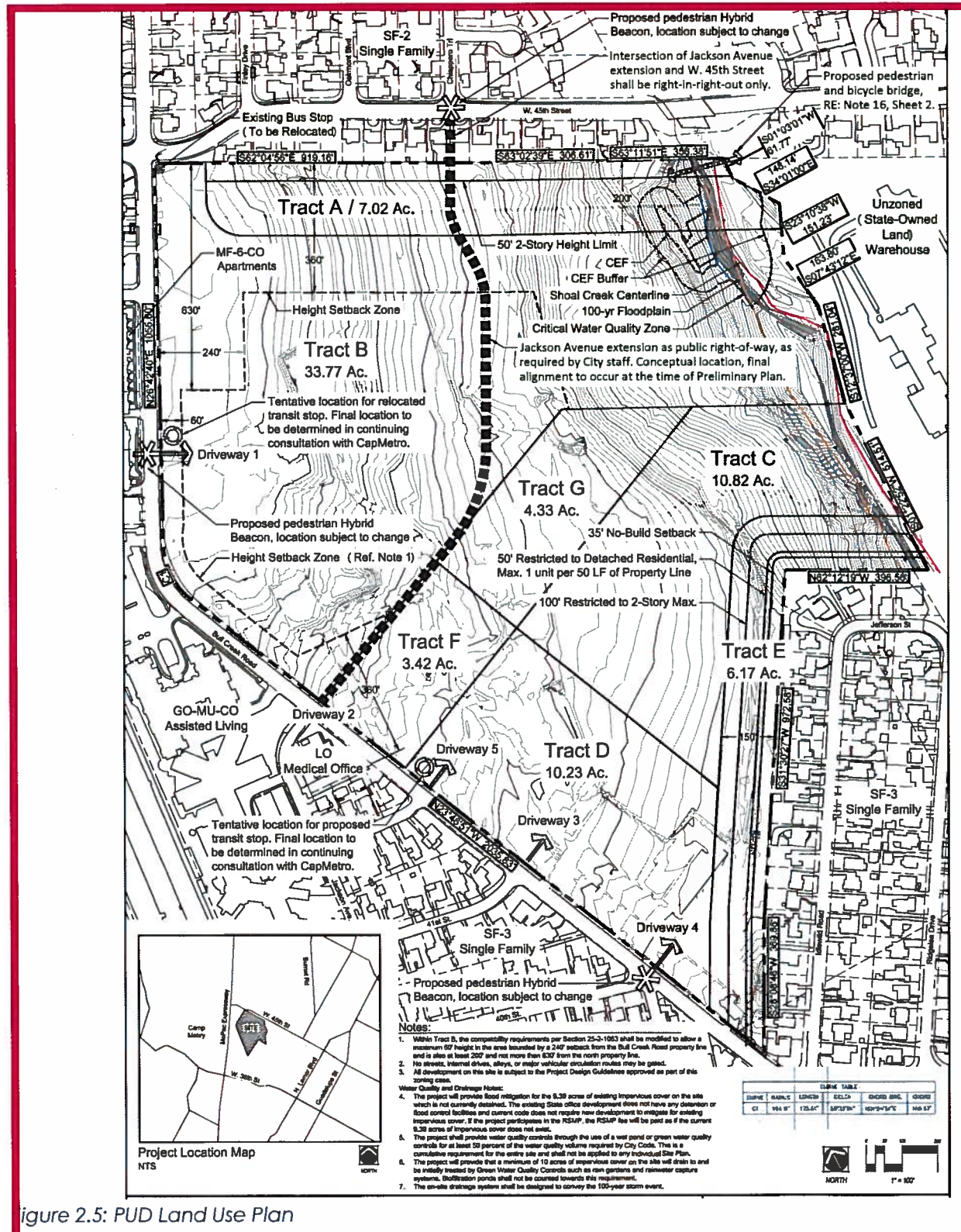


Figure 2.5.1: PUD Land Use Regulations

3.0 FRAMEWORK

3.1 Intent

Section 3 of The Grove at Shoal Creek Design Guidelines establishes standards and requirements for the framework of streets, sidewalks, paths, trails, alleys, and other circulation routes. These Framework Elements will organize the site and define not only the site's transportation system, but also some of its most important public spaces and pedestrian environments. The intent of this Section is to:



3.1.1 Create a basic framework for organizing the site and ensuring that buildings and other elements can relate appropriately to the street to create a cohesive visual identity and attractive street scene;



3.1.2 Ensure efficient pedestrian, bicycle, and vehicular circulation that is people-oriented, promotes connectivity, and prioritizes pedestrian and bicycles circulation over cars;

3.1.3 Create a high-quality street environment with street trees and properly scaled roadways and sidewalks;

3.1.4 Add urbanity to the street by providing opportunities for pedestrian friendly uses within and adjacent to the street;

3.1.5 Ensure that adequate vehicular parking is accommodated and well integrated into the street environment;



3.1.6 Provide opportunities for the integration of green infrastructure into the street environment;

3.1.7 Ensure that The Grove at Shoal Creek is developed as a comprehensive built environment.



3.2 Using This Section

This Section provides a Master Framework Plan indicating the overall layout of streets and other circulation patterns on the site. Each street, alley, or trail indicated on the Master Framework Plan is keyed to a specific cross section defining its dimensions, characteristics, and features.

Jackson Avenue will be a publicly dedicated street within The Grove at Shoal Creek. All other streets in The Grove at Shoal Creek will be privately owned and maintained but permanently accessible to the public. This means there is no public right-of-way, except for Bull Creek Road and Jackson Avenue. Instead, this document defines a "Street Zone" for each street, as well as supplemental "Greenway Zones" in certain instances. These zones establish the area in which the Framework Section sets the design standards. Other Sections of this document will set the Design Standards for spaces and elements outside the Street Zone, and may set standards for how those elements shall relate to the street using the Street Zone as a boundary line.

For the Retail Main Street, Green Streets, Secondary Retail Streets, and Residential Streets, the following additional standards apply:

1. Public access and utility easements (where needed) shall be provided for the entirety of the private street lengths, granting control to the City of Austin of all traffic elements for intersections between public right-of-way and any private streets/driveways within the development.
2. These streets shall be designed to include 50 feet minimum tangent for intersection approaches and a 100 feet minimum centerline radius for horizontal curves. Horizontal geometry for these streets may be varied with approval of the Director.

Dimensions are provided in the roadway sections that follow. These dimensions are labeled as follows:

- Min: Represents the minimum allowable dimension for this feature or space
- Max: Represents the maximum allowable dimension for this feature or space
- Approx: This dimension is approximate and may be modified as needed by the design team

Tree spacing is also provided within the roadway sections. In all areas, tree spacings are meant to represent an average spacing, and this average applies only to the length of the street between intersections. Tree spacing may be regular or irregular as appropriate to the individual design of the street and the limitations of utility locations, driveway locations, existing trees, and other existing or planned obstacles that may interfere with tree placement. Street trees are generally located in a planting zone that is a minimum of 7' wide. The planting zone shall be continuous and located adjacent to the curb. Utility compatible trees may be substituted for shade trees where utility conflicts exist. In some cases, trees may be provided adjacent to the Street Zone where utility and/or driveway conflicts prevent the placement of the tree within the street zone.

Rain gardens and biofiltration facilities are also shown in many of these sections. The feasibility of these features is subject to a number of engineering factors outside of the scope of these Design Guidelines including slope, utility conflicts, etc. While the PUD ordinance requires a certain amount of these facilities, and these facilities are generally allowable as shown and desired where feasible, they are not required in any given Street Zone or street section. Rather, the commitments made in the zoning ordinance to provide a certain percentage of the site's water quality through innovative water quality controls and to drain a certain percentage of the site's streets directly into rain gardens or other landscape features will dictate the minimum requirements for these features.

3.3 Master Framework Plan

The Master Framework Plan provides an overview of the possible layout of streets and other framework elements. Certain elements of the Master Framework Plan are considered Primary Framework Elements. The general location and orientation of these Primary Framework Elements should be as shown, only minor variations should be made as appropriate to improve alignments or traffic performance and optimize building parcels. By contrast final alignment and orientation of the Secondary Framework Elements is flexible and may vary from the Master Framework Plan so long as the final arrangement still creates a well-connected framework consistent with the Intent of this Section.

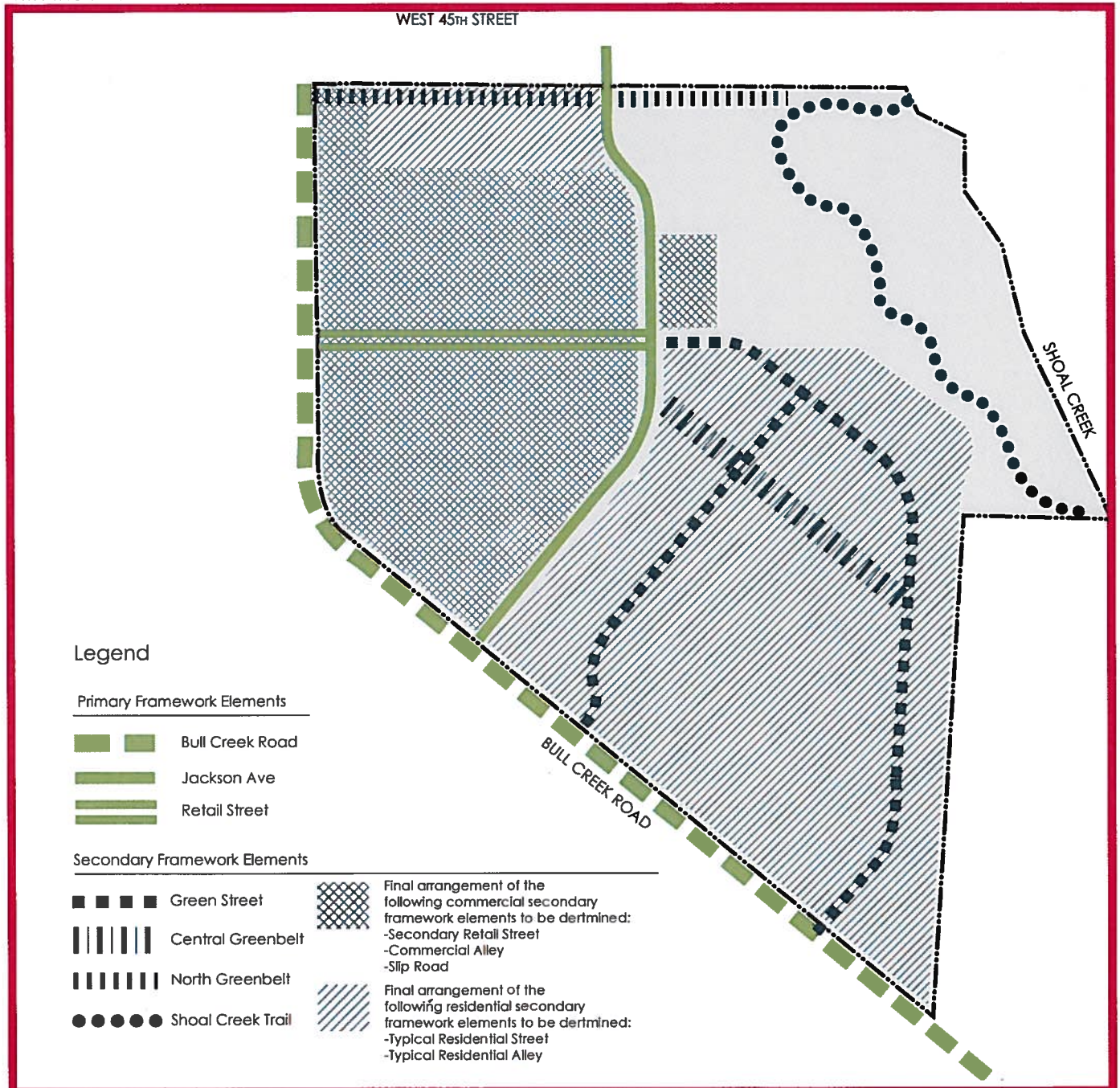


Figure 3.3: Master Framework Plan

3.4 Primary Framework Elements

3.4.1 Bull Creek Road

The intent of Bull Creek Road is to create a high-quality edge for the project that is inviting and provides exceptional facilities for pedestrians and bicyclists. These standards define the relationship of the site and the Bull Creek Road Trail to Bull Creek Road. The final design of the roadway within the right-of-way will be determined by the project's Traffic Engineer and is not governed by this document.

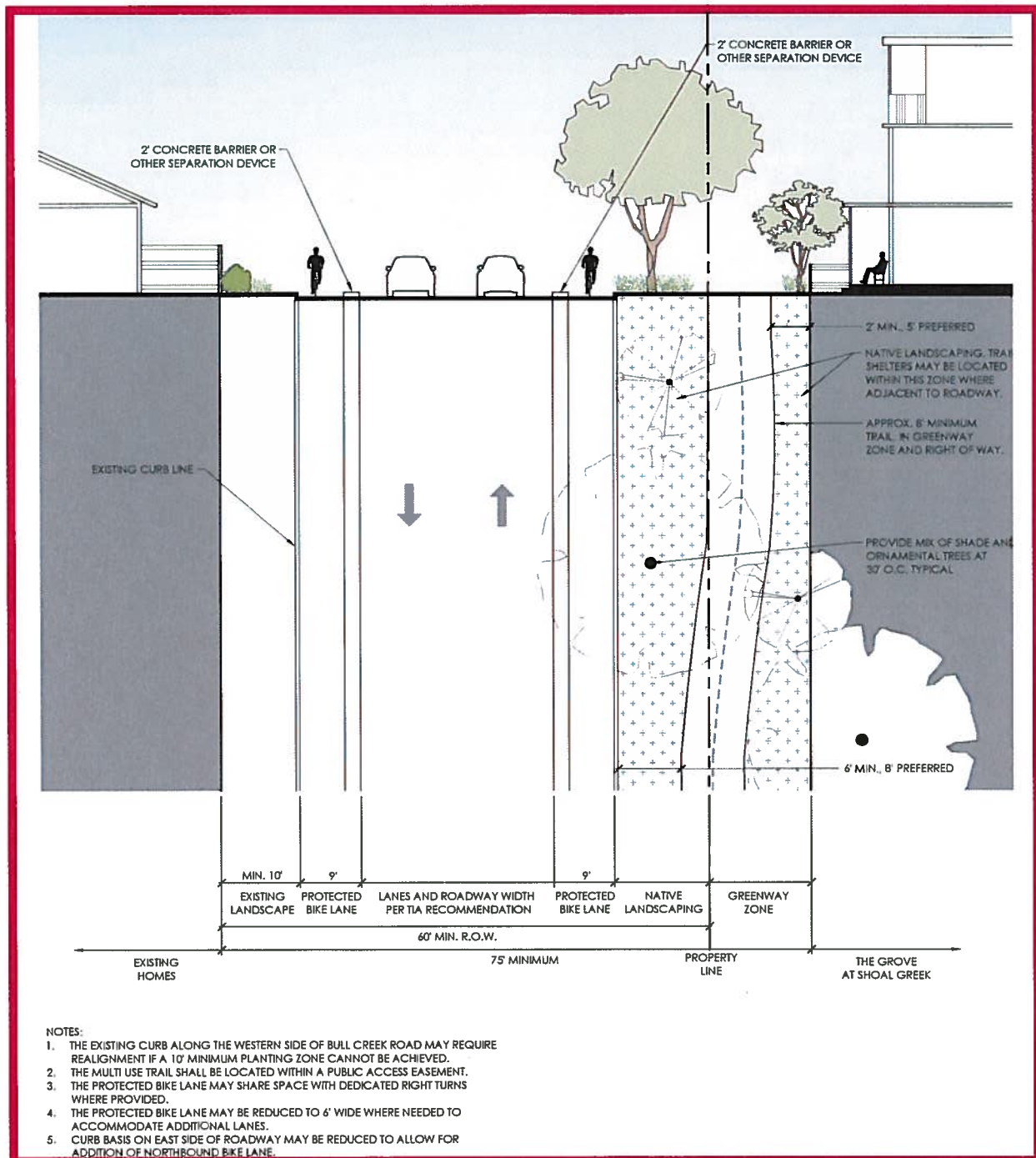


Figure 3.4.1: Bull Creek Road

3.4.2 Retail Main Street

The intent of the Retail Main Street is to create a wide, comfortable pedestrian environment that is conducive to successful retail uses and promotes interaction between users.

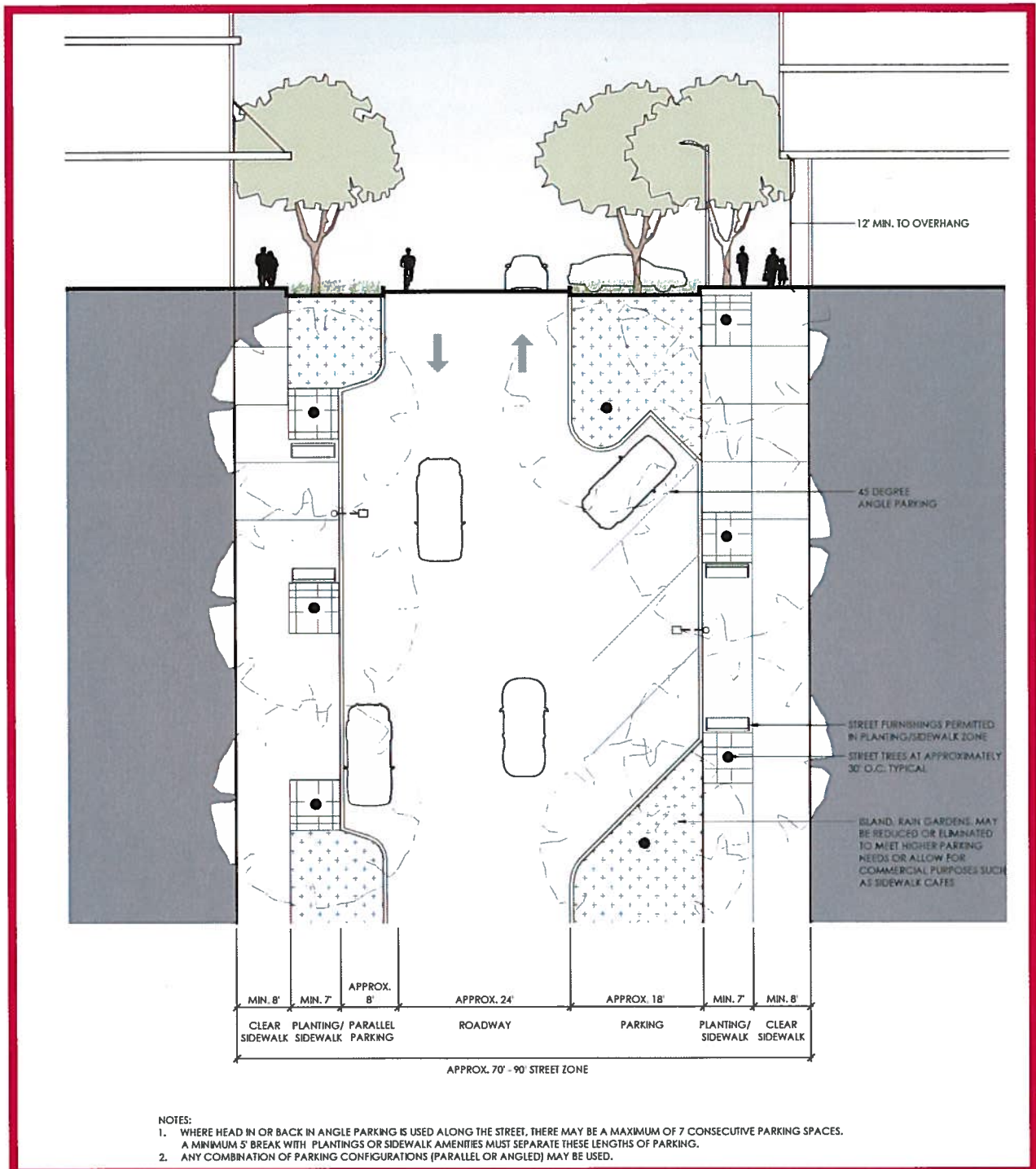
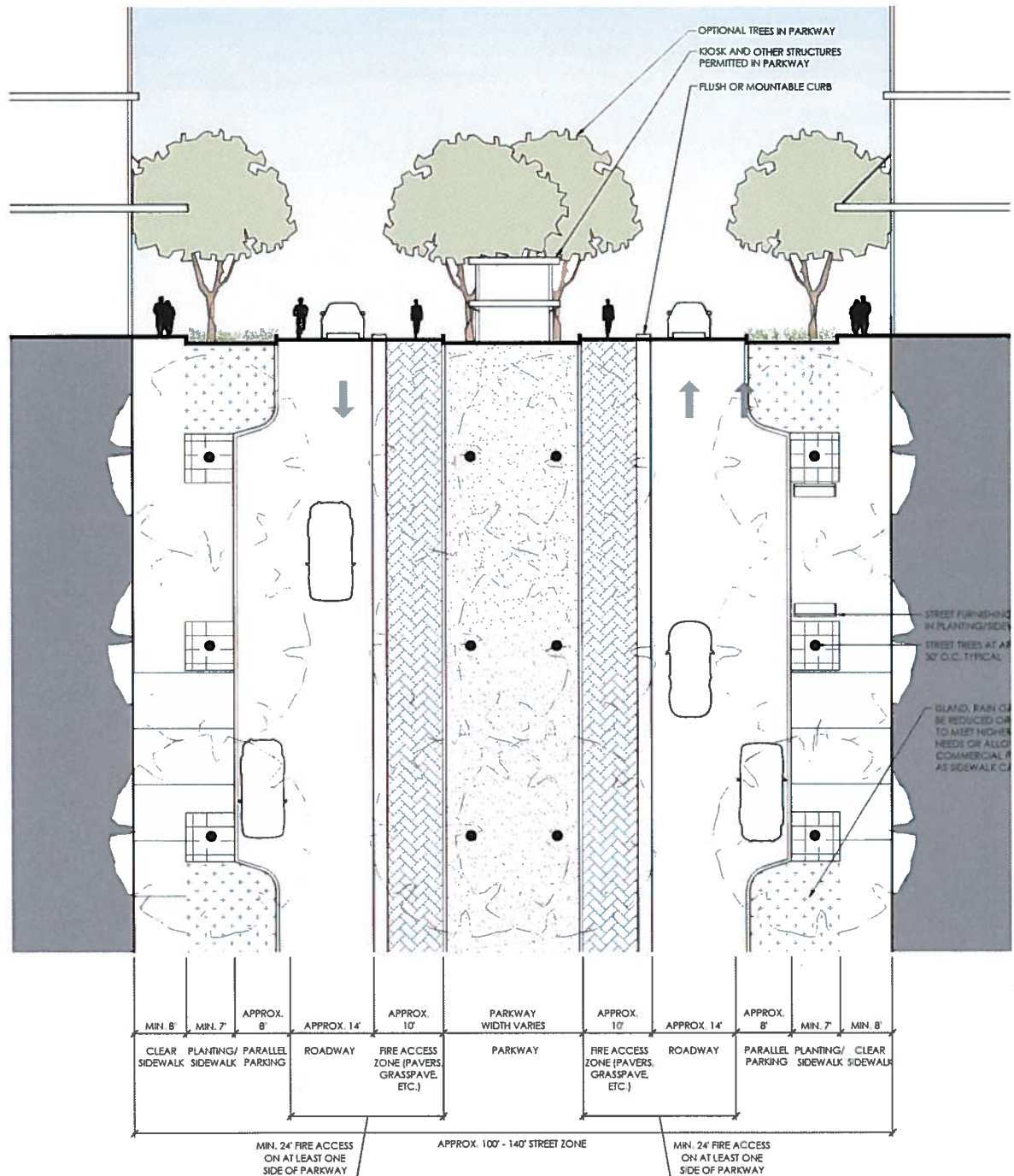


Figure 3.4.2.a: Retail Main Street

3.4.2 Retail Main Street - Parkway Alternative

This section is allowable in lieu of Section 3.4.2a for any segment of the Retail Main Street to provide for a parkway space in the middle of the roadway. This section will add open space and vibrancy to key segments of the Retail Main Street. Angle parking configurations are also permitted with this street section.



- NOTES:
1. WHERE HEAD IN OR BACK IN ANGLE PARKING IS USED ALONG THE STREET, THERE MAY BE A MAXIMUM OF 7 CONSECUTIVE PARKING SPACES. A MINIMUM 5' BREAK WITH PLANTINGS OR SIDEWALK AMENITIES MUST SEPARATE THESE LENGTHS OF PARKING.
 2. ANY COMBINATION OF PARKING CONFIGURATIONS (PARALLEL OR ANGLED) MAY BE USED.

Figure 3.4.2.b: Retail Main Street - Parkway Alternative

3.4.3 Jackson Avenue Extension

The Jackson Avenue Extension is the site's primary collector road. The intent is to accommodate a larger volume of vehicular traffic than the site's other roadways while still promoting a high quality pedestrian environment. Two potential sections are provided to allow for options with how this street deals with bicycles. A minimum of

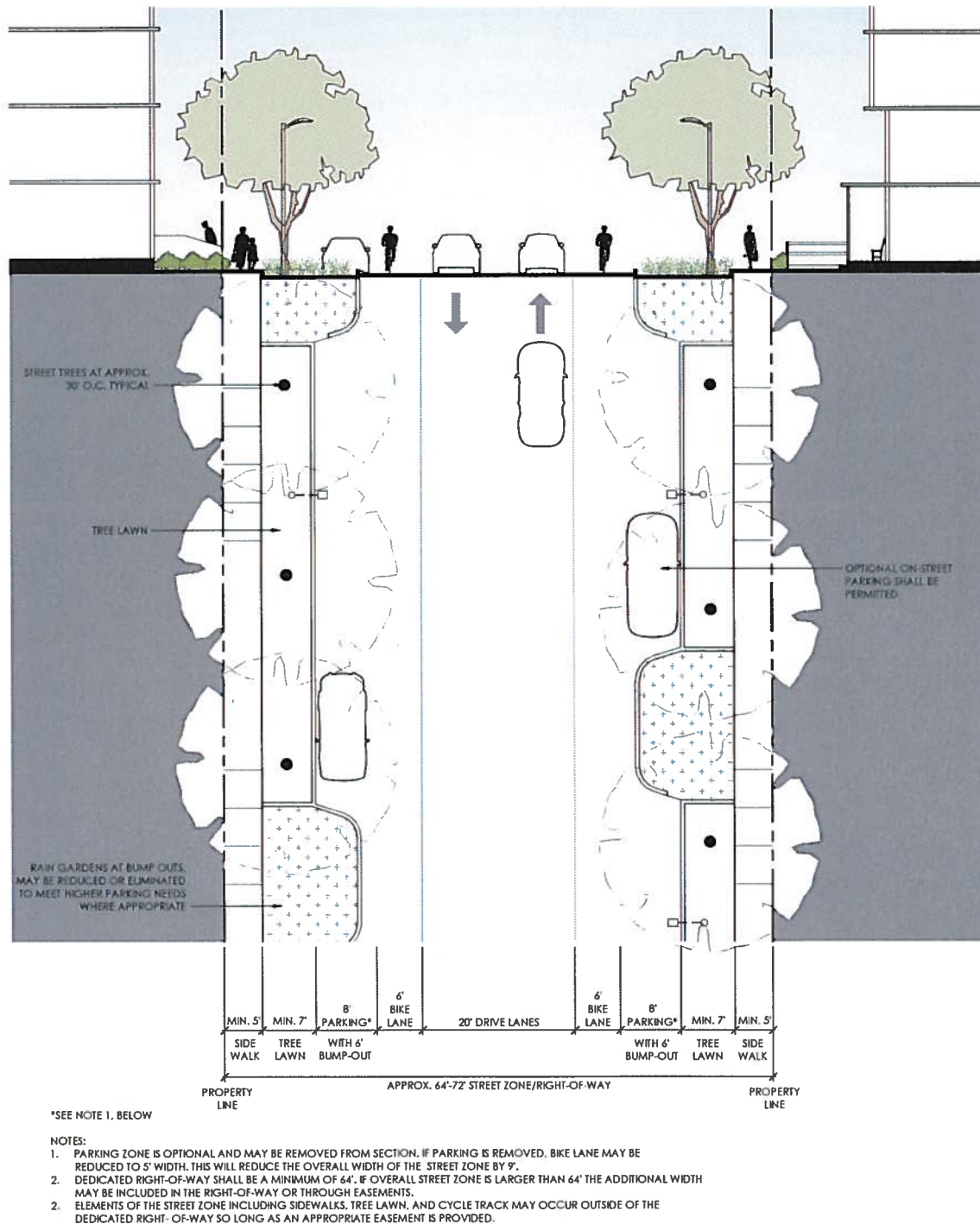
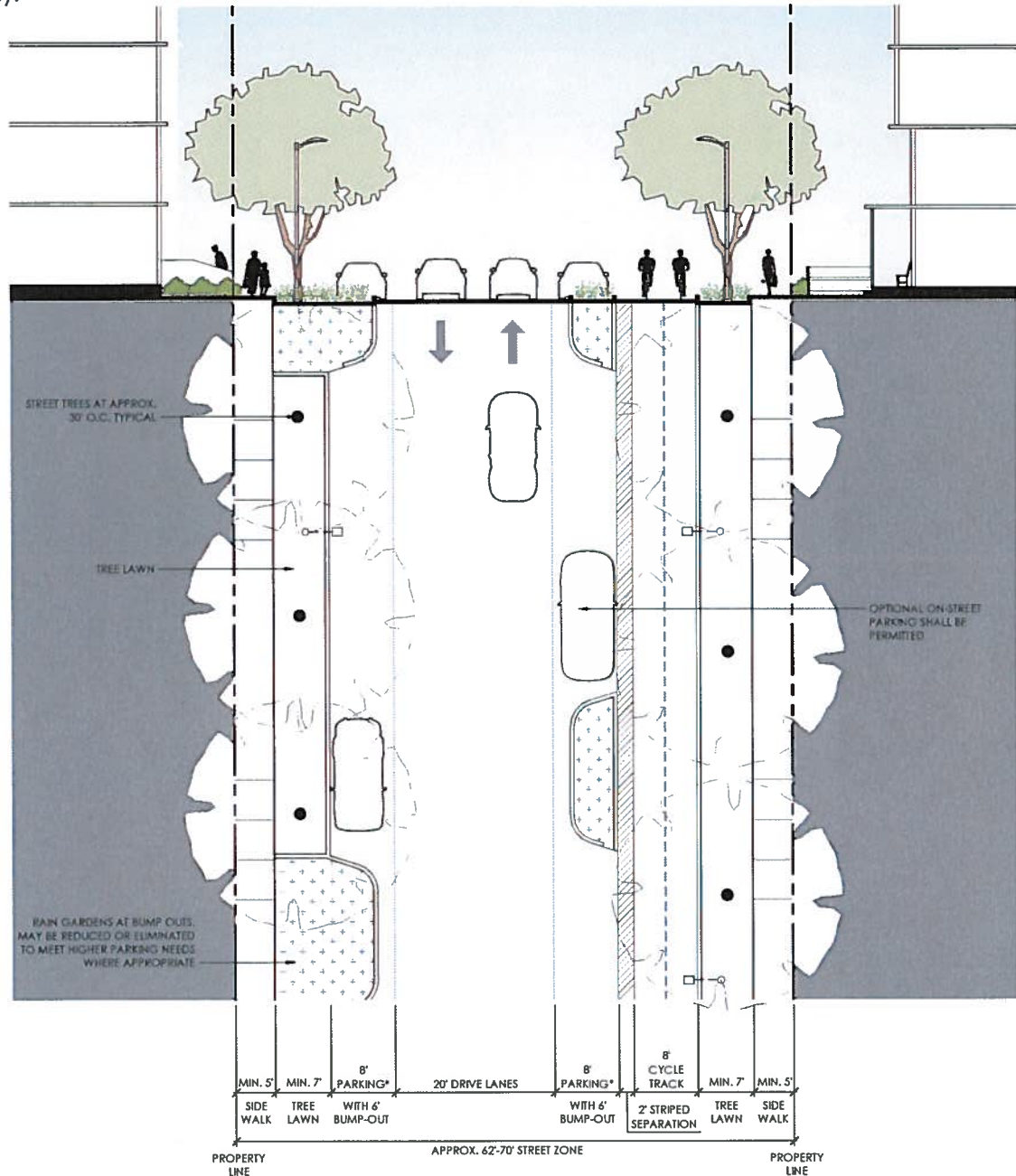


Figure 3.4.3.a: Jackson Avenue Extension

62' of right-of-way shall be dedicated for Jackson Avenue. If the total Roadway Zone exceeds 62' of width, the applicant may choose to dedicate additional right-of-way or to dedicate public access easements for the remainder of the street zone. All roadway paving and bike lane / cycle track paving must be contained within the right-of-way.



