



CITY OF AUSTIN
Development
SERVICES DEPARTMENT

Residential Review – One Texas Center
 505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

**Residential New Construction
 and Addition Permit Application**

To complete this form: Open with Internet Explorer,
 then [Click Here to Save and continue.](#)

Property Information

Project Address: 1519 WESTOVER ROAD	Tax Parcel ID: 115627
Legal Description: E 45 FT OF LOT 11 & W 5 FT OF LOT 12 BLK 16 PEMBERTON HEIGHTS SEC 3	
Zoning District: SF-3-NP	Lot Area (sq ft): 6,875.00
Neighborhood Plan Area (if applicable): WINDSOR ROAD, Central West Austin Combined NPA	Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input type="checkbox"/> N <small>(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)</small>	Does project have a Green Building requirement? Y <input type="checkbox"/> N <small>(If yes, attach signed conditional approval letter from Austin Energy Green Building)</small>
Is this site within an Airport Overlay Zone? Y <input type="checkbox"/> N <small>(If yes, approval through Aviation is required)</small>	Does this site have a septic system? Y <input type="checkbox"/> N <small>(If yes, submit a copy of approved septic permit)</small>
Does the structure exceed 3,600 square feet total under roof? Y <input type="checkbox"/> N <small>(If yes, Fire review is required)</small>	Is this property within 200 feet of a hazardous pipeline? Y <input type="checkbox"/> N <small>(If yes, Fire review is required)</small>
Is this site located within an Erosion Hazard Zone? Y <input type="checkbox"/> N <small>(If yes, EHZ review is required)</small>	Is this property within 150 feet of the 100 year floodplain? Y <input type="checkbox"/> N <small>(Proximity to floodplain may require additional review time.)</small>
Is there a protected sized tree on this lot or adjacent lot(s)? Y <input type="checkbox"/> N <small>Note: Include tree location(s) on plot plan.</small>	<small>(If yes, application for a tree permit with the <u>City Arborist</u> is required)</small>
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input type="checkbox"/> Y N	
Does this site currently have: water availability? <input type="checkbox"/> Y N <small>(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)</small> wastewater availability? <input type="checkbox"/> Y N	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input type="checkbox"/> N <small>(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)</small>	
Does this site have or will it have an auxiliary water source? Y <input type="checkbox"/> N <small>(If yes, submit approved auxiliary and potable plumbing plans.)</small> <small>(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)</small>	
Does this site require a cut or fill in excess of four (4) feet? Y <input type="checkbox"/> N <small>(If yes, contact the Development Assistance Center for a Site Plan Exemption)</small>	
Is this site within the Waterfront Overlay? Y <input type="checkbox"/> N <small>(LDC 25-2 Subchapter C Article 3)</small>	Is this site within the Lake Austin Overlay? Y <input type="checkbox"/> N <small>(LDC 25-2-180, 25-2-647)</small>
Does this site front a paved street? <input type="checkbox"/> Y N <small>(If no, contact Development Assistance Center for Site Plan requirements.)</small>	Is this site adjacent to a paved alley? Y <input type="checkbox"/> N <small>(Public Works approval required to take access from a public alley.)</small>
Does this site have a Board of Adjustment (BOA) variance? Y <input type="checkbox"/> N Case # _____ <small>(if applicable)</small>	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input type="checkbox"/> N <small>(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)</small>	

Description of Work

Existing Use:	vacant <input type="checkbox"/> single-family residential <input checked="" type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____
Proposed Use:	vacant <input type="checkbox"/> single-family residential <input checked="" type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____
Project Type:	new construction <input type="checkbox"/> addition <input type="checkbox"/> <input checked="" type="checkbox"/> addition/remodel <input type="checkbox"/> other: _____

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? **Y** **N**
(Note: Removal of all or part of a structure requires a demolition permit application.)

# of existing bedrooms: 3	# of bedrooms upon completion: 5	# of baths existing: 2.0	# of baths upon completion: 4.0
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Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)
SFD Renovation and addition

Trades Permits Required (Circle as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)

Job Valuation

Total Job Valuation: \$ <u>170,000</u> Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>75,000</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>50,000</u> Elec: \$ <u>15,000</u> Plmbg: \$ <u>15,000</u> Mech: \$ <u>15,000</u> TOTAL: \$ <u>95,000</u>
	Amount for Primary Structure: \$ <u>50,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
	Amount for Accessory Structure: \$ <u>25,000</u> Elec: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Mech: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information

