



**CITY OF AUSTIN**  
**Development**  
 SERVICES DEPARTMENT

Residential Review – One Texas Center  
 505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

*Emily*

**Residential New Construction  
 and Addition Permit Application**

To complete this form: Open with Internet Explorer,  
 then Click Here to Save and continue.

<b>Property Information</b>			
Project Address: 2803 Wooldridge Dr		Tax Parcel ID: 211094 GFD ID: 0217000410	
Legal Description: 94.3X241.38 APPROX BLK 3 JONES & SEDWICK			
Zoning District: SF 3 NP		Lot Area (sq ft): 22,782 SF	
Neighborhood Plan Area (if applicable): Windsor Road (CENTRAL WEST AUSTIN)		Historic District (if applicable): NRHD	
<b>Required Reviews</b>			
Is project participating in S.M.A.R.T. Housing? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a Green Building requirement? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, attach signed conditional approval letter from Austin Energy Green Building)	
Is this site within an Airport Overlay Zone? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, approval through Aviation is required)		Does this site have a septic system? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, submit a copy of approved septic permit)	
Does the structure exceed 3,600 square feet total under roof? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N (If yes, Fire review is required)		Is this property within 200 feet of a hazardous pipeline? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, Fire review is required)	
Is this site located within an Erosion Hazard Zone? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, EHZ review is required)		Is this property within 150 feet of the 100 year floodplain? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N (Proximity to floodplain may require additional review time.)	
Is there a protected sized tree on this lot or adjacent lot(s)? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Note: Include tree location(s) on plot plan.		(If yes, application for a tree permit with the City Arborist is required)	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N			
Does this site currently have: water availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N wastewater availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N		(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)			
Does this site have or will it have an auxiliary water source? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)			
Does this site require a cut or fill in excess of four (4) feet? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, contact the Development Assistance Center for a Site Plan Exemption)			
Is this site within the Waterfront Overlay? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (LDC 25-2 Subchapter C Article 3)		Is this site within the Lake Austin Overlay? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (LDC 25-2-180, 25-2-647)	
Does this site front a paved street? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N (If no, contact Development Assistance Center for Site Plan requirements.)		Is this site adjacent to a paved alley? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (Public Works approval required to take access from a public alley.)	
Does this site have a Board of Adjustment (BOA) variance? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Case # _____ (if applicable)			
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)			
<b>Description of Work</b>			
Existing Use: vacant <input checked="" type="radio"/> single-family residential duplex residential two-family residential other: _____			
Proposed Use: vacant <input checked="" type="radio"/> single-family residential duplex residential two-family residential other: _____			
Project Type: <input checked="" type="radio"/> new construction addition addition/remodel other: _____			
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N (Note: Removal of all or part of a structure requires a demolition permit application.)			
# of existing bedrooms: 3	# of bedrooms upon completion: 4	# of baths existing: 4	# of baths upon completion: 6.5
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Please see attached - back of description included w/ demo permit.			
Trades Permits Required (Circle as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)			

<b>Job Valuation</b>						
Total Job Valuation: \$ <u>1,764,112.00</u> <small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.</small>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>1,764,112.00</u>			Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ _____ Elec: \$ _____ Plmbg: \$ _____ Mech: \$ _____ TOTAL: \$ _____ <u>0</u>		
Amount for Primary Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N		Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N				
<b>Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.</b>						
<b>Site Development Information</b>						
<b>Area Description</b> <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	<b>Existing Sq Ft</b>		<b>New/Added Sq Ft</b>		<b>Total Sq Ft</b>	
	<b>Bldg 1</b>	<b>Bldg 2</b>	<b>Bldg 1</b>	<b>Bldg 2</b>	<b>Bldg 1</b>	<b>Bldg 2</b>
a) 1 <sup>st</sup> Floor conditioned area			2456	290	0	0
b) 2 <sup>nd</sup> Floor conditioned area			1904	362	0	0
c) 3 <sup>rd</sup> Floor conditioned area					0	0
d) Basement			798		0	0
e) Covered parking (garage or carport)			575		0	0
f) Covered patio, deck, porch, and/or balcony area(s)			478		0	0
g) Other covered or roofed area					0	0
h) Uncovered wood decks			294		0	0
<b>Total Building Area (total a through h)</b>	0	0	0	0	0	0
i) Pool			<del>346</del>		0	0
j) Spa					0	0
<b>Building Coverage Information</b> <small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>						
Total Building Coverage (sq ft): <u>3321</u> % of lot size: <u>14.6%</u>						
<b>Impervious Cover Information</b> <small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small>						
Total Impervious Cover (sq ft): <u>4917</u> % of lot size: <u>21.6%</u>						
<b>Setbacks</b> Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)      Y <input checked="" type="checkbox"/> N						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)      Y <input checked="" type="checkbox"/> N						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)      Y <input checked="" type="checkbox"/> N						
<b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)			<b>Parking</b> (LDC 25-6 Appendix A & 25-6-478)			
Building Height: <u>33</u> ft <u>7</u> in      Number of Floors: <u>2</u>			# of spaces required: <u>2</u> # of spaces provided: <u>3</u>			
<b>Right-of-Way Information</b> Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input checked="" type="checkbox"/> Y      N <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small>						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project?      Y <input checked="" type="checkbox"/> N						
Width of approach (measured at property line): <u>11</u> ft      Distance from intersection (for corner lots only): _____ ft						
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? (If yes, drainage review is required)      Y <input checked="" type="checkbox"/> N						