*SEE NOTE 1, BELOW

NOTES:

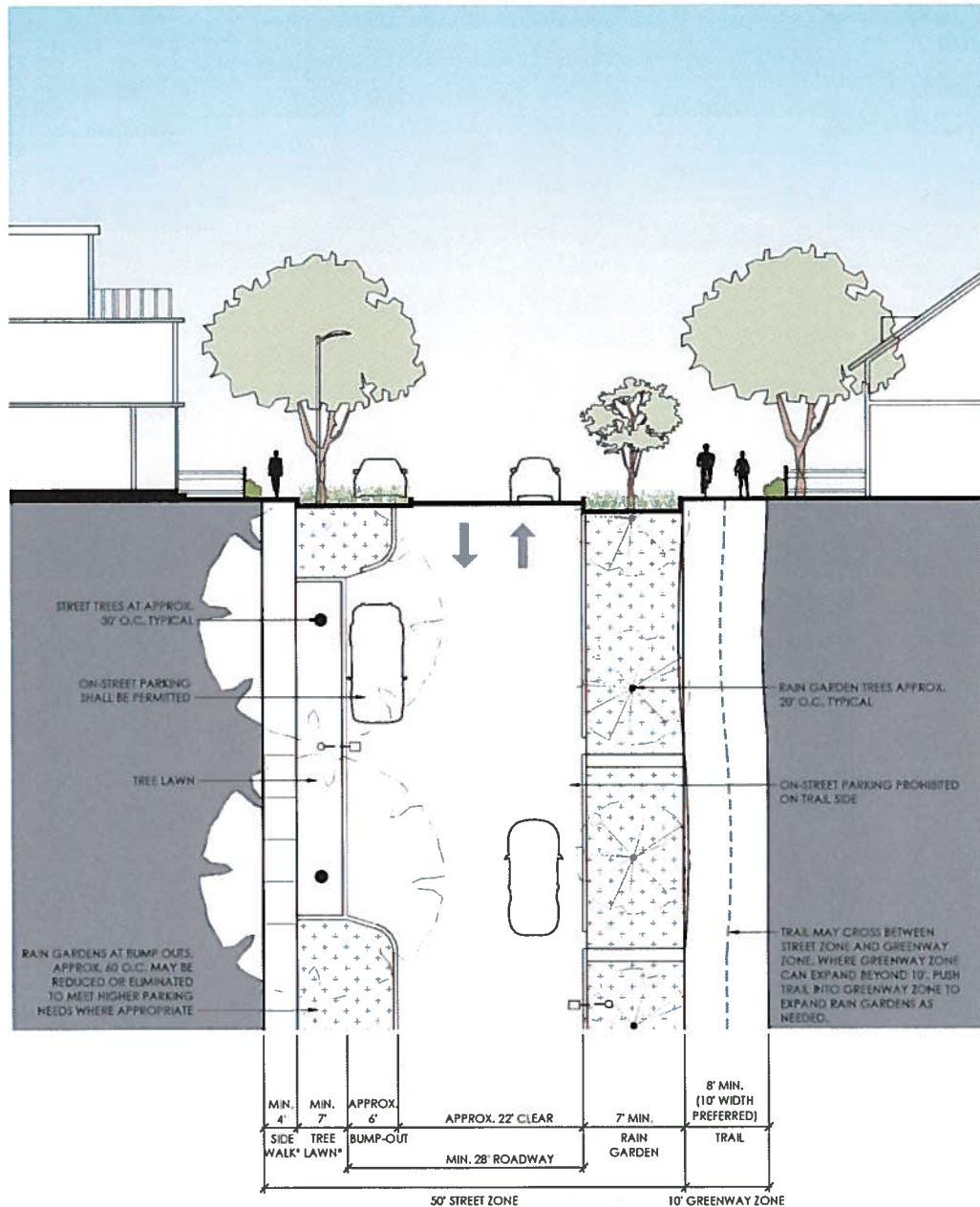
1. PARKING ZONE IS OPTIONAL AND MAY BE REMOVED FROM SECTION. IF PARKING IS REMOVED, BIKE LANE MAY BE REDUCED TO 5' WIDTH. THIS WILL REDUCE THE OVERALL WIDTH OF THE STREET ZONE BY 9'.
2. DEDICATED RIGHT-OF-WAY SHALL BE A MINIMUM OF 62'. IF OVERALL STREET ZONE IS LARGER THAN 62' THE ADDITIONAL WIDTH MAY BE INCLUDED IN THE RIGHT-OF-WAY OR THROUGH EASEMENTS.
2. ELEMENTS OF THE STREET ZONE INCLUDING SIDEWALKS, TREE LAWN, AND CYCLE TRACK MAY OCCUR OUTSIDE OF THE DEDICATED RIGHT-OF-WAY SO LONG AS AN APPROPRIATE EASEMENT IS PROVIDED.

Figure 3.4.3.b: Jackson Avenue Extension

3.5 Secondary Framework Elements

3.5.1 Green Streets

The sites Green Streets are designed to accommodate safe movement through the site and to the park for pedestrians and cyclists in particular. They also form a key element in the site's green infrastructure system.



NOTES:

1. A 5' MINIMUM SIDEWALK AND A 7' MINIMUM TREE LAWN ARE REQUIRED IF THE ROADWAY ABUTS A NON-RESIDENTIAL USE.
2. WHERE THE ROADWAY ABUTS A PARK, THE REQUIRED SIDEWALK OR TRAIL MAY BE LOCATED WITHIN THE PARK SO LONG AS IT IS LOCATED WITHIN 15' OF THE ROADWAY.
3. WHERE THE ROADWAY ABUTS A PARK, HEAD-IN OR ANGLED PARKING MAY REPLACE PARALLEL PARKING. IN THESE CASES, THE STREET ZONE WILL NEED TO EXPAND AS NECESSARY TO ACCOMMODATE THIS PARKING LAYOUT.

Figure 3.5.1: Green Streets

3.5.2 Central Greenbelt

The Central Greenbelt links the pedestrian and mixed-use zones of the site, and is designed to promote casual interaction between residents and visitors to the site.

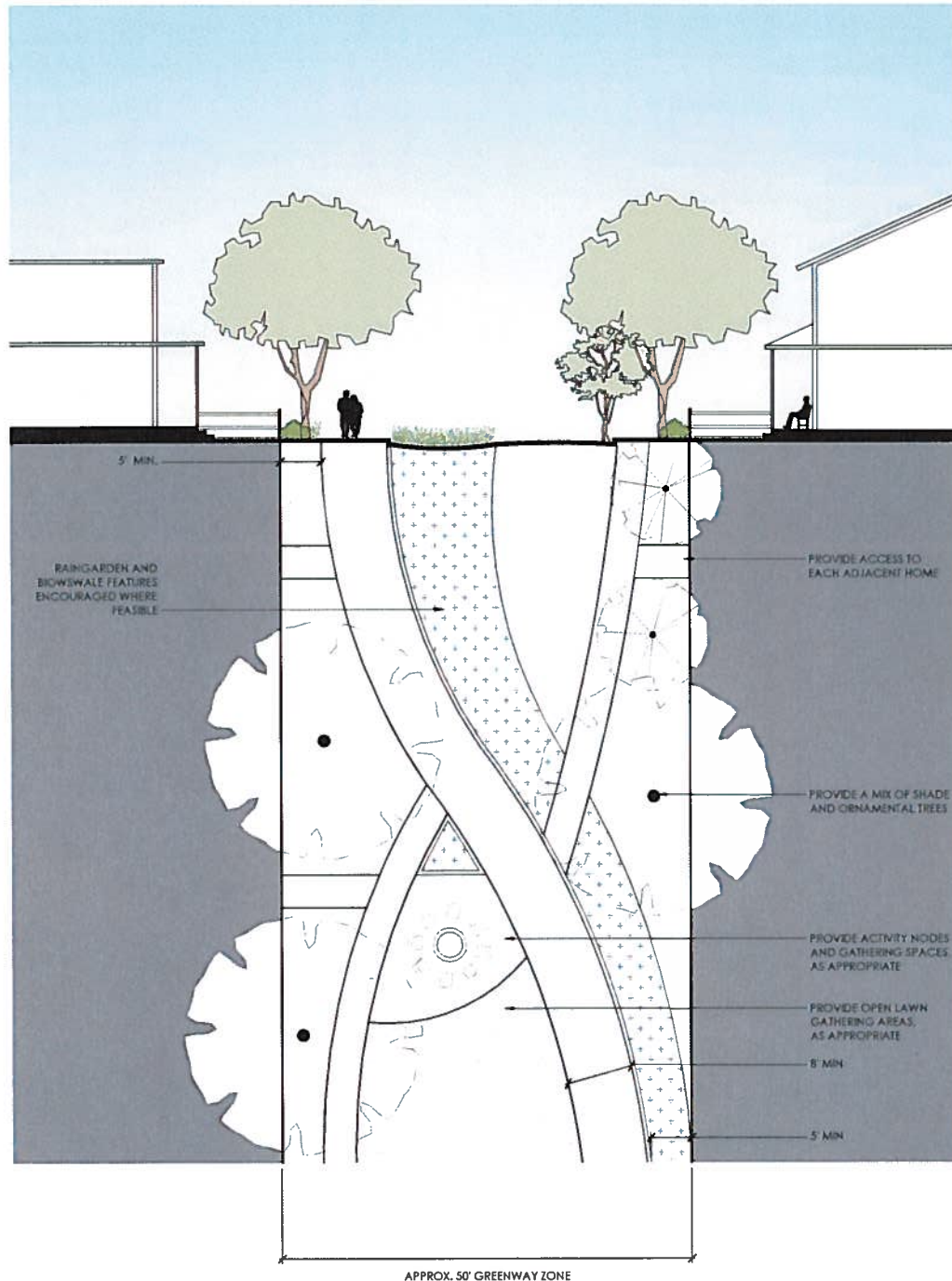
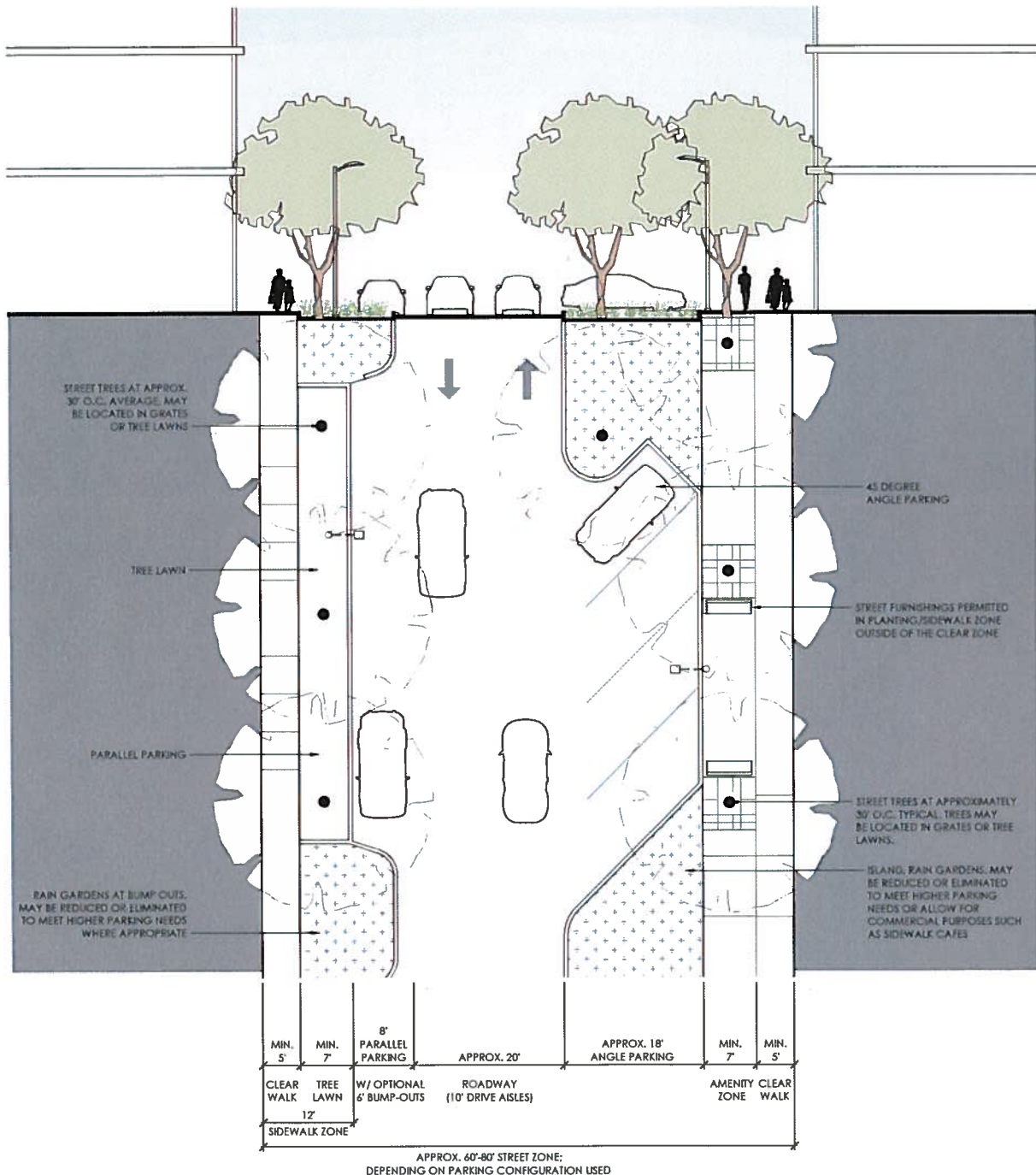


Figure 3.5.2: Central Greenbelt

3.5.3 Secondary Retail Street

The Secondary Retail Street is designed to accommodate a higher volume of parking within the Street Zone while still maintaining a street-like character. Either head-in angled or parallel parking options may be used on either side of the street.



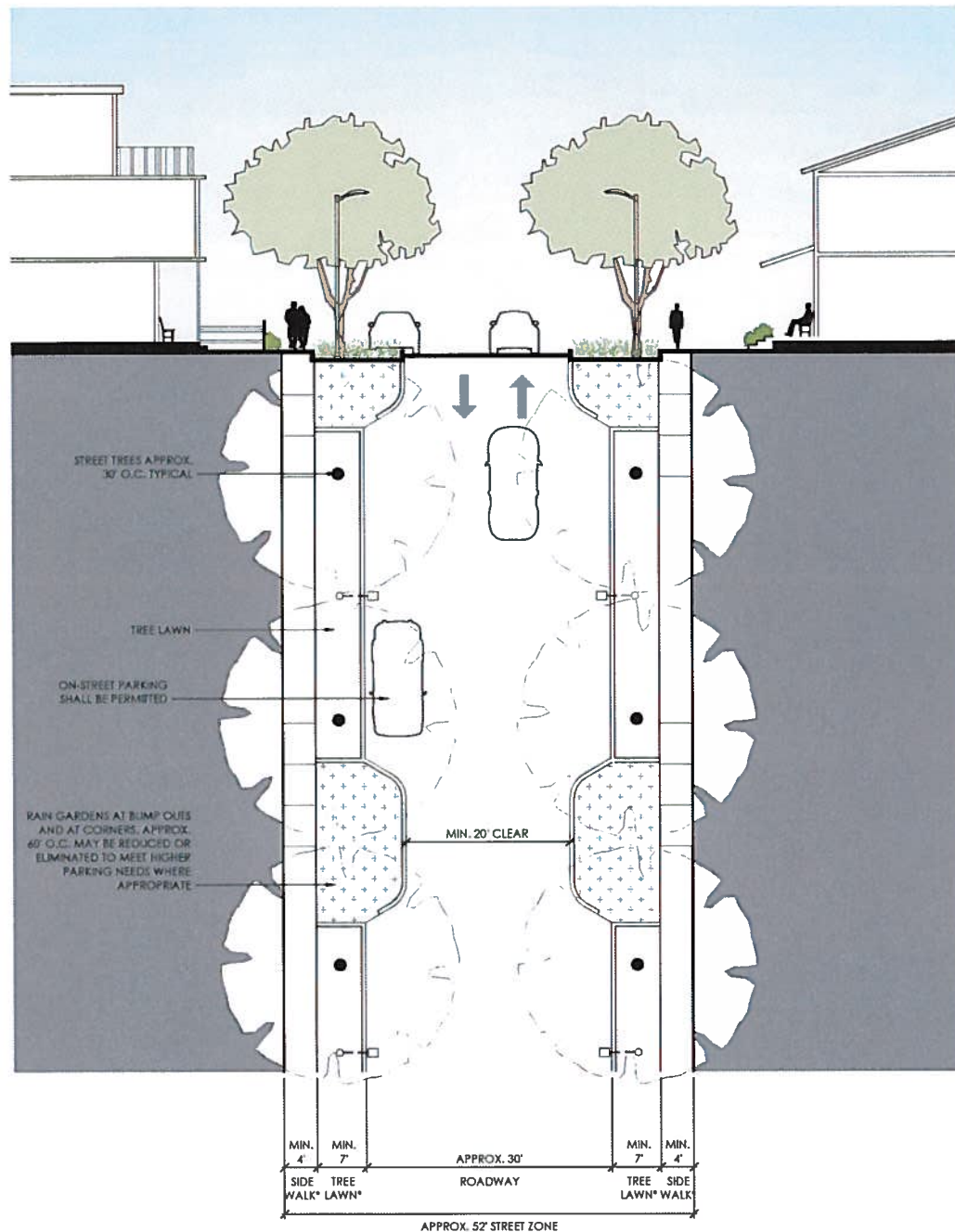
NOTES:

1. ANY COMBINATION OF THE TWO PARKING CONFIGURATIONS (PARALLEL OR ANGLED) AND TWO SIDEWALK CONFIGURATIONS (TREE LAWN OR TREE GRATES) SHOWN ABOVE MAY BE USED.

Figure 3.5.3: Secondary Retail Street

3.5.4 Residential Streets

The residential streets are designed to create a high quality residential street that will moderate traffic speeds, allow for convenient guest parking, and integrate street trees and green infrastructure into the streetscape.



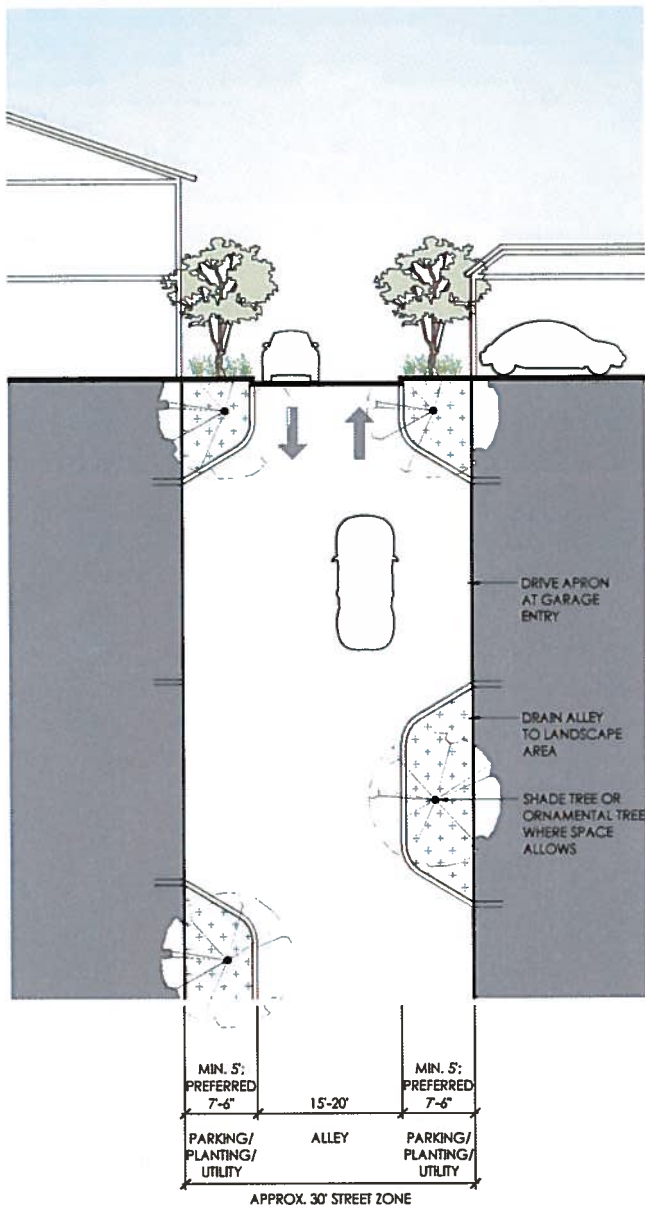
NOTES:

1. A 5' MINIMUM SIDEWALK AND A 7' MINIMUM TREE LAWN ARE REQUIRED IF THE ROADWAY ABUTS A NON-RESIDENTIAL USE.
2. WHERE THE ROADWAY ABUTS A PARK, THE REQUIRED SIDEWALK OR TRAIL MAY BE LOCATED WITHIN THE PARK SO LONG AS IT IS LOCATED WITHIN 15' OF THE ROADWAY.
3. WHERE THE ROADWAY ABUTS A PARK, HEAD-IN OR ANGLED PARKING MAY REPLACE PARALLEL PARKING. IN THESE CASES, THE STREET ZONE WILL NEED TO EXPAND AS NECESSARY TO ACCOMMODATE THIS PARKING LAYOUT.
4. THERE SHALL BE A MAXIMUM OF 200' BETWEEN BUMP-OUTS WHERE THERE IS ON STREET PARKING.

Figure 3.5.4: Residential Streets

3.5.5 Typical Residential Alley

The intent of the typical alley is to provide a functional alley that maximizes the visual appeal and integrates as much landscaping as possible. The smaller pavement section should be used wherever feasible and expanded where necessary for fire access.



NOTES:

1. ALLEY WIDTH SHALL BE 20' WHERE FIRE ACCESS IS REQUIRED.
2. ALLEY WIDTHS LESS THAN 16' ARE INTENDED FOR ONE-WAY TRAFFIC. DIRECTIONAL SIGNAGE IS REQUIRED AT ALLEY ACCESS POINTS FOR ONE-WAY ALLEYS.

3.5.6 Commercial Alley

Commercial Alleys are allowable at The Grove at Shoal Creek and are generally encouraged where they would minimize the conflicts and visual impacts created by the service functions and utility requirements of retail and other commercial buildings. A specific section is not provided for Commercial Alleys, but they should generally be designed similar to the residential alleys to include as much landscaping as feasible.

Figure 3.5.5: Typical Residential Alley

3.5.7 North Greenbelt Trail

The North Greenbelt trail will provide convenient access to the Signature Park and function as an east/west pedestrian and bicycle path on the south side of 45th Street (south of the existing homes). An optional 12' wide alley may be provided along the north property line to provide access to the existing homes which front on 45th Street at the developer's discretion and may be constructed only if allowed by the City of Austin. If the alley is constructed additional building setback from the north property line may be required to ensure the greenway zone still meets the minimum acreage designated in the Parks Plan for the North Greenbelt.

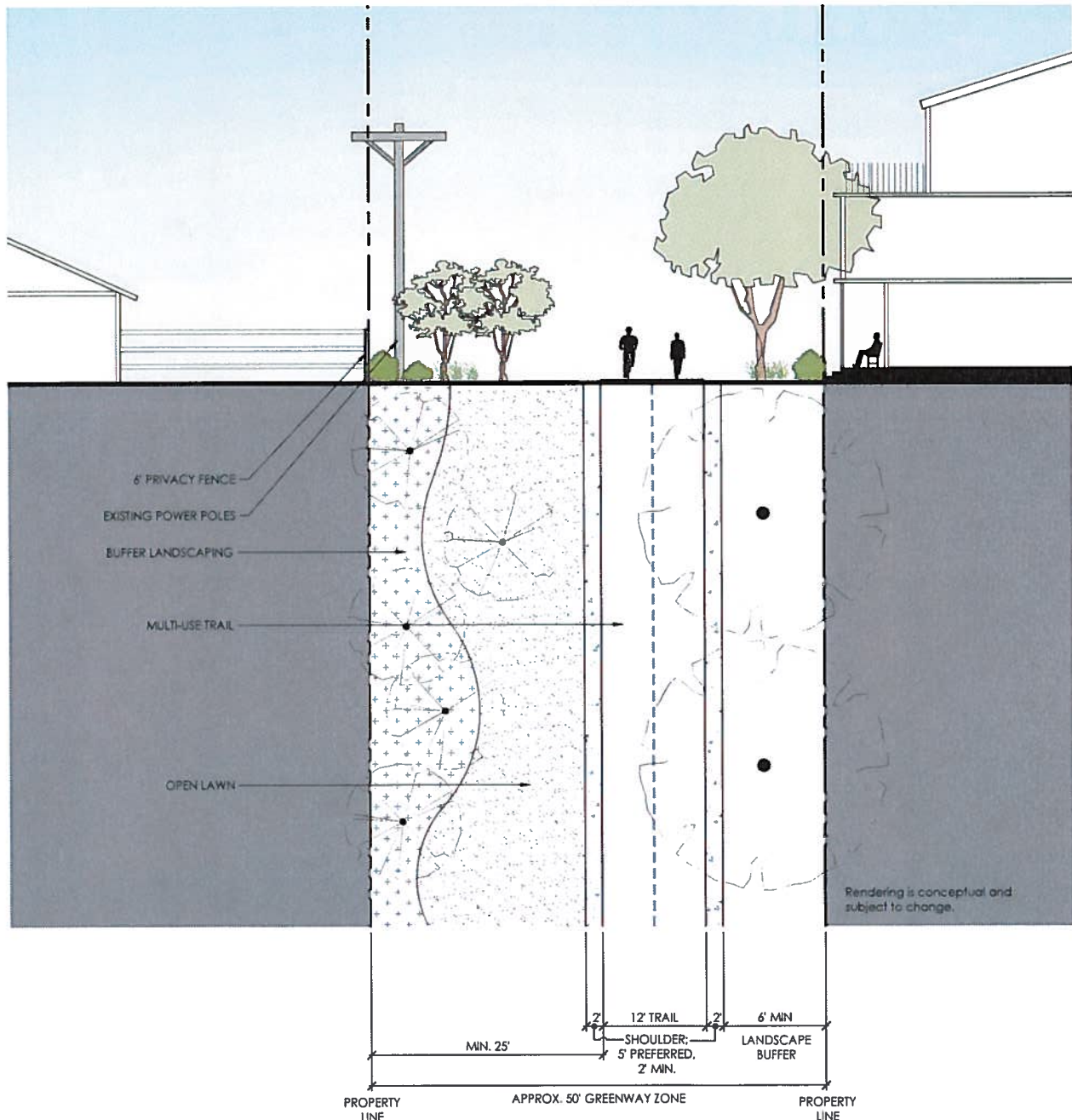


Figure 3.5.7: North Greenbelt Trail

3.5.8 Slip Road

The intent of the slip road is to provide safe access for on-street parking parallel to Bull Creek Road without obstructing traffic flow on Bull Creek Road. This framework element may be used between development parcels and Bull Creek Road and elsewhere on the site if appropriate.

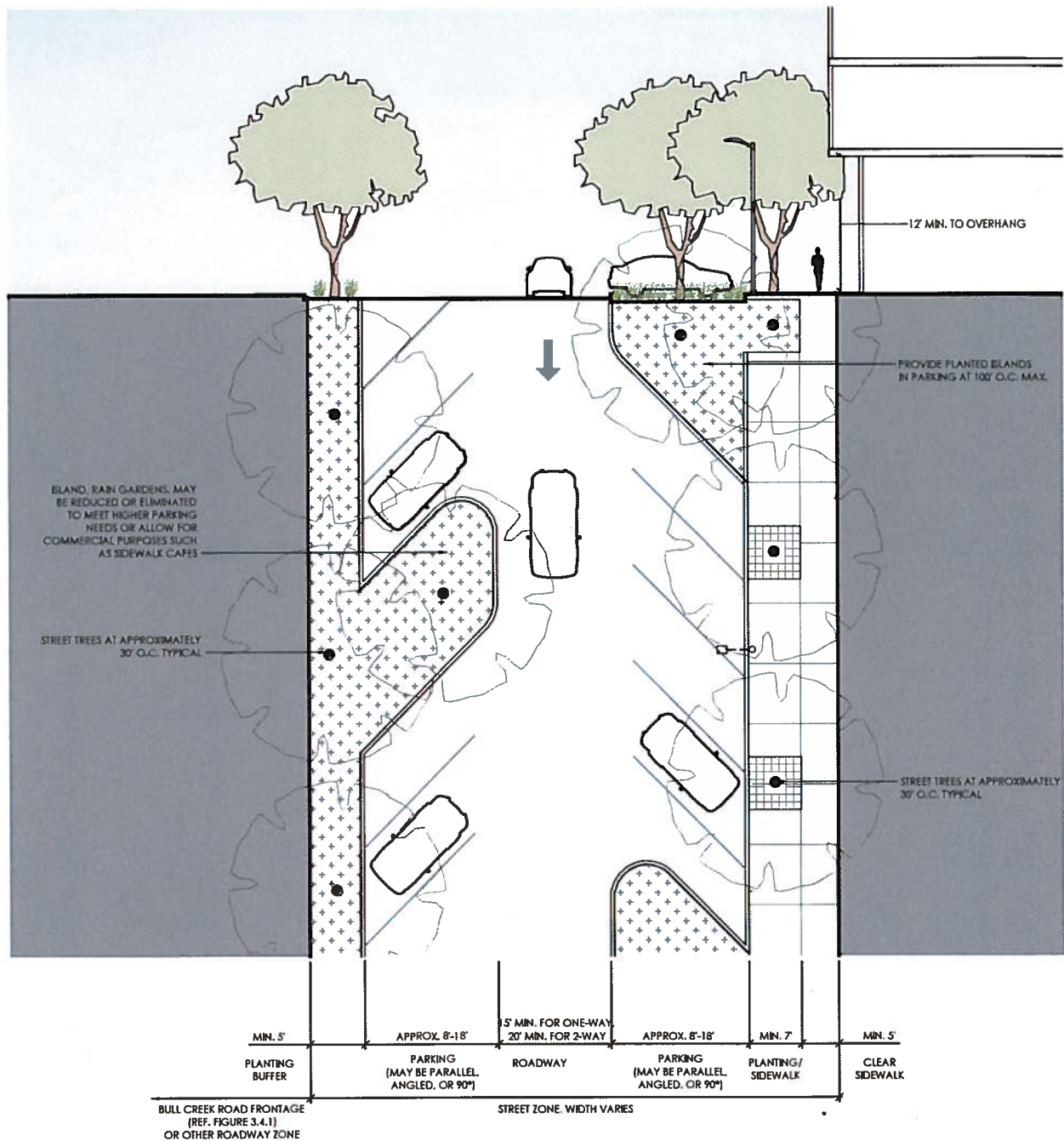


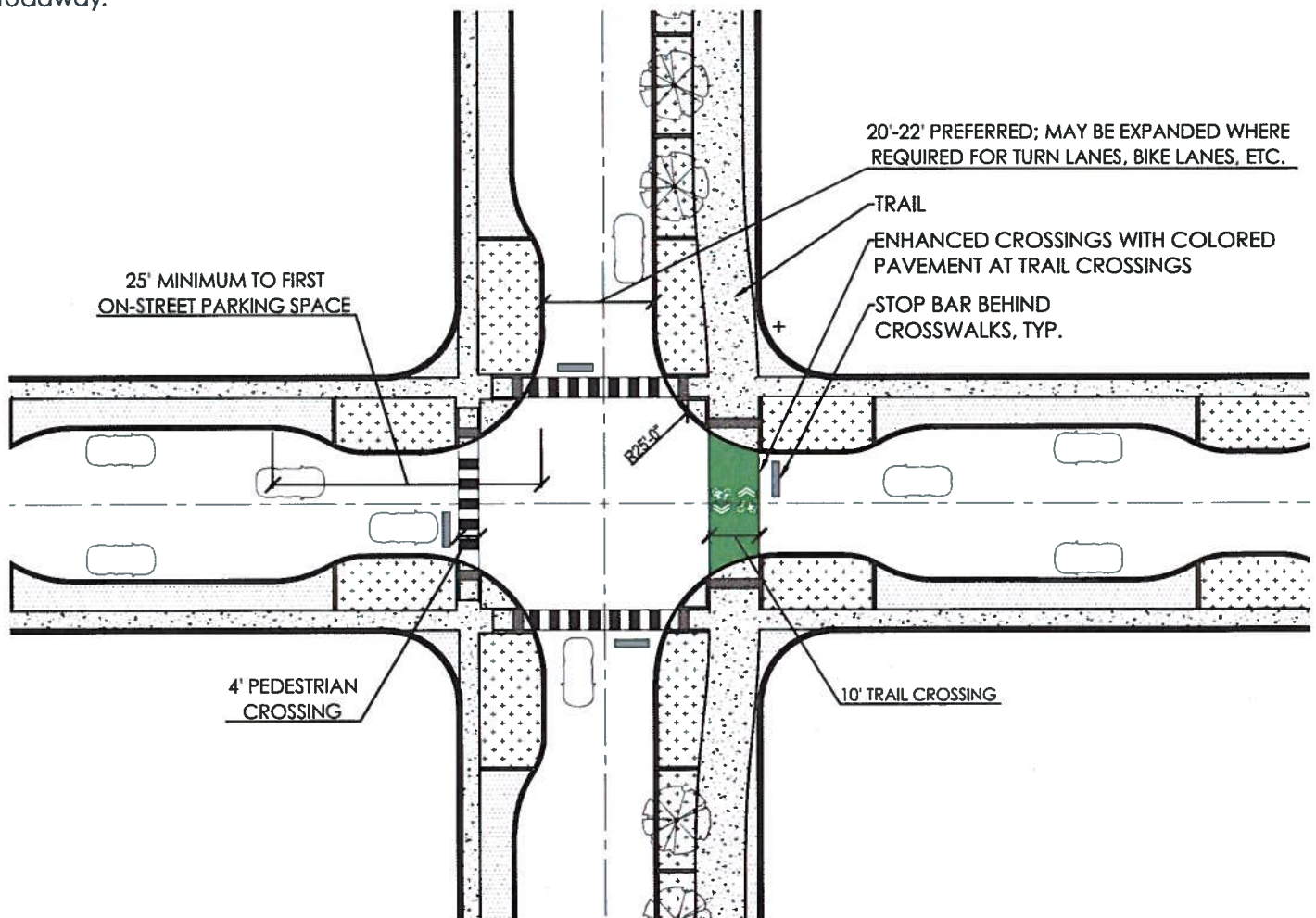
Figure 3.5.8: Slip Road

3.6 Typical Intersection Design

Intersections will take many distinct forms throughout The Grove at Shoal Creek as different street types intersect, additional turn lanes may occasionally be appropriate, some skew may be required, and bike lanes, trails, traffic controls, and other elements all impact the final design of an intersection. The typical intersections shown here are intended to set a general standard for intersections within The Grove at Shoal Creek that move traffic calmly but efficiently, provide for safe interactions between various modes of transportation, and contribute to the overall creation of a high quality, safe, and walkable urban environment.