Area Description	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1,569.00			207.00	1,569.00	207.00
b) 2 nd Floor conditioned area	245.00		386.00		631.00	0.00
c) 3 rd Floor conditioned area			0.00		0.00	0.00
d) Basement			0.00		0.00	0.00
e) Covered parking (garage or carport)		334.00		106.00	0.00	440.00
f) Covered patio, deck, porch, and/or balcony area(s)	212.00	304.00		-304.00	212.00	0.00
g) Other covered or roofed area					0.00	0.00
h) Uncovered wood decks			80.00		80.00	0.00
Total Building Area (total a through h)	2,026.00	638.00	466.00	9.00	2,492.00	647.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Total Building Coverage (sq ft): 2,428.00 % of lot size: 35

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)

Total Impervious Cover (sq ft): 3,892.00 % of lot size: 57

*GRANDFATHERED IN
ACTUALLY REDUCING I.C.*

Setbacks

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? Y N (LDC 25-2-492)

Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y N
 Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)

Building Height: 22 ft 4 in Number of Floors: 2

Parking (LDC 25-6 Appendix A & 25-6-478)

of spaces required: 2 # of spaces provided: 2

Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y N
 *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50% or more.

Sidewalk fee in lieu of install

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y N

Width of approach (measured at property line): 12.0 ft Distance from intersection (for corner lots only): _____ ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y N
 (If yes, drainage review is required)

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1,569.00	207.00			1,776.00
2 nd Floor	245.00	386.00			631.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)	212.00		<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	212.00	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 2b)		0.00
	Detached	334.00	106.00	<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a)	440.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	2,360.00	699.00			2,407.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,407.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 35 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

Exception E.3.b

*Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**Garage and carport exemptions (in relation to primary structure): Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

***Ordinance article 3.3.2 B 1 is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



**1519 Westover
Renovation & Addition**

North Side – street view



West Side



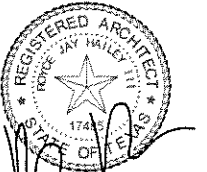
South Side



East Side



1519 WESTOVER ROAD Renovation & Addition Permit Set



09.28.2016

Peter Nixon &
Natalie Stanciu

1519 WESTOVER ROAD
Renovation & Addition
Austin, Texas 78703

PROJECT #1603

07.23.2016	Design Development Meeting
08.24.2016	Design Development Progress
09.13.2016	Design Development Progress
09.26.2016	Draft - Progress Set
09.28.2016	Permit Set

09.28.2016
Permit Set

Area calculations /
survey / demo plan

A0

1519 Westover Road			
Area Description	Existing SF	New/Added SF	Total SF
a) 1st floor conditioned area	1569	207	1776
b) 2nd floor conditioned area	245	386	631
c) 3rd floor conditioned area	0	0	0
d) Basement	0	0	0
e) Attached Covered Parking (garage or carport)	0	0	0
f) Detached Covered Parking (garage or carport)	334	106	440
g) Covered Wood Decks (counted at 100%)	0	0	0
h) Covered Patio	304	-304	0
i) Covered Porch	212	0	212
j) Balcony	0	0	0
k) Other, Specify: N/A	0	0	0
Total Building Area (TBA) (add a through k)	2664	393	3059
Total Building Coverage (TBC) (from TBA subtract b.i.c and j)	3419	9	2428
l) Driveway	1388	-102	1286
m) Sidewalks	126	0	126
n) Uncovered Patio	0	0	0
o) Uncovered Wood Decks (counted at 50%)	0	40	40
p) AC pads and other concrete flatwork	12	0	12
q) Other (Pool Coping, Retaining Walls)	0	0	0
Total Site Impervious Cover	3943	-53	3892
r) Pool	0	0	0
s) Spa	0	0	0

Building Coverage Information		
Lot Area		6875
Existing Building Coverage		2419
Existing Coverage % of lot		35.2%
Final Building Coverage		2428
Final Coverage % of lot		35.3%

Site Development Information						
Area Description	Existing Square Footage		New/Added Square Footage		Total Square Footage	
	Blgd 1 (House)	Blgd 2 (Garage)	Blgd 1 (House)	Blgd 2 (Garage)	Blgd 1 (House)	Blgd 2 (Garage)
a) 1st Floor conditioned area	1569	0	0	207	1569	207
b) 2nd floor conditioned area	245	0	386	0	631	0
c) 3rd floor conditioned area	0	0	0	0	0	0
d) Basement	0	0	0	0	0	0
e) Covered parking (garage or carport)	0	334	0	106	0	440
f) Covered patio, decks, porch, and/or balcony areas	212	304	0	-304	212	0
g) Other covered or roofed area	0	0	0	0	0	0
h) Uncovered wood decks	0	0	80	0	80	0
Total Building Area (total a through h)	2026	638	466	9	2492	647
i) Pool	0	0	0	0	0	0
j) Spa	0	0	0	0	0	0

Building Coverage Information	
Total Building Coverage (sq ft)	2428
% of lot size	35.3%