**Subchapter F**

**Gross Floor Area**

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

		Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 <sup>st</sup> Floor			2456			2456 0
2 <sup>nd</sup> Floor			1904			1904 0
3 <sup>rd</sup> Floor						0
Area w/ ceilings > 15'				Must follow article 3.3.5		0
Ground Floor Porch* (check article utilized)				<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)		0
Basement			798	Must follow article 3.3.3B, see note below		798 0
Attic				Must follow article 3.3.3C, see note below		0
Garage**: (check article utilized)	Attached			<input type="checkbox"/> 200 sq ft (3.3.2 B 2b)		0
	Detached		575	<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a)		575 0
Carport**: (check article utilized)	Attached			<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0
	Detached			<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0
Accessory Building(s) (detached)			643			643 0
Totals		0	6376 0			6376 0

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 0 6376

(Total Gross Floor Area ÷ Lot Area) x 100 = 28 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project?  Y  N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?  Y  N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**\*Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**\*\*Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**\*\*\*Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

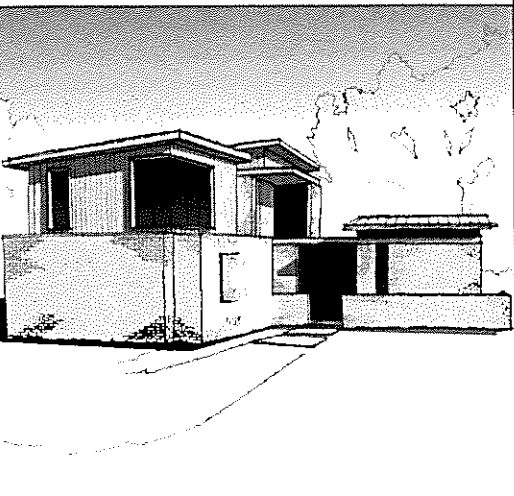
# ABBREVIATIONS

A.F.F. Above Finish Floor	CONF. Conference	FIN. Finish	J.S. Joint Sealant	PLAM. Plastic Laminate	STL. Steel
A.P. Access Panel	CONTR. Contractor	FIN.T. Fixture	JST. Joint	PLAS. Plastic	STR. Storage
AC. Acoustic	C.J. Control Joint	FLASH. Flashing	JT. Joint	PLYWD. Plywood	STRUC. Structural
A.C.T. Acoustic Ceiling Tile	CONSTR. Construction	FLR. Floor	K.O.P. Knock-out Panel	PT. Point	SURF. Surface
A.C.P. Acoustic Ceiling Panel	CONT. Contour	F.O. Finished Opening	K.O.P. Knock-out Panel	LBS. Pounds	SUSP. Suspended
ADDN. Addition, Additional	COBRR. Corridor, Corrugated	F.O.C. Face of Concrete	KIT. Kitchen	P.S.F. Pounds Per Square Foot	SYM. Symmetrical
ADJ. Adjustable	CTSK. Countersink	F.O.F. Face of Finish	LAM. Laminate	P.S.L. Parallel Strand Lumber	TEL. Telephone
AGGR. Aggregate	CNTR. Counter	F.O.I.C. Furnished by Owner	LAV. Lavatory	PWR. Power	T.V. Television