3.6.1 Typical Intersection

The intersection shown here is between a Green Street and a typical residential street, but it reflects many of the qualities desired for all of the intersections at The Grove including minimal turning radii, bump-outs to shorten pedestrian crossings, clearly marked crosswalks, and clean integration of landscape, sidewalk, and roadway.



NOTES:

1. REFERENCE STREET STANDARDS FOR REQUIREMENTS FOR ROADWAYS, SIDEWALKS, STREET TREES, ETC.
2. ACCESSIBLE CURB RAMPS SHALL BE PROVIDED FOR ALL SIDEWALKS AT INTERSECTIONS UNLESS AN ACCESSIBLE ROUTE IS NOT POSSIBLE DUE TO SITE CONSTRAINTS. AN ACCESSIBLE ROUTE IS REQUIRED ON AT LEAST ONE SIDE OF ALL STREETS.

Figure 3.6.1: Typical Intersection Layout

3.6.2 Typical Traffic Circle

Roundabouts in the project are envisioned to help distribute traffic while also performing an important aesthetic function. The design below is conceptual and intended to communicate design intent, rather than to lock in specific dimensions, and may be modified based on final street design, etc. Because this facility is designed for relatively low vehicular speeds, the safest solution for cyclists is to merge with the vehicular lane and traverse the roundabout in the same manner as a vehicle. Cyclists who chose may dismount at the pedestrian ramp and instead traverse the roundabout as a pedestrian. This is an optional facility and may not occur on the final site plan.

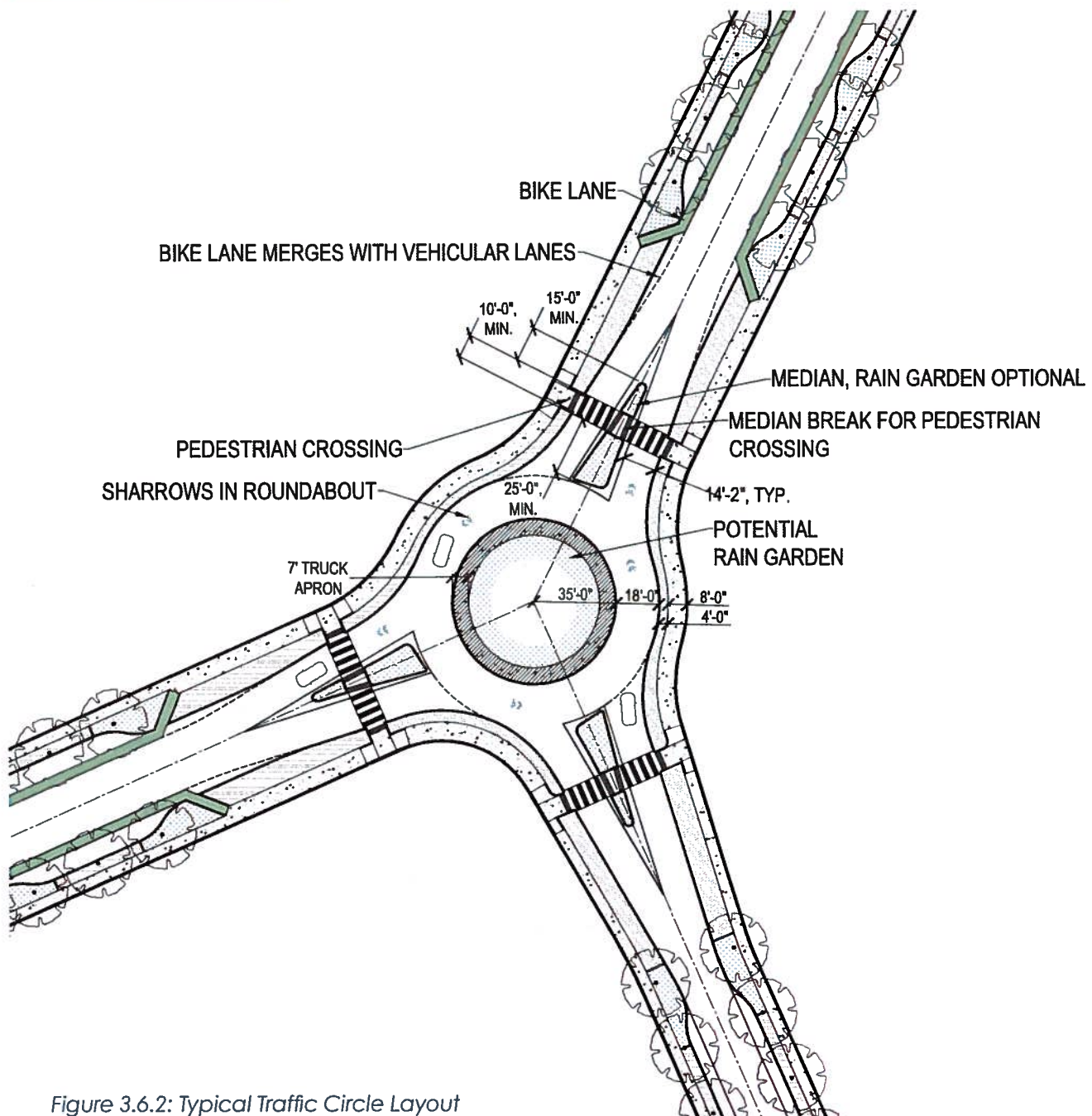


Figure 3.6.2: Typical Traffic Circle Layout

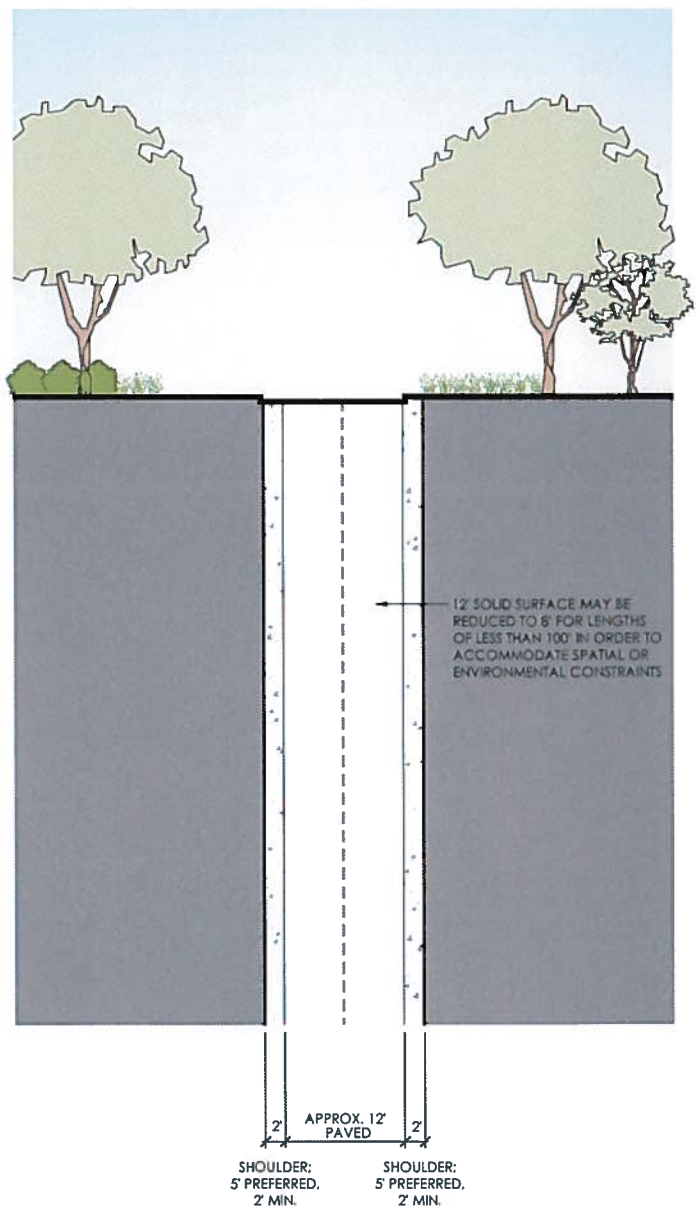
3.7 Trail Requirements

Trails at The Grove at Shoal Creek include the Shoal Creek Trail and North Greenbelt Trail as well as the trails along Bull Creek Road and the Green Streets, which are described in Sections 3.4 and 3.5. Section 3.7.1 defines requirements for the trails listed above, while 3.7.2 provides additional requirements for the Shoal Creek Trail. These requirements are intended to apply only to the urban trails on the site and do not apply to soft-surface trails, sidewalks, paths, and secondary trails within the park.

3.7.1 The following requirements apply to all urban trails on the site:

- Unless specifically noted otherwise, these trails shall follow the requirements of the City of Austin Urban Trail Master Plan.
- While a 12' width is desired for all trails, a width of 8' is acceptable for trails, other than the Shoal Creek Trail and Bull Creek Road Trail. The width of any trail may be reduced to 8' for a length of up to 100' to accommodate spatial or environmental constraints.
- All trails within the development shall include wayfinding elements that describe distance, direction, and destination, at intervals of $\frac{1}{4}$ to $\frac{1}{2}$ mile. The purpose of these wayfinding elements is to orient users and visitors to the trail's destination, provide educational or informational background on the site, and facilitate recreational use (e.g. mile markers).
- Multi-use Trails should have a minimum centerline radius of 100'. Centerline radii where approaching curb ramps at intersections, road crossings, street islands, etc. should be no less than 10'.
- Raised street crossings should have a level surface that is the same width as the multi-use trails. The crossing surface should be 3" above the adjacent roadway with a 6' long transition to the road surface on either side. Where site drainage patterns do not allow for raised crossings, this geometry may be adjusted with approval from the City of Austin.

3.7.2 Requirements for the Shoal Creek Trail



NOTES:

1. TRAIL SEGMENTS LESS THAN 12' IN WIDTH FOR LENGTHS OF GREATER THAN 100' MAY BE ALLOWED WITH APPROVAL FROM PUBLIC WORKS.

Figure 3.7.2: Shoal Creek Trail

3.8 Parking Requirements

It is important that The Grove at Shoal Creek provide ample parking to meet the needs of the project's users. The majority of the site's parking needs will be met in parking garages, residential garages, and with on-street parking within the site. Some off-street surface parking may be necessary to ensure the viability of specific retail uses. Off-street surface parking is defined as a vehicle parking lot consisting of at least 10 spaces where neither the parking space themselves nor the drive isle serving the spaces is located within the street zone. Off Street Surface Parking does not include parking in residential driveways. Parking for the Grove shall meet the following standards:

3.8.1 Off-street surface parking may not cumulatively exceed 400 spaces for the entire site. Compliance with this standard shall be determined at final site plan and shall not apply to prior site plans.

3.8.2 Off-street surface parking should generally be located beside or behind buildings and should not occur between a building section and its Primary Frontage as described in Section 4 of this document.

3.8.3 Off-street surface parking shall be constructed to meet or exceed City of Austin requirements for parking lot landscaping.

3.8.4 Off-street surface parking lots are encouraged to be designed such that the paved surface drains into landscaped parking islands and peninsulas.

3.8.5 Required ADA parking shall be no more than 250' from the site it is serving.

3.8.6 Parking on the site shall not cumulatively exceed the parking requirements of Appendix A of the Land Development Code. Where a site plan includes a structured parking facility intended to serve future phases, the portion of that facility that exceeds parking requirements for that site plan must be barred from use until the future phase which it serves comes on-line.

3.8.7 Unless otherwise noted in this document, requirements of the City of Austin Land Development Code and Transportation Criteria Manual shall apply to parking in the project, including requirements regarding ADA parking, off-site parking, and design and construction standards.

4.0 ARCHITECTURE

4.1 Intent

Section 4 of The Grove at Shoal Creek Design Guidelines establishes standards and requirements for placement and design of buildings within the site. They are meant to ensure that buildings contribute to creating a walkable/ pedestrian scaled neighborhood and to establish the relationship/ placement of buildings to the variety of streets within the Grove at Shoal Creek. It is not the intent of this section to mandate any particular architectural style or character or to unduly limit creative expression. The intent of this section is to:

4.1.1 Ensure that buildings relate appropriately to surrounding uses and streets and create a cohesive visual identity and attractive pedestrian friendly streetscape.

4.1.2 Provide appropriate architectural direction to create a high-quality community development and streetscape environment.

4.1.3 Provide for a strong physical relationship between buildings and adjacent streets and sidewalks. Provide for convenient and easy pedestrian access to buildings

4.1.4 Provide design flexibility in building placement standards to allow for unique and diverse architectural expressions as well as for pedestrian-scaled uses such as outdoor dining terraces, porches, patios, and landscape features to enliven and enrich the streetscape environment.

4.1.5 Encourage buildings with appropriate human and pedestrian scale that create a sense of community. Building Architectural elements will be encouraged to help create gateways and public spaces and identify key intersections.

4.1.6 Encourage appropriate use of glazing, shading, and shelter to ensure that buildings contribute to the creation of a pedestrian-friendly environment with an active ground-floor experience.

4.1.7 Provide the flexibility necessary for diverse and well-articulated buildings throughout the site. Standards should encourage rather than hinder architectural creativity and expression.

4.2 Using This Section

Standards in this section are provided for the two Development Districts identified in Section 2: The Mixed-use District and the Residential District. If designing a building within a Tract where both districts are allowable, it will be up to the design team to determine which district is most appropriate for each building or site. For buildings where 10% or more of the gross square footage is dedicated to retail or office uses, and buildings where the primary frontage is the Retail Street, the Mixed-Use District must be used. Otherwise, this decision is fully at the discretion of the design team.

Standards for building placement are given in relationship to the Street Zone, Greenway Zone, or adjacent Park Space. Many building sites will be surrounded on three or more sides by such zones. For each building or site, it will be at the discretion of the design team to determine which of these is the Primary Frontage for the project. A Street Zone, Greenway Zone, or Park Space, may be selected to serve as the Primary Frontage. However, for sites bounded by the Retail Street, the Retail Street must serve as the Primary Frontage.

Some standards are given in relationship to the Bull Creek Road right-of-way that will apply regardless of whether that is selected as the project's Primary Frontage.

4.3 Building Placement

4.3.1 Mixed-Use District

- a. Buildings may be constructed immediately adjacent to the Street Zone, Greenway Zone, or Park Space. There is no minimum setback.
- b. The maximum setback for buildings along their Primary Frontage is 30', unless a public plaza is provided between the building and primary frontage.
- c. At least 50% of a site's Primary Frontage must consist of continuous building façade constructed within the maximum setback described in 4.3.1.b.
- d. Shade structures and canopies are permitted to encroach into the Street Zone or Greenway Zone above 12 feet of height to provide shade and architectural interest. There is no limitation to the distance which shade structures and canopies may encroach into the Street Zone or Greenway Zone, and support posts are allowed within the Street Zone or Greenway Zone as long as they do not interfere with the required sidewalk. Shade structures and canopies shall not interfere with street trees at maturity.
- e. Occupied space in buildings above the first floor is permitted to encroach into the Street Zone or Greenway Zone above 12 feet of height to increase the developable area of the structure and provide architectural interest. This type of encroachment may be a maximum of 7' or 10% of the width of the combined Street and Greenway Zone, whichever is smaller. Buildings in the street zone shall not interfere with street trees at maturity.
- f. Buildings may not encroach into Park Space.
- g. Off-street surface parking is not permitted between the building and the Primary Frontage. A slip road is allowed in these locations (ref. section 3.5.8). (Note: off-street surface parking is allowed between the building and other Street Zones, Greenway Zones, or Park Spaces not selected as the Primary Frontage).
- h. Off-street surface parking is not permitted between any building and the Bull Creek Road right-of-way regardless of whether Bull Creek Road is the Primary Frontage of the site. A slip road is allowed in these locations (ref. section 3.5.8).
- i. For sites bounded by Bull Creek Road at least 50% of the site's Frontage on Bull Creek Road must consist of continuous building façade constructed within the maximum setback described in 4.3.1.b, regardless of whether Bull Creek Road is selected as the Primary Frontage. A slip road is permitted between the site and Bull Creek Road (ref. section 3.5.8).

4.3.2 Residential District

a. Buildings in the Residential District may not encroach into the Street Zone, Greenway Zone, or Park Zone.

b. Detached residences:

1. The minimum setback from the Primary Frontage is 10'. The minimum setback for porches or stoops is 5'.

2. The minimum setback for front-facing garages is 18'. Parking is allowed in the driveway of a front-facing garage.

3. The maximum setback for the Primary Frontage is 25'.

4. Tandem parking is permitted.

c. Attached Residences (e.g. Townhomes, Row Homes, Duplexes, Multifamily Buildings)

1. The minimum setback from the Primary Frontage is 5' for the first floor only to allow for porches and stoops. There is no minimum setback above the first floor.

2. There is no minimum setback for porches, stoops, balconies, etc.

3. The maximum setback from the Primary Frontage is 30'.

4. At least 50% of a site's Primary Frontage must consist of continuous building façade constructed within the maximum setback described above.

5. Front-facing garages are generally discouraged but will be allowed where necessary. The setback for front-facing garages is 5'. Parking is allowed in the driveway of a front-facing garage so long as that garage is set back a minimum of 18' from the Street Zone.

6. Tandem parking is permitted.

7. Off-street surface parking is not permitted between the building and the Primary Frontage. (Note: off-street surface parking is allowed between the building and other Street Zones, Greenway Zones, or Park Spaces not selected as the Primary Frontage).

8. Off-street surface parking is not permitted between any building and the Bull Creek Road right-of-way regardless of whether Bull Creek Road is the Primary Frontage of the site.

9. For sites bounded by Bull Creek Road at least 50% of the site's Frontage on Bull Creek Road must consist of continuous building façade constructed within the maximum setback described in 4.3.2.c.3 regardless of whether Bull Creek Road is selected as the Primary Frontage.

4.4 Building Design Standards

4.4.1 General Design Standards

All buildings at The Grove shall meet the following standards:

- a. Generally, pedestrian entries to the buildings are encouraged as frequently as practical along all Street Zones, Greenway Zones and Park Space frontages. At least one primary pedestrian building entry must occur along the building's Primary Frontage.
- b. Ground floor residential units that are oriented toward the street should have direct access from the street where practical, via porch, stoop, or other entries. At a minimum, 50% of such units shall have direct entries from the street. Where feasible, Elevation of ground floor units should be slightly elevated above the sidewalk elevation. A range of 12-36 inches is considered optimal and should be utilized where feasible. However, site grading constraints may result in a wider range of acceptable ground floor elevations. Where these conditions exist, the building or first floor should generally be set back sufficiently from the Street Zone to allow for a porch, stoop, terrace, or other pedestrian access.
- c. Ground floor retail uses shall generally have a height and depth sufficient to support the intended use and shall have at least one pedestrian entry along the street they are oriented towards.
- d. Parking structures, when utilized, should be designed to not dominate the built environment, and should be visually screened from the street through use of architectural treatment or green screens. Where possible, wrapping parking structures with buildings is encouraged.
- e. Building cladding materials shall be high quality and attractive. Preferred materials include Texas limestone or sandstone, smooth horizontal bevel or lap-siding fiber-cementous siding with mitre corners, smooth finish or painted brick, smooth finish stucco; or other similar or special materials where appropriate and complimentary to the overall context and character.

4.4.2 Mixed-Use District Standards

- a. Medium Density residential and commercial mixed-use building are strongly encouraged – they should be designed to extend and enliven the fabric of the streets. These mixed-use buildings and uses are not intended to be stand-alone buildings but an integral part and core of The Grove at Shoal Creek community creating ground level activity and neighborhood oriented uses. They will provide a scale transition to adjacent Townhomes and Single family districts of the master plan.
- b. For buildings whose primary frontage is the Retail Street, at least 70% of the primary frontage shall consist of pedestrian oriented uses, including retail, lobbies serving office uses, and lobbies, sales centers, or amenity areas serving residential uses. Buildings facades along the Retail Street that exceed 200 ft in length shall have a building entrance at least every 100 ft.
- c. Mixed-use buildings are encouraged to be designed with pedestrian friendly outdoor elements such as extended/projecting eaves for shade and the use of loggias, porches, terraces, and/or courtyards.

d. For all uses in a Mixed-Use building, the minimum off-street parking requirement shall be 60 percent of that prescribed by the City of Austin Off-Street Parking and Loading Requirements. This reduction may not be used in combination with any other parking reduction.

e. Glazing

1. For non-residential uses on the ground floor along a building's Primary Frontage, at least 30% of the wall area of the first floor between 0 and 12' must consist of glazing.
2. For residential uses on the ground floor along a building's Primary Frontage, at least 10% of the wall area of the first floor between 0 and 12' must consist of glazing.
3. Along a building's Primary Frontage, at least 10% of the wall area for the second floor (if provided) must consist of glazing.
4. Where a building faces any Street Zone, Greenway Zone, or Park Space that is not its Primary Frontage, at least 10% of the wall area of the first two floors must consist of glazing unless building code prevents windows on such facades.
5. These glazing standards do not apply to parking structures.

4.4.3 Residential District Standards

a. Detached Residence

1. On the front façade, at least 10% of the wall area of the first floor of detached residences must consist of glazing. The area of a front facing garage door is not counted in this calculation.
2. Use of porches, terraces, and other front-facing outdoor spaces is strongly encouraged.
3. Homes on corner lots should be designed so that architecturally attractive elevations are presented to both sides by using such elements as wrap-around porches, landscape design elements, massing, façade composition, and other design elements. If necessary when a garage faces a side elevation on a corner it shall be designed as an extension of the primary elevation.

b. Attached Residences / Multi-family Buildings

1. Grouping of townhomes/row homes shall have a minimum separation of 10 ft every 180 ft or 8 units whichever is less. This separation shall allow for pedestrian access and circulation to/from alleys and through the neighborhood.
2. Townhomes/Row Houses on corner lots shall be designed and situated so that both street frontages are front facades; with corner elements and architectural compositions encouraged to create handsome facades on both sides.
3. Multi-family buildings are encouraged to be designed with pedestrian friendly outdoor elements such as extended/projecting eaves for shade and the use of loggias, porches, terraces, and/or courtyards.

4. Where a building faces any Street Zone, Greenway Zone, or Park Space, at least 10% of the wall area of the first two floors must consist of glazing unless building code prevents windows on such facades. The area of a garage door is not counted in this calculation.

c. Residential Development Adjacent to Public Parks

1. Where residential development abuts public parkland, the development shall meet the standards depicted in Figure 4.4.3.

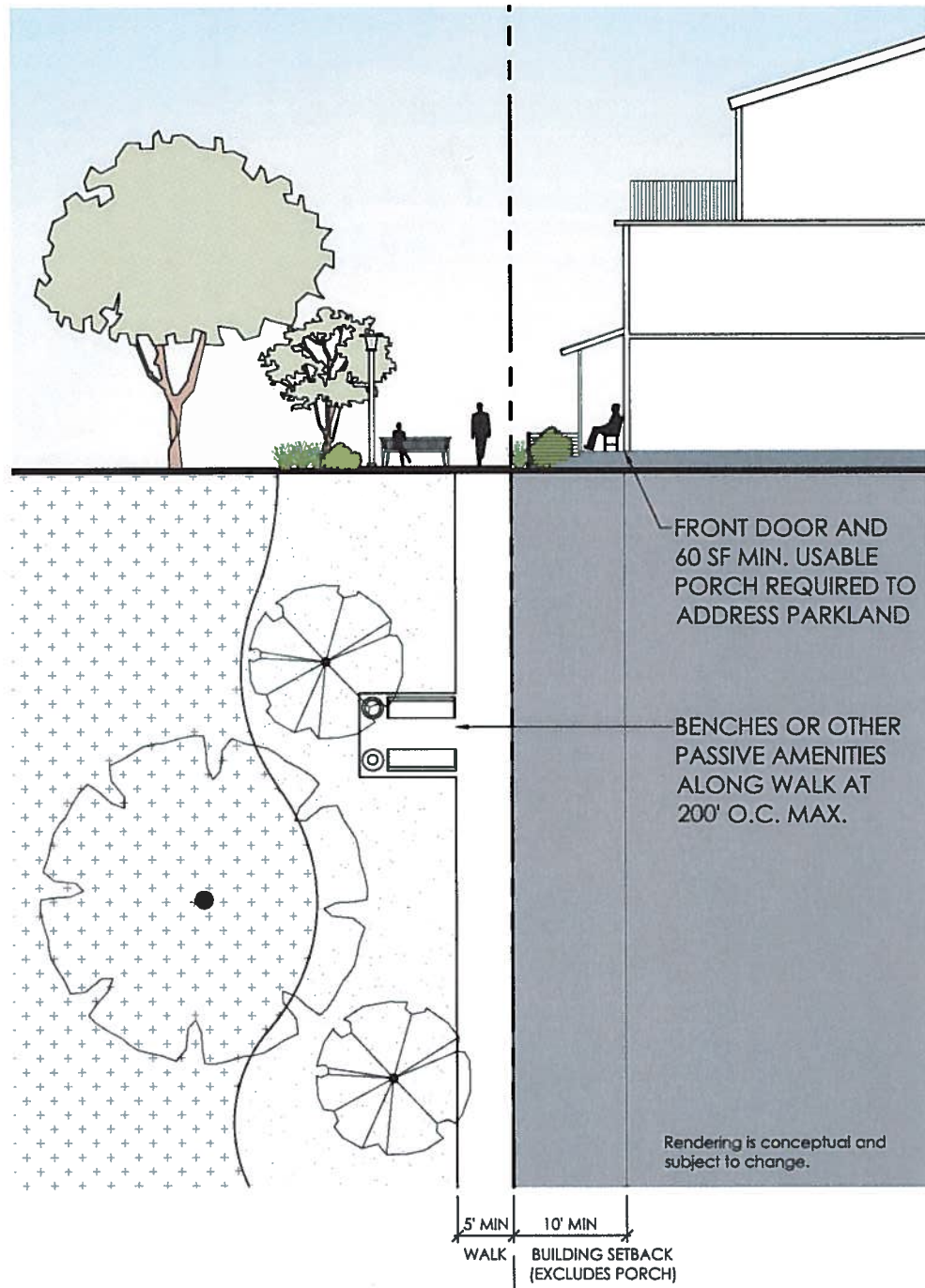


Figure 4.4.3: Residential Development on Parks

5.0 Landscape and Open Space

5.1 Intent

Section 5 of The Grove at Shoal Creek Design Guidelines establish standards to ensure that the landscape, park space, and open space elements within the project support the overall Guiding Principles of The Grove. Landscape elements throughout the project will be implemented in ways that enhance experience of the urban spaces, create high quality parks, and support environmental sustainability. The intent of this section is to:

5.1.1 Ensure the creation of high quality parks and common open spaces for the enjoyment of residents and visitors alike.

5.1.2 Ensure that the landscape within the streetscapes of The Grove provides shade as well as a quality environment.

5.1.3 Ensure screening of equipment and utilities.

5.1.4 Provide standards for lighting within The Grove to minimize off-site impacts.

5.1.5 Provide standards for signage within The Grove, allow signage as advertisement to support economic sustainability, and encourage signage that is pedestrian scaled and supportive of the urban vision for The Grove.

5.2 Parks and Open Spaces

5.2.1 Introduction

The park spaces throughout the site are meant to provide a variety of uses and activities to serve the area neighborhoods and create space for multi-modal and sustainable infrastructure. Park Space includes both publicly dedicated and privately owned but publicly accessible open spaces. As shown on the PUD Parks Plan (Figure 5.1), the park spaces will consist of:

- The Signature Park (16.25 acres minimum) along Shoal Creek
- A public plaza within the Mixed-Use District
- A Central Greenbelt connecting the Residential and Mixed-use Districts (ref. Framework section)
- A North Greenbelt connecting Bull Creek Road to the Signature Park (ref. Framework section)
- A Pocket Park along Bull Creek Road

5.2.2 Signature Park

The Signature Park will be the largest park at The Grove and will house most of the site's mature oak trees. The following guidelines should be used in developing plans for the Signature Park:

- The park character should evolve from an urban, active edge on its west end to a restored natural area with trails and enhanced native prairie and grow zone on its east end, as it approaches Shoal Creek.

- Amenities within the Signature Park should include, at a minimum: a children's playscape, paved trails, soft-surface trails, a wet pond with overlooks and picnic areas, an open lawn area and the Shoal Creek Trail on the eastern edge of the project.
- Outside of trails and necessary parking, large areas of paving should generally be avoided in the Signature Park.
- Great care should be taken in preserving the existing trees in the Signature Park. While it is important to provide park users with access to the trees and the shade they provide, care should be taken when planning or constructing improvements within the critical root zone of existing trees.

5.2.3 Central Plaza

The Central Plaza will be the central urban gathering place within the project. The following guidelines should be used in developing plans for the Central Plaza:

- Provide plenty of shade with shade structures and/or shade trees.
- While heavy use will dictate large paved areas in the plaza, ensure green spaces are integrated as frequently as practical.
- Outdoor dining should be encouraged for restaurant uses surrounding the plaza. Kiosks are also encouraged.
- An interactive water feature is encouraged within the plaza.

5.2.4 Bull Creek Road Pocket Park

Situated around a grove of mature live oaks, the Bull Creek Road Pocket Park will provide a welcoming entrance into the residential portion of the site off of Bull Creek Road as well as a neighborhood amenity for the site and nearby neighbors. The following guidelines should be used in developing plans for the Bull Creek Road Pocket Park:

- Open lawn space for passive uses should predominate the park
- Amenities may include a picnic pavilion, a small children's play area, a garden area, sidewalks, and trails.
- Great care should be taken in preserving the existing trees in the Pocket Park. While it is important to provide park users with access to the trees and the shade they provide, care should be taken when planning or constructing improvements within the critical root zone of existing trees.

5.2.5 Additional Pocket Parks

Additional pocket parks may be included throughout the site to provide small amenity and gathering spaces near homes and places of business. Where included, these pocket parks should generally be at least 10,000 SF in size and should include a range of passive amenities, which may include:

- Open lawn
- Gardens
- Seating and picnic areas
- Small gazebos or shade structures
- Small gathering spaces

5.2.6 Other Green Spaces

Throughout the site there may be additional, dispersed green spaces. These spaces should take a form and character that complements the context in which they lie. Raingardens and other green infrastructure are encouraged to be included where feasible and appropriate within the overall drainage of the site.

5.2.7 Greenbelts and Trails

Reference Section 3

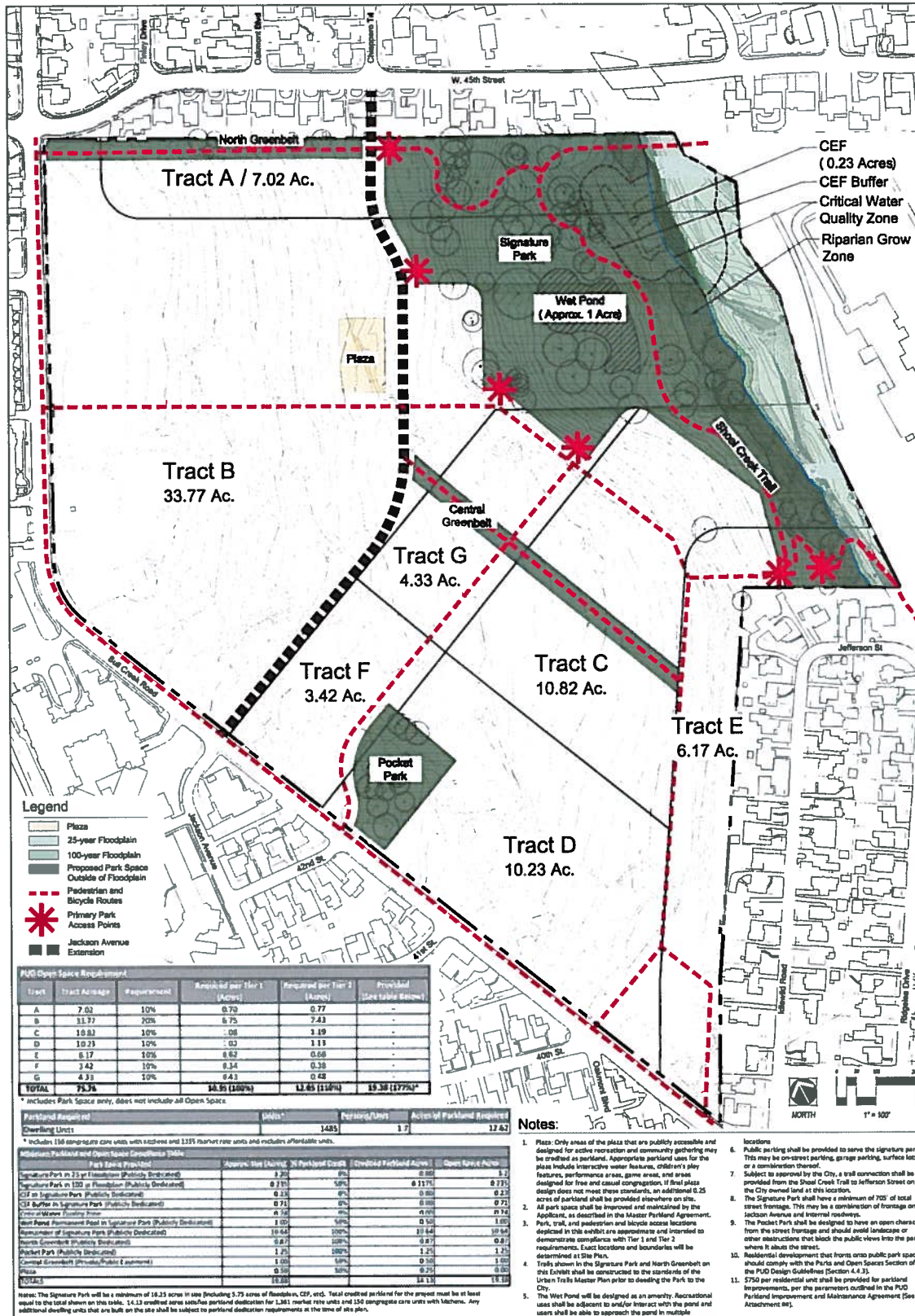


Figure 5.1: PUD Parks Plan Exhibit

5.3 Landscape and Streetscape

5.3.1 Landscape Character and Plant Selection

a. Landscape applications should complement the context in which they are located. For example, landscape in an urban setting may include more intensive treatments. Landscape in the parks and green spaces should have a natural look with lawns and organic planting patterns among the existing trees. Landscape in the residential areas should focus on creating a sense of safety and community with well maintained and diverse plantings.

b. Native and drought tolerant plant species should be used as much as possible. A minimum of 95% of non-turf plant materials on any project should be from the Austin Grow Green Guide or should demonstrate equal appropriateness to the Austin environment.