Impervious Cover Information	
Total Impervious Cover (sq ft)	3892
% of lot size	56.6%

Height Information	
Building Height	17'-1"
Number of Floors	2

Parking	
# of spaces required	2
# of spaces provided	2

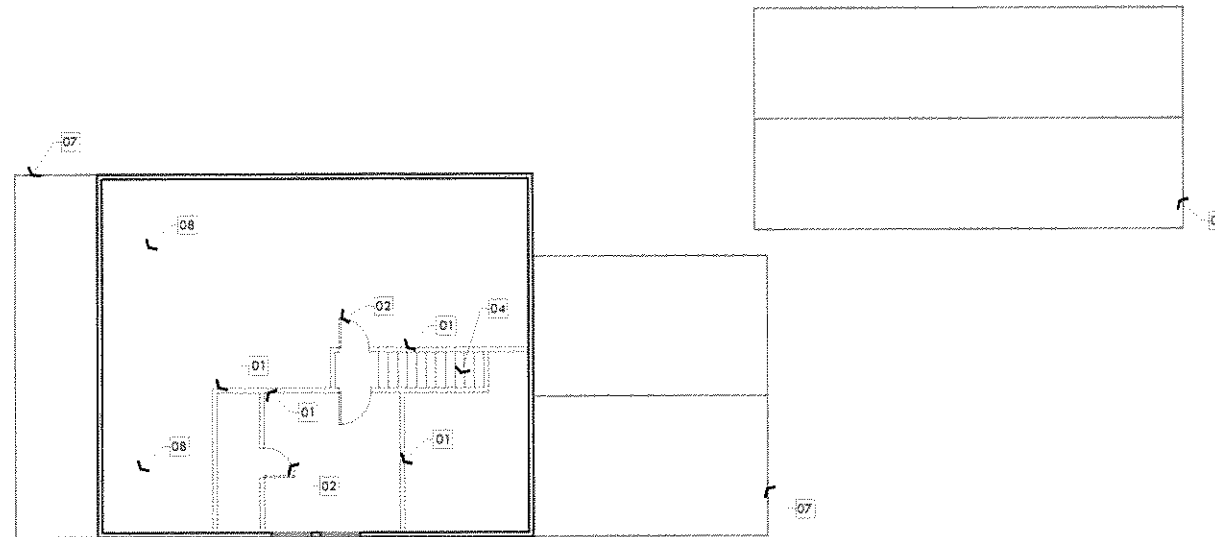
Subchapter F					
Area Description	Gross Floor Area		Proposed Exempt	Applied Exempt	Total Sq Ft
	Existing Sq Ft	New/Added Sq Ft			
1st Floor	1569	207			1776
2nd Floor	245	386			631
3rd Floor	0	0			0
Area w/ ceilings >15'	0	0			0
Ground Floor Porch (check article if utilized)	212	0	Full Porch sq ft		212
Basement	0	0	200 sq ft		0
Attic	0	0	200 sq ft		0
Garage (check article utilized)	Attached	0	450 sq ft		0
	Detached	334	106	200 sq ft	
Carport (check article utilized)	Attached	0	450 sq ft		0
	Detached	0	0	200 sq ft	
Accessory Building(s) (detached)	0	0	450 sq ft		0
Total		699			2407

(Total Gross Floor Area/Lot Area) x 100 = **35.01 Floor-To-Area Ratio (FAR)**

SUMMARY	
Lot Area:	6875 sf
Total AC area:	2407 sf
Garage area:	440 sf
Total Gross Floor Area (with exemptions):	2407 sf
F.A.R.:	0.35
Building Coverage:	35.3%
Impervious Cover:	56.6%