ALUM. Aluminum	D.P. Dampening	Installed by Contractor	L.V. Locker	P.C. Pressure Treated	TEMP. Temperature
ALT. Alternate	D.L. Dead Load	F.O.M. Face of Masonry	LNR. Locker	P.P. Pressure Treated	TEMP. GL. Tempered Glass
ANOD. Anodized	DEMO. Demolition, Demolish	F.O.S. Face of Stud	L.P. Low Point	PRCP. Property	THK. Thick
APPR. Approved	DEPT. Department	FRFR. Fireproof	L.S. Light Switch	PVC. Polyvinyl Chloride	TH.D. Threshold
APPROX. Approximate	DET. Detail	F.P. Floor Plan	LT. Light	Q.T. Quarry Tile	T.O.C. Top of Concrete
ARCH. Architect, Architectural	DIA. Diameter	FTG. Footing	LT. WT. Lightweight	RAD. Radius	T.O.P. Top of Plate
ASPH. Asphalt	DIR. Direction, Direction	FURN. Furnish, Furnished	L.L. Liveload	REF. Reference	T.O.S. Top of Steel
AUTO. Automatic	D.M. Dimension	FURF. Furring	MACH. Machine	REFL. Reflected	T.P. Top of Pavement
AUX. Auxiliary	D.W. Downwash	FUT. Future	M&M. Machine	REG. Register	T.P.W. Top of Wall
BKR. BD Backer Board	DISP. Dispenser	G.A. Gauge	MFR. Manufacturer	REIN. Reinforced	T.P.H. Toilet Paper Holder
BSK. Backsplash	DISPO. Disposal	G.A.L. Galvanized	MARB. Marble	REQD. Required	T.P.H. Toilet Paper Holder
B.F. Berne Free	DN. Down	G.O. Gout	MAS. Masonry	RESL. Resilient	T.B. Towel Bar
B.P.L. Base Plate	DR. Door	G.C. General Contractor	MATL. Material	RET. Retaining	T.C. Trash Compactor
BSMT. Basement	D.O. Door Opening	G.C. General Contractor	MATL. Material	REV. Revised, Revision	T.T. Tread
BM. Beam	DGL. Double	G.S. Gypsum Concrete	MAX. Maximum	RFR. Riser	T.T.D. Treated
BSQ. Blowing	D.S. Downspout	G.S. General	MECH. Mechanical	R.D. Roof Drain	TYP. Typical
B.M. Bench Mark	DWR. Drawer	G.F.I. Ground Fault Interrupter	MEMB. Membrane	R.D.O. Roof Drain Overflow	UR. Unreinforced
BTW. Between	DWG. Drawing	GL. Glass	MEMB. Membrane	R.F.G. Roofing	VAR. Varies
BEV. Beveled	D.S.P. Dry Standpipe	GND. Ground	MEMB. Membrane	RM. Room	VERT. Vertical
BLK. Block	D.O. Dryer	G.R. Guard Rail	MET./MTL. Metal or Metallic	R.O. Rough Opening	VEST. Vestibule
BLKG. Blocking	EA. Each	GR. Grade	MEZZ. Mezzanine	R.O. Rough Opening	V.I.F. Vandy in Field
BO. Board	E.F. Exhaust Fan	GSM. Galvanized Sheet Metal	MICR. Microwave Oven	RND. Round	V.P. Veneer Plaster
B.O.S. Bottom of Slab	E. East	GWB. Gypsum Wall Board	MISC. Miscellaneous	SAN. Sanitary	V.C.T. Vinyl Composition Tile
B.O.T. Bottom	EL. Elevation	GYP. Gypsum	MIN. Minimum	SCHED. Schedule	V. Volt
B.U.R. Built-Up Roofing	EL. Elevation	EL. Elevation	MIR. Mirror	SCR. Scupper	W.C. Water Closet