5.3.2 Street Trees

a. Street trees shall be provided as specified in the Framework Section. Spacings specified are intended to be approximate and may vary based on infrastructure, intersections, driveways, utilities, etc.

b. Street trees shall be a minimum of 3" caliper measured 6" above the base at the time of planting. Street trees may be counted toward requirements for mitigation of existing trees.

c. Street tree species should vary throughout the site. While a single street or project may contain a monoculture of trees, no single species should represent more than 25% of street trees planted at The Grove. This requirement is intended to apply to the site as a whole and should not apply to any one street, project, or site plan.

5.3.3 Green Infrastructure

a. Raingardens, bioswales, and other green infrastructure elements shall be designed and landscaped to create a well-maintained and visually appealing character.

b. Green infrastructure elements shall be planted in accordance with the City of Austin Environmental Criteria Manual, in effect on the date of approval of these guidelines.

5.3.4 Tree preservation and replacement

a. Tree preservation for this project is dictated by the approved PUD Ordinance.

b. All healthy, non-invasive trees on site should be preserved to the extent feasible, unless those trees are creating a negative impact on higher value trees (e.g. located too closely together causing competition for space and nutrients). Removal and mitigation of these trees is governed by the Tree Disposition Plan attached to the PUD.

c. Preservation of trees shall be in accordance with the City of Austin Code and Environmental Criteria Manual.

5.3.5 Street Furniture and Paving

- a. Furnishings such as benches, trash and recycling receptacles, etc should be placed within the high pedestrian traffic areas and transit stops at intervals which ensure convenience and comfort.
- b. The aesthetics of the site furnishings should create a cohesive theme throughout the project. But may vary depending on context. For example, furnishings may be a more contemporary style in the urban plaza and a more classic style along trails in the signature park.
- c. Special pavement applications are encouraged in plaza areas, other specialty pedestrian areas, and may be used to help delineate pedestrian crossing. Permeable pavers or porous pavements may be considered where possible.

5.3.6 Screening of Equipment and Utilities

- a. All mechanical equipment and utilities, with the exception of solar panels, shall be screened from view from the streets by either landscaping or decorative enclosure.
- b. Loading docks, truck parking, outdoor storage, trash collection, trash compaction, and other service functions shall be incorporated into the overall design of the building and landscape so that the visual impacts of these functions are contained and out of street-level view from adjacent streets and street zones. Screening materials for solid waste collection and loading areas shall be the same as, or of equal quality to, the materials used for the principal building. These functions may be placed along commercial alleys without the necessity of screening from the alley.

5.3.7 Walls and Fences

Fencing is allowed on site and is generally encouraged where necessary to define private spaces and create necessary boundaries between uses. Fencing in the residential zone shall meet the following standards:

- a. Fences or walls located at the sides or backs of buildings are permitted and may be up to 7 feet in height. These fences shall be constructed of wood, decorative metal, masonry, or other quality materials.
- b. Fences located between the front of buildings and the street zone are allowed in the Residential Zone only to define private front yard spaces. These fences must be no greater than 4' in height and must be constructed of wood, decorative metal, masonry, or similar quality material. Height limit is not inclusive of any retaining walls.

5.4 Exterior Lighting

5.4.1 Street and Area Lighting

Lighting is an important component to site safety. Street lighting should provide light for both the vehicular lanes and pedestrian sidewalks. Lighting along pedestrian paths and within parks should meet minimum safety standards in all locations where night use is expected.

All site and area lighting shall limit off-site impacts by meeting the following requirements based on the International Dark-Sky Association / Illuminating Engineering Society Joint Model Lighting Ordinance published in 2011, and utilizing the BUG rating system. The BUG rating system consists of three components: B (Backlight), U (Uplight), and G (Glare). The following requirements are for all site and area lighting fixtures on site:

- a. The maximum allowable Uplight rating shall be U2. Fixtures that do not have a BUG rating but are rated as Full Cut-off shall be assumed to be in compliance with this requirement.
- b. For fixtures located less than 2 mounting heights from the boundary of the The Grove at Shoal Creek, the maximum Backlight rating shall be B2.
- c. For fixtures located less than 2 mounting heights from the boundary of The Grove at Shoal Creek, the maximum Glare rating shall be G1.
- d. Where the site abuts Bull Creek Road, the centerline of the road shall be considered the boundary of The Grove at Shoal Creek for the purposes of determining compliance with the above requirements.

5.4.2 Accent Lighting

Lighting is also a useful tool for enhancing architectural and landscape aesthetics and enjoyment of a site. Accent lighting should be utilized to highlight trees, architectural elements, landscape elements, artwork, and other unique features as appropriate, especially in the public plaza and along the Retail Street. The following regulations will govern accent lighting:

a. Directional Luminaires

Directional Luminaires may be used to illuminate signs and flagpoles. Such luminaires shall be installed and aimed so that they illuminate only the specific object or area and do not shine directly onto neighboring properties or roadways.

b. Landscape Lighting

Uplighting and downlighting of trees, artwork, kiosks, and other landscape features shall be allowed. Landscape lighting fixtures must be 24 volts or less unless they are directed downward and shielded.

c. Lighting of Building Facades

1. Downlighting of buildings and structures is permitted if fixtures are fully shielded or full cut-off or if they meet the requirements below for Uplighting.
2. Uplighting of building facades should only be used to highlight specific architectural features such as principal entrances, corners, terminus elements, and towers, and allowed in the Mixed-use District only. Luminaires used for uplighting are limited to 100 Lumens per linear foot of façade to be lit (measured horizontally), unless the fixture is 24 volts or less.
3. Direct view fixtures are permitted in the Mixed-use District on building facades and are limited to 250 lumens per linear foot of fixture.

d. Festoon Lighting

String lights and festoon lighting are permitted over roadways and in outdoor use areas within the Mixed Use District as temporary or permanent installations.

5.5 Signage**5.5.1 Free Standing Signs****a. Community Identity Signs**

For each vehicular entry to the project depicted on the Land Use Plan, two permanent subdivision identification signs with a combined sign area of not more than 128 square feet and height not exceeding 6 feet are permitted. One additional sign with a sign area of not more than 64 square feet and height not exceeding 6 feet is permitted at the northwest corner of the site near the intersection of Bull Creek Road and 45th Street.

b. Commercial Multi-tenant Signs

Up to two (2) multi-tenant signs are allowed for The Grove at Shoal Creek development. These signs are subject to the following standards:

- A maximum area of 250 square feet
- A maximum height of 20'

c. Project Identity Signs

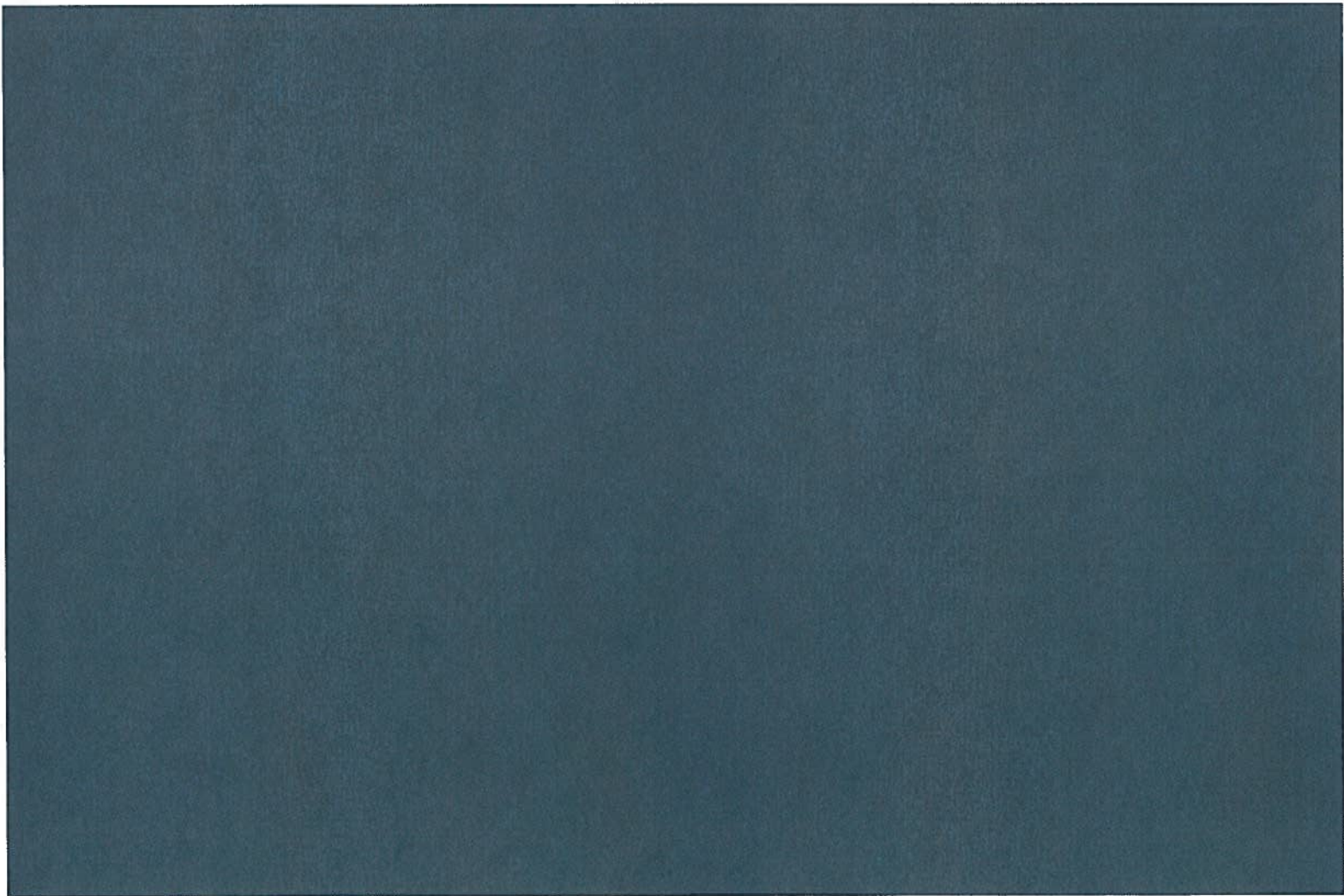
For each building containing a non-residential use or more than one residence, a free standing sign is permitted on the same lot. This sign shall not exceed 35 sf in area or 6' in height.

5.5.2 Building Signs

Building signs are permitted on all buildings within The Grove except detached single family residences. Blade signs, awning signs, under-canopy signs, heraldic signs, and letter-mounted signs are encouraged. The total sign area on any building shall not exceed 20 percent of the façade area of the first 15 feet of the building.

5.5.3 Non-permanent Signs

Signs such as commercial flags and street banners add vibrancy and character to the street scene and reinforce community events and programs. These temporary signs are permitted within the boundaries of The Grove at Shoal Creek without restriction.



Summary of Changes to LUP and Design Guidelines

The Grove at Shoal Creek

October 24, 2016

The following document describes changes made to The Grove at Shoal Creek zoning application since the last Formal Submittal on March 28, 2016. The source or reason for the change is provided in parenthesis after each item. Some changes are simply minor corrections and clarifications and are marked as such. Changes to the Design Guidelines listed here have been outlined or underlined in red throughout that document.

Tier Compliance Summary

1. Updated open space references to indicate 19.38 instead of 18.12 acres. (*Condition of PARD Superiority*)
2. Modified language regarding trees to change "poorer quality" to "fair to poor condition" for better consistency with code language. (*Heritage Tree Foundation Request*)
3. Updated Tier 2 Item G to increase the requirement to a minimum of 8 car share spaces. (*ZAP Recommendation*)
4. References to "shared access improvements" (points B.3(v) and G(v)) have been removed from the Tier 1 compliance table. (*Clarification*)

Code Modifications

1. Modified code modification of 25-8-641 to specifically list the tree numbers that may be removed and to exempt the trees to be saved from the administrative variance for reasonable use process. (*Heritage Tree Foundation Request*)

Land Use Plan

Sheet 1

1. The proposed Jackson Avenue alignment has been graphically updated to reflect the most likely alignment. (*Clarification*)
2. The wording of note 6 on Sheet 1 has been updated to clarify that the Green Water Quality controls distributed on-site must provide initial treatment but each feature need not be sized to treat its entire drainage area (additional treatment would be provided later in sequence). (*Clarification*)
3. Note 7 was added on Sheet 1 to require that on-site drainage systems be designed to the 100-year storm. (*Commitment at Environmental Commission*)

Sheet 2

4. The Open Space uses table has been updated to clarify that these uses are permitted in all tracts and that Community Recreation and Parks and Recreation Services are permitted uses under Open Space. (*PARD Request*)
5. Single-family detached uses were removed from Tracts F and G. (*ZAP Recommendation*)
6. Group Residential has been added as a permitted use in Tracts B, F, and G. (*ZAP Recommendation*)
7. Live-Work Units have been added as permitted uses in Tracts B, F and G. (*Clarification*)

8. A note has been added to the Permitted Use Tables to restrict single-family detached residential uses in Tract B to the area within 150' of Tract A. *(ZAP Recommendation)*
9. Note 2 on Sheet 2 has been updated to clarify that residential units are capped at 1335 (not including affordable housing), that Congregate Care beds are capped at 300, and to define affordable housing. *(Staff Recommendation)*
10. Note 4 on Sheet 2 was updated to reduce the maximum office square footage to 210,000 SF. *(Staff Recommendation)*
11. Note 5 on Sheet 2 was updated to reduce the maximum retail square footage to 150,000 SF. *(Staff Recommendation)*
12. Note 16a on Sheet 2 was updated to clarify that the fiscal fees for the bridge may only be used by the City on bicycle and pedestrian improvements located east of the property in the event that the bridge cannot be constructed. *(ZAP Recommendation)*
13. Note 17b on Sheet 2 was updated to increase the required number of car-share parking spaces to 8. *(ZAP Recommendation)*
14. Note 18 was added to Sheet 2, which caps overall development on the site at 2.65 million square feet *(ZAP Recommendation)* and also includes the other staff conditions to their recommendation for PUD approval. *(Staff Recommendation)*
15. Note 6 was added to the Site Development Regulations table to require a 25' minimum setback from Bull Creek Road on Tract D. *(ZAP Recommendation)*
16. The Summary of Development Entitlements Table was added to Sheet 2 to provide a better reference point for the various entitlement caps agreed to as part of the PUD application. *(Clarification)*

Parks Plan Exhibit

1. A proposed Jackson Avenue alignment has been added graphically to the exhibit. *(Clarification)*
2. The signature park has been extended up to the proposed public right-of-way along Jackson Avenue in Tract A and the northern park of Tract B. *(Condition of PARD Superiority)*
3. The bike and pedestrian trails shown through the Signature Park have been updated to better reflect the anticipated alignment designed to minimize impacts to the CRZ's of the heritage oaks. *(Clarification)*
4. The open space provided had been increased by 1.26 acres (from 18.12 to 19.38 acres) and now exceeds the requirement by 77%. *(Condition of PARD Superiority)*
5. Total park space acreage has increased by 1.25 acres (from 18.63 to 19.88). *(Condition of PARD Superiority)*
6. Credited parkland acres has increased by 1.25 acres (from 12.88 to 14.13). *(Condition of PARD Superiority)*
7. Flex Park Space acreage has been removed from the Park Space Provided table. *(Condition of PARD Superiority)*
8. The minimum Signature Park acreage has increased by 3.25 acres (from 13.00 to 16.25). *(Condition of PARD Superiority)*
9. A note has been added to the Park Space Provided table regarding superiority and congregate care units. *(Condition of PARD Superiority)*
10. The note regarding Flex Park Space has been removed and any references to Flex Park Space have been removed from the other notes. *(Condition of PARD Superiority)*
11. Note 7 regarding the trail connection to Jefferson has been added. *(Condition of PARD Superiority)*

12. Note 8 has been added to state that the Signature Park will have a minimum of 705' of street frontage. *(Condition of PARD Superiority)*
13. Note 9 regarding parameters for the Pocket Park has been added. *(Condition of PARD Superiority)*
14. Note 10 regarding residential development along public parks has been added. *(Condition of PARD Superiority)*
15. Note 11 regarding the parkland improvement fees has been added. *(Condition of PARD Superiority)*

Framework Plan

1. The proposed Jackson Avenue alignment has been graphically updated to reflect the most likely alignment of that road. *(Clarification)*

Tree Disposition Plan

1. Updated Tree Disposition Plan to include several trees omitted from original submittal. Calculations were updated, showing an increase in percentage of protected tree inches saved to 77%. *(Clarification)*
2. Expanded note 4 to clarify the requirements for Tree Care Plans. *(Heritage Tree Foundation Request)*
3. Expanded note 5 to further restrict activities within the $\frac{3}{4}$ CRZ of Signature Grove Trees. *(Heritage Tree Foundation Request)*
4. Tree 3082 has been removed from the Tree Disposition Plan and Table because it was an 18" tree and does not meet the definition of a Protected or Heritage Tree. *(Clarification)*

Design Guidelines

1. The Development District Map (Figure 2.3 on page 7) was updated to reflect the new Jackson Avenue alignment. *(Clarification)*
2. Section 2.4.3 has been updated to reflect the correct park spaces and to allow "Park buildings and park structures" as permitted uses within the parks and open space. *(Clarification)*
3. The PUD Land Use Plan (Figures 2.5 and 2.5.1 on pages 9 and 10) has been updated with the new sheets. *(Clarification)*
4. The Master Framework Plan (Figure 3.3 on page 13) has been updated to reflect the new Jackson Avenue alignment. *(Clarification)*
5. The Bull Creek Road section (Figure 3.4.1 on page 14) has been updated to include a northbound bike lane. *(ZAP Recommendation)*
6. The Retail Main Street section (Figure 3.4.2a on page 15) has been updated to allow for alternative parking configurations. *(Per meeting with City Staff on 8/9/16)*
7. An alternative Retail Main Street section (Figure 3.4.2b on page 16) has been added to allow for a potential parkway configuration. *(Per meeting with City Staff on 8/9/16)*
8. An additional street section (Figure 3.5.8 on page 25) has been added to allow for a slip road. *(Per meeting with City Staff on 8/9/16)*
9. Section 3.6.2 regarding Typical Traffic Circles has been updated to clarify language and note that this is an optional facility. *(Clarification)*

10. Sections 4.3.1 (g), (h), and (i) have been updated to allow the slip road. *(Per meeting with City Staff on 8/9/16)*
11. Section 4.3.2(b)(4) has been added to allow for tandem parking. *(clarification)*
12. Section 4.3.2(c)(5) has been clarified that the front setback for front-facing garages is 5'. *(Clarification)*
13. Section 4.4.1(a) has been clarified regarding the requirement for pedestrian building entries. *(Clarification)*
14. Section 4.4.2(e)(5) has been added to clarify that glazing requirements do not apply to parking structures. *(Clarification)*
15. Section 4.4.3(c) and Figure 4.4.3 have been added to govern residential development adjacent to parks. *(Condition of PARD Superiority)*
16. Section 5.2.1 has been updated to reflect the correct park spaces. *(Condition of PARD Superiority)*
17. Section 5.2.4 has been revised to refer to the 1.25 acre park on Bull Creek Road as the "Pocket Park" rather than the "Neighborhood Park". *(PARD Request)*
18. The Framework Plan on page 36 of the March 2016 document has been removed because it was redundant. *(Clarification)*
19. The PUD Parks Plan (Figure 5.1 on page 39) has been added to the document. *(Clarification)*
20. Section 5.5.1 regarding Community Identity Signs has been updated to clarify intent. *(Clarification)*
21. Typos have been corrected throughout the document that do not change the language or intent of the text. *(Clarification)*

Master Plan

1. For reference, we are including a more current iteration of the Conceptual Master Plan.

The Grove at Shoal Creek PUD

Project Site Development Cumulation Table

December 22, 2015

This document is meant for tracking purposes to provide a cumulative tabulation for site development standards for the entire Planned Unit Development boundary. Individual Tracts and/or site plans may vary above or below the listed limits in the Site Development Regulations found on the Land Use Plan, as long as the calculation for the overall 75.76 acre PUD boundary does not exceed the limit. The applicant is responsible for keeping track of the amounts allotted and remaining in the "bucket" with each application.

The Grove at Shoal Creek shall not exceed the following based on gross site area of 75.76 acres:

Impervious Cover 65% = 2,145,069 S.F.

Dwelling Units 1,515 Units

Building Coverage 55% = 1,815,058 S.F.

<u>Case Number</u>	<u>Site Acreage</u>	<u>Impervious Cover</u>	<u>Dwelling Units</u>	<u>Building Coverage</u>
<u>TOTAL</u>	Acres	S.F.	UNITS	S.F.
REMAINING	75.76 Acres	2,145,069 S.F.	1,515 UNITS	1,815,058 S.F.

The Grove at Shoal Creek PUD**Tract Site Development Cumulation Table**

December 22, 2015

This document is meant for tracking purposes to provide a cumulative tabulation for site development standards for individual Tracts within the Planned Unit Development boundary. Individual site plans may vary above or below the listed limits in the Site Development Regulations found on the Land Use Plan, as long as the calculation for the overall Tract acreage boundary does not exceed the limit. The applicant is responsible for keeping track of the amounts allotted and remaining in the "bucket" with each application.

Tract A shall not exceed the following based on the gross site area of 7.02 acres:

Impervious Cover 55% = 168,165 S.F.
Dwelling Units 87 Units
Building Coverage 45% = 137,606 S.F.
Floor Area Ratio 0.75 :1

Case Number	Site Acreage	Impervious Cover	Dwelling Units	Building Coverage	Floor Area Ratio
TOTAL	Acres	S.F.	UNITS	S.F.	:1
REMAINING	7.02 Acres	168,165 S.F.	87 UNITS	137,606 S.F.	0.75 :1

Tract E shall not exceed the following based on the gross site area of 6.17 acres:

Impervious Cover 55% = 147,821 S.F.
Dwelling Units 77 Units
Building Coverage 45% = 120,944 S.F.
Floor Area Ratio 0.75 :1

Case Number	Site Plan Size	Impervious Cover	Dwelling Units	Building Coverage	Floor Area Ratio
TOTAL	Acres	S.F.	UNITS	S.F.	:1
REMAINING	6.17 Acres	147,821 S.F.	77 UNITS	120,944 S.F.	0.75 :1

Tract B shall not exceed the following based on the gross site area of 33.77 acres:

Floor Area Ratio 1.50 :1

Case Number	Site Plan Size	Floor Area Ratio
TOTAL	Acres	:1
REMAINING	33.77 Acres	1.50 :1

Tract C shall not exceed the following based on the gross site area of 10.62 acres:

Floor Area Ratio 0.75 :1

Case Number	Site Plan Size	Floor Area Ratio
TOTAL	Acres	:1
REMAINING	10.62 Acres	0.75 :1

Tract D shall not exceed the following based on the gross site area of 10.23 acres:

Floor Area Ratio 1.0 :1

Case Number	Site Plan Size	Floor Area Ratio
TOTAL	Acres	:1
REMAINING	10.23 Acres	1.0 :1

Tract F shall not exceed the following based on the gross site area of 3.42 acres:

Floor Area Ratio 1.0 :1

Case Number	Site Plan Size	Floor Area Ratio
TOTAL	Acres	:1
REMAINING	3.42 Acres	1.0 :1

Tract G shall not exceed the following based on the gross site area of 4.33 acres:

Floor Area Ratio 1.0 :1

Case Number	Site Plan Size	Floor Area Ratio
TOTAL	Acres	:1
REMAINING	4.33 Acres	1.0 :1

To: Garrett Martin, Milestone Community Builders & Caitlin Admire, Norris Design
From: Louis Alcorn, Capital Metro Planning
Date: 9 November 2015
Subject: RESPONSE - Site Evaluation for Potential Future Bus Stop Placement (*The Grove at Shoal Creek*)

Mr. Martin and Ms. Admire:

This is a follow up to our conversation regarding your project proposed along Bull Creek Road south of West 45th Street, *The Grove at Shoal Creek*. As you know Capital Metro currently operates one bus route, bi-directionally along Bull Creek Road, with fully accessible bus stops already located within the vicinity of your project's extent. Currently, Capital Metro is conducting a holistic service plan update (*Connections 2025*) during which all routes will be evaluated in terms of productivity, efficiency, and equity with respect to Austin's rapidly changing urban environment in order to recommend service changes and/or expansions to be implemented in the next five to ten years. The 19-Bull Creek route will be evaluated in this process and staff remains optimistic that transit-supportive densities in the form of new development should lead to increased ridership along this corridor.

Regarding your question concerning the flexibility of moving or redesigning certain bus stops to better serve future residents, we would be interested in working with you to identify suitable areas for new and improved bus stops. Our current stops within proximity to the project extent (identified on the attached map) exist in the following locations:

- Northbound (NB): Along Bull Creek Rd. at West 45th St., Jackson Ave., and West 39th Street
- Southbound (SB): Along Bull Creek Rd. at West 44th St., Jackson Ave., and West 40th Street

As per the Fall 2015 Update to our Service Guidelines and Standards, stop spacing in an area with medium density should generally be a minimum of 1,200 feet. This being said, the following map depicts our proposed bus stop placements, including the potential to relocate the W 45th & Bull Creek NB stop up to 300 feet south of its current location.

Bus stops should be approximately 25 feet in length by 10 feet in width and incorporated into the sidewalk. A larger area of approximately 15 feet in width (perpendicular to the road by 50 feet in length (parallel to the road) surrounding the stop should maintain a level slope to ensure that all ADA slope requirements are met.

What I have suggested here is based on what we know today and what is depicted in your site plan. We would want to continue to work with you as you develop your plans to help in refining these suggestions as you move forward.

Louis Alcorn
Capital Metro – Planning
(512) 389-7491

June 26, 2015

To: Jerry Rusthoven, COA Department of Planning and Zoning

From: Shoalmont Property Owners (includes all houses on the following streets which are owner-occupied)

2600-2607 LaRonde

4500-4713 Chiappero

4500-4707 Oakmont

4500-4807 Finley

2600-2615 W. 48th

Neighborhood Contact: Carolyn Mixon

4616 Chiappero Trl

Austin, TX 78731

[REDACTED] 512-423-0650

Re: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"

COA Case # CD-2015-0009

PUD Application # C814-2015-0074

We are sending you a copy of our neighborhood letter outlining our concerns and priorities regarding the proposed Milestone project at 45th and Bull Creek. We would greatly appreciate it if you would take these into consideration as you make decisions regarding the development plans submitted by Milestone. We are not opposed to the development of the property, but the scope of the development is too large for the streets serving it and does not fit with the character of the surrounding neighborhoods.

Of 107 owner-occupied houses on the surveyed streets, owners (1-2) of 50 houses have signed this letter in support of greatly reducing the density of Milestone's project and increasing greenspace and buffer zone. Prior to signing, all owners received information about the development compared to other similar central Austin developments and copy of letter. Most of those who wished to sign contacted me (Carolyn Mixon) while others were obtained by knocking on doors. Due to time constraints, approximately 57 doors were not approached for signing, and it cannot be assumed that they are not in favor of the letter's content. On the contrary, those approached who had not previously contacted me were overwhelmingly in favor of a reduction of this project.

Thank you for your time and consideration.

June 26, 2015

To: Sherri Sirwaitis, COA Department of Planning and Zoning

From: Shoalmont Property Owners (includes all houses on the following streets which are owner-occupied)

2600-2607 LaRonde

4500-4713 Chiappero

4500-4707 Oakmont

4500-4807 Finley

2600-2615 W. 48th

Neighborhood Contact: Carolyn Mixon

4616 Chiappero Trl

Austin, TX 78731

pcmom54@yahoo.com 512-423-0650

Re: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"

COA Case # CD-2015-0009

PUD Application # C814-2015-0074

We are sending you a copy of our neighborhood letter outlining our concerns and priorities regarding the proposed Milestone project at 45th and Bull Creek. We would greatly appreciate it if you would take these into consideration as you make decisions regarding the development plans submitted by Milestone. We are not opposed to the development of the property, but the scope of the development is too large for the streets serving it and does not fit with the character of the surrounding neighborhoods.

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Thank you for your time and consideration.

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009, PUD Application # C814-2015-0074

Mr. Martin,

As homeowners in the Shoalmont neighborhood and specifically as homeowners on Chiappero, W. 48th, Oakmont, Finley, and La Ronde, we are contacting you about our priorities regarding Milestone's proposed multi-use development "The Grove at Shoal Creek". Many of us have attended your public meetings and provided input via your surveys. We appreciated your attendance at our neighborhood meeting at NW Recreation Center but would like to more clearly outline our concerns and priorities as residents of the aforementioned streets which connect to W. 45th.

We have similar concerns and priorities as the W. 45th St. homeowners who have been in communication with you, and we would appreciate your careful consideration of these:

1. While your conclusion from the collected surveys is that 67% of residents prefer high-density and more open space, we oppose your plan to put 150,000 SF of retail (more than 1.5x Mueller), 225,000 SF of offices (roughly equivalent to Mueller), and 1010 apartments/condos (similar to Triangle) in addition to a hotel, hospital, and single-family housing in the middle of our neighborhoods. Mueller and the Triangle are not surrounded by single-family neighborhoods immediately adjacent to the properties (with the exception of Delwood) as is The Grove. They are served by major, multi-lane arterial streets which have long handled commercial, delivery and office traffic. Your proposal to widen the 45th/Bull Creek intersection at the expense of trees and residents' yards/homes will do little to help the extraordinary amount of car and delivery truck traffic that your project will generate both day and night on our residential part of W. 45th between Burnet Rd. and Bull Creek. We believe that the proposed office and retail density should be cut at least in half.

2. Regarding open space, it is clear that you believe the 12-acre signature park together with plazas and curbside beds is more than adequate compensation for the commercialization of our neighborhoods and the traffic problems that we will experience. We strongly support a greenbelt buffer of similar scope as that of the Mueller Greenways which separate the Delwood neighborhood from the development. This would also make the open space more accessible to our neighborhood as the currently proposed "signature" park is buried behind the whole project. This is not unprecedented or unacceptable in the urban core as the Mueller Greenways are a prime example of how quiet, long-time neighborhoods can be buffered from a larger, high-density development with positive effects for all.

3. We strongly oppose any access other than walking/biking to The Grove from midpoints on W. 45th and in particular, a street through the 2627 W. 45th property that your company has purchased for that purpose. This property would best be suited for pedestrian and bicycle connectivity between the previously-described greenway, Rosedale and our neighborhood to the north. Any car access/exit at midpoints of W.45th between the Shoal Creek bridge and Bull Creek together with the increased volume of traffic that your development will produce will exacerbate the already dangerous situation that we have at peak rush hours in attempting to exit our neighborhood onto W. 45th and entering our streets from W. 45th.

4. We understand from your presentations that you envision a restaurant or other commercial establishment at the corner of Bull Creek and W. 45th. We would urge you to reconsider this plan as it will only increase the traffic congestion at the intersection and increase noise levels for neighbors. Again, the previously discussed greenway buffer would be a better choice for this section as it would also provide neighborhood access to the open space without having to navigate through the proposed residential and commercial development.

In the public meetings, you have spoken frequently of the need for compromise. We believe that your company could compromise with us to make our priorities a reality while still realizing an economically-viable project for your company. We would appreciate your genuine consideration of our priorities and look forward to constructive communication. We would like to request a meeting with you in the near future to discuss these topics further.