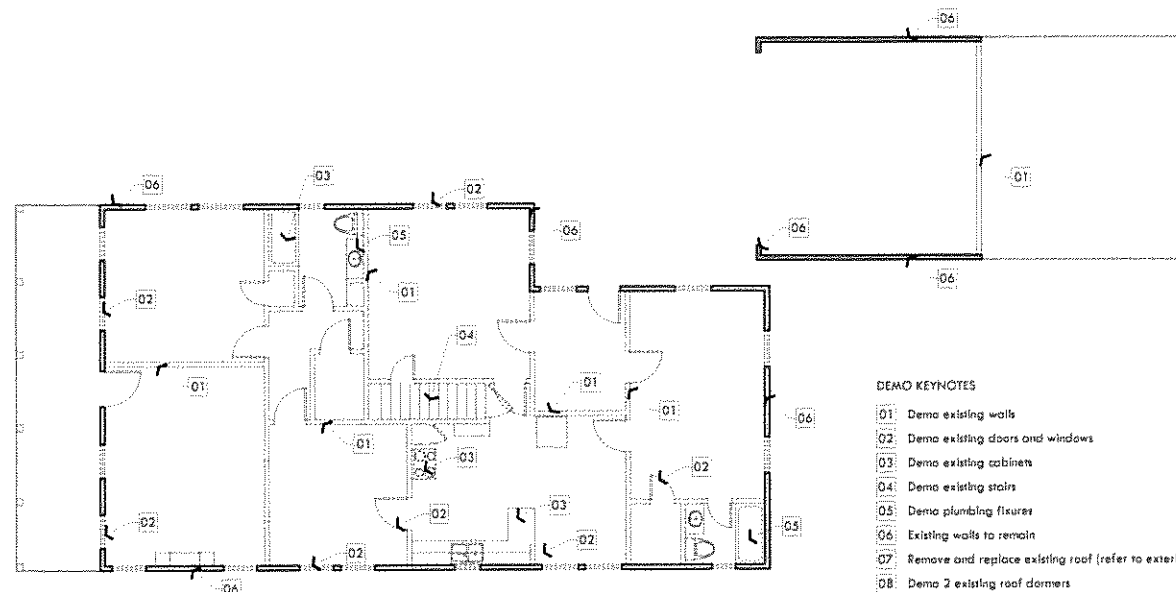
SHEET INDEX

ARCHITECTURE	
A0	Area Calculations / Demo Plans
A1	Plot Plan / Non-Compliance / Compatibility
A2	1st Floor Plan
A2	2nd Floor Plan
A3	Exterior Elevations
A4	Roof Plan
A5	Exterior Elevations
A6	Exterior Elevations
A7	Exterior Elevations
A8	Building Sections



2 2ND FLOOR - DEMO PLAN

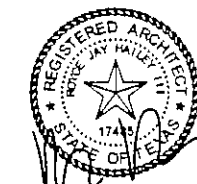
SCALE: 1/16"=1'-0"



- DEMO KEYNOTES**
- 01 Demo existing walls
 - 02 Demo existing doors and windows
 - 03 Demo existing cabinets
 - 04 Demo existing stairs
 - 05 Demo plumbing fixtures
 - 06 Existing walls to remain
 - 07 Remove and replace existing roof (refer to exterior elevations)
 - 08 Demo 2 existing roof dormers

1 1ST FLOOR - DEMO PLAN

SCALE: 1/16"=1'-0"



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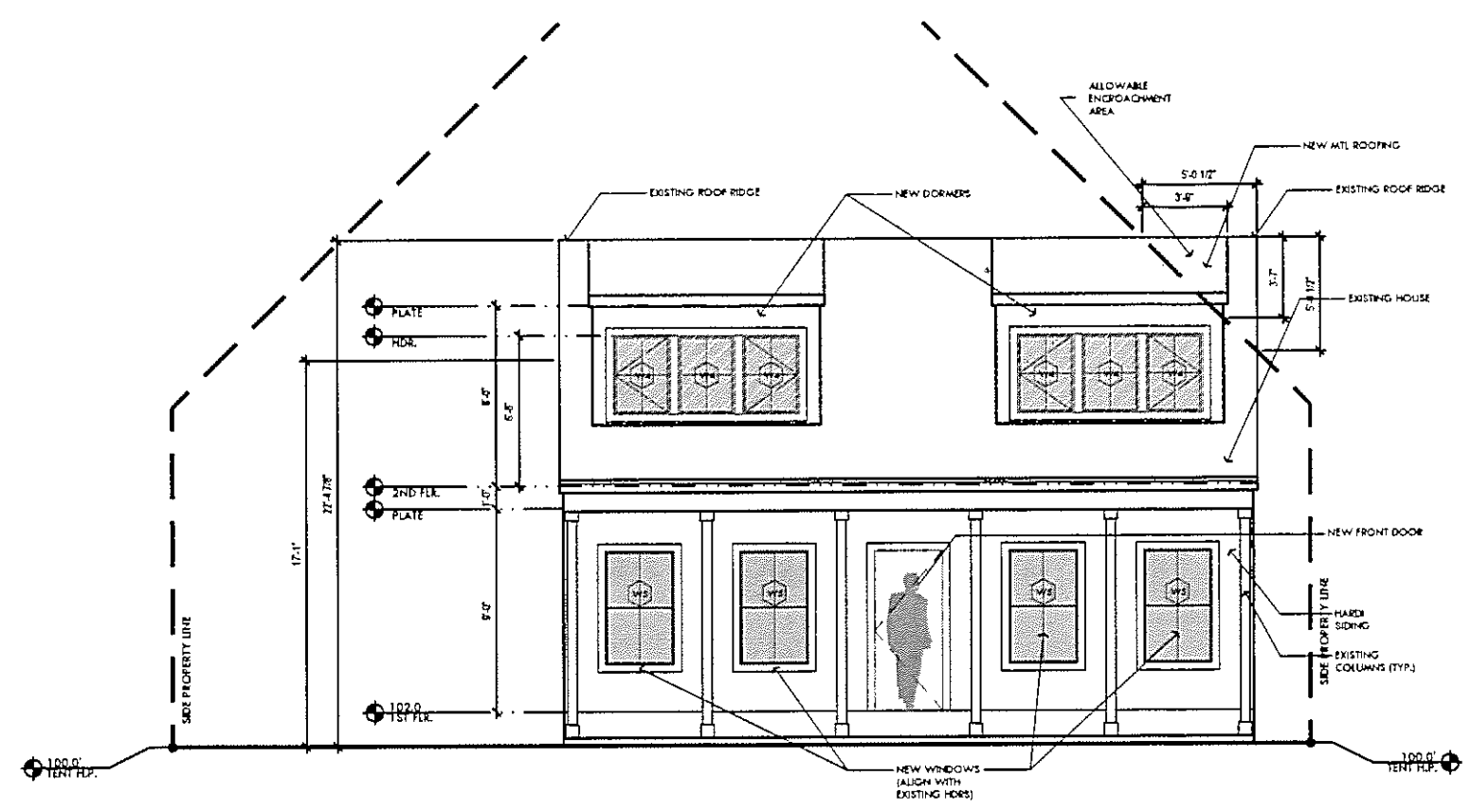
PROJECT #1603