BLDG. Building	ELEC. Electrical, Electrical	E.O. Electrical Outlet	MTD. Mounted	SECT. Section	W.H. Water Heater
CAB. Cabinet	E.E. Electrical	ELEV. Elevator	MUL. Mullen	SCHD. Schedule	WP. Waterproofing
CPT. Carpet	E.E. Electrical	ELIM. Eliminate	NO. Number	SCR. Scupper	WR. Water Resistant
C.I.P. Cast-In-Place	E.E. Electrical	EMER. Emergency	N. North	SLNT. Slatant	W.W. Welded Wire Mesh
C.I. Cast Iron	E.E. Electrical	ENAM. Enamel	N.I.C. Not in Contract	SECT. Section	W.W. Welded Wire Mesh
CDR. Casing	E.E. Electrical	ENCL. Enclosure	N.T.S. Not To Scale	S. South	W.W. Water
CLQ. Ceiling	E.E. Electrical	ENVIR. Environment	NO. Number	S.D. Solid Core	W.W. Window
C.H. Ceiling Height	E.E. Electrical	EQ. Equal	OFF. Office	S.D. Smoke Detector	W.W. Window
GEM. Gem or Gemstone	E.E. Electrical	EQPT. Equipment	O.C. On Corner	SHT. Sheat	W.W. Window
C.P. Cement Plaster	E.E. Electrical	EQPT. Excavated	O.O. Opposite Hand	SH. Shelf	W.W. Window
CTR. Center	E.E. Electrical	EXP. Expansion	O.P. Opposite Hand	SHR. Shower	W.W. Window
C.L. Center Line	E.E. Electrical	EXP. Expansion Bolt	O.P. Opposite Hand	SIM. Sill	W.W. Window
C.C. Center to Center	E.E. Electrical	E. J. Expansion Joint	O.P. Opposite	SNGL. Single	W.W. Window
CER. Ceramic	E.E. Electrical	EXT. Exterior	O.D. Outside Diameter (Dim.)	SL. Slope	W.W. Window
C.T. Ceramic Tile	E.E. Electrical	E.S. Exit Sign	O.A. Overall	SL.T.D. Slope to Drain	W.W. Window
C. Channel	E.E. Electrical	EXTG. Existing	O.H. Overhead	S.D. Soap Dispenser	W.W. Window
CLO. Closet	E.E. Electrical	EXPO. Exposed	PTD. Painted	SPK. Speaker	W.W. Window
CLOS. Closure	E.E. Electrical	FAB. Fabric	PR. Par	SPEC. Specification	W.W. Window
CL.R. Clear	E.E. Electrical	F.A. Fire Alarm	PR. Par	SPR. Sprinkler	W.W. Window
C.M.U. Concrete Masonry Unit	E.E. Electrical	FAST. Fastener	P.N. Panel	SQ. Square	W.W. Window
C.O. Clean Out	E.E. Electrical	F.D. Floor Drain	P.H. Panel Hardware	S.F. Square Feet (Foot)	W.W. Window
COL. Column	E.E. Electrical	F.F. Foundation	P.N. Panel	STA. Station	W.W. Window
CW. Cold Water	E.E. Electrical	F.F. Foundation	P.V.M.T. Pavement	STD. Standard	W.W. Window
COMP. Composite, Composed	E.E. Electrical	F.F. Fire Extinguisher	PERF. Perforated		W.W. Window
CONC. Concrete	E.E. Electrical	F.F. Finished Floor	PERIM. Perimeter		W.W. Window
CONN. Connect, Connection	E.E. Electrical	F.H.C. Fire Hose Cabinet	PL. Plate		W.W. Window