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero, W. 48th, Oakmont, Finley, and La Ronde

Shoalmont Property Owners (includes all houses on the following streets which are owner-occupied)

2600-2607 LaRonde
4500-4713 Chiappero
4500-4707 Oakmont
4500-4807 Finley
2600-2615 W. 48th

Neighborhood Contact: Carolyn Mixon

4616 Chiappero Trl

Austin, TX 78731

pcmom54@yahoo.com 512-423-0650

NOTE:

Of 107 owner-occupied houses on the surveyed streets, owners (1-2) of 50 houses have signed this letter in support of greatly reducing the density of Milestone's project and increasing greenspace and buffer zone. Prior to signing, all owners received information about the development compared to other similar central Austin developments and copy of letter. Most of those who wished to sign contacted me (Carolyn Mixon) while others were obtained by knocking on doors. Due to time

constraints, approximately 57 doors were not approached for signing, and it cannot be assumed that they are not in favor of the letter's content. On the contrary, those approached who had not previously contacted me were overwhelmingly in favor of a reduction of this project.

cc: Sheri Gallo, Council Member, City of Austin District 10
Leslie Pool, Council Member, City of Austin District 7
Steve Adler, Mayor, City of Austin
Kathie Tovo, Mayor Pro-tem and Council Member, City of Austin District 9
Ora Houston, Council Member, City of Austin District 1
Delia Garza, Council Member, City of Austin District 2
Sabino "Pio" Renteria, Council Member, City of Austin District 3
Gregorio Casar, Council Member, City of Austin District 4
Ann Kitchen, Council Member, City of Austin District 5
Don Zimmerman, Council Member, City of Austin District 6
Ellen Troxclair, Council Member, City of Austin District 8
Sherri Sirwaitis, Case Manager, City of Austin Department of Planning and Zoning
Jerry Rusthoven, Case Manager, City of Austin Department of Planning and Zoning
Kathleen Fox, City of Austin Comprehensive Planning
Marilyn Shashoua, City of Austin PARD Planning and Design Review
Bryan Golden, City of Austin Transportation
Bull Creek Road Coalition (via listserv email distribution)

June 26, 2015

ATTN: Garrett Martin, President and CEO

Milestone Community Builders, LLC

ARG Bull Creek, LTD

9111 Jollyville Road, Suite 111

Austin, Texas 78759


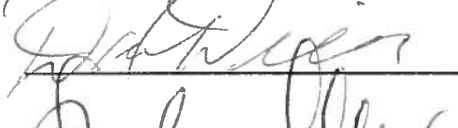

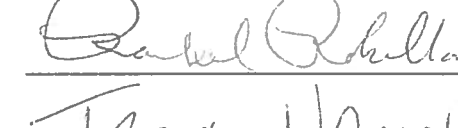


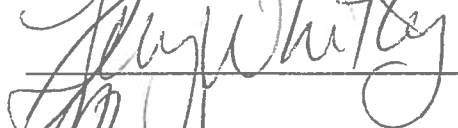
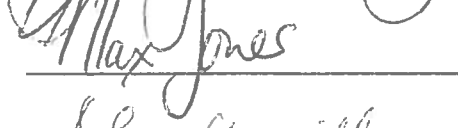


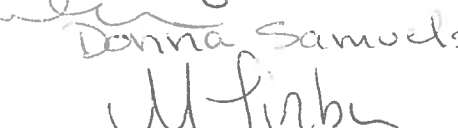

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"

COA Case Number CD-2015-0009

PuD # C814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero Trl and W. 48th, 78731

PRINT NAME	SIGNATURE	ADDRESS
Jan Triplett		4605 Chiappero Tr
Dor Densen		4605 Chiappero Tr
STEPHAN MILVIES		4702 - 4 -
R. Robillard		4703
Tracey Vaught		4707 Chiappero Tr
Jimmy Vaught		//
Tracey Whitley		4502 Chiappero Trail
Max Jones		4502 Chiappero Trail
A.S. McNEILL		4504 CHIAPPERO TR 4506 - rental owned by 45c
Scott A. Samuelson		4615 Chiappero Tr
Donna Samuelson		" " "
MIHAI SIRBU		4711 CHIAPPERO TRL

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD # C 814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of **Chiappero Trl and W. 48th, 78731**

PRINT NAME	SIGNATURE	ADDRESS
<u>Carolyn Nixon</u>	<u>Carolyn Nixon</u>	<u>4616 Chiappero Trl.</u>
<u>Eddie Nixon</u>	<u>Eddie Nixon</u>	<u>4616 Chiappero Trl.</u>
<u>Susan Tarrett</u>	<u>Susan Tarrett</u>	<u>4701 Chiappero Trl.</u>
<u>Mary Holman</u>	<u>Mary Holman</u>	<u>2604 West 48th St</u>
<u>Jim Lyons</u>	<u>Jim Lyons</u>	<u>2604 W 48th St</u>
<u>Julia O. Willhoite</u>	<u>Julia O. Willhoite</u>	<u>4601 Chiappero ^{Trail}</u>
<u>Mary Blackstock</u>	<u>Mary Blackstock</u>	<u>2607 La Ronde</u>
<u>Todd Thompson</u>	<u>Todd Thompson</u>	<u>2602 La Ronde St.</u>
<u>Ashley Thompson</u>	<u>Ashley Thompson</u>	<u>2602 La Ronde St</u>
<u>Inga Werstreet</u>	<u>Inga Werstreet</u>	<u>2603 La Ronde St</u>

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD # C814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of La Ronde, 78731

PRINT NAME

SIGNATURE

ADDRESS

MARY ROBBIN'S

Mary Robbins

2600 La Ronde St.

Carl Brockman

Carl Brockman

2600 La Ronde St

John Ribble

John Ribble

2601 La Ronde

STEPHEN SCHOTTMAN

Step Schottman

2605 LA RONDE

COA Case Number CD-2015-0009

PUD # C814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero Trl and W. 48th, 78731

PRINT NAME

SIGNATURE

ADDRESS

JAIRAM KALYANA-
-SUNDARAM

Edison

4508 CHIAPPERO
TRAIL, AUSTIN, TX
78731

NANDINI JAIRAM

Nandini Jairam

4508 CHIAPPERO TRL
AUSTIN, TX 78731

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD #C814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of **Chiappero Trl and W. 48th, 78731**

PRINT NAME	SIGNATURE	ADDRESS
<u>DAVID MORRIS</u>	<u>[Signature]</u>	<u>2606 W 48TH AUSTIN TX 78731</u>
<u>Latha Joyce</u>	<u>[Signature]</u>	<u>2612 W 48th St. 78731</u>
<u>Don Joyce</u>	<u>[Signature]</u>	<u>2612 W. 48th St. 78731</u>
<u>Cara Mueller</u>	<u>[Signature]</u>	<u>2615 W. 48th St 78731</u>
<u>Raúl Madrid</u>	<u>[Signature]</u>	<u>4704 Chiappero Tr. 78731</u>

In the public meetings, you have spoken frequently of the need for compromise. We believe that your company could compromise with us to make our priorities a reality while still realizing an economically-viable project for your company. We would appreciate your genuine consideration of our priorities and look forward to constructive communication. We would like to request a meeting with you in the near future to discuss these topics further.

Sincerely,

The Undersigned Shoalmont Property Owners of Chiappero, Oakmont, Finley, and La Ronde

2601 W. 48th
78731

[Signature] Jeff Rowles
Anne Vargas Pra
Anne Vargas Pra


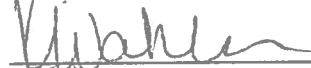
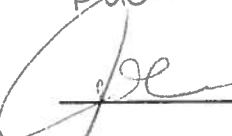




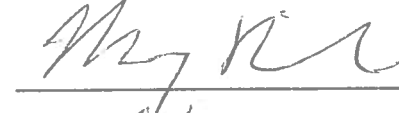
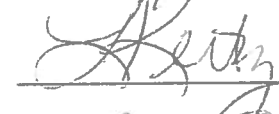

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD # C814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of **Oakmont, 78731**

PRINT NAME	SIGNATURE	ADDRESS
MELUSSA MONROE		4613 OAKMONT BLV
Kathryn Wahlers		4702 Oakmont Blv
KATHRYN WAHLERS		4702 OAKMONT DR
Suzanna Barber		4500 Oakmont
Lea Sandoz	LEA SANDOZ	4616 OAKMONT
Tim Sorrells		4707 Oakmont
		4504 Oakmont
Molly Birrell		4509 Oakmont
Laurie Kertz		4601 Oakmont
Brendon Greer		4602 OAKMONT

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD #2814 - 2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of **Oakmont, 78731**

PRINT NAME	SIGNATURE	ADDRESS
<u>Sarah Angulo</u>	<u>Sarah K. Angulo</u>	<u>4703 Oakmont</u>
<u>Jorge Angulo</u>	<u>[Signature]</u>	<u>4703 Oakmont</u>
<u>Holly Atlas</u>	<u>Holly Atlas</u>	<u>4705 Oakmont</u>
<u>Mary Cone</u>	<u>Mary Cone</u>	<u>4605 Oakmont</u>
<u>Bill Cone</u>	<u>Bill Cone</u>	<u>" "</u>
<u>Leila Thomas Osgood</u>	<u>Leila Thomas Osgood</u>	<u>4607 Oakmont</u>
<u>Damon Osgood</u>	<u>D. Osgood</u>	<u>4607 Oakmont</u>
<u>Malin Lindelow</u>	<u>Malin Lindelow</u>	<u>4508 Oakmont</u>
<u>JAYSON COOK</u>	<u>[Signature]</u>	<u>4508 OAKMONT</u>
<u>Susan Hillman</u>	<u>[Signature]</u>	<u>4706 Oakmont Bl</u>

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009
PUD # C 814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Finley, 78731

PRINT NAME	SIGNATURE	ADDRESS
<u>Lillian Kay Cowan</u>	<u>Lillian Kay Cowan</u>	<u>4611 Finley Drive</u>
<u>Erin Friedman</u>	<u>Erin Friedman</u>	<u>4806 Finley Dr.</u>
<u>Craig Friedman</u>	<u>Craig Friedman</u>	<u>4806 Finley Dr.</u>
<u>KAREN GATTO</u>	<u>Karen Gatto</u>	<u>4503 Finley Dr.</u>
<u>Janet Gatto</u>	<u>Janet Gatto</u>	<u>4503 Finley Dr.</u>
<u>GERI MALDONADO</u>	<u>Geri Maldonado</u>	<u>4707 Finley Dr.</u>
<u>Eddie Russ</u>	<u>Eddie Russ</u>	<u>4703 Finley Dr.</u>
<u>Jessica Glorieux</u>	<u>Jessica Glorieux</u>	<u>4700 Finley Dr.</u>
<u>Jessica Stathos</u>	<u>Jessica Stathos</u>	<u>4610 Finley Dr.</u>
<u>Ryan Stathos</u>	<u>Ryan Stathos</u>	<u>4610 Finley Dr.</u>

June 26, 2015

ATTN: Garrett Martin, President and CEO
Milestone Community Builders, LLC
ARG Bull Creek, LTD
9111 Jollyville Road, Suite 111
Austin, Texas 78759

RE: Milestone Community Builders Proposed Development "The Grove at Shoal Creek"
COA Case Number CD-2015-0009 -
PUD # C814-2015-0074

Sincerely,

The Undersigned Shoalmont Property Owners of Finley, 78731

PRINT NAME	SIGNATURE	ADDRESS
<u>Ryann Rathbone</u>	<u>[Signature]</u>	<u>4510 Finley Drive</u>
<u>ANDREY SOKOLOV</u>	<u>[Signature]</u>	<u>4510 FINLEY DRIV</u>
<u>Barbara Selgees</u>	<u>[Signature]</u>	<u>4504</u> <u>4504 Finley Drive</u>
<u>CHRISTOPHER KIRK</u>	<u>[Signature]</u>	<u>4710 Finley Dr</u>
<u>Tracy Kirk</u>	<u>[Signature]</u>	<u>4710 Finley Dr.</u>
<u>Joe Retoff</u>	<u>[Signature]</u>	<u>4505 Finley Dr.</u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>

July 10, 2015

Carolyn Mixon
4616 Chiappero Trail
Austin, Texas 78731

RE: The Grove at Shoal Creek; City File No. C814-2015-0074;
Initial Response to Letter from Certain Shoalmont Property Owners dated June 26, 2015

Dear Ms. Mixon:

Thank you for your letter dated June 26, 2015. We want you and your neighbors to know that we greatly respect the concerns and priorities referenced in your letter, and we would be very happy and grateful for the chance to meet with you all further to discuss the issues you raise. Please know that we will carefully consider each of the items you mention.

While we can certainly discuss the contents of your letter further in such a meeting, I would like to clarify and respond to a few comments made in your letter now for the record, especially since some in the community have made some similar comments.

1. You mention in your letter that our plan is similar to or more intensive than the Mueller development in its retail and office component, and is similar to the Triangle development with respect to residential. With all due respect, that is not factually correct for several reasons. Although, the Mueller and Triangle Projects are also mixed-use, urban infill projects, they actually have entitlements for a lot more intensity than The Grove at Shoal Creek, while The Grove will have comparable amounts of park space as a percentage of site area (actually more than Mueller) and will have better quality park space than the Triangle (much of which is not useable and was not donated but bought by the City for \$3.2 million). Mueller is entitled for more than 5.3 million square feet of non-residential uses. It is also entitled for 6,450 residential units. It is nearly 700 acres and is a regional power center that is appropriately located on major arterials adjacent to I-35. Mueller is unlikely to use those entitlements, as they entitle more building area than Mueller will be able to fit within the project, much like the case will be at The Grove. The table below is based on the entitlements approved for Mueller and the Triangle according to City records and the entitlements proposed for The Grove at Shoal Creek:

	<u>Mueller</u>	<u>The Triangle</u>	<u>The Grove</u>
Commercial and Non-Residential Development (Office/ Retail/ Hospital, etc.)	5,300,000 sf/ 7,728 sf per acre	170,000 sf/ 7,343 sf per acre	375,000 sf/ 4,951 sf per acre (35.5% less than Mueller and 32.5% less than the Triangle)
Residential Development	6,450 units/ 9.35 units per acre	859 units/ 37.11 units per acre	1515/ 20 units per acre (46.1% less than the Triangle)
Park Space	140 acres/ 20.2%	6.02 acres/ 26% (but only limited usability and paid for by the City)	17.00 acres/ 22.45%

As you can see, The Grove at Shoal Creek will have entitlements for *far less* commercial development per acre than Mueller and *far less* residential units per acre than the Triangle.

Incidentally, both the Triangle and Mueller were heavily subsidized by the City of Austin. Mueller is being developed with City owned land that has been *contributed* to that project, and has had 100% of the taxes generated from the site to date (and for the immediate future) being used to fund infrastructure for the project that a developer usually pays. The Triangle received \$6,683,957.00 in fee waivers (without providing *any* affordable housing on-site or fees in lieu thereof), cost re-imbursement for *on-site* utility facilities (as opposed to off-site), City funded improvements, fund transfers from the City, and City general fund transfers for the streets in the Triangle and the park space provided by the Triangle. The Grove proposes less intensity with a comparable amount of high quality park space, *without* these City subsidies. In fact, the City paid \$3,200,000.00 just for the Triangle's park space, whereas The Grove proposes its park space to be fully public space at no cost to the City.

2. We do feel that the amount and quality of the park space that will be provided in the project is very, very substantial, especially (1) when compared to the heavily City subsidized projects described above, (2) when compared to the size of other area parks, (3) considering the fact that most new central city developments (because of size) simply pay a parkland fee instead of actually providing parkland, and (4) considering the fact that high quality park improvements here will be fully funded and maintained by the project and not the City. We also feel that we have planned excellent access to the park space through the green streets program detailed in our public presentations and through the future connection to the Shoal Creek Trail to the Ridglea Neighborhood. Having said that, we are *very* willing to work with the community to improve our park space plan and we look forward to doing so.

I do disagree with you, however, on the analogy to the Mueller Greenways buffer. We feel that buffer is not at all comparable. The Mueller buffer was provided in a highly City subsidized project and was relatively easy to provide and plan for when you consider that Mueller is 700 acres in size (the buffer is relatively insignificant given the size of the tract). The Grove does not have the benefit of massive City subsidies and is smaller and is proportionately less able to set aside such a large buffer. More importantly, the Mueller buffer buffered existing single-family homes from very intense regional, commercial development and large, dense 4 and 5 story apartment buildings – uses that are not generally considered to be compatible adjacent to single-family. Since our site is smaller, we chose instead to develop the area along the northern boundary with *compatible* uses instead of incompatible uses. Our plan is to provide compatible townhome or detached single-family units along our northern property line. In fact, we would actually *exceed* City compatibility standards in the first 200 feet for townhomes. Such compatible uses and developments do not need large buffers as evidenced in neighborhoods throughout the City and in the City's Code. As to this buffer providing accessibility to the park space, again we believe that we have provided excellent accessibility, but we are always willing to discuss further how to improve accessibility in an economically viable way that is of benefit to the broader neighborhood and not just a select few.

3. Please know that we understand your concerns with respect to the proposed vehicular access to 45th Street and we are willing to discuss this further with you all. This access came to be included because we sought a way to get pedestrians and bicyclists across 45th Street safely as near to Shoal Creek as we could and in response to community input that we had received, especially from Rosedale and their desire to have better access to the project. In order to do so, we had to acquire a home which was never part of our original plans. That home was very expensive. In order to justify this new land

cost which was not planned for, we need the access to provide more utility to the project than just serving pedestrians and bicyclists. We believe that we can improve circulation and develop a design that is sensitive to the existing neighborhood. We were hoping that we were doing a good thing for the community in response to input we received by acquiring that land, which we did not own and was not part of our original plans. If the vehicular access is objectionable and cannot be made acceptable, then we are willing to consider abandoning our plans to use this lot for any form of access (including bike and pedestrian) and simply allow the lot to continue to be used as a home. In that case, we will continue to work with the community on other ways to maximize and enhance pedestrian and bicycle access to the project. We would, however, like to discuss this further with you and your neighbors before ultimately concluding to eliminate this access point.

4. As to the corner parcel, please know that we are willing to discuss this further with you all. Our intention was not necessarily to use this site as restaurant but more as a high quality, architecturally interesting building that really introduces the public to the project. We are happy to entertain suggestions of uses on this parcel that would be viable from a market perspective and less intensive from a neighborhood perspective.

We remain excited about The Grove at Shoal Creek because it represents a chance to fulfill the community expressed vision for the property and meet the goals of Imagine Austin by providing compact and connected development that increases both the supply and diversity of housing options in the central city. We know there are still important details to be addressed and we hope that these can be addressed through collaboration. In that regard, we very much appreciate both your comments and your willingness to meet and work on the issues you have raised.

We will be contacting you soon to set up a meeting. Thank you for your thoughtful attention to and consideration of this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read 'G. Martin', with a stylized flourish at the end.

Garrett Martin, Manager/ Member
ARG Bull Creek, LTD

cc: Mayor and Council Members, City of Austin
Greg Guernsey, Jerry Rusthoven and Sherri Sirwaitis, City of Austin Planning & Zoning
Department
Bull Creek Road Coalition

Sirwaitis, Sherri

From: Lynn Boswell [REDACTED]
Sent: Tuesday, July 14, 2015 9:30 AM
To: info@thegroveatshoalcreek.com
Cc: Sirwaitis, Sherri
Subject: off-leash area at The Grove

Dear Milestone:

I am writing to share my strong interest in an off-leash area at The Grove, your new development in central Austin. I have lived in the area for about 15 years and have always enjoyed walking my dogs on the property and using the area for recreation with my family and two children. While I understand that development is inevitable, I also hope that the longstanding use of the park as an area for recreation — and specifically as an area for dogs — will find a place within your new development.

Austin has a major shortage of off-leash areas for dogs — especially fenced off-leash areas of substantial size — and including that in your plans for development would add a major amenity. I also believe strongly that it would serve as a draw for Austin dog owners, bringing them to The Grove, introducing them to other amenities there and giving them a reason to patronize businesses there when they come with their dogs and at other times, as well.

If there were a fenced off-leash area of at least a couple of acres, I would be there regularly. And I would likely often include errands and dining in my trips to The Grove as a result. With an off-leash dog park, I am confident that both I and many other area dog owners will be drawn to the other amenities you are developing there. Without a substantial off-leash area, I suspect it will not be a development I use often. (The Triangle is near my home, as well, and I almost never patronize businesses there other than the farmer's market because it misses the mark in almost every way — difficult parking, an idea of mixed use that requires you to drive to it, an odd mix of businesses and virtually no green space. By contrast, I spend a great deal of time and money at the development where Central Market is located, shopping at almost every store there at one point or another and spending many hours with my kids in the beautiful and large park there.)

I spent many years living in Manhattan (with two big dogs) and saw the community that dog parks help build there. New York's dog parks are routinely fenced — a feature that is rare in Austin. Fences enhance safety for both dogs and people, and create a draw for parents and young children who often enjoy watching the dogs play from outside the fence. I would suggest, as a possible model, the off-leash area at Hardberger Park in San Antonio. Hardberger Park is a relatively new park in an affluent area of San Antonio. It is across the street from a large shopping center that includes an HEB, shops, restaurants and office space. And it has been a major success. I know people who travel from other parts of the city to spend time at the park's off-leash area. You can see more about their dog park here: <http://www.philhardbergerpark.org/visit/play-here/dog-park>

Thank you for your time. I hope you will consider this request on behalf of me, my dogs and the thousands of other Austin dog owners who would love to have an off-leash area included in your new development.

Truly,

Lynn

Lynn Boswell
512 694-2896

Sirwaitis, Sherri

From: Margaret Powis [REDACTED]
Sent: Monday, September 21, 2015 8:25 AM
To: Sirwaitis, Sherri
Subject: Development at Bull Creek Road and 45th Street

21 September 2015

Dear Ms Sirwaitis,

Could you please put my letter in the back-up for the Zoning and Platting Commissioners and the City Council?

I am a resident of Rosedale and I'm writing to express my concern about the upcoming development of the old Tx Dot property at the corner of 45th and Bull Creek Road. Specifically I am concerned about the following:

- a) Development density
- b) Park space
- c) Drainage

The proposed population of the new development will put a huge strain on the existing roads. There is only one street (Bull Creek Road) that the development (The Grove) will be able to use for an exit and entrance. Bull Creek Road is a two lane road in a residential neighborhood that was never intended to carry the proposed amount of traffic. The Grove is going to create a huge strain on the existing roads, and the traffic will inevitably spill into the residential neighborhoods. Additionally there has been a request for a large number of cocktail lounges at the development. This would not fit the existing neighborhood residential character and would create even more problems.

The park space as proposed by the developer is inadequate. Much of the area is unusable as park (or building) space. The portion abutting Shoal Creek is steeply sloped and not viable as a park. The proposed wet pond covers one acre, and (unless you walk on water) is likewise unusable. The remainder is a much smaller space, far less than the thirteen acres the developers claim to be setting aside.

The area abutting the Ridgelea neighborhood, roughly on the western side of Ridgelea has a berm I would estimate to be approximately five feet high. Because the Bull Creek property slopes down to Shoal Creek the run off from the Oakmont neighborhood moves towards Shoal Creek and Ridgelea. Without that berm Ridgelea will be inundated when heavy rains occur. At present the developer proposes putting in a row of houses right up to the Ridgelea boundary, presumably destroying the berm. The inevitable result will be flooding in Ridgelea. The amount of run off is going to be considerably increased with additional impervious cover and great care needs to be exercised to ensure that the drainage issues are resolved in order not to exacerbate the existing flood issues.

I request the Planning and Zoning Commission review the developer's plans very carefully and make the necessary adjustments to avoid future problems

Sincerely
Margaret Powis

PUBLIC HEARING INFORMATION

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During its public hearing, the board or commission may postpone or continue an application's hearing to a later date, or may evaluate the City staff's recommendation and public input forwarding its own recommendation to the City Council. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

During its public hearing, the City Council may grant or deny a zoning request, or rezone the land to a less intensive zoning than requested but in no case will it grant a more intensive zoning.

However, in order to allow for mixed use development, the Council may add the MIXED USE (MU) COMBINING DISTRICT to certain commercial districts. The MU Combining District simply allows residential uses in addition to those uses already allowed in the seven commercial zoning districts. As a result, the MU Combining District allows the combination of office, retail, commercial, and residential uses within a single development.

For additional information on the City of Austin's land development process, visit our website:
www.austintexas.gov/planning.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Barbara Nichols

Your Name (please print)

4500 Erin Lane 78756

Your address(es) affected by this application

Barbara Nichols

Signature

11-23-15

Date

Daytime Telephone: (512) 6577428

Comments: I feel the density particularly of businesses designated as Urban, is not conducive to the adjacent neighborhood's safety. I also feel the traffic from this development is too great for 45th and other roads to manage. A lesser-dense project, or park, would be a better fit for maintaining our neighborhood's integrity.

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

David & Patty Coffman
 Your Name (please print)

4209 Shoal Creek Blvd
 Your address(es) affected by this application

☐ I am in favor
☒ I object

David Coffman
 Signature

11-24-15
 Date

Daytime Telephone: (512) 371-9632

Comments:

If you use this form to comment, it may be returned to:

City of Austin
 Planning & Zoning Department
 Sherri Sirwaitis
 P. O. Box 1088
 Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

ROBERTA N.A.
 Your Name (please print) (CARIS ALEN)

☐ I am in favor
☐ I object

1400 W. 39 1/2 ST.

Your address (or affected by this application)

Signature

Daytime Telephone: 512-467-2880

Date

11/24/2015

Comments: RNA OPPOSES THE CURRENT
 MUEBTONLE PROPOSAL, AND SUPPORTS
 THE BARC'S EFFORTS TO NEGOTIATE
 A BETTER OUTCOME FOR THIS UNIQUE
 SITE.

THANK YOU!

CARIS ALEN

CO-CHAIR, RNA ZONING COMM.

If you use this form to comment, it may be returned to:

City of Austin
 Planning & Zoning Department
 Sherri Sirwaitis
 P. O. Box 1088
 Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

EDWARD R. RATHGEBER

Your Name (please print)

AGT + BULL CREEK

☒ I am in favor
☐ I object

Your address(es) affected by this application

SAME AS ABOVE (3 LOTS)

Signature

Date

Daytime Telephone: 512 917 9510

Comments: AN EXCELLENT PROJECT
BEING DONE BY EXCELLENT
PEOPLE.

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Mike Varozza

Your Name (please print)

4000 Idewild Rd Austin TX

Your address(es) affected by this application

[Signature]

Signature

Daytime Telephone: 512 249 8004

Date

11/24/15

Comments: I do not believe the infrastructure around the PUD is sufficient to handle the increase in residences. For example sewer, roads, schools, etc.

☐ I am in favor
☒ I am object

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Valerie L. Wenger
Your Name (please print)

2804 W 45th St

Your address(es) affected by this application

Valerie Wenger

Signature

Daytime Telephone: 512-916-5315

11/25/15
Date

Comments: The proposed development contains too much commercial development for a residential neighborhood. The development is too dense for a residential neighborhood. The neighborhood can't handle the increased traffic.

If you use this form to comment, it may be returned to:

City of Austin
Planning & Zoning Department
Sherri Sirwaitis
P. O. Box 1088
Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Planning Commission

Your Name (please print) Charlotte Cooper

☐ I am in favor
☒ I object

4003 Ridgely

Your address(es) affected by this application

Charlotte Cooper

Signature

11-28-15

Date

Daytime Telephone: 512 454 0663

Comments:

Development must work in good faith with the adjacent neighborhood as - Plot other special interests

If you use this form to comment, it may be returned to:

City of Austin
Planning & Zoning Department
Sherri Sirwaitis
P. O. Box 1088
Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Cary Cooper
Your Name (please print)

☐ I am in favor
☒ I object

4003 Ridgester
Your address(es) affected by this application

[Signature]
Signature

11-28-15
Date

Daytime Telephone: 512 4540663

Comments: Failure to work as good friend with adjacent neighbors

If you use this form to comment, it may be returned to:

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Planning & Zoning Department
Sherri Sirwaitis
P. O. Box 1088
Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: Dec 1, 2015, Zoning and Platting Commission

Lori Hansen

Your Name (please print)

2603 Great Oaks Pkwy - 78756

Your address(es) affected by this application

Lori Hansen

12/8/15

Signature

Date

Daytime Telephone: 512-589-8972

Comments:

This New Development will cause Tremendous TRAFFIC Issues on Shoal Creek and on 45th St. It is UNSAFE ALREADY During Heavy Traffic, TO Exit off of Great Oaks to GO NORTH on Shoal Creek. Also, Increased traffic may cause people to "cut through" on Great Oaks Hwy between Shoal Creek and 45th St (Both ways)!!

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City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

Sirwaitis, Sherri

From: Ryan Nill [REDACTED]
Sent: Monday, November 30, 2015 5:02 PM
To: Rojas, Gabriel - BC; Breithaupt, Dustin - BC; Denkler, Ann - BC; Evans, Bruce - BC; Flores, Yvette - BC; Goodman, Jackie - BC; Harris, Susan - BC; Kiolbassa, Jolene - BC; Lavani, Sunil - BC; Weber, Thomas - BC
Cc: Sirwaitis, Sherri
Subject: In support of The Grove

Dear Commissioners,

I hope you support extending the Planned Unit Development (PUD) application deadline for the The Grove at Shoal Creek, located near 45th and Bull Creek. This site is an opportunity to develop high-quality affordable housing in a location with unprecedented opportunity and access to amenities.

The development group ARG Bull Creek plans to offer 180 affordable units. These units will be located in a high opportunity area where no affordable housing currently exists. Locating affordable housing in areas where all income levels are represented greatly increases social mobility. Residents have access to better jobs and amenities such as parks and transit that improve their quality of life. According to the landmark 1994 Moving to Opportunity study sponsored by HUD, social and academic outcomes of low-income children located in high-income neighborhoods are markedly better than those of similar-income children raised in areas of concentrated poverty.

The mixed use nature of this development offers many opportunities that I would like to see distributed across class lines. They include:

- A walkable, bikeable neighborhood near transit. Recent studies show that the average total cost of ownership of a car is \$9000 annually, which is beyond the means of many of Austin's residents.
- Access to a 17-acre park. Quality park space has been show to have a positive effect on physical and mental health.
- A forward-looking, mixed used development that takes to heart the "complete communities" envisioned in the Imagine Austin comprehensive plan.

While I am certainly appreciative of being able to attend and provide input at community meetings, residential design charrettes, transit charrettes, neighborhood meetings, and park block parties; all these meeting and events are not cheap. Obligating city staff; the developer; and the many neighborhood, park, transit, and housing advocates to go through this process again by not extending the application deadline will be a waste of time and community resources. Additionally, this will contribute to the ultimate costs of development, which will inevitably be passed on to residents. If we burden ARG Bull Creek with significant additional costs, it will eliminate the feasibility of providing affordable housing in this development. If we instead facilitate the creation of affordable units we can create a high-opportunity environment for 180 households whose options are otherwise very limited in our current climate of de facto economic segregation.

Sincerely,

Ryan Nill

Friends of the Grove

H. Arnold

2417 WOOLDRIDGE DRIVE
AUSTIN, TEXAS 78703

Planning & Zoning Department
Sherri Sirwaitis
PO Box 1088
Austin, TX 78767-8810

CASE: C814-2015-0074

Why do bother to send an announcement
for a public hearing.

You have already made up your mind
to go ahead with this awful
project.

Have you considered the traffic that
will be on 45th and Shoal Creek.

Multiply the number of homes by
3 for example. That will give you an
estimate of how many people and vehicles
extra that will be on the roads.

Austin has become so greedy that it
will sell anything to the highest bidder.

Helen C Arnold

I OBJECT

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Frederick Zinner

Your Name (please print)

1819 W 38th 78731

Your address(es) affected by this application

[Signature]

Signature

Date

Daytime Telephone:

Comments:

Succession Road

infrastructure cannot

support the ARG MEGA development

ARG refuse to release

synchro file for

traffic assessment

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Planning & Zoning Department

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Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Helen C Arnold

Your Name (please print)

2704 LaRonde

Your address(es) affected by this application

Helen Arnold

10/ may/16

Date

Signature

Daytime Telephone: 512-499-8411

Comments: WHY DO YOU SEND THIS NOW?

YOU HAVE ALREADY APPROVED THIS MONOTROPY!

YOU HAVE NOT THOUGHT / DON'T CARE ABOUT THE TRAFFIC THIS WILL PRESENT.

AUSTIN HAS TURNED INTO A "GIRL" FOR SALE TO THE HIGHEST BIDDER.

I HOPE THIS PROJECT FAILS AND SHAME ON THOSE WHO SOLD THE PROPERTY TO THE BOTTOM FEEDER!

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Austin, TX 78767-8810

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Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Your Name (please print)

DICK RATHGEBER
 39th + BULL CREEK RD

☐ I am in favor
☐ I object

Your address(es) affected by this application

Dick Rathgeber May 17, 2016
 Signature Date

Daytime Telephone: 512 917 9510

Comments:

They people really know what they are doing. They will definitely build a quality product.

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

ELC ZIPPEL
 Your Name (please print)

4116 Lakewood Rd. #101 78731
 Your address(es) affected by this application

☐ I am in favor
☒ I object

Signature

Date

Daytime Telephone: 512-529-9728

Comments:

No development, just don't think
current design is superior.

If you use this form to comment, it may be returned to:

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 Sherri Sirwaitis
 P. O. Box 1088
 Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

KIM ZIPFEZ

Your Name (please print)

4116 Idlewild Rd Austin TX 78731

Your address(es) affected by this application

K. Zipfel

Signature

9 May 2016

Date

Daytime Telephone: 512-739-4566

Comments: As the PUD application stands, we are all for a mixed use development but we would like to see much less office space and density, particularly because of its impact on traffic. We are also very concerned about drainage. We support a well-designed superior development.

If you use this form to comment, it may be returned to:

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Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Nona Gold

Your Name (please print)

4507 Bull Creek Rd

Your address(es) affected by this application

Nona Gold

Signature

5-9-16

Date

Daytime Telephone: 512-343-1930

Comments:

*City of Austin
 Planning & Zoning
 Sherri Sirwaitis
 P.O. Box 1088
 Austin, TX 78767-8810*

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

ELAINE R. PUSTING

Your Name (please print)

2579 W. 45TH ST.

Your address(es) affected by this application

Elaine R. Pusting

Signature

<input type="checkbox"/>	I am in favor
<input checked="" type="checkbox"/>	I object

9 MAY 2016

Date

Daytime Telephone: 512-454-9412

Comments: I OBJECT TO THIS ZONING REQUEST
DUE TO MY CONCERNS REGARDING THE
AFFECT TO MY PROPERTY'S VALUE, TO
THE SENSITIVE CREEK & WATERSHED
ENVIRONMENT, & TO MY PHYSICAL &
MENTAL WELL-BEING DUE TO
CONSTRUCTION NOISE & INCONVENIENCE.
I AM ALSO CONCERNED ABOUT MY SAFETY
& PRIVACY DUE TO THE PROXIMITY OF
THE PROPOSED DEVELOPMENT TO MY

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PROPERTY.

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Barbara Nichols

Your Name (please print)

4500 Era Lane 78756

Your address(es) affected by this application

Barbara Nichols

Signature

5-9-16

Date

Daytime Telephone: (512) 657 7428 (cell)

Comments:

I am ~~opposed~~ to said development @ 45th + Bull Creek. The density of this development is not in-line with the neighborhood, nor is the ~~road~~ road adequate to deal with the traffic-congestion that will be produced. The land, in my opinion, did not receive the "super-majority" vote from City Council & the zoning did not go through processing that allowed neighbors affected to give input. There are far better city-wide uses

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Till Griffith

Your Name (please print)

☐ I am in favor
☒ I object

3818-A R. Igglea Dr

Your address(es) affected by this application

78731 5/10/16

Signature

Daytime Telephone: *512 576 9094*

Comments:

Too much Sensitivity!