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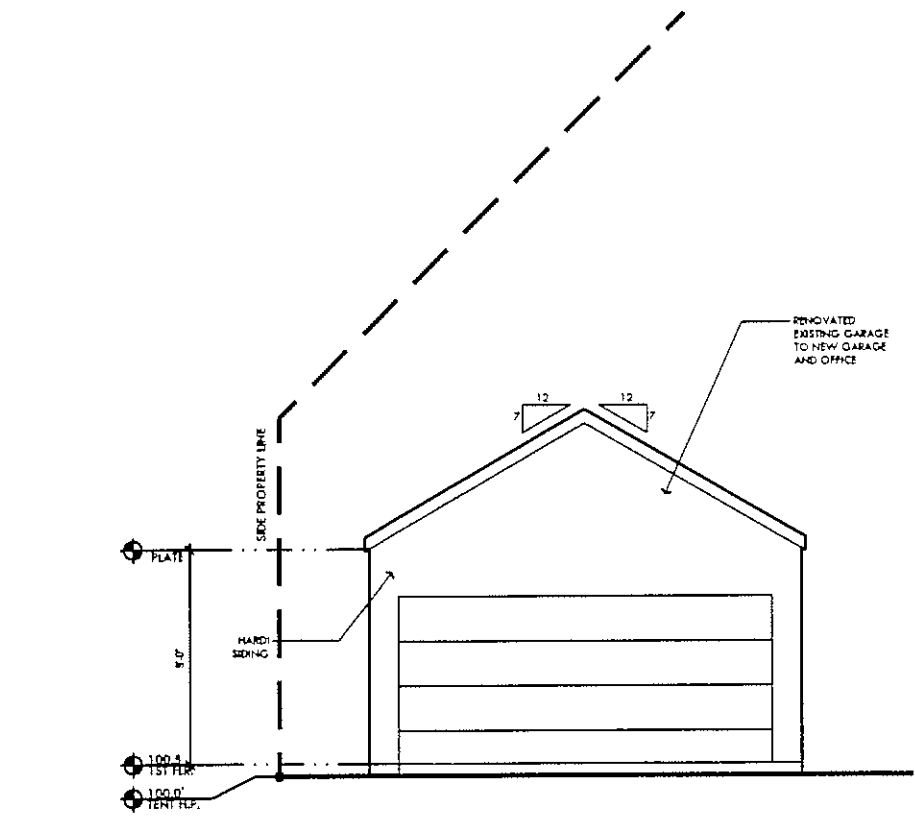
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 Permit Set