# GENERAL NOTES

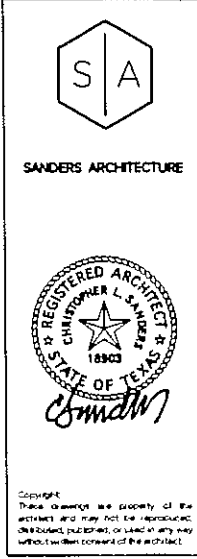
- The Contractor shall thoroughly review all Construction Documents including, but not limited to, drawings, notes, dimensions, schedules and specifications. The Contractor shall make a site visit and perform a detailed analysis and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Architect for resolution prior to the delivery of any bid or initiation of work. Failure to do so shall cause the contractor to be ineligible for extras relating to such matters.
- These drawings are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction, where such conditions exist. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, obtain clarification from Architect before continuing work.
- DO NOT SCALE THESE DRAWINGS. Immediately notify the Architect of any discrepancies of any other request for clarification.
- Verify all dimensions before ordering material and proceeding with the work.
- Minimum clearance dimensions indicated shall be maintained particularly at stairs, corridors and restrooms.
- Contractor to acquire all necessary permits prior to work.
- Contractor is responsible for the safety, actions, and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity. Upon completion of work Contractor shall remove all debris from the site.
- Contractor shall submit reproducible shop drawings to Architect for Owner's, Architects, and Engineer's Approval.
- All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the suppliers or manufacturer's written recommendations or these documents, whichever is more restrictive. Notify the Architect of any variation in dimensions required for installation of equipment from those given in the Construction Documents before continuing the work.
- Every effort has been made on the part of the Architect to ensure local code compliance. It is the Contractor's responsibility to verify that the work conforms with all applicable codes and if discrepancies are noted to notify the Architect prior to work.
- Minor details not usually shown or specified but necessary for proper construction of any part of the work shall be included as if they were indicated on the drawings.
- Provide blocking as required for proper support of wall and ceiling mounted equipment or architectural elements.
- For all "match existing" notes Architect's intent is for Contractor to match existing profile and finish as closely as possible using available materials. If unable to match existing provide samples for alternate materials or methods for Architect's approval.
- Disimilar metals to remain separated to avoid galvanic corrosion.
- All ceilings to be sheathed with 5/8" gypsum board unless otherwise noted.
- All interior parts, stains, and sealants to be low or no VOC rated.
- Contractor to notify architect and engineers of any contradictory dimensions, specifications or other instructions that exist between the architectural, mechanical, electrical, plumbing, or other drawings that are included in the construction documents before continuing work.