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

PUBLIC HEARING INFORMATION

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www.austintexas.gov/planning

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Daisy Wanda Garcia
 Your Name (please print)

4505 Finley Dr

Your address(es) affected by this application

Sherri Sirwaitis
 Signature

5-10-16
 Date

Daytime Telephone: 512 478 7612

Comments: I am against any develop
ment that will increase
the population density
and reduce important
ground cover

If you use this form to comment, it may be returned to:

City of Austin
 Planning & Zoning Department
 Sherri Sirwaitis
 P. O. Box 1088
 Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Michael Varocha

Your Name (please print)

4000 Idlewild Rd 78731

Your address(es) affected by this application

[Signature]

Signature

5/10/16

Date

Daytime Telephone: 512 820 5203

Comments: I do not believe that the roads, schools and infrastructure in the area can support that type of development

case C814-2015-0074

Attn: Sherri Sirwaitis

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-9743057 Planning

Public Hearing: May 17, 2016, Zoning and Planning Commission

A. Gernaat

Your Name (please print)

4330 Bull Creek Rd #4113

Your address(es) affected by this application

A. Gernaat

Signature

5/10/16

Date

Daytime Telephone:

Comments: Austin needs denser development to help keep our housing crisis from spiraling out of control. Let's end up like San Francisco - a great city only the wealthiest can actually live in. This rezoning gives a unique opportunity to increase density in Central Austin and should be approved.

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

Proposed Commitments to Oakmont Heights Neighborhood

The Grove at Shoal Creek

February 12, 2016

Note: The Proposed Commitments below would apply to any building on Tract C that is within 75' of Bull Creek Road. Commitments can be made binding through addition to the PUD Land Use Plan and/or Design Guidelines as noted under "Enforcement".

	Proposed Commitments to Comply with SF-3	Enforcement	Notes
1	Live-work uses are prohibited.	This can be removed from the Permitted Uses listed on the Land Use Plan.	
2	Minimum building setback from Bull Creek Road ROW shall be 25'. Porches and patios shall be permitted to encroach into the setback up to 6'. Maximum building height shall be 35'.	The Design Guidelines already require a 15' greenway zone and 10' additional building setback.	25' is the required building setback for SF-3 zoning.
3		This can be added to the Development Regulations listed on the Land Use Plan.	35' is the height limit for SF-3 zoning. Please note that this height restriction is based on the site development regulations for SF-3 zoning and does not include additional height restrictions under the McMansion Ordinance.
4	All buildings facing Bull Creek Road shall have a maximum of two attached residential units.	This can be added to the Development Regulations listed on the Land Use Plan.	Duplexes are permitted in SF-3 zoning. This would allow for duplexes at The Grove facing Oakmont, but would not permit buildings with 3 or more townhomes, row homes, flats, or other residential units.

	Additional Proposed Commitments <i>These commitments are based on community requests and are not requirements of SF-3 zoning.</i>	Enforcement	Notes
5	Minimum setback from Bull Creek Road ROW for a third story shall be 35' if the height of the building exceeds 30'.	This can be added to the design guidelines.	This would ensure greater compatibility and reduce scale at the street by requiring a third story, where provided, to be stepped back from the face of the building.
6	The minimum building setback from Bull Creek Road ROW shall be increased to 28' for a minimum of 50% of the total frontage.	This can be added to the design guidelines.	This would require additional setback for some units to ensure articulation and variation in massing along Bull Creek Road.
7	Garages are not permitted to face Bull Creek Road.	This can be added to the design guidelines.	
8	A minimum of 50% of the units along Bull Creek Road shall have a porch that faces the Bull Creek Road ROW	This can be added to the design guidelines.	

ASSESSMENT OF GROVE AT SHOAL CREEK PLANNED UNIT DEVELOPMENT CONFORMANCE TO IMAGINE AUSTIN PLAN

Imagine Austin Background

The Imagine Austin (IA) is a comprehensive plan for Austin's future, describing the community's vision for the City to 2039. IA includes the following: Vision Statement accompanied by a series of principles that address the social and physical evolution of the City. One of the most important outcomes of IA was the Growth Concept Map which was created through an exhaustive public process and analysis by consultants, and Citizen Advisory Task Force. This map illustrates the desired manner to accommodate new residents, jobs, open spaces, and transportation infrastructure over the next 30 years. Activity corridors indicate the preferred areas for additional growth and connect hubs called activity centers of the following densities.

- Regional Center - range in size between approximately 25,000-45,000 people and 5,000- 25,000 jobs.
- Town Center - range in size between approximately 10,000-30,000 people and 5,000-20,000 jobs.
- Neighborhood Center –range in size between approximately 5,000-10,000 people and 2,500-7,000 jobs.

In addition to the Growth Map, the plan details a series of 8 building blocks also derived from public input. The building blocks are related back to the principles. Each building block includes a summary of key issues and challenges for the future, policies to address those challenges as well as best practices. There are 231 policy actions related to the building blocks.

The last section, again arrived at through public input, defines the priorities for IA. The priorities are:

1. Invest in compact and connected City.
2. Sustainably manage our water resources.
3. Continue to grow Austin's economy by investing in our workforce, education systems, entrepreneurs, and local businesses.
4. Use Green infrastructure to protect environmentally sensitive areas and integrate nature into the City.
5. Grow and maintain Austin's creative economy.
6. Develop and maintain household affordability throughout Austin.
7. Create a Healthy Austin Program.
8. Revise Austin's development regulations and processes to promote a compact and connected city.

However, Ms. Fox's evaluation did not assess the development in relationship to the surrounding neighborhoods. The importance of context and compatibility with neighborhoods is found throughout IA.

- p. 31. "Infill development and redevelopment in centers and along major roadways will be needed to meet the growing demand for higher-density, closer-in affordable housing. Creating harmonious transitions between adjacent neighborhoods is an important component of the development process."
- p. 118. Land Use Transportation Policy 4 – "Protect neighborhood character by directing growth to areas of change that includes designated redevelopment areas, corridors and infill sites. Recognize that different neighborhoods have different characteristics and new and infill development should be sensitive to the predominant character of these communities."
- p. 138. Housing and Neighborhood Policy 11 – "Protect neighborhood character by directing growth to areas of change and ensuring context sensitive infill in such locations as designated redevelopment areas, corridors, and infill sites."
- p. 117. Section 4 also provides best practices for development. The Best Practices for Compatibility and Neighborhood Transitions can be found, which demonstrates how ... "Transitions between commercial areas and adjacent neighborhoods received special consideration through moderate-intensity uses and design standards intended to step down intensity."
- p. 207. "Continued protection and preservation of existing neighborhoods and the natural environment must be considered top priorities of comprehensive revisions to the City Code. The consequences and impact of additional density and infill in existing neighborhoods must be carefully identified and analyzed to avoid endangering the existing character of neighborhoods and exacerbating community health and safety issues, such as flooding."
- p. 207. "Impacts on sustainability and livability by increased infill and density of units, including associated infrastructure costs and impacts on affordability, should be identified prior to adoption of a new city code. Modifications to the City code and building code should be measured with regard to their ability to preserve neighborhood character, consistency with adopted neighborhood and area plans, impact on affordability, and the ability of existing families to continue to reside in their homes."
- p. 228. Land Use and Transportation Priority Action 2 - "Promote diverse infill housing such as small-scale apartments, smaller-lot single-family houses, town and row houses, and garage apartments that complement and enhance the character of existing neighborhoods."


- p. 120. Land Use and Transportation Priority Action 26 – “Reduce noise pollution from transportation, construction, and other sources.”
- p. 138. Housing and Neighborhood Priority Action 8 - “Encourage green practices in housing construction and rehabilitation that support durable, healthy, and energy-efficient homes.”
- P. 139. Best Practice: “THE WORLD’S GREENEST NEIGHBORHOOD”: SUSTAINABLE DESIGN AT DOCKSIDE GREEN, VICTORIA, BRITISH COLUMBIA.” Example demonstrates a 1.3 million square feet mixed use development project that embodies best practices in sustainable design.
- p. 152. Conservation and Environment Priority Action 9 – “Reduce the carbon footprint of the city and its residents by implementing Austin’s Climate Protection Plan and developing strategies to adapt to the projected impacts of climate change.”
- p. 152. Conservation and Environment Priority Action 10- “Improve the air quality and reduce greenhouse gas emissions resulting from motor vehicle use, traffic and congestion, industrial sources, and waste.”
- p. 191. Priority Program – “Sustainably manage our water resources.”
- p. 201. Priority Program - “Develop and maintain household affordability throughout Austin.” “High utility bills can be addressed by how we use water, electricity and natural gas.”
- p. 187. Invest in compact and connected Austin priority specifies that development should occur in activity corridors and centers identified on the Growth Concept Map so that the City can focus on directing its resources.

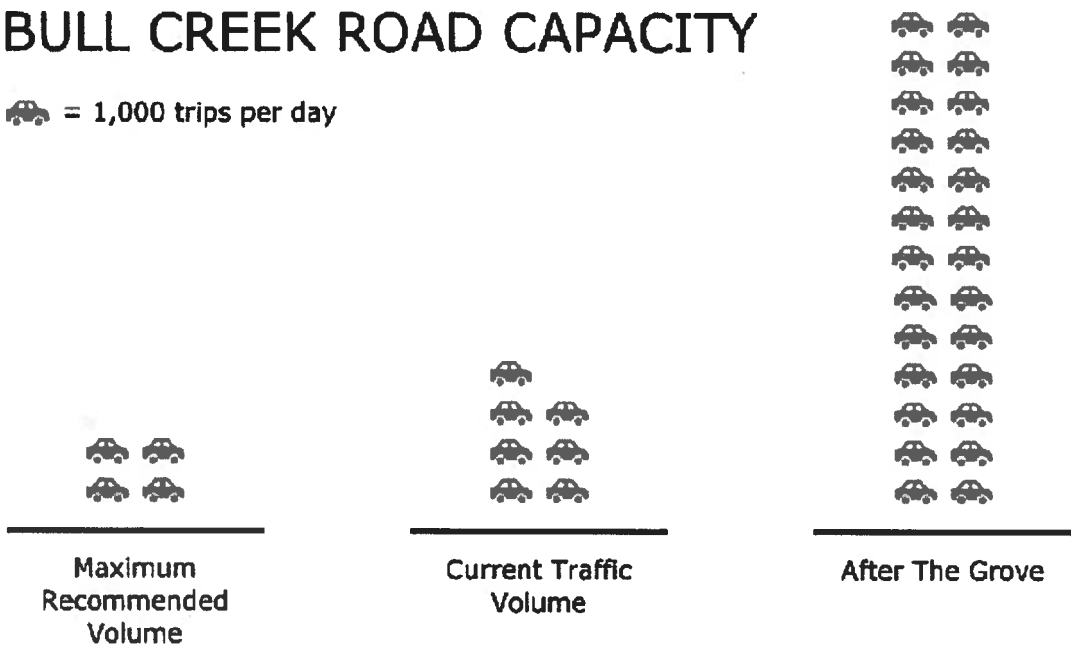
Conclusion

The latest March 2016 plans from ARG for the Grove at Shoal Creek PUD do not conform to the IA Plan. The Grove PUD is not located on an activity corridor or center identified in the Imagine Austin Plan. Imagine Austin does recognize infill of undeveloped properties in the urban core, such as the Grove, as an essential part of meeting the plan’s 20 year vision. However, when City leaders decide on the size and scope of these infill projects, the priority for “compact” development must be balanced with the context of the surrounding uses, especially neighborhoods, as well as ensuring that the development will be sustainable. Furthermore, infill projects like the Grove PUD must be sensitive to the capacity for the surrounding neighborhoods to handle the increased density. Specific to this development, ARG and City staff must demonstrate that the development will not create traffic gridlock or make flood prone areas nearby even worse. Although the Grove at Shoal Creek does include some elements contained within Imagine Austin, ARG’s latest plan is still not compatible with the surrounding neighborhoods and has not adequately addressed greenhouse gases, energy and water conservation, air pollution, and noise.

ATTACHMENT 2
COMPARISON OF CURRENT TRAFFIC ON BULL CREEK RD.
TO TRAFFIC AFTER THE COMPLETION OF THE GROVE

BULL CREEK ROAD CAPACITY

 = 1,000 trips per day



Sources: Milestone TIA, 2/2/2016,
Austin Land Development Code

3/25/2016

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

Ryan Rathbone
Your Name (please print)

☐ I am in favor
☒ I object

4510 Finley Drive

Your address(es) affected by this application

5/11/15
Date

Signature

Daytime Telephone: 512 534 1145

Comments:

I object to the large size of the requested development. Too much traffic already @ Bull Creek + HSH. + Finley's 45th. Dangerous intersection that won't be fixed as is with a turn lane. Not enough park space. too much office space. worried about safety, flooding, traffic. What the developer has proposed is ridiculous in terms of what that space can comfortably fit + fit it with surrounding neighborhood. If you use this form to comment, it may be returned to:

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Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

being brought to a much smaller scale version

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

LOKI HANSEN

Your Name (please print)

2603 GREAT OAKS PKWY

Your address(es) affected by this application

Roni G. Hansen

Signature

5/13/16

Date

Daytime Telephone:

512-454-8826

Comments: The new development they

want to put up at 45th & Bull Creek

will be horrible for our neighborhood.

Our traffic will increase on 45th

St. and its already terrible, our

taxes will increase on our home-

owners insurance and they are

already sky high and it will be

a terrible eye sore.

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 17, 2016, Zoning and Platting Commission

DOUGLAS HANSEN

Your Name (please print)

2603 GREAT OAKS PKWY

Your address(es) affected by this application

AUSTIN, TX 78756

Doug Hansen

Signature

Date

5-13-16

Daytime Telephone: 512-589-8972

Comments: The construction of this

PUD will create horrendous traffic issues in the Bull Creek / Shoal Creek / 45th St neighborhoods. We already have times where getting out of our neighborhood is very difficult, and this PUD will make it MUCH WORSE!!

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810



Allandale Neighborhood Association ▪ Bryker Woods Neighborhood Association
Highland Park West / Balcones Area Neighborhood Association
Oakmont Heights Neighborhood Association ▪ Ridgelea Neighborhood Association
Rosedale Neighborhood Association ▪ Westminster Manor Association

TO: Mayor and Council
Mr. Rodney Gonzales, Director, Development Services Department
Mr. Rob Spillar, Director, Austin Transportation Department

RE: The Grove PUD Traffic Impact Analysis

The Bull Creek Road Coalition ("BCRC") sincerely appreciates the work of all City staff reviewing The Grove at Shoal Creek PUD zoning application ("Grove PUD"). Mr. Gonzales and Mr. Spillar provided a memo update on the traffic review to the Mayor and Council on May 9, 2016. This memo appears to be intended to address questions and concerns regarding the traffic review from the BCRC and residents surrounding the proposed development. However, we believe this memo fails to address the substance of these various concerns.

First and foremost, The Grove PUD is unprecedented in its traffic impacts and, therefore, deserves an unprecedented level of review. These traffic impacts include an unprecedented amount of traffic on Bull Creek Road. This 2-lane neighborhood street currently has about 7,000 trips per day, and with The Grove PUD it will have to handle over 26,000 vehicle trips per day. This congested residential street has a maximum desirable operating level of 4,000 trips per day per the City Code.

The Grove PUD proposes over **600%** of the maximum traffic level prescribed in City Code for residential collector streets like Bull Creek Road, and over **400%** of the maximum operating level per City Code on Jackson Avenue.

For these reasons alone, the TIA should be rejected by the Austin Transportation Department as City Code requires. Per the Land Development Code §25-6-141, "the council or director SHALL deny an application if the traffic impact analysis or neighborhood traffic analysis demonstrates that: (1) the projected traffic generated by the project, combined with existing traffic, exceeds the desirable operating level established in Section 25-6-116 (*Desirable Operating Levels for Certain Streets*)..."

However, after the March 22nd meeting between the applicant and department managers, the traffic review was apparently ended and the TIA was approved in contradiction with City Code requirements and with unresolved City traffic comments. This approval violates City Code, which specifically states that only the City Council has authority to override the Code limits, and even then only under specific circumstances.

Extension of Jackson Avenue Thru 2627 W 45th

The most significant outcome of the March 22nd meeting was the recommendation by City staff to demolish a single family home at 2627 W 45th for the extension of a new street. This extension of Jackson Avenue to 45th was unexpected to neighbors since, only a month earlier, City staff claimed "there is no direct vehicular connection planned or proposed at 2627 W 45th Street."



This street extension was also described by City staff as having “profound implications for the site’s traffic,” and “any proposal for this direct access would need to be proposed by the applicant and analyzed in the Traffic Impact Analysis in order to be approved with the PUD zoning application.” To this date, The Grove PUD’s TIA has not evaluated the impacts and implications of constructing this new street between 35th/Mopac and 45th.

The May 9th memo states that the “applicant provided an analysis of the 45th Street connection, and staff was able to determine this provided measurable improvement for traffic circulation.” The May 9th memo also compares the proposed street extension to “other local streets in the area.” We don’t believe this explanation is entirely accurate for the following reasons:

- The applicant’s TIA data – the basis of a traffic network analysis – indicates that the extension of Jackson Ave to 45th has not been properly studied for full network impacts.

City staff characterized the traffic model as “incomplete” the *same day* as the meeting between the applicant and department managers that resulted in the end of the traffic review and approval of the TIA.

- The cursory analysis provided in the applicant’s TIA shows that the only measurable benefit to the 45th Street connection is to the developer’s private driveways. In fact, the priority intersection of 45th Street and Bull Creek Road sees a *13% increase in vehicle delays* with the addition of the 45th Street connection.
- This street extension is anticipated to carry thousands of vehicles per day from a 3 million square foot mixed-use development. Surrounding local streets carry only hundreds of vehicles per day and serve mostly single-family homes, so the comparison of right-of-way requirements in the May 9th memo is not appropriate.

If the applicant’s cursory analysis indicates possible negative effects of the 45th Street extension and the TIA data file shows an incomplete network study, why would The Grove PUD’s TIA be approved and the traffic review ended based simply on the March 22nd meeting between the applicant and department managers?

The feasibility, safety, and geometric considerations of the street connection to 45th through the 2627 W 45th property has also been a significant concern of neighbors around The Grove PUD. City staff has recommended a “right-in/right-out” only approach to the new intersection with 45th. However, the proper due diligence has not been performed to ensure the feasibility and safety of such an intersection approach.

Industry guidance on right-in/right-out intersection approaches discourages this design when proper channelization cannot be achieved. City staff stated that the “preliminary design still needs to be submitted by the Applicant and reviewed by the City,” and they are “awaiting a response from the Applicant regarding these issues.” How can City staff approve the TIA and recommend this street extension through an existing home when nearly all aspects and consequences of this proposal remain unknown? We believe continued review and due diligence is absolutely warranted.



45th & Bull Creek Road Improvements

Most of City staff's review focused on the intersection of 45th and Bull Creek Road. Although traffic going to and from The Grove will need to drive through other neighborhood streets to get to Mopac, Burnet, or other activity corridors, the 45th and Bull Creek Road intersection is viewed as the most critical component of the traffic network surrounding the future development.

The following concerns remain regarding The Grove PUD's impact to this intersection:

- As recently as March 9th, City staff stated they "still have some significant issues to work through." However, after the March 22nd meeting between the applicant and department managers, and without any new proposals for this intersection, these concerns were apparently ignored and the TIA was approved.
- The applicant has yet to show they have the right-of-way or easements required to complete the proposed improvements. City staff echoed this concern when they stated "if the concept cannot accommodate all the intended transportation facility, the City might be left with an approved PUD with no ROW to build the road to accommodate the development."
- Both neighbors and City staff have expressed concerns about the applicant's proposed 45th and Bull Creek Road improvements relating to feasibility and safety. City staff previously described the proposed intersection improvements as a "non-standard design" and expressed concern about the ability of a "single-unit" truck to safely traverse the dual left-turn lanes. How will large trucks and buses get to and from The Grove PUD if they cannot safely travel through the expanded 45th and Bull Creek Road intersection?

These are only a few of the many significant concerns the BCRC and residents around The Grove at Shoal Creek have regarding the traffic impacts of the proposed PUD. For the City, having an incomplete traffic and transportation review of this PUD could lead to decades of avoidable and expensive traffic problems surrounding this development. For neighbors, having an incomplete traffic and transportation review of this PUD will impact the safety of our families' daily commutes to and from our homes and neighborhoods.

We implore City staff and Council to complete and enforce a comprehensive traffic review of this unprecedented PUD proposal and hold the applicant to the highest standards of superiority for recommendation and approval. Please keep in mind that once granted, the proposed PUD entitlements will be irrevocable; it does not make sense to grant this privilege *prior* to reviewing the intersections for compliance with the City's standards. The leverage to ensure that this gets done correctly only exists before the zoning is approved.

The Grove PUD includes over 2,100 residential units, 225,000 square feet of office, and 158,000 square feet of retail totaling to 3 million square feet of development on this former State tract surrounded by single-family home neighborhoods and 2-lane residential streets. The BCRC strongly believes that this level of development with limited connectivity, inadequate park space, and insufficient flood controls is

Mayor, Council, Gonzales, Spillar
RE: The Grove PUD Traffic Impact Analysis
May 19, 2016
Page 4 of 4



not compliant with Imagine Austin and needs to be scaled appropriately by City staff and Council in order to gain a superiority ranking and ultimate approval.

Please visit bcrcATX.org or contact bcrc_communications@googlegroups.com for more information.

We appreciate your consideration on this important matter,

/s/Sara Speights, President
/s/Grayson Cox, Vice President
Bull Creek Road Coalition

cc: Marc Ott, City Manager
Sue Edwards, Assistant City Manager
Robert Goode, Assistant City Manager



change.org

Rosedale Neighborhood Association

Recipient: Austin City Council

Letter: Greetings,

Do NOT approve The Grove at Shoal Creek PUD

Signatures

Name	Location	Date
Rosedale Neighborhood Association	, United States	2016-09-18
Kim Mosley	Austin, TX, United States	2016-09-18
Donald Wysocki	Austin, TX, United States	2016-09-18
Nick Zappitelli	Austin, TX, United States	2016-09-18
susan dial	Austin, TX, United States	2016-09-18
Lynn Carlson	Austin, TX, United States	2016-09-18
Brittany Quinn	Austin, TX, United States	2016-09-18
James Tyree	Austin, TX, United States	2016-09-18
Chris Allen	Austin, TX, United States	2016-09-18
Kent Hemingson	Austin, TX, United States	2016-09-18
Beth Ann Condon	Austin, TX, United States	2016-09-18
Vicki Almstrum	Austin, TX, United States	2016-09-18
Carl Reynolds	Austin, TX, United States	2016-09-18
Matt haney	Austin, TX, United States	2016-09-18
Brian Bowe	Austin, TX, United States	2016-09-18
Erik Schmitt	Austin, TX, United States	2016-09-18
Alison Beck	Austin, TX, United States	2016-09-18
Sheilah Murphy	Austin, TX, United States	2016-09-18
Richard Relph	Austin, TX, United States	2016-09-18
Jill Nichols	Austin, TX, United States	2016-09-18
Kelly Aho	Austin, TX, United States	2016-09-18
Karen McLinden	Austin, TX, United States	2016-09-18
Cherry Kugle	Austin, TX, United States	2016-09-18
Amy Hauft	Austin, TX, United States	2016-09-18
Angela Coleman	Austin, TX, United States	2016-09-18
Teresa Holmes	Austin, TX, United States	2016-09-18
Kim Relph	Austin, TX, United States	2016-09-18
Kristine Kovach	Austin, TX, United States	2016-09-18
Mark Wells	Austin, TX, United States	2016-09-18

Name	Location	Date
Nancy Scott	Seattle, WA, United States	2016-09-18
Deborah D. Tucker	Austin, TX, United States	2016-09-18
Kathleen Monte	Austin, TX, United States	2016-09-18
Robert Blodgett	AUSTIN, TX, United States	2016-09-18
Jamie Thompson	Austin, TX, United States	2016-09-18
Cathy Savage	Austin, TX, United States	2016-09-18
Tracy Ford	Austin, TX, United States	2016-09-19
Melinda Marble	Austin, TX, United States	2016-09-19
Rick Reeder	Austin, TX, United States	2016-09-19
Rebecca Shieber	Austin, TX, United States	2016-09-19
Julie Konvicka	Austin, TX, United States	2016-09-19
Robert Abraham	Austin, TX, United States	2016-09-19
Deborah DeStefano	Austin, TX, United States	2016-09-19
A P David	Austin, TX, United States	2016-09-19
John Fruehe	Austin, TX, United States	2016-09-19
Jeff Hudson	Austin, TX, United States	2016-09-19
Cathy Miller	Austin, TX, United States	2016-09-19
Wendy Salome	Austin, TX, United States	2016-09-19
david kunkle	Austin, TX, United States	2016-09-19
Jennifer Wood	Austin, TX, United States	2016-09-19
Dawn Skinne	Austin, TX, United States	2016-09-19
Anthony strahan	Austin, TX, United States	2016-09-19
Julie Hardwick	Austin, TX, United States	2016-09-19
Latha Joyce	Austin, TX, United States	2016-09-19
Jeff Archer	Austin, TX, United States	2016-09-19
Joy Sottile	Austin, TX, United States	2016-09-19
C White	Austin, TX, United States	2016-09-19
Renee Keeney	Austin, TX, United States	2016-09-19
Brian Sloan	Austin, TX, United States	2016-09-19
Alison Alter	Austin, TX, United States	2016-09-19
Ryan PirkI	Austin, TX, United States	2016-09-19
Stephanie Childs	Austin, TX, United States	2016-09-19

Name	Location	Date
Tony Fryer	Austin, TX, United States	2016-09-19
Ginny Barr	Austin, TX, United States	2016-09-19
RANLEIGH HIRSH	Austin, TX, United States	2016-09-19
Bryna Dye	Austin, TX, United States	2016-09-19
Mia Lawrence	Austin, TX, United States	2016-09-19
Pam Matthews	Austin, TX, United States	2016-09-19
Beth Reyburn	Austin, TX, United States	2016-09-19
Ted Eubanks	Austin, TX, United States	2016-09-19
tara levy	austin, TX, United States	2016-09-19
Leila Thomas	Austin, TX, United States	2016-09-19
Amy Farley	Austin, TX, United States	2016-09-19
Molly Martin	Austin, TX, United States	2016-09-19
Andy Jones	Austin, TX, United States	2016-09-19
Virginia Somyak	austin, TX, United States	2016-09-19
DJ White	Austin, TX, United States	2016-09-19
Emily Payne	Austin, TX, United States	2016-09-19
Megan Winget	Austin, TX, United States	2016-09-19
Gina Allen	Austin, TX, United States	2016-09-19
Anderson Simmons	Austin, TX, United States	2016-09-19
Kelly Lancaster	Austin, TX, United States	2016-09-19
Pamela Archer	Austin, TX, United States	2016-09-19
RUTH GLENDINNING	Austin, TX, United States	2016-09-19
John Richburg	Austin, TX, United States	2016-09-19
Amity Courtois	Austin, TX, United States	2016-09-19
Donna Ford	Austin, TX, United States	2016-09-19
Amy Wood	Austin, TX, United States	2016-09-19
Michelle Wagner	Austin, TX, United States	2016-09-19
Andy Lane	Austin, TX, United States	2016-09-19
Ken Nolte	Austin, TX, United States	2016-09-19
Tracy Sole	Austin, TX, United States	2016-09-19
anita sybesma	Austin, TX, United States	2016-09-19
Grayson Cox	Austin, TX, United States	2016-09-19

Name	Location	Date
Pam Moore	Austin, TX, United States	2016-09-19
Paula gordon	Austin, TX, United States	2016-09-19
Chris Treadaway	Austin, TX, United States	2016-09-19
Karen Roof	Austin, TX, United States	2016-09-19
Emily Fernandez	Austin, TX, United States	2016-09-19
Catherine Kyle	Austin, TX, United States	2016-09-19
Betty Littrell	Austin, TX, United States	2016-09-19
Elizabeth Harvey	Austin, TX, United States	2016-09-19
Whitney Williams	Austin, TX, United States	2016-09-19
Mitra Mechanic	Austin, TX, United States	2016-09-19
mary harvey	austin, TX, United States	2016-09-19
Wanda Evans	Austin, TX, United States	2016-09-19
Katy Aldredge	Austin, TX, United States	2016-09-19
Suzanne Estes	Austin, TX, United States	2016-09-19
Kerry Edwards	Austin, TX, United States	2016-09-19
Ellen Reeder	Crane, TX, United States	2016-09-19
Jason Fernandez	Austin, TX, United States	2016-09-19
Carolyn Mixon	Austin, TX, United States	2016-09-19
Cyral Miller	AUSTIN, TX, United States	2016-09-19
Julie Puentes	Austin, TX, United States	2016-09-19
Terresa Sanchez	Austin, TX, United States	2016-09-19
Ann Fernandez	Austin, TX, United States	2016-09-19
Beverly Kuenast	Austin, TX, United States	2016-09-19
Stephanie Jarnigan	Austin, TX, United States	2016-09-19
Scott Coy	Austin, TX, United States	2016-09-19
KATHRYN ANDERSON	Austin, TX, United States	2016-09-19
Daniel De La Garza	Austin, TX, United States	2016-09-19
Cathleen McGarity	Austin, TX, United States	2016-09-19
B Glaser	Austin, TX, United States	2016-09-19
Barnara Railey	Galveston, TX, United States	2016-09-19
Christina Jones	Austin, TX, United States	2016-09-19
Dianne Mountain	Austin, TX, United States	2016-09-19

Name	Location	Date
Nick Picchetti	Austin, TX, United States	2016-09-19
Natasha Honeycutt	Austin, TX, United States	2016-09-19
Martha Clay	Austin, TX, United States	2016-09-19
jan justice	Austin, TX, United States	2016-09-19
Mark Wilson	Austin, TX, United States	2016-09-19
Carlos Puentes	Austin, TX, United States	2016-09-19
Mary Ellen West	Austin, TX, United States	2016-09-19
Jenell Wilmot	Denver, CO, United States	2016-09-19
Barbara Garner	Austin, TX, United States	2016-09-19
Holly Helin	Austin, TX, United States	2016-09-19
Leslie Lindzey	Austin, TX, United States	2016-09-19
Jackie Stence	Austin,, TX, United States	2016-09-19
Joe O'Connell	Austin, TX, United States	2016-09-19
Julie Valentine	Austin, TX, United States	2016-09-19
Pam Knight	Austin, TX, United States	2016-09-19
Ryann Rathbone	Austin, TX, United States	2016-09-19
Holly Wiese	Austin, TX, United States	2016-09-19
David Terry	Austin, TX, United States	2016-09-19
Jessica Tate	Austin, TX, United States	2016-09-19
carol burton	Austin, TX, United States	2016-09-19
James Stoker	Austin, TX, United States	2016-09-19
Randy Baird	Austin, TX, United States	2016-09-19
Tom Boyd	Austin, TX, United States	2016-09-19
Clare OConnell	Austin, TX, United States	2016-09-19
Aamer Shaukat	Austin, TX, United States	2016-09-19
Mele Juillerat	Austin, TX, United States	2016-09-19
Diane Graves	Austin, TX, United States	2016-09-19
Todd Shaw	Austin, TX, United States	2016-09-19
Pam Harper	Austin, TX, United States	2016-09-19
Roxann Bouldin	Austin, TX, United States	2016-09-19
Yasiu Kruszynski	Chicago, IL, United States	2016-09-19
Thomas Watterson	Austin, TX, United States	2016-09-19

Name	Location	Date
David Durbin	Austin, TX, United States	2016-09-19
Karen Kleiman	Austin, TX, United States	2016-09-19
Raynor Nicholls	Austin, TX, United States	2016-09-19
Marisa Finley	Austin, TX, United States	2016-09-19
Julie Mani	Austin, TX, United States	2016-09-19
Lindyn Kish	Austin, TX, United States	2016-09-19
Sula Howell	Austin, TX, United States	2016-09-19
K F Carbone	Austin, TX, United States	2016-09-19
Kelly Daghljan	Austin, TX, United States	2016-09-19
Andrew Sokolov	Austin, TX, United States	2016-09-19
Deanna Terry	Austin, TX, United States	2016-09-19
Austintrump.com	Austin, TX, United States	2016-09-19
Austintrump.com		
Barbara Ritchie	Austin, TX, United States	2016-09-19
Pepper Chastain	Austin, TX, United States	2016-09-19
Kate Harrington	Austin, TX, United States	2016-09-19
Craig Lill	Austin, TX, United States	2016-09-19
Janet Delaney	Austin, TX, United States	2016-09-19
Lauren Creasy	Austin, TX, United States	2016-09-19
Marcus Cardwell	Austin, TX, United States	2016-09-19
Karen GRant	Austin, TX, United States	2016-09-19
Dorothy Caldwell	Austin, TX, United States	2016-09-19
Monica Mueller	Austin, TX, United States	2016-09-19
Mary Cunningham	Austin, TX, United States	2016-09-19
Mike O'Connell	Austin, TX, United States	2016-09-19
Jay Carpenter	Austin, TX, United States	2016-09-19
Carolyn Lowe	Austin, TX, United States	2016-09-19
Rebecca Ryan	Austin, TX, United States	2016-09-19
Dawn Piscitelli	Austin, TX, United States	2016-09-19
Bennett Brier	Austin, TX, United States	2016-09-19
Leslie Cameron	Austin, TX, United States	2016-09-19
Anne Heinen	Boulder, CO, United States	2016-09-19