Exterior Elevations

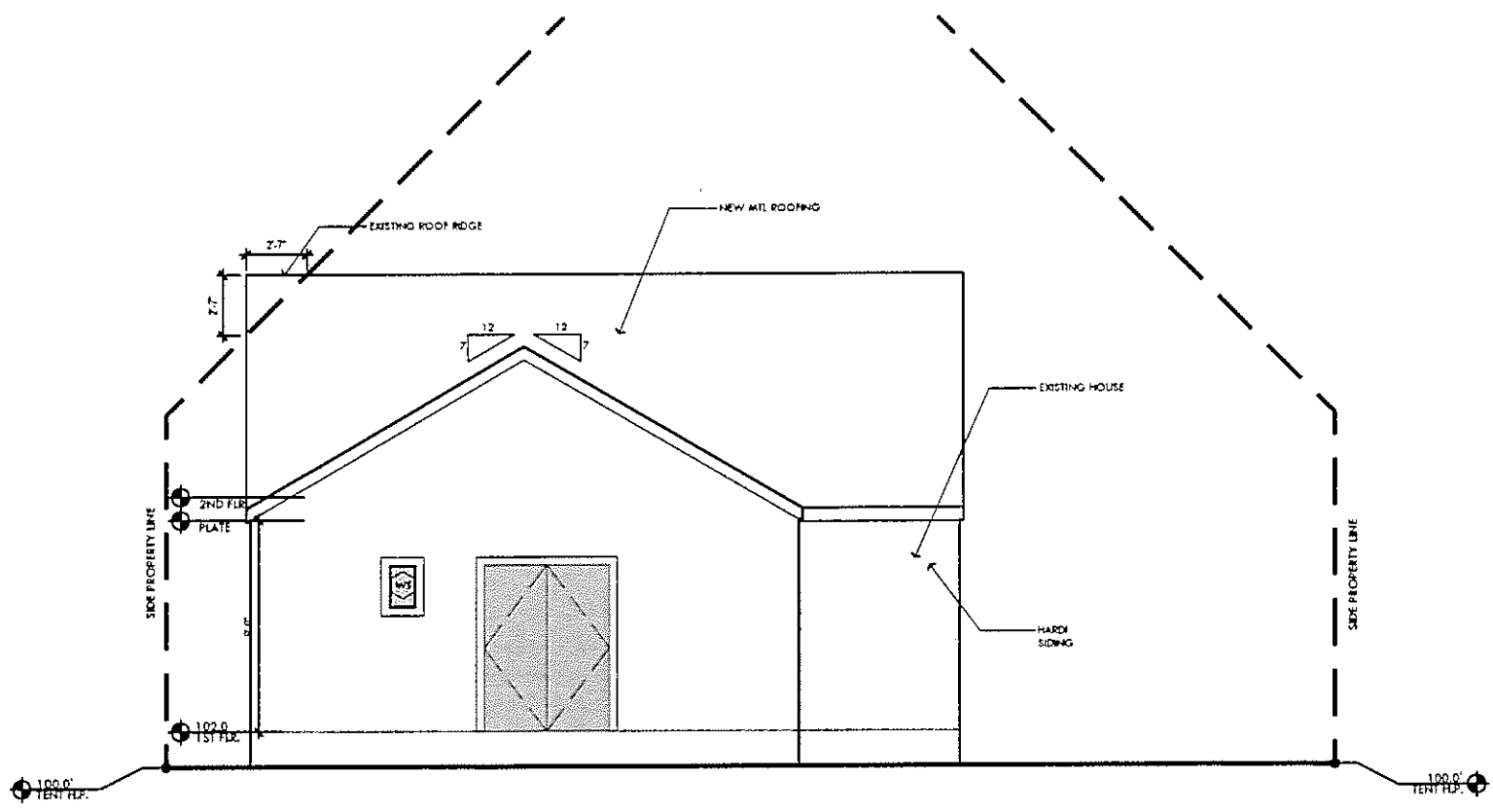
A5



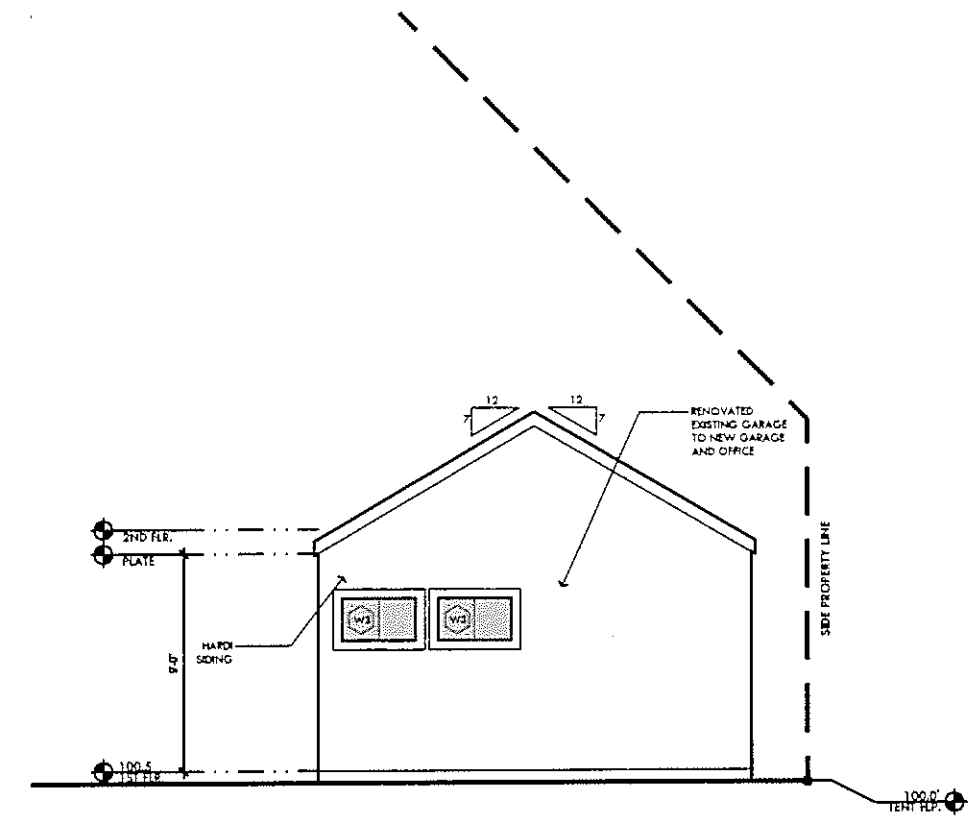
1 HOUSE NORTH (FRONT) ELEVATION
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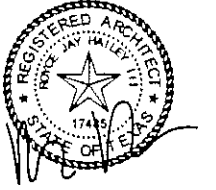
3 GARAGE / OFFICE NORTH (FRONT) ELEVATION
 SCALE: 1/8"=1'-0"