# FRONT PERSPECTIVE



# PROJECT DIRECTORY

<b>Architect:</b> Sanders Architecture 3706 Korbey Lane Austin, TX 78731 (512) 482-9258	<b>Geotech. Engineer:</b> Holt Engineering 2220 Barton Skyway Austin, TX 78704 (512) 447-8166
<b>Structural Engineer:</b> MJ Structures 812 San Antonio Street Suite # 405 Austin, TX 78701 (512) 693-9500	<b>Contractor:</b> Mare Construction 2001 La Casa Austin, TX 78704 (512) 750-9519
<b>MEP Engineer:</b> DBR Engineering Consultants 7800 Shoal Creek Boulevard Suite #100-W Austin, Texas 78757 (512) 637-4393	



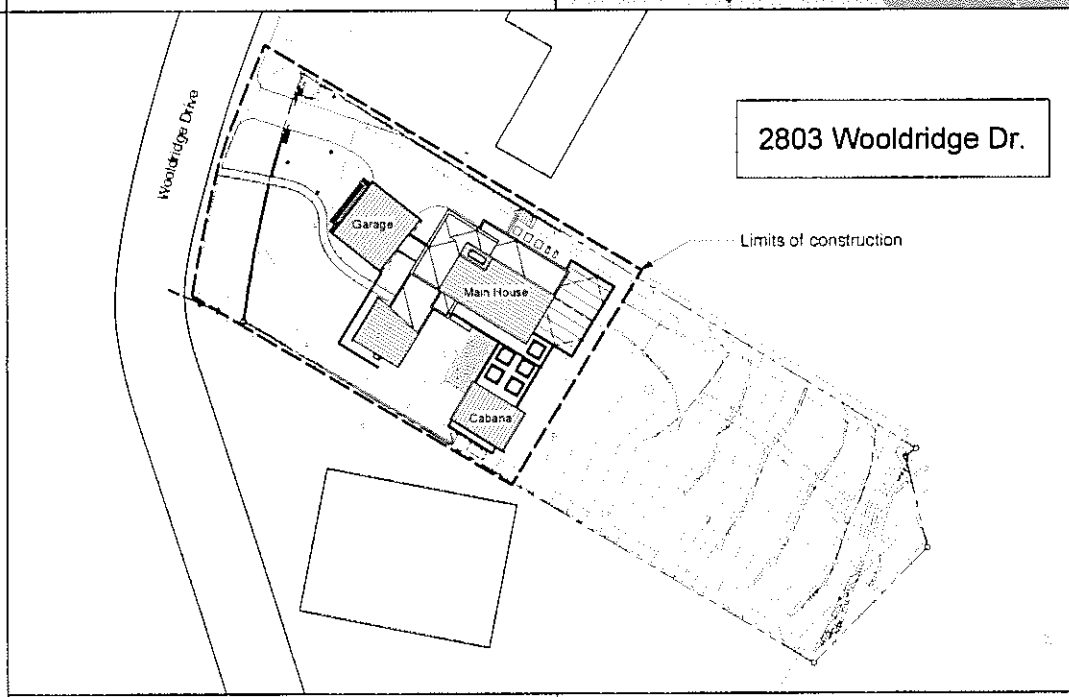
# SYMBOLS KEY

	<b>FLOOR PLAN</b> Scale: 1/4" = 1'-0"	<b>DRAWING TITLE</b>
	<b>COLUMN GRID</b>	
	<b>DOOR NUMBER</b>	
	<b>WINDOW NUMBER</b>	
	<b>ROOM NAME</b>	<b>ROOM NUMBER</b>
	<b>PARTITION TYPE</b>	
	<b>EXTERIOR ELEVATION MARKER</b>	
	<b>DETAIL MARKER</b>	
	<b>WALL SECTION MARKER</b>	
	<b>DETAIL MARKER</b>	
	<b>INTERIOR ELEVATION MARKER</b>	
	<b>SPOT ELEVATION MARKER</b>	
	<b>ELEVATION MARKER</b>	
	<b>REVISION NUMBER</b>	

# MATERIALS LEGEND

	WOOD FINISH
	WOOD, CONTINUOUS
	WOOD BLOCKING
	PLYWOOD, OSB, or MDF/DO
	GYP. BOARD OR VENEER PLASTER
	ACOUSTIC CEILING TILE
	ACOUSTIC CEILING PANEL
	BATT INSULATION
	RIGID INSULATION
	SEALANT, BACKING ROD
	STEEL or CAST IRON
	FIBER CEMENT BOARD
	CARPET ON PAD
	STONE
	CMU
	CONCRETE

# BUILDING KEY PLAN



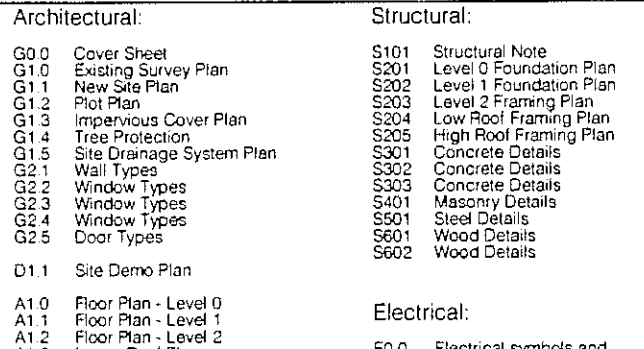
# LEGAL DESCRIPTION

ALL OF THAT CERTAIN PARCEL OR TRACT OF LAND OUT OF THE GEORGE W. SPEAR SURVEY NO. 7, IN CONFLICT WITH THE T.J. CHAMBERS SURVEY, IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING THAT SAME TRACT OF LAND DESCRIBED AS 53/100 OF AN ACRE OF LAND BY DEED TO CLAUDE C. WILD AS RECORDED IN VOLUME 587, PAGE 7, OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS

# LEGAL DESCRIPTION

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# VICINITY MAP (NTS)