Name	Location	Date
Heather Nichols	Austin, TX, United States	2016-09-19
Robert George	Austin, TX, United States	2016-09-19
Andrea Beane	Austin, TX, United States	2016-09-19
Megan Kressin	Austin, TX, United States	2016-09-19
Deb Lewis	Austin, TX, United States	2016-09-19
A Saint-Romain	Austin, TX, United States	2016-09-19
Charles Peveto	Austin, TX, United States	2016-09-19
JoEllen Clark	Austin, TX, United States	2016-09-19
Amy Newman	Austin, TX, United States	2016-09-19
Alice Clark	Austin, TX, United States	2016-09-19
Cherrylynn Burris	Austin, TX, United States	2016-09-19
Gina Rainey	Austin, TX, United States	2016-09-19
Jill Davis	Austin, TX, United States	2016-09-19
Seth Owens	Austin, TX, United States	2016-09-19
George McCormack	Austin, TX, United States	2016-09-19
Ted Ducote	Austin, TX, United States	2016-09-19
Melissa Page	Austin, TX, United States	2016-09-19
Behnoush Yeganeh	Austin, TX, United States	2016-09-19
Dee Jackson	Austin, TX, United States	2016-09-19
Margaret Maupin	Austin, TX, United States	2016-09-19
Don Clinchy	Austin, TX, United States	2016-09-19
David Henderson	Austin, TX, United States	2016-09-19
sue lee	Austin, TX, United States	2016-09-19
Dana Schrab	Austin, TX, United States	2016-09-19
Christine Fanning	Austin, TX, United States	2016-09-19
Anna Bell Gall	Austin, TX, United States	2016-09-19
Kimberly Felice	Austin, TX, United States	2016-09-19
Leilani Plougnann	Austin, TX, United States	2016-09-19
Jessica Sterns	Austin, TX, United States	2016-09-19
Theresa Bond	Austin, TX, United States	2016-09-19
Prentiss Riddle	Austin, TX, United States	2016-09-19
CL Evans	Austin, TX, United States	2016-09-19

Name	Location	Date
sandy parker	Houston, TX, United States	2016-09-19
Lisa Davila	Austin, TX, United States	2016-09-19
Kate Thompson	Austin, TX, United States	2016-09-19
Everitt Allen	Austin, TX, United States	2016-09-19
Jenny Butterworth	Austin, TX, United States	2016-09-19
Robert Kleinschmidt	Austin, TX, United States	2016-09-19
Martha Moczygemba	Austin, TX, United States	2016-09-19
Steve Lansdowne	Austin, TX, United States	2016-09-19
Ashley Whitt	Austin, TX, United States	2016-09-19
Patricia Williams	Austin, TX, United States	2016-09-19
Bill Ogilvie	Austin, TX, United States	2016-09-19
Wendi Jones	Austin, TX, United States	2016-09-19
Echo Bond	Austin, TX, United States	2016-09-19
Merrily Porter	Austin, TX, United States	2016-09-19
Matt Cohen	Austin, TX, United States	2016-09-19
Andrew Coulson	Austin, TX, United States	2016-09-19
Anthony Weber	Austin, TX, United States	2016-09-19
Josy Johnson	Austin, TX, TX, United States	2016-09-19
Josephine Macaluso	Austin, TX, United States	2016-09-19
Travis Wells	Austin, TX, United States	2016-09-19
Paige Williams	Cedar Park, TX, United States	2016-09-19
Wade Odell	Austin, TX, United States	2016-09-19
M Wesley Gandy	Austin, TX, United States	2016-09-19
Naomi Tilton	Austin, TX, United States	2016-09-19
Annette Stachowitz	Austin, TX, United States	2016-09-19
Scott Newsom	Austin, TX, United States	2016-09-19
Gayle Worley	Austin, TX, United States	2016-09-19
Cherie Havard	Austin, TX, United States	2016-09-19
wes herzik	Austin, TX, United States	2016-09-19
Tom McGarity	Austin, TX, United States	2016-09-19
dale Flatt	Austin, TX, United States	2016-09-19
Junior Avendano	Pflugerville, TX, United States	2016-09-19

Name	Location	Date
Michael Adams	Austin, TX, United States	2016-09-19
Tracy Vaught	Austin, TX, United States	2016-09-19
Lars Plougmann	Austin, TX, United States	2016-09-19
Cristina Campbell	Austin, TX, United States	2016-09-19
Laurel Eskridge	Austin, TX, United States	2016-09-19
James D Johnson	Austin, TX, United States	2016-09-19
Kathy Tyler	Austin, TX, United States	2016-09-19
Kelti Smith	Austin, TX, United States	2016-09-19
Fran Adams	Austin, TX, United States	2016-09-19
David Gibbs	Austin, TX, United States	2016-09-19
Robin Fruehe	Austin, TX, United States	2016-09-19
Jeremy Maurer	Austin, TX, United States	2016-09-19
Mia Burton	Austin, TX, United States	2016-09-19
Diane Larson	Austin, TX, United States	2016-09-19
Kathryn Grant	Austin, TX, United States	2016-09-19
Manuel Quinto-Pozos	Austin, TX, United States	2016-09-19
William OLeary	Austin, TX, United States	2016-09-19
Jennifer McCamish	Austin, TX, United States	2016-09-19
Christopher Burton	Austin, TX, United States	2016-09-19
Susan Smith Dorsey	Austin, TX, United States	2016-09-19
Megan White	Austin, TX, United States	2016-09-19
Nancy Day	Austin, TX, United States	2016-09-19
Amy hufford	austin, TX, United States	2016-09-19
Jacoba van Sitteren	Austin, TX, United States	2016-09-19
John Wilson	Austin, TX, United States	2016-09-19
stephanie ashworth	austin, TX, United States	2016-09-19
Heather Banks	Austin, TX, United States	2016-09-19
michelle varrin	menlo park, CA, United States	2016-09-19
Carrie Arnold	Austin, TX, United States	2016-09-19
jancy darling	Austin, TX, United States	2016-09-19
Molly Wolf	Austin, TX, United States	2016-09-19
Michelle Cheng	Austin, TX, United States	2016-09-19

Name	Location	Date
Mark Schoenfeld	Austin, TX, United States	2016-09-19
Rachel Gray	Austin, TX, United States	2016-09-19
Damon Osgood	Austin, TX, United States	2016-09-19
Kelly Truesdell	Austin, TX, United States	2016-09-19
Nancy Levack	Austin, TX, United States	2016-09-19
Caroline Valentine	Austin, TX, United States	2016-09-19
Ty Schlegel	Austin, TX, United States	2016-09-19
Shane Cormier	Austin, TX, United States	2016-09-19
Christian Drake	Austin, TX, United States	2016-09-19
Karen Saadeh	Austin, TX, United States	2016-09-19
Trish Sierer	Austin, TX, United States	2016-09-19
Calle LaCouture	Austin, TX, United States	2016-09-19
John Sherwood	Austin, TX, United States	2016-09-19
Dan Schillace	Austin, TX, United States	2016-09-19
Justin Tajchman	Austin, TX, United States	2016-09-19
Cassy Shaukat	Austin, TX, United States	2016-09-19
Mary Wilmore	Austin, TX, United States	2016-09-19
simma chester	sebastopol, CA, United States	2016-09-19
Rebecca Eastburn	Austin, TX, United States	2016-09-19
Mike Polston	Austin, TX, United States	2016-09-19
Regan Lenehan	Austin, TX, United States	2016-09-19
Jennifer Paris	Austin, TX, United States	2016-09-19
Victoria Brunow	Austin, TX, United States	2016-09-19
Sabrina Lowther	Round Rock, TX, United States	2016-09-19
Joseph Horton	Austin, TX, United States	2016-09-19
Susan Cohen	Austin, TX, United States	2016-09-19
Trey Smith	Austin, TX, United States	2016-09-19
Linda Mosley	Austin, TX, United States	2016-09-19
Iris Davis	Austin, TX, United States	2016-09-19
Joseph Hunt	Austin, TX, United States	2016-09-19
Travis Casper	Austin, TX, United States	2016-09-19
Jeff Sharp	Lubbock, TX, United States	2016-09-19

Name	Location	Date
Mark Weiler	Austin, TX, United States	2016-09-19
JoAnna Rollings	Austin, TX, United States	2016-09-19
Mark Frankel	Pasadena, CA, United States	2016-09-19
Juliet Garcia	Austin, TX, United States	2016-09-19
Paul Norrod	Austin, TX, United States	2016-09-19
Mike Patterson	Austin, TX, United States	2016-09-19
Philip Courtois	Austin, TX, United States	2016-09-19
Maida Barbour	Austin, TX, United States	2016-09-19
Bryan Williams	Austin, TX, United States	2016-09-19
Erin Willig	Austin, TX, United States	2016-09-19
Neda Eslami	Austin, TX, United States	2016-09-19
Catherine Best	Austin, TX, United States	2016-09-19
Melanie Tolen	Austin, TX, United States	2016-09-19
John Nguyen	Austin, TX, United States	2016-09-19
Maria Artzinger-Bolten	Austin, TX, United States	2016-09-19
Jessica Postol	Austin, TX, United States	2016-09-19
Margaret Melton	Austin, TX, United States	2016-09-19
Denise Romano	Austin, TX, United States	2016-09-19
Iola estes	Austin, TX, United States	2016-09-19
Jack Risley	Austin, TX, United States	2016-09-19
Mark Coffey	Austin, TX, United States	2016-09-19
Natalie Clifton	Austin, TX, United States	2016-09-19
Erica Howard	Austin, TX, United States	2016-09-19
Mike Aho	Austin, TX, United States	2016-09-19
anne Hanrahan	Austin, TX, United States	2016-09-19
Chad Adams	Austin, TX, United States	2016-09-19
Kristin Asthalter	Austin, TX, United States	2016-09-19
Tracy Kuhn	Austin, TX, United States	2016-09-19
Emily Sorensen	Austin, TX, United States	2016-09-19
ernest mckenney	Austin, TX, United States	2016-09-19
Shawn Ellison	Austin, TX, United States Minor Outlying Islands	2016-09-19

Name	Location	Date
Laura Martin	Austin, TX, United States	2016-09-19
Emily Wong	Austin, TX, United States	2016-09-19
Jean Rigatti	Austin, TX, United States	2016-09-19
Leslie Currens	Austin, TX, United States	2016-09-19
Caroline Joyner	Austin, TX, United States	2016-09-19
Britton Parnell	Austin, TX, United States	2016-09-19
Robbe Brunner	Austin, TX, United States	2016-09-19
Mike Hovis	Austin, TX, United States	2016-09-19
Nancy Landwehr	Austin, TX, United States	2016-09-19
Susie Cassens	Fort Pierce, FL, United States	2016-09-19
RONALD STARCHER	New Port Richey, FL, United States	2016-09-19
Rita Ewing	Austin, TX, United States	2016-09-19
Ashley Romberg	Austin, TX, United States	2016-09-19
Chris Elley	Austin, TX, United States	2016-09-19
Jessica Coulbury	Austin, TX, United States	2016-09-19
Raymond Howell	Austin, TX, United States	2016-09-19
Jason Savage	Austin, TX, United States	2016-09-19
Jennifer Allen-Butler	Austin, TX, United States	2016-09-19
Douglas Rhodenbaugh	Austin, TX, United States	2016-09-19
Renee Mims	Austin, TX, United States	2016-09-19
Eden Harrington	Austin, TX, United States	2016-09-19
Steve Mims	Austin, TX, United States	2016-09-19
Sue Minear	Austin, TX, United States	2016-09-19
Blake Tollett	Austin, TX, United States	2016-09-19
Danor Padden	Austin, TX, United States	2016-09-19
lisa lennon	Austin, TX, United States	2016-09-19
George Edwards	Austin, TX, United States	2016-09-19
Anne Rogers	Austin, TX, United States	2016-09-19
Carole LeClair	Austin, TX, United States	2016-09-19
Jennifer Wood	Austin, TX, United States	2016-09-19
David King	Austin, TX, United States	2016-09-19
Rachel Summer	Austin, TX, United States	2016-09-19

Name	Location	Date
John Jordan	Austin, TX, United States	2016-09-19
Charles Schmitz	Austin, TX, United States	2016-09-19
Barbara Jackson	Austin, TX, United States	2016-09-19
Kate Eguchi	Austin, TX, United States	2016-09-19
Dana Wyss	Austin, TX, United States	2016-09-19
Alicia Philley	Austin, TX, United States	2016-09-19
Becca Cody	austin, TX, United States	2016-09-19
Tina Applin	Austin, TX, United States	2016-09-19
john sandbach	Austin, TX, United States	2016-09-19
alison humphrey	austin, TX, United States	2016-09-19
Richard Schley	Austin, TX, United States	2016-09-19
weaver weaver	ft luptom, CO, United States	2016-09-19
Haneef Mohamed	Austin, TX, United States	2016-09-19
Brian Mikulencak	Austin, TX, United States	2016-09-19
Courtney Dial	Austin, TX, United States	2016-09-19
Jeff Sumner	Austin, TX, United States	2016-09-19
Mary Arnold	Austin, TX, United States	2016-09-19
Terry OHalloran	Austin, TX, United States	2016-09-19
Jessica Neufeld	Austin, TX, United States	2016-09-19
James Yapple	Austin, TX, United States	2016-09-19
Sammy Huffaker	Austin, TX, United States	2016-09-19
James O'Connor	Austin, TX, United States	2016-09-19
Colleen Theriot	Austin, TX, United States	2016-09-19
susan white	dripping springs, TX, United States	2016-09-19
Jennifer DiPasquale	Austin, TX, United States	2016-09-19
Keith Pflieger	Austin, TX, United States	2016-09-19
Charles Huffaker	Austin, TX, United States	2016-09-19
Jonathan Brumley	Austin, TX, United States	2016-09-19
Marcus Butler	Austin, TX, United States	2016-09-19
erin almanza	Austin, TX, United States	2016-09-19
Kim Shraibati	Austin, TX, United States	2016-09-19
Valerie Colbourn	Austin, TX, United States	2016-09-19

Name	Location	Date
Peggy Ryder	Austin, TX, United States	2016-09-19
Kerren Campa	Austin, TX, United States	2016-09-19
Eddie Russ	Austin, TX, United States	2016-09-19
Emily Chauvin	Austin, TX, United States	2016-09-19
gary wilcox	Austin, TX, United States	2016-09-19
Marcia Edwards	Austin, TX, United States	2016-09-19
Nancy Hurd	Austin, TX, United States	2016-09-19
karla keeton-page	Austin, TX, United States	2016-09-19
Jennifer Paulsen	Austin, TX, United States	2016-09-19
April Fox	Austin, TX, United States	2016-09-19
Gregory Sapire	Austin, TX, United States	2016-09-19
Andrew Potter	Austin, TX, United States	2016-09-19
Damrel David	Greenville, SC, United States	2016-09-19
Marsha Draman	Austin, TX, United States	2016-09-19
Gregory Haines	Austin, TX, United States	2016-09-19
Lorie BARZANO	Austin, TX, United States	2016-09-19
Stephen Black	Austin, TX, United States	2016-09-19
Andrea R. McGee	Austin, TX, United States	2016-09-19
Christi Greene	Austin, TX, United States	2016-09-19
Robin Null	Austin, TX, United States	2016-09-19
Ginger Turner	Austin, TX, United States	2016-09-19
Andrew Westerkom	Austin, TX, United States	2016-09-19
Jesse Butler	Austin, TX, United States	2016-09-19
Michael Holleran	Austin, TX, United States	2016-09-19
Adam Callaway	Austin, TX, United States	2016-09-19
Gene Kincaid	Austin, TX, United States	2016-09-19
Sandra Burchsted	Austin, TX, United States	2016-09-19
Matthus Powell	Frankfort, KY, United States	2016-09-19
David Fore	Austin, TX, United States	2016-09-19
Holly Reed	Austin, TX, United States	2016-09-19
Kate Clark	Austin, TX, United States	2016-09-19
Grant Rabon	Austin, TX, United States	2016-09-19

Name	Location	Date
Amy Corbett	Austin, TX, United States	2016-09-19
Tom Cunningham	Austin, TX, United States	2016-09-19
Joyce Basciano	Austin, TX, United States	2016-09-19
Tori Detrick	Austin, TX, United States	2016-09-19
Cindy Reed	McNeil, TX, United States	2016-09-19
Judith Merriman	Austin, TX, United States	2016-09-19
Russell Duke	Austin, TX, United States	2016-09-19
Jill Hall	Austin, TX, United States	2016-09-19
Peggy Seely	Austin, TX, United States	2016-09-19
Molly Reed	Austin, TX, United States	2016-09-19
Bill Woods	Austin, TX, United States	2016-09-19
ROSEANNE GIORDANI	Austin, TX, United States	2016-09-19
Denise Dailey	Austin, TX, United States	2016-09-19
Jennifer Foucher	Austin, TX, United States	2016-09-19
Robert Whitehead	Green River, WY, United States	2016-09-19
Claire Walpole	Austin, TX, United States	2016-09-19
Jenny Laudadio	Austin, TX, United States	2016-09-19
Beth Campbell	Austin, TX, United States	2016-09-19
Alexzander Maldonado	Austin, TX, United States	2016-09-19
Polly Sparrow	Austin, TX, United States	2016-09-19
Christopher Colvin	Austin, TX, United States	2016-09-19
McCollough Stephanie	Austin, TX, United States	2016-09-19
Judy Nolte	Austin, TX, United States	2016-09-19
Kathy Shafer	Austin, TX, United States	2016-09-19
May Schmidt	Austin, TX, United States	2016-09-19
Brian Clifton	Austin, TX, United States	2016-09-19
brady coleman	Austin, TX, United States	2016-09-19
Austin Rivera	Austin, TX, United States	2016-09-19
Barbara Jezek-Withrow	Austin, TX, United States	2016-09-19
Max Vanderheyden	Austin, TX, United States	2016-09-19
Jane Harvey	Austin, TX, United States	2016-09-19
Karen Frost	Austin, TX, United States	2016-09-19

Name	Location	Date
Scott Steves	Austin, TX, United States	2016-09-19
Fred Jones	Austin, TX, United States	2016-09-19
Hilary Saltzman	Austin, TX, United States	2016-09-19
Wendy Carnegie	Austin, TX, United States	2016-09-19
Cristina Adams	Austin, TX, United States	2016-09-19
Anthony Carew	Austin, TX, United States	2016-09-19
Laird Williamson	Austin, TX, United States	2016-09-19
Meredith Brethe	Austin, TX, United States	2016-09-19
Amelia Reed	Austin, TX, United States	2016-09-19
Evonne Atlas	Austin, TX, United States	2016-09-19
Gary Parsons	Austin, TX, United States	2016-09-19
Elaine Edwards	Austin, TX, United States	2016-09-19
Greg Underwood	Austin, TX, United States	2016-09-19
Geoff Mueller	Austin, TX, United States	2016-09-19
Elizabeth Newkirk	Austin, TX, United States	2016-09-19
Michael DeWitt	Austin, TX, United States	2016-09-19
Grant Clifton	Austin, TX, United States	2016-09-19
Greg Schepens	Austin, TX, United States	2016-09-19
Dale Gray	Austin, TX, United States	2016-09-19
Karen Ashworth	Austin, TX, United States	2016-09-19
Kristen Hotopp	Austin, TX, United States	2016-09-19
Michelle Walsh	Austin, TX, United States	2016-09-19
Sonia Colorito	Austin, TX, United States	2016-09-19
Alaina Duro	Austin, TX, United States	2016-09-19
Penny Sutton	Austin, TX, United States	2016-09-19
Shirley Nichols	Austin, TX, United States	2016-09-19
Thuy Thao Cao	Austin, TX, United States	2016-09-19
Aimee Gordon	Austin, TX, United States	2016-09-19
Charles Chauvin	Austin, TX, United States	2016-09-19
Katherine Lecompte	Austin, TX, United States	2016-09-19
Francine Fowler	Austin, TX, United States	2016-09-19
Jenny Campbell	Austin, TX, United States	2016-09-19

Name	Location	Date
James Retherford	Austin, TX, United States	2016-09-19
John Tully	Austin, TX, United States	2016-09-19
Nancy Hanus	Blanco, TX, United States	2016-09-19
Beth Johnson	Austin, TX, United States	2016-09-19
Donna Ellis	Austin, TX, United States	2016-09-19
Elizabeth Sublette	Austin, TX, United States	2016-09-19
Susan Simmer	Austin, TX, United States	2016-09-19
Linda Sheehan	Austin, TX, United States	2016-09-19
Bret Pettichord	Austin, TX, United States	2016-09-19
Cynthia Dollar	Austin, TX, United States	2016-09-19
Linda Smith	Austin, TX, United States	2016-09-19
Angel Syrett	Austin, TX, United States	2016-09-19
virginia rohlich	Austin, TX, United States	2016-09-19
Patricia Reich	Addison, TX, United States	2016-09-19
Lindell Tate	Spring Branch, TX, United States	2016-09-19
Katie Houston	Austin, TX, United States	2016-09-19
Pamela Kopfer	Austin, TX, United States	2016-09-19
Gary Culpepper	Austin, TX, United States	2016-09-19
Moneta Prince	Austin, TX, United States	2016-09-19
Lorri Elkins	Austin, TX, United States	2016-09-19
Janie Hopkins	Austin, TX, United States	2016-09-19
Steve Burns	Austin, TX, United States	2016-09-19
Parker Foy	Austin, TX, United States	2016-09-19
Chelsea Fox	Austin, TX, United States	2016-09-19
deborah gardner	Austin, TX, United States	2016-09-19
Libby Santos	Austin, TX, United States	2016-09-19
Susan Bergstrom	Austin, TX, United States	2016-09-19
Kristen Gilson	Austin, TX, United States	2016-09-19
Donna Daniel	Austin, TX, United States	2016-09-19
Dan Prashner	Austin, TX, United States	2016-09-19
John Rooff	Austin, TX, United States	2016-09-19
Mark Wilson	Austin, TX, United States	2016-09-19

Name	Location	Date
Linda Team	Austin, TX, United States	2016-09-19
robin pettis	Fort Worth, TX, United States	2016-09-19
Jon Goree	Austin, TX, United States	2016-09-19
Kathy Duke	Austin, TX, United States	2016-09-19
Nicole Wayman	Austin, TX, United States	2016-09-19
Mina Loomis	Austin, TX, United States	2016-09-19
Anne Bustard	Austin, TX, United States	2016-09-19
Rachael Preston	Austin, TX, United States	2016-09-19
Linda Anderson	Austin, TX, United States	2016-09-19
Beverly Voss	Austin, TX, United States	2016-09-19
Graham Davis	Austin, TX, United States	2016-09-19
JR Gowan	Austin, TX, United States	2016-09-19
Melanie Martin	Austin, TX, United States	2016-09-19
Keri Krupp	Austin, TX, United States	2016-09-19
Roshani DeSilva	Austin, TX, United States	2016-09-19
Marci Ditzell	Austin, TX, United States	2016-09-19
Sam Ditzell	Austin, TX, United States	2016-09-19
Karla Bell	Austin, TX, United States	2016-09-19
David Matthis	Austin, TX, United States	2016-09-19
Torgny Stadler	Austin, TX, United States	2016-09-19
Corey Gusnowski	Austin, TX, United States	2016-09-19
Lorre Weidlich	Austin, TX, United States	2016-09-19
paul Strange	Austin, TX, United States	2016-09-19
Susan Moffat	Austin, TX, United States	2016-09-19
Nancy Kocurek	Austin, TX, United States	2016-09-19
Ian Baronofsky	Austin, TX, United States	2016-09-19
Susan Henderson	Austin, TX, United States	2016-09-19
Brian Luskey	Austin, TX, United States	2016-09-19
Betsy Roy	Austin, TX, United States	2016-09-19
Elias Mattar	Austin, TX, United States	2016-09-19
Anita Shumaker	West Unity, OH, United States	2016-09-19
Nancy Busbey	Austin, TX, United States	2016-09-19

Name	Location	Date
Shannon Quisenberry	Austin, TX, United States	2016-09-19
Lydia Sweet	Austin, TX, United States	2016-09-19
Stacey Amorous	Austin, TX, United States	2016-09-19
Eileen Keller	Austin, TX, United States	2016-09-19
Caroline Mitchell	Austin, TX, United States	2016-09-19
Maureen O'Connor	Austin, TX, United States	2016-09-19
Matthew Stoeltje	San Antonio, TX, United States	2016-09-19
Kalinda Howe	Austin, TX, United States	2016-09-19
Amanda Singer	Austin, TX, United States	2016-09-19
Steven Wiese	Austin, TX, United States	2016-09-19
Maura Lee Willig	Grangeville, ID, United States	2016-09-19
Betsy Schulz	Austin, TX, United States	2016-09-19
Barbara Nichols	Austin, TX, United States	2016-09-19
Susan Somerville	Austin, TX, United States	2016-09-19
Jillian Brooke	Austin, TX, United States	2016-09-19
Megan Jones-Smith	Austin, TX, United States	2016-09-19
Elizabeth Davis	Austin, TX, United States	2016-09-19
Anne Vargas Prada	Austin, TX, United States	2016-09-19
Paul Newman	Austin, TX, United States	2016-09-19
clear hadden-gunther	Austin, TX, United States	2016-09-19
Sterling Smith	Austin, TX, United States	2016-09-19
Jacqueline OKeefe	Austin, TX, United States	2016-09-19
Kathleen Warren	Austin, TX, United States	2016-09-19
Sarah Donelson	Austin, TX, United States	2016-09-19
James Parker	Austin, TX, United States	2016-09-19
Anita Blank	Austin, TX, United States	2016-09-19
Marjorie Parker	Austin, TX, United States	2016-09-19
Mary Priddy	Austin, TX, United States	2016-09-19
Cathy Smith	Austin, TX, United States	2016-09-19
Stephanie Savage	Austin, TX, United States	2016-09-19
Lisa Sunden	Austin, TX, United States	2016-09-19
Kathryn Wahlers	Austin, TX, United States	2016-09-19

Name	Location	Date
Bernard Fleming	Austin, TX, United States	2016-09-19
Vivian Ackerson	Austin, TX, United States	2016-09-19
Steven DiPasquale	Austin, TX, United States	2016-09-19
Jeff Stephens	Austin, TX, United States	2016-09-19
Nancy Boderick	Benton City, WA, United States	2016-09-19
James Walsh	Austin, TX, United States	2016-09-19
Mary Gifford	Austin, TX, United States	2016-09-19
Daniel Moore	Austin, TX, United States	2016-09-19
Casey Davenport	Austin, TX, United States	2016-09-19
jennifer wireman	Austin, TX, United States	2016-09-19
Lauren Cunningham	Austin, TX, United States	2016-09-19
Kimberly Bissell	Austin, TX, United States	2016-09-19
betina foreman	Austin, TX, United States	2016-09-19
Joseph Cunningham	Austin, TX, United States	2016-09-19
Gina Ross	Austin, TX, United States	2016-09-19
michelle gatto	Austin, TX, United States	2016-09-19
Ethan Moorhead	Austin, TX, United States	2016-09-19
Ann Eby	Austin, TX, United States	2016-09-19
Ashley Irby	Austin, TX, United States	2016-09-19
Sara Speights	Austin, TX, United States	2016-09-19
John Moore	Austin, TX, United States	2016-09-19
Barbara McArthur	Austin, TX, United States	2016-09-19
Carrie Moody	Austin, TX, United States	2016-09-19
Elizabeth Guilbeau	Austin, TX, United States	2016-09-19
Ambyr Listracco	Austin, TX, United States	2016-09-19
Karen Owens	Austin, TX, United States	2016-09-19
Daniel Michael	Austin, TX, United States	2016-09-19
Nick Salome	Austin, TX, United States	2016-09-19
Erin Lacoste	Austin, TX, United States	2016-09-19
Betsy Greenberg	Austin, TX, United States	2016-09-19
Todd Thompson	Austin, TX, United States	2016-09-19
Mary Black	Austin, TX, United States	2016-09-19

Name	Location	Date
Ashley Hargrave	Austin, TX, United States	2016-09-19
sabrina bradley	Austin, TX, United States	2016-09-19
steve gerson	Austin, TX, United States	2016-09-19
Carissa Milam	Austin, TX, United States	2016-09-19
Tommy Wald	Austin, TX, United States	2016-09-19
Jessica O'Connell	Austin, TX, United States	2016-09-19
Wallis Goodman	Austin, TX, United States	2016-09-19
Kirsten Tait	Austin, TX, United States	2016-09-19
Alicia Stadler	Austin, TX, United States	2016-09-19
Karen Browder	Austin, TX, United States	2016-09-19
Richard Campa	Austin, TX, United States	2016-09-19
Leigh Dougherty	Austin, TX, United States	2016-09-19
Robert Olwell	Austin, TX, United States	2016-09-19
William Paver	Austin, TX, United States	2016-09-19
William McMillin	Austin, TX, United States	2016-09-19
KAREN R KREPS	Austin, TX, United States	2016-09-19
Carla Epperson	Austin, TX, United States	2016-09-19
Beverly Dunn	Austin, TX, United States	2016-09-19
Ken Brown	Austin, TX, United States	2016-09-19
Melinda Kendall	Austin, TX, United States	2016-09-19
Josh R.	Saddle River, NJ, United States	2016-09-19
Stacey Gardner	Austin, TX, United States	2016-09-19
Lolla Page	Austin, TX, United States	2016-09-19
Carol Giorda	Austin, TX, United States	2016-09-19
Jeff Mayo	Austin, TX, United States	2016-09-19
Randall Withrow	Austin, TX, United States	2016-09-19
laurie winnette	austin, TX, United States	2016-09-19
Robert McDougal	Austin, TX, United States	2016-09-19
Steve Conn	Austin, TX, United States	2016-09-19
Lynn Wallisch	Austin, TX, United States	2016-09-19
Judy Roby	Austin, TX, United States	2016-09-19
Laure McLaughlin	Austin, TX, United States	2016-09-19

Name	Location	Date
Angela Williams	Austin, TX, United States	2016-09-19
Debbie Fehrenkamp	Austin, TX, United States	2016-09-19
Paula Kothmann	Austin, TX, United States	2016-09-19
Katie Tanner	Austin, TX, United States	2016-09-19
Whitney Roebel	Austin, TX, United States	2016-09-19
oona moorhead	Austin, TX, United States	2016-09-19
FREDERICK ZEINNER	Austin, TX, United States	2016-09-19
Erica Faulkenberry	Austin, TX, United States	2016-09-19
Margo Shaw	Austin, TX, United States	2016-09-19
Tracey McCullick	Austin, TX, United States	2016-09-19
Julie Wall	Austin, TX, United States	2016-09-19
Candace Volz	Austin, TX, United States	2016-09-19
Justin Swanson	Austin, TX, United States	2016-09-19
Paul Clements	Austin, TX, United States	2016-09-19
Jill Swanson	Austin, TX, United States	2016-09-19
Lauren Neil	Austin, TX, United States	2016-09-19
Charles Warlick	Austin, TX, United States	2016-09-19
david maduzia	Austin, TX, United States	2016-09-19
Rebekah beveridge	austin, TX, United States	2016-09-19
Melissa Bixby	Austin, TX, United States	2016-09-19
susan blount	Atlanta, GA, United States	2016-09-19
Thomas Somyak	Austin, TX, United States	2016-09-19
Petra Rogers	Austin, TX, United States	2016-09-19
Peter Berner	Austin, TX, United States	2016-09-19
Amy Ehrlich	Austin, TX, United States	2016-09-19
Ben Phillips	Austin, TX, United States	2016-09-19
Christie Manners	Austin, TX, United States	2016-09-19
Kristina Milam	Austin, TX, United States	2016-09-19
Cecilia Berner	Austin, TX, United States	2016-09-19
Elaine Goodson	Austin, TX, United States	2016-09-19
Catherine Attaway-Krueger	Austin, TX, United States	2016-09-19
Lisa Strong	Austin, TX, United States	2016-09-19

Name	Location	Date
Richard Gimarc	Austin, TX, United States	2016-09-19
Ann Graham	Austin, TX, United States	2016-09-19
Pam Olsen	Austin, TX, United States	2016-09-19
Zoltan Hidvegi	Austin, TX, United States	2016-09-19
SHERRY RENICK	AUSTIN, TX, United States	2016-09-19
Eric Peterson	Austin, TX, United States	2016-09-19
Lisa Thomas	Austin, TX, United States	2016-09-19
DeAnn Friedholm	Austin, TX, United States	2016-09-19
Brooke Bailey	Austin, TX, United States	2016-09-19
Rae Davis	Austin, TX, United States	2016-09-19
Fran Clark	austin, TX, United States	2016-09-19
Henry Tschurr	Austin, TX, United States	2016-09-19
Cathy Bennett	Austin, TX, United States	2016-09-19
Celeste Hubert	Austin, TX, United States	2016-09-19
kathy kelly	Austin, TX, United States	2016-09-19
KATHRYN MILLAN	Austin, TX, United States	2016-09-19
Kate Greene	Austin, TX, United States	2016-09-19
Tiffani Mcree	Austin, TX, United States	2016-09-19
Judith Lowe	Austin, TX, United States	2016-09-19
Armando Ybarra	Austin, TX, United States	2016-09-19
Susie Krumholz	Austin, TX, United States	2016-09-19
Jeanne Carpenter	Austin, TX, United States	2016-09-19
Carolyn Collins	Austin, TX, United States	2016-09-19
Sondra McMurray	Lancaster, CA, United States	2016-09-20
Kelly Peterson	Sunset Valley, TX, United States	2016-09-20
Matthew Irvin	Austin, TX, United States	2016-09-20
erika bonfanti	Austin, TX, United States	2016-09-20
Nanci Fisher	Austin, TX, United States	2016-09-20
Jann Alexander	Austin, TX, United States	2016-09-20
Jeffrey McMillian	Houston, TX, United States	2016-09-20
Candace Squire	Austin, TX, United States	2016-09-20
Sarah Okayli Masaryk	Austin, TX, United States	2016-09-20