2 HOUSE SOUTH (REAR) ELEVATION
 SCALE: 1/8"=1'-0"



4 GARAGE / OFFICE SOUTH (REAR) ELEVATION
 SCALE: 1/8"=1'-0"



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 Renovation & Addition**

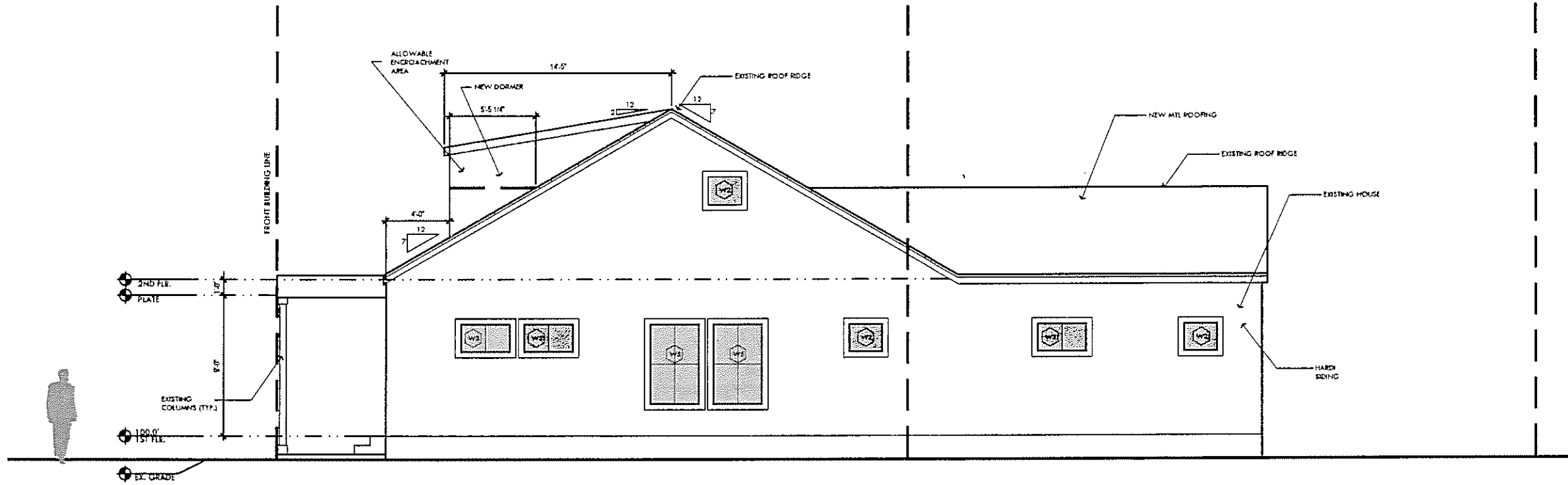
Austin, Texas 78703

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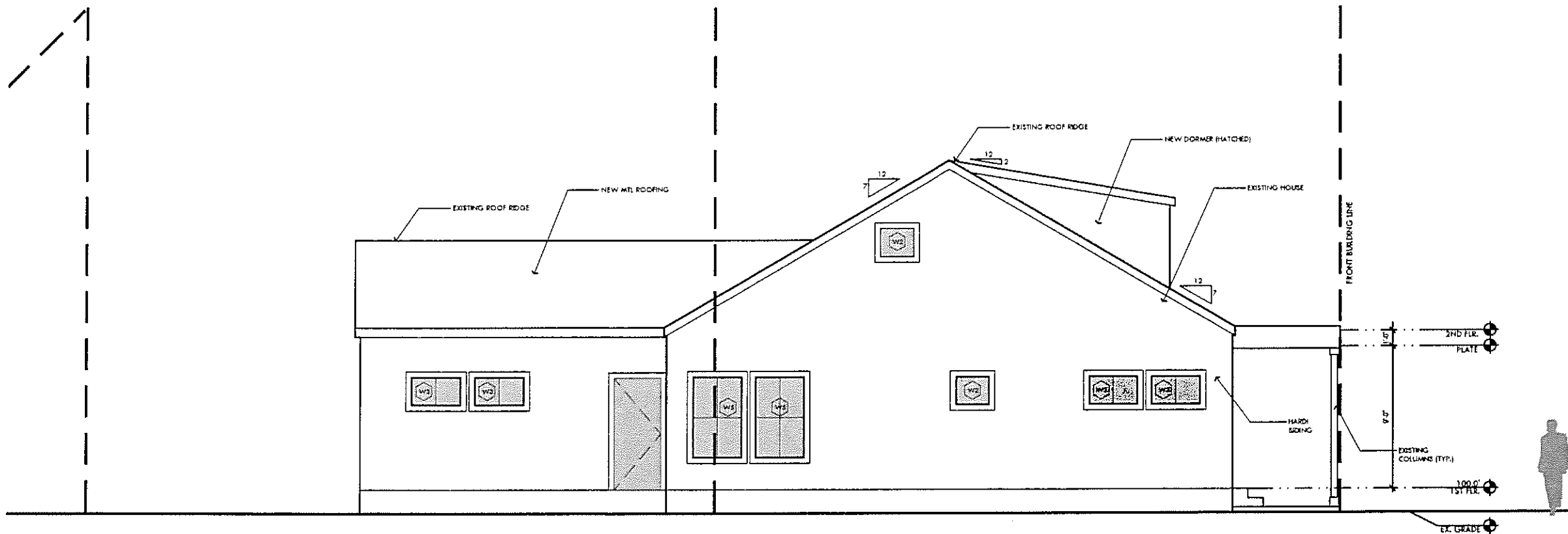