# DRAWING INDEX

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# Wright Residence

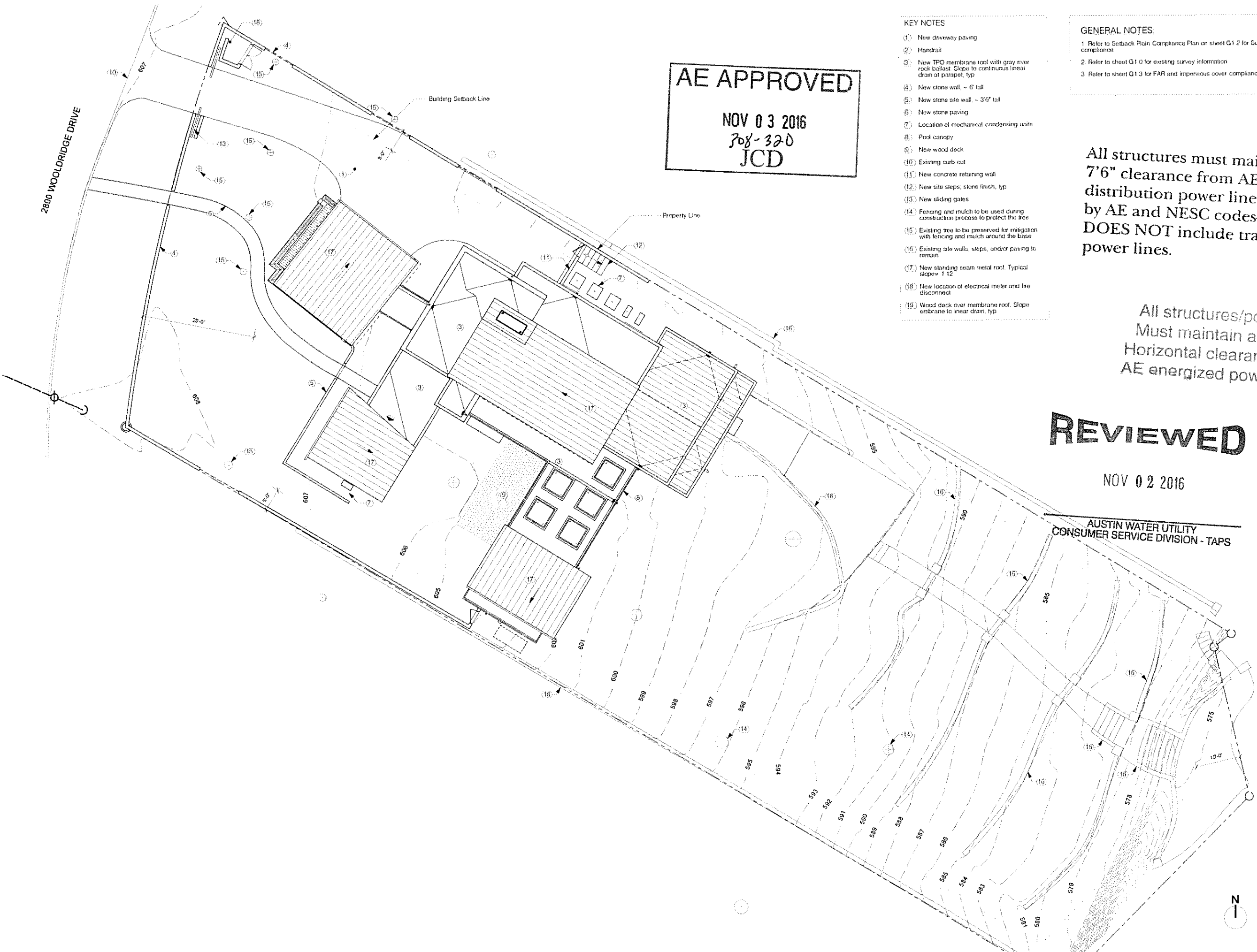
2803 Wooldridge Dr.  
Austin, Texas 78703

# CP-1 Construction Documents

10.26.2016  
 Drawn by: GK  
 Checked by: CS  
 Revisions:

# Cover Sheet

# GO.0



**AE APPROVED**  
 NOV 03 2016  
 308-320  
 JCD

- KEY NOTES**
- (1) New driveway paving
  - (2) Handrail
  - (3) New TPO membrane roof with gray river rock ballast. Slope to continuous linear drain at parapet, typ
  - (4) New stone wall, ~ 6' tall
  - (5) New stone site wall, ~ 3'6" tall
  - (6) New stone paving
  - (7) Location of mechanical condensing units
  - (8) Pool canopy
  - (9) New wood dock
  - (10) Existing curb cut
  - (11) New concrete retaining wall
  - (12) New site steps, stone finish, typ
  - (13) New sliding gates
  - (14) Fencing and mulch to be used during construction process to protect the tree
  - (15) Existing tree to be preserved for mitigation with fencing and mulch around the base
  - (16) Existing site walls, steps, and/or paving to remain
  - (17) New standing seam metal roof. Typical slope = 1:12
  - (18) New location of electrical meter and fire disconnect
  - (19) Wood deck over membrane roof. Slope membrane to linear drain, typ

- GENERAL NOTES:**
- 1 Refer to Setback Plain Compliance Plan on sheet G1.2 for Subchapter F building area compliance
  - 2 Refer to sheet G1.0 for existing survey information
  - 3 Refer to sheet G1.3 for FAR and impervious cover compliance calculations

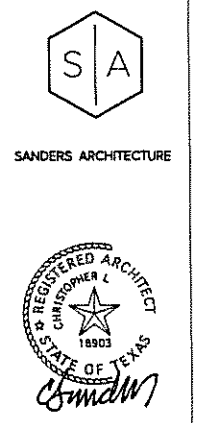
All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

All structures/pool/etc. Must maintain a 10'OH Horizontal clearance from AE energized power lines.