Name	Location	Date
Stacey Govito	Beaufort, SC, United States	2016-09-20
Todd Burns	Austin, TX, United States	2016-09-20
Camilla Freitag	78704, TX, United States	2016-09-20
Summer Rose	Austin, TX, United States	2016-09-20
Robert Norris	Austin, TX, United States	2016-09-20
Patricia Sefton	Austin, TX, United States	2016-09-20
Altha Rodin	Austin, TX, United States	2016-09-20
Nancy Norman	Austin, TX, United States	2016-09-20
rodney ashworth	Austin, TX, United States	2016-09-20
Judith Sokolow	Austin, TX, United States	2016-09-20
Rhonda Keyt	South Burlington, VT, United States	2016-09-20
Anne Miller	Austin, TX, United States	2016-09-20
Kristin Knifton	Austin, TX, United States	2016-09-20
Seth Wallis	Austin, TX, United States	2016-09-20
Carol Delatorre	Austin, TX, United States	2016-09-20
Stephen Doster	Blanco, TX, United States	2016-09-20
Madge Darlington	Austin, TX, United States	2016-09-20
George LaSalle	Austin, TX, United States	2016-09-20
Sarah Hunter	Austin, TX, United States	2016-09-20
Dawn Lewis	Austin, TX, United States	2016-09-20
Judy Myers	Austin, TX, United States	2016-09-20
Albert Tahhan	Quincy, MA, United States	2016-09-20
Aditya Rustgi	Austin, TX, United States	2016-09-20
Jim Lyons	Austin, TX, United States	2016-09-20
Jackie Baynard	Austin, TX, United States	2016-09-20
Bee Moorhead	Austin, TX, United States	2016-09-20
Uttara Chokhawala	Austin, TX, United States	2016-09-20
gail sapp	Austin, TX, United States	2016-09-20
Kirsti Harms	Austin, TX, United States	2016-09-20
valerie sand	Austin, TX, United States	2016-09-20
Katie Simon	Austin, TX, United States	2016-09-20
Drew Bradford	Austin, TX, United States	2016-09-20

Name	Location	Date
Andrew Britton	Austin, TX, United States	2016-09-20
David Simon	Austin, TX, United States	2016-09-20
Diana Evans	Crane, TX, United States	2016-09-20
Sharon Edwards	Austin, TX, United States	2016-09-20
Katherine Sederholm	Austin, TX, United States	2016-09-20
Ginny Brooks	Austin, TX, United States	2016-09-20
Becky Thomasson	Austin, TX, United States	2016-09-20
Gregory Glazner	Austin, TX, United States	2016-09-20
Marcia Temple	Leander, TX, United States	2016-09-20
Sousan Sarabi	Austin, TX, United States	2016-09-20
Angel Boyd	Austin, TX, United States	2016-09-20
Sharon Flournoy	Austin, TX, United States	2016-09-20
Laura Ebady	Austin, TX, United States	2016-09-20
Irene Perez	Austin, TX, United States	2016-09-20
Julie Linder	Austin, TX, United States	2016-09-20
Gigi Taylor	Austin, TX, United States	2016-09-20
Marion Coffee	Austin, TX, United States	2016-09-20
Mary Lynn Kiely	Austin, TX, United States	2016-09-20
Katherine Willis	Austin, TX, United States	2016-09-20
Gabrielle Zandan	Austin, TX, United States	2016-09-20
Ty Allen	Austin, TX, United States	2016-09-20
Jordan Macquarrie	Austin, TX, United States	2016-09-20
Christine Cowan	Austin, TX, United States	2016-09-20
Katherine Crenshaw	Austin, TX, United States	2016-09-20
Stacey Rudnick	Austin, TX, United States	2016-09-20
Richard Whittington	Austin, TX, United States	2016-09-20
Carol Cain	Austin, TX, United States	2016-09-20
Walter Leverich	Austin, TX, United States	2016-09-20
merijayd oconnor	Austin, TX, United States	2016-09-20
Howard Neal	Austin, TX, United States	2016-09-20
Noelle Boyle	Austin, TX, United States	2016-09-20
Suzanne Brooks	Austin, TX, United States	2016-09-20

Name	Location	Date
Molly Crenshaw	Austin, TX, United States	2016-09-20
Barbara Gettelman	Austin, TX, United States	2016-09-20
Robert Radebaugh	Austin, TX, United States	2016-09-20
Charles Walton	Austin, TX, United States	2016-09-20
Kiki Osterman	Austin, TX, United States	2016-09-20
Nancy Juren	Austin, TX, United States	2016-09-20
Dash Harris	Austin, TX, United States	2016-09-20
Charlotte Cooper	Austin, TX, United States	2016-09-20
Dan Inman	Austin, TX, United States	2016-09-20
Mary Ivy	Austin, TX, United States	2016-09-20
Steven Hardt	Austin, TX, United States	2016-09-20
Becky melton	Austin, TX, United States	2016-09-20
Tracy Rassett	Austin, TX, United States	2016-09-20
Lanith Derryberry	Austin, TX, United States	2016-09-20
Cynthia Keohane	Austin, TX, United States	2016-09-20
Callan Muckleroy	Austin, TX, United States	2016-09-20
Jessie Pearson	Austin, TX, United States	2016-09-20
Christopher MacQuarrie	Austin, TX, United States	2016-09-20
Bruce Hunt	Austin, TX, United States	2016-09-20
Thomas Fowler	Austin, TX, United States	2016-09-20
Margaret Webb	Austin, TX, United States	2016-09-20
Monica Wells	Austin, TX, United States	2016-09-20
Jennifer White	Austin, TX, United States	2016-09-20
Chuck Vorspan	Austin, TX, United States	2016-09-20
emily crumley	austin, TX, United States	2016-09-20
Terese Wier	Austin, TX, United States	2016-09-20
Ava Torre-Bueno	San Diego, CA, United States	2016-09-20
Nancy Willingham	Austin, TX, United States	2016-09-20
Mary Gottwald	Austin, TX, United States	2016-09-20
John Burton	Austin, TX, United States	2016-09-20
Dana Gruber	Austin, TX, United States	2016-09-20
Roxanne Hendricks	San Diego, CA, United States	2016-09-20

Name	Location	Date
Nadia Traietti	Austin, TX, United States	2016-09-20
Beverly Spicer	Austin, TX, United States	2016-09-20
Randy Greenberg	Austin, TX, United States	2016-09-20
Michelle WALD	Austin, TX, United States	2016-09-20
Beth Miller	Austin, TX, United States	2016-09-20
Judy W Sargent	Austin, TX, United States	2016-09-20
Laura Kelso	Austin, TX, United States	2016-09-20
James Roderick	Austin, TX, United States	2016-09-20
Eric Carman	Austin, TX, United States	2016-09-20
Steven Roberts	Austin, TX, United States	2016-09-20
Robbin Polter	Austin, TX, United States	2016-09-20
Kate Warren	Austin, TX, United States	2016-09-20
Danina CULVER	Austin, TX, United States	2016-09-20
Gillian Redfearn	Austin, TX, United States	2016-09-20
Cynthia Clark	Austin, TX, United States	2016-09-20
Michael Curry	Austin, TX, United States	2016-09-20
Molly Minor	Austin, TX, United States	2016-09-20
Peter Van Overen	Austin, TX, United States	2016-09-20
Vicki DeWeese	Austin, TX, United States	2016-09-20
Chelsey Linden	Austin, TX, United States	2016-09-20
Merrell Foote	Austin, TX, United States	2016-09-20
Deborah Ellison	ausitn, TX, United States	2016-09-20
Michael Krumholz	Austin, TX, United States	2016-09-20
Gabriel Gay	Austin, TX, United States	2016-09-20
Daniel Hurd	Austin, TX, United States	2016-09-20
Jill Long	Austin, TX, United States	2016-09-20
Lila Wilson	Austin, TX, United States	2016-09-20
Graham Austin	Austin, TX, United States	2016-09-20
Theodora Degen	Ross on Wye, ENG, United Kingdom	2016-09-20
Elizabeth Quigg	Austin, TX, United States	2016-09-20
Donna Samuelson	Austin, TX, United States	2016-09-20
glenda adkinson	austin, TX, United States	2016-09-20

Name	Location	Date
Anne Hansen	Austin, TX, United States	2016-09-20
Courtney Perkins	Austin, TX, United States	2016-09-20
Forrest Wilson	Austin, TX, United States	2016-09-20
Liz Howard	Austin, TX, United States	2016-09-20
Ann Marie Healy	Austin, TX, United States	2016-09-20
John Robey	Austin, TX, United States	2016-09-20
Jennifer Lloyd	Austin, TX, United States	2016-09-20
Ashley Thompson	Austin, TX, United States	2016-09-20
Tom Knutsen	Austin, TX, United States	2016-09-20
Elizabeth Harris	Austin, TX, United States	2016-09-20
Sharon Blythe	Austin, TX, United States	2016-09-20
Tara Kirkland	Austin, TX, United States	2016-09-20
Flora Batts	Austin, TX, United States	2016-09-20
Nikhil Batra	Austin, TX, United States	2016-09-20
Angela Mills	Austin, TX, United States	2016-09-20
Wayne Allen	Austin, TX, United States	2016-09-20
Oriana Anholt	Austin, TX, United States	2016-09-20
David Stence	Austin, TX, United States	2016-09-20
Alicia Cozza	Austin, TX, United States	2016-09-20
Mariah Crownover	Austin, TX, United States	2016-09-20
Dana Singh	Austin, TX, United States	2016-09-20
Jeana Buchanan	Austin, TX, United States	2016-09-20
Dean Stinsmuehlen	Austin, TX, United States	2016-09-20
Elliot Trester	Austin, TX, United States	2016-09-20
Nor Meyer	Mt. Vernon, IA, United States	2016-09-20
Ophelia Papoulas	Austin, TX, United States	2016-09-20
Karen Farnsworth	Austin, TX, United States	2016-09-20
Elizabeth Tieman	Austin, TX, United States	2016-09-20
Sara Stevenson	Austin, TX, United States	2016-09-20
Devon Bijansky	Austin, TX, United States	2016-09-20
Elaine Eidelberg	Austin, TX, United States	2016-09-20
Julia Mickenberg	Austin, TX, United States	2016-09-20

Name	Location	Date
Louisa Hoberman	Austin, TX, United States	2016-09-20
Jayne Larson	Austin, TX, United States	2016-09-20
Susanna Sharpe	Austin, TX, United States	2016-09-20
Evelyn Escamilla	Austin, TX, United States	2016-09-20
Vera Vine	Austin, TX, United States	2016-09-20
mary reed	austin, TX, United States	2016-09-20
Chris Mabley	Austin, TX, United States	2016-09-20
David Grover	Austin, TX, United States	2016-09-20
Tom Linehan	Austin, TX, United States	2016-09-20
Jan King	Austin, TX, United States	2016-09-20
Pam Halbrook	Austin, TX, United States	2016-09-20
John Spath	Austin, TX, United States	2016-09-20
Anne Hebert	Austin, TX, United States	2016-09-20
Nedra Randolph	Austin, TX, United States	2016-09-20
Erik Huebner	Austin, TX, United States	2016-09-20
Michelle Bost	Austin, TX, United States	2016-09-20
Michele Ostrow	Austin, TX, United States	2016-09-20
JEANNIE LaCorte	AUSTIN, TX, United States	2016-09-20
Lillian Cowan	Austin, TX, United States	2016-09-20
Melissa Cunningham	Austin, TX, United States	2016-09-20
Freddie Summer	Austin, TX, United States	2016-09-20
Michele White	Austin, TX, United States	2016-09-20
Robert Moorhead	Austin, TX, United States	2016-09-20
Louise Thacker	Austin, TX, United States	2016-09-20
Karen Prather	Austin, TX, United States	2016-09-20
Cameron White	Friendswood, TX, United States	2016-09-20
Tracey Kirk	Austin, TX, United States	2016-09-20
Stephanie Teague	Austin, TX, United States	2016-09-20
Gary Cooper	Austin, TX, United States	2016-09-20
Shelley Scott	Austin, TX, United States	2016-09-20
Diane Swinney	Austin, TX, United States	2016-09-20
Nancy Goodman-Gill	Austin, TX, United States	2016-09-20

Name	Location	Date
Kent Winegar	Austin, TX, United States	2016-09-20
Lauren Tybor	Austin, TX, United States	2016-09-20
Rosemary Whiteside	Seattle, WA, United States	2016-09-20
Felicity Coltman	Austin, TX, United States	2016-09-20
Melynda Nuss	Austin, TX, United States	2016-09-20
Anne Dietz	Austin, TX, United States	2016-09-20
Payrocia Strong	Austin, TX, United States	2016-09-20
Maurine Sullivan	Austin, TX, United States	2016-09-20
Kathy Hoinski	Austin, TX, United States	2016-09-20
Dan Bost	Austin, TX, United States	2016-09-20
Kara Ayala	McAllen, TX, United States	2016-09-20
Alexa Corbett	Austin, TX, United States	2016-09-20
Bill Cone	Austin, TX, United States	2016-09-20
Anne Bruno	Austin, TX, United States	2016-09-20
Carolyn Slocum	Austin, TX, United States	2016-09-20
Gina burchenal	Austin, TX, United States	2016-09-20
Jolynn Free	Austin, TX, United States	2016-09-20
Wade Williams	Austin, TX, United States	2016-09-20
Zarquha Khan	Austin, TX, United States	2016-09-20
Carolyn Robinson	Austin, TX, United States	2016-09-20
TJ Shroat	Austin, TX, United States	2016-09-20
Donna Morrow	Austin, TX, United States	2016-09-20
Alyssa Dillard	Austin, TX, United States	2016-09-20
Jennifer Berbas	Austin, TX, United States	2016-09-20
Cynthia Williams	Austin, TX, United States	2016-09-20
Max Rohleder	Austin, TX, United States	2016-09-20
Peter Hart	Austin, TX, United States	2016-09-20
Martha Rand	Austin, TX, United States	2016-09-20
Jane Tweedy	Austin, TX, United States	2016-09-20
Janet Beinke	Austin, TX, United States	2016-09-20
Beth Kennedy	Austin, TX, United States	2016-09-20
Chris Adams	Austin, TX, United States	2016-09-20

Name	Location	Date
Rebecca Gallogly	Austin, TX, United States	2016-09-20
tim hahn	Austin, TX, United States	2016-09-20
mozelle white	Austin, TX, United States	2016-09-20
Kelly Reilley	Austin, TX, United States	2016-09-20
William Anderson	Austin, TX, United States	2016-09-20
Jim Cunningham	Austin, TX, United States	2016-09-20
Robert Klausmeier	Austin, TX, United States	2016-09-20
Hellen Pennell	Austin, TX, United States	2016-09-20
Gregory Free	Austin, TX, United States	2016-09-20
Karen Moore	Austin, TX, United States	2016-09-20
Katherine Torrini	Austin, TX, United States	2016-09-20
Jane and Larry Graham	Daytona Beach, FL, United States	2016-09-20
Lawrence Brookshire	Austin, TX, United States	2016-09-20
Elizabeth Sims	Austin, TX, United States	2016-09-20
jenny johnson	Austin, TX, United States	2016-09-20
Gabriel Paonessa	Austin, TX, United States	2016-09-20
Jan Child	Austin, TX, United States	2016-09-20
Grayson Cecil	Austin, TX, United States	2016-09-20
Teresa Mook	Austin, TX, United States	2016-09-20
Carol Wagner	Austin, TX, United States	2016-09-20
Elliot Brubaker	Austin, TX, United States	2016-09-20
Barbara Holthaus	Austin, TX, United States	2016-09-20
Kayla Mook	Austin, TX, United States	2016-09-20
Charlotte McCann	Austin, TX, United States	2016-09-20
Gideon Derr	Austin, TX, United States	2016-09-20
Marilyn Redmond	Austin, TX, United States	2016-09-20
Laura Carlson	Austin, TX, United States	2016-09-20
Stephen Feinstein	Austin, TX, United States	2016-09-20
Tobie Wahl	Austin, TX, United States	2016-09-20
Marian Alexander	Austin, TX, United States	2016-09-20
Aimee Cooper	Austin, TX, United States	2016-09-20
August Harris	Austin, TX, United States	2016-09-20

Name	Location	Date
Katherine Lunsford	Austin, TX, United States	2016-09-20
Martin Rodriguez	Austin, TX, United States	2016-09-20
Janet Davis	Austin, TX, United States	2016-09-20
Gayle Rosenthal	Austin, TX, United States	2016-09-20
tiffany peters	Austin, TX, United States	2016-09-20
Hamlett Kristin	Austin, TX, United States	2016-09-20
Kristin Henn	Austin, TX, United States	2016-09-20
Alice Hatfield	Austin, TX, United States	2016-09-20
Jim Essler	Austin, TX, United States	2016-09-20
Nancy Woolley	Austin, TX, United States	2016-09-20
Lisa Bosman	Austin, TX, United States	2016-09-20
Walter Redmond	Austin, TX, United States	2016-09-20
Katey Steadman	Austin, TX, United States	2016-09-20
Marie Collins	Austin, TX, United States	2016-09-20
Jeremy Loomis-Norris	Austin, TX, United States	2016-09-20
Juliee beyt	Austin, TX, United States	2016-09-20
Julie Hall	Austin, TX, United States	2016-09-20
Joan Sharpe	Austin, TX, United States	2016-09-20
Eric Ginther	Dunedin, FL, United States	2016-09-20
Esmeralda Gonzalez	Austin, TX, United States	2016-09-20
Keon Robertson	Austin, TX, United States	2016-09-20
Christine Canaria	Austin, TX, United States	2016-09-20
Jessica Castilleja	Austin, TX, United States	2016-09-20
Emily Durden	Austin, TX, United States	2016-09-20
michael hoinski	Austin, TX, United States	2016-09-20
Paula Martin	Austin, TX, United States	2016-09-20
Samantha Robles	Austin, TX, United States	2016-09-20
Colleen Jamison	Austin, TX, United States	2016-09-20
Bo Delp	Austin, TX, United States	2016-09-20
Gabriel DeJoy	Austin, TX, United States	2016-09-20
Diane Long	Austin, TX, United States	2016-09-20
Maura Benson	Austin, TX, United States	2016-09-20

Name	Location	Date
Julia Kranzthor	Austin, TX, United States	2016-09-20
laura baronofsky	Austin, TX, United States	2016-09-20
Anne ASHMUN	Port Aransas, TX, United States	2016-09-20
Candelario Vazquez	Austin,, TX, United States	2016-09-20
Rebecca Reedy	Austin, TX, United States	2016-09-20
Joan Reissman	Austin, TX, United States	2016-09-20
Jan Motriuk	Austin, TX, United States	2016-09-20
Anneliese Lipinski	Hillsborough Township, NJ, United States	2016-09-20
Ashleigh Blaire	Austin, TX, United States	2016-09-20
Jennifer Rowsey	Austin, TX, United States	2016-09-20
Cortney Easterwood	Austin, TX, United States	2016-09-20
Lewis Troiano	Austin, TX, United States	2016-09-20
Mike Mayberry	Austin, TX, United States	2016-09-20
James Skaggs	Harlingen, TX, United States	2016-09-20
Kim Griger	Austin, TX, United States	2016-09-20
Gayle Helberg	Austin, TX, United States	2016-09-20
Zachary Lewis-Hill	Austin, TX, United States	2016-09-20
Jeff Stephens	Austin, TX, United States	2016-09-20
Leslie Elliott	Austin, TX, United States	2016-09-20
Kathleen Yoder	Austin, TX, United States	2016-09-20
Anne Helmick-Lyon	Austin, TX, United States	2016-09-20
Jonah Shaukat	Austin, TX, United States	2016-09-20
Susan Marshall	Austin, TX, United States	2016-09-20
David Wise	Austin, TX, United States	2016-09-20
Patricia Jane Shaughness	Austin, TX, United States	2016-09-20
Brittney Nini	Austin, TX, United States	2016-09-20
Allee Johnson	Austin, TX, United States	2016-09-20
Robert Atwood	Austin, TX, United States	2016-09-20
Alison Tartt	Austin, TX, United States	2016-09-20
Zack Smith	Austin, TX, United States	2016-09-20
Jil Doughtie	Austin, TX, United States	2016-09-20
Summerlin Burnette	Austin, TX, United States	2016-09-20

Name	Location	Date
Helen Burnette	Austin, TX, United States	2016-09-20
Edward Marcotte	Austin, TX, United States	2016-09-20
Leslie H	Austin, TX, United States	2016-09-20
Leslie Cohen	Austin, TX, United States	2016-09-20
Ron Falsone	Austin, TX, United States	2016-09-20
Kent Johnson	Georgetown, TX, United States	2016-09-20
sarah stevens	austin, TX, United States	2016-09-20
Edwin Moreno	Austin, TX, United States	2016-09-20
Neal Hagood	Austin, TX, United States	2016-09-20
Paula Feldman	Austin, TX, United States	2016-09-20
Elliot Rogers	Hutto, TX, United States	2016-09-20
Shelley Sallee	Austin, TX, United States	2016-09-20
Steven Zoraster	Austin, TX, United States	2016-09-20
Julie Kniseley	Austin, TX, United States	2016-09-20
Marian Jenson	Austin, TX, United States	2016-09-20
Austin Trump	Austin, TX, United States	2016-09-20
Linda Saurini	Pinellas Park, FL, United States	2016-09-20
Scott Samuelson	Austin, TX, United States	2016-09-20
Sean Covey	Austin, TX, United States	2016-09-20
Neil Patel	Austin, TX, United States	2016-09-20
NANCY HOANG	Austin, TX, United States	2016-09-20
Benjamin Sefton	Austin, TX, United States	2016-09-20
Mark Doroba	Austin, TX, United States	2016-09-20
Debbie Collier	Austin, TX, United States	2016-09-20
Alice York	Austin, TX, United States	2016-09-20
Abby Darrow	Austin, TX, United States	2016-09-20
Doug Addison	Austin, TX, United States	2016-09-20
Robert Freeman	Elgin, TX, United States	2016-09-20
Reid Long	Austin, TX, United States	2016-09-20
Erica Biow	San Diego, CA, United States	2016-09-20
Jensen Soderlund	Plano, TX, United States	2016-09-20
Haley Barnes	Austin, TX, United States	2016-09-20

Name	Location	Date
Brooklie Gonzales	Austin, TX, United States	2016-09-20
Nancy Simons	Austin, TX, United States	2016-09-20
Emily Schottman	Austin, TX, United States	2016-09-20
Deborah Bolnick	Austin, TX, United States	2016-09-20
Diana Granger	Austin, TX, United States	2016-09-20
Julie Ziegelman	Austin, TX, United States	2016-09-20
Milli Pope	Austin, TX, United States	2016-09-20
Stephanie Gharakhanian	Austin, TX, United States	2016-09-20
Antonio Torrini	Austin, TX, United States	2016-09-20
Calvin Stence	Austin, TX, United States	2016-09-20
Megan Pratt	Austin, TX, United States	2016-09-20
Linda Doughty	Austin, TX, United States	2016-09-20
Susan Zakaib	Austin, TX, United States	2016-09-20
Luke Stence	Austin, TX, United States	2016-09-20
Margaret OShaughnessy	Austin, TX, United States	2016-09-20
Erin Geisler	Austin, TX, United States	2016-09-20
Maya Milo	Copperas Cove, TX, United States	2016-09-20
Stephen Ross	Austin, TX, United States	2016-09-20
Trent Huffaker	Austin, TX, United States	2016-09-20
Sara Braun	Austin, TX, United States	2016-09-20
Grady Huffaker	Austin, TX, United States	2016-09-20
John G	Austin, TX, United States	2016-09-20
Michael Cannatti	Austin, TX, United States	2016-09-20
Merell Anne Shearer	Austin, TX, United States	2016-09-20
Diane Morrison	Austin, TX, United States	2016-09-20
Jonathan Friday	Austin, TX, United States	2016-09-20
Catherine Mattingly	Austin, TX, United States	2016-09-20
Emery Reed	Austin, TX, United States	2016-09-20
Lisabeth Sewell McCann	Austin, TX, United States	2016-09-20
Meredith McDaniel	Austin, TX, United States	2016-09-20
Debra Leff	Austin, TX, United States	2016-09-20
Drew Barnes	Austin, TX, United States	2016-09-20

Name	Location	Date
Janelle Nelson	Cedar Park, TX, United States	2016-09-20
Jim Harter	Austin, TX, United States	2016-09-20
Andrea Pully	Austin, TX, United States	2016-09-20
Leah Pratt	Austin, TX, United States	2016-09-20
steve davol	Austin, TX, United States	2016-09-20
Prim Li	Austin, TX, United States	2016-09-21
Monica Marquez	Houston, TX, United States	2016-09-21
Ralph Mcgahagin	Austin, TX, United States	2016-09-21
Sky Samuelson	Austin, TX, United States	2016-09-21
Teri Kuester	Austin, TX, United States	2016-09-21
Steve Johnson	Austin, TX, United States	2016-09-21
Jan Repp	Baldwin Park, CA, United States	2016-09-21
Ronald Cash	Austin, TX, United States	2016-09-21
Eduardo Hernandez	Austin, TX, United States	2016-09-21
Cecilia Sanchez	Austin, TX, United States	2016-09-21
Dale Coker	Austin, TX, United States	2016-09-21
Melissa Lopez	Austin, TX, United States	2016-09-21
Susanna Butler	Austin, TX, United States	2016-09-21
Laura Sharp	Austin, TX, United States	2016-09-21
Cindy McCullough	Austin, TX, United States	2016-09-21
Han Ooi	Durant, OK, United States	2016-09-21
Susan Bailey	Austin, TX, United States	2016-09-21
Carol Hemingson	Austin, TX, United States	2016-09-21
Page Lipinski	Austin, TX, United States	2016-09-21
Jackie Childress	Austin, TX, United States	2016-09-21
Shana Josephs	Austin, TX, United States	2016-09-21
greg hull	Austin, TX, United States	2016-09-21
Preston Culver	Austin, TX, United States	2016-09-21
Laura Legett	Austin, TX, United States	2016-09-21
Alice Harry	Austin, TX, United States	2016-09-21
Arlene Rodriguez	Houston, TX, United States	2016-09-21
Ashley Hargrove	Austin, TX, United States	2016-09-21

Name	Location	Date
Erin Friedman	Austin, TX, United States	2016-09-21
John Roy	Austin, TX, United States	2016-09-21
Rebecca Gibbs	Austin, TX, United States	2016-09-21
cj clark	Cedar Park, TX, United States	2016-09-21
Aidan Aguirre	Sinton, TX, United States	2016-09-21
Janet Hamilton	Austin, TX, United States	2016-09-21
Hannah Nelson	Austin, TX, United States	2016-09-21
Kim Meyer	Austin, TX, United States	2016-09-21
Craig Friedman	Austin, TX, United States	2016-09-21
Elisabeth Sewell	Austin, TX, United States	2016-09-21
Milinda Hernandez	Austin, TX, United States	2016-09-21
Robin Brooks	Austin, TX, United States	2016-09-21
Patty Quinzi	Austin, TX, United States	2016-09-21
Debbie Wallenstein	Austin, TX, United States	2016-09-21
melinda peterson	Austin, TX, United States	2016-09-21
Cheryl Fuller	Austin, TX, United States	2016-09-21
Pat Schieffer	Austin, TX, United States	2016-09-21
Tessa Burns	Austin, TX, United States	2016-09-21
Lily Kazanoff	Austin, TX, United States	2016-09-21
Steve Hamlett	Austin, TX, United States	2016-09-21
Leila Levinson	Austin, TX, United States	2016-09-21
Amon Burton	Austin, TX, United States	2016-09-21
Alexander Duncan Nelson IV	Austin, TX, United States	2016-09-21
Susan Morgan	Austin, TX, United States	2016-09-21
LaDonne Lloyd	Austin, TX, United States	2016-09-21
Danielle Susa	Harlingen, TX, United States	2016-09-21
Jennifer Vickers	Austin, TX, United States	2016-09-21
Robert Ortiz	San Francisco, CA, United States	2016-09-21
Veronica Nicholls	Austin, TX, United States	2016-09-21
Linda Gerber	Austin, TX, United States	2016-09-21
Lowell McRoberts	Austin, TX, United States	2016-09-21
Bart Bombay	Austin, TX, United States	2016-09-21



Pim Mayo <pim.mayo@gmail.com>

Agenda Item D3: The Grove PUD

Pim Mayo <pim.mayo@gmail.com>

Mon, May 23, 2016 at 10:57 AM

To: bc-Jane.Rivera@austintexas.gov, bc-Richard.DePalma@austintexas.gov, bc-Alison.Alter@austintexas.gov, bc-Michael.Casias@austintexas.gov, bc-Rick.Cofer@austintexas.gov, bc-Tom.Donovan@austintexas.gov, bc-Alesha.Larkins@austintexas.gov, bc-Francoise.Luca@austintexas.gov, bc-Birger.Schmitz@austintexas.gov, bc-Mark.Vane@austintexas.gov, bc-Pat.Wimberly@austintexas.gov

Dear Board Members,

My husband and I own the home located at 2623 W. 45th Street, adjacent to the proposed Grove PUD. We support the City staff recommendation that The Grove PUD parkland as currently proposed is **NOT superior**.

It is clear from documents provided throughout this process that only a very limited area of the Signature Park will be available for recreation. ARG's slope analysis has shown that **only 3.93 acres of the Signature Park have a slope of 10% or less**.

Additionally, residents of W. 45th negotiated with ARG to receive an alley way that will provide residents with greater safety long ago. This would allow W. 45th residents to park behind their homes instead of pulling in/out on W. 45th, which will increase in traffic substantially after The Grove PUD is built. The alley was included in the Grove PUD until December 2015 when The Grove announced "We're Adding a New Greenbelt and Increasing Public Park and Open Space!"

The "New Greenbelt!" comes at the cost of W. 45th Street residents in 3 ways:

1. We will no longer receive the alley that was long promised,
2. We will no longer receive a sidewalk on the south side of 45th street as promised in the original Grove Multi-Modal plan, and
3. We will have a multi-use trail that will service the entire development and surrounding neighborhoods within 25' of our property lines. In 2003, the [City of Portland](#) found that trails located within 200' feet of single-family homes reduced property value.(Portland study referenced on page 5).

I personally have made multiple attempts to meet with ARG representatives in the last months to discuss these issues, and they have not met with us.

Finally, as City staff also pointed out in a memo dated March 22, 2016, The Grove Plan includes 2 acres labeled as "Flex Park Space," but this park space does not have a location in the plan. My husband and I support **increased linear parks** that can be utilized for recreation as well as serve as space that will separate more intense uses from existing single-family SF2 uses.

Thank you for your consideration,

Pim Mayo, Esq. and Dr. Jeff Mayo
2623 W. 45th Street

PUBLIC HEARING INFORMATION

This zoning/rezoning request will be reviewed and acted upon at two public hearings: before the Land Use Commission and the City Council. Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During its public hearing, the board or commission may postpone or continue an application's hearing to a later date, or may evaluate the City staff's recommendation and public input forwarding its own recommendation to the City Council. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

During its public hearing, the City Council may grant or deny a zoning request, or rezone the land to a less intensive zoning than requested but in no case will it grant a more intensive zoning.

However, in order to allow for mixed use development, the Council may add the MIXED USE (MU) COMBINING DISTRICT to certain commercial districts. The MU Combining District simply allows residential uses in addition to those uses already allowed in the seven commercial zoning districts. As a result, the MU Combining District allows the combination of office, retail, commercial, and residential uses within a single development.

For additional information on the City of Austin's land development process, visit our website:
www.austintexas.gov/planning.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: June 7, 2016, Zoning and Platting Commission
June 16, 2016, City Council

David A. Coffman

Your Name (please print)

4209 Shoal Creek 78756

Your address(es) affected by this application

David A. Coffman

Signature

5-30-16

Date

Daytime Telephone: 512-371-9632

Comments: I have trouble getting out of my driveway now between 5-6 PM due bumper to bumper traffic. The Grove will dump an additional 19 thousand cars a day onto surrounding streets never designed for that volume. Don't build the Grove here! They are destroying a beautiful inner city park & natural area for money

If you use this form to comment, it may be returned to:

City of Austin

Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin, TX 78767-8810

PUBLIC HEARING INFORMATION

This zoning/rezoning request will be reviewed and acted upon at two public hearings: before the Land Use Commission and the City Council. Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

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During its public hearing, the City Council may grant or deny a zoning request, or rezone the land to a less intensive zoning than requested but in no case will it grant a more intensive zoning.

However, in order to allow for mixed use development, the Council may add the MIXED USE (MU) COMBINING DISTRICT to certain commercial districts. The MU Combining District simply allows residential uses in addition to those uses already allowed in the seven commercial zoning districts. As a result, the MU Combining District allows the combination of office, retail, commercial, and residential uses within a single development.

For additional information on the City of Austin's land development process, visit our website:
www.austintexas.gov/planning.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: June 7, 2016, Zoning and Platting Commission
June 16, 2016, City Council

Michael Wilson
Your Name (please print)

411 Idlewild Rd #201
Your address(es) affected by this application

☒ I am in favor
☐ I object

Michael Wilson
Signature

1 Jun 2016
Date

Daytime Telephone: _____

Comments: _____

If you use this form to comment, it may be returned to:

City of Austin
Planning & Zoning Department
Sherri Sirwaitis
P. O. Box 1088
Austin, TX 78767-8810

PUBLIC HEARING INFORMATION

This zoning/rezoning request will be reviewed and acted upon at two public hearings: before the Land Use Commission and the City Council. Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During its public hearing, the board or commission may postpone or continue an application's hearing to a later date, or may evaluate the City staff's recommendation and public input forwarding its own recommendation to the City Council. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

During its public hearing, the City Council may grant or deny a zoning request, or rezone the land to a less intensive zoning than requested but in no case will it grant a more intensive zoning.

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: June 7, 2016, Zoning and Platting Commission
June 16, 2016, City Council

Julia Oliphant Willhoite

Your Name (please print)

Austin

4601 Chiappone Trail 78731

Your address(es) affected by this application

Julia Oliphant Willhoite 6-01-2016

Signature

Date

Daytime Telephone: 512-459-6245

Comments: I object to the plan.

In answer to traffic.

☐ I am in favor
☒ I object

If you use this form to comment, it may be returned to:

City of Austin
Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088

Austin TX 78767-8810

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Case Number: C814-2015-0074

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: June 7, 2016, Zoning and Platting Commission
June 16, 2016, City Council

MARGARET D. MANLEY
Your Name (please print)

☒ I am in favor
☐ I object

3820 RIDGEVIEW DR. UNIT A

Your address(es) affected by this application

Margaret D. Manley
Signature

6.3.16
Date

Daytime Telephone: 512-497-0377

Comments:

If you use this form to comment, it may be returned to:

City of Austin
Planning & Zoning Department
Sherri Sirwaitis
P. O. Box 1088
Austin, TX 78767-8810