**REVIEWED**

NOV 02 2016

AUSTIN WATER UTILITY  
 CONSUMER SERVICE DIVISION - TAPS



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**Wright Residence**  
 2803 Wooldridge Dr.  
 Austin, Texas 78703

CP-1 Construction Documents  
 10.26.2016  
 Drawn by: JH, IB, GK  
 Checked by: CS  
 Reviewed by:

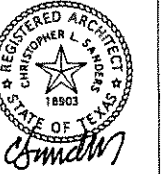
New Site Plan  
**G 1.1**

1 New Site Plan  
 Scale: 1" = 20 ft





SANDERS ARCHITECTURE



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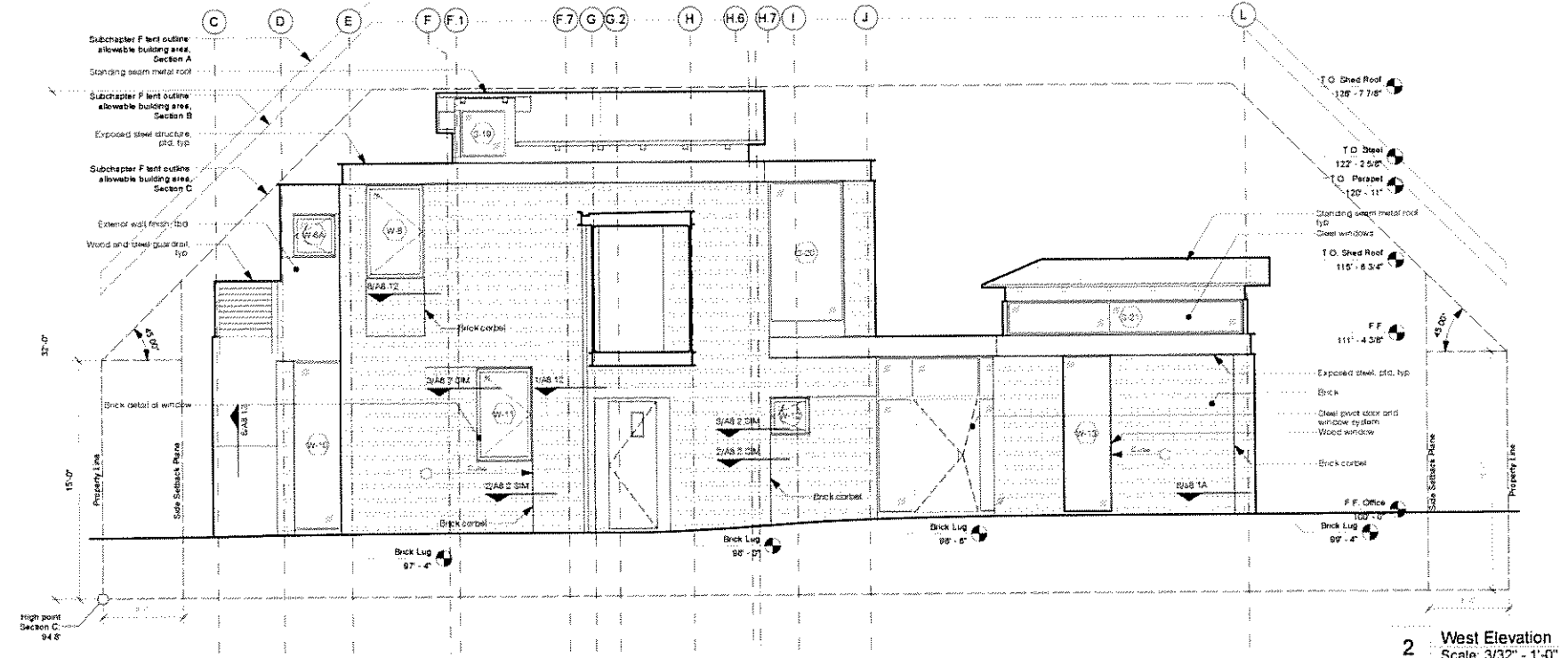
# Wright Residence

2803 Woodbridge Dr.  
Austin, Texas 78703

CP-1 Construction Documents  
10.26.2016  
Drawn by: JH, IB  
Checked by: CS  
Revisions:

Exterior Elevations  
Main House

# A3.2



- GENERAL NOTES**
1. Coordinate all penetrations, including exhaust louvers, intake louvers, and all other penetrations with structural framing and other trades.
  2. Refer to 7/A8 12 for board and batten pattern.