09.28.2016
 Permit Set

Exterior Elevations



1 MAIN HOUSE WEST ELEVATION

SCALE: 1/8"=1'-0"



2 MAIN HOUSE EAST ELEVATION

SCALE: 1/8"=1'-0"



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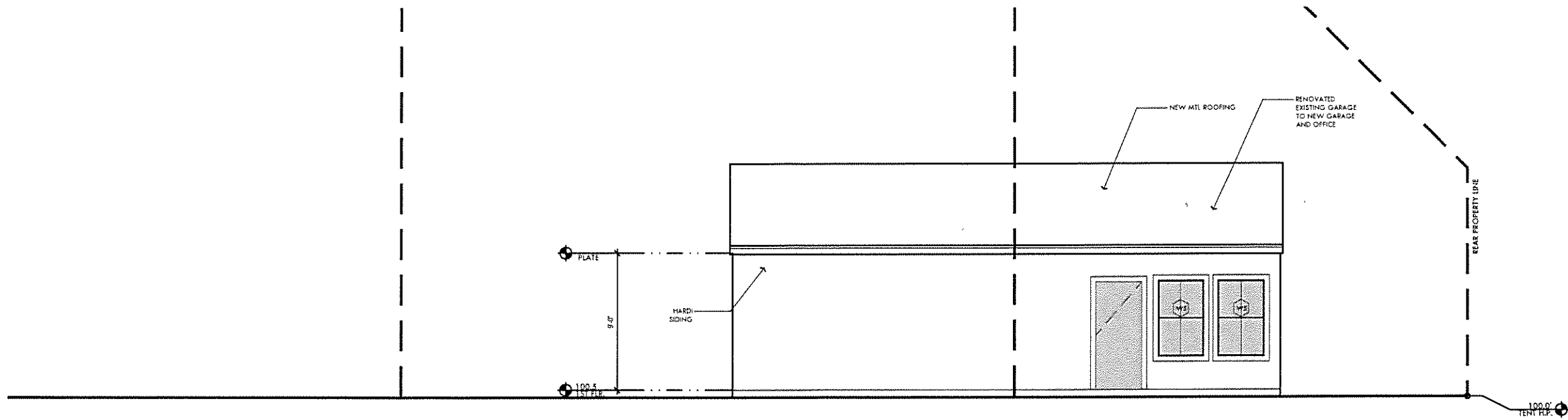
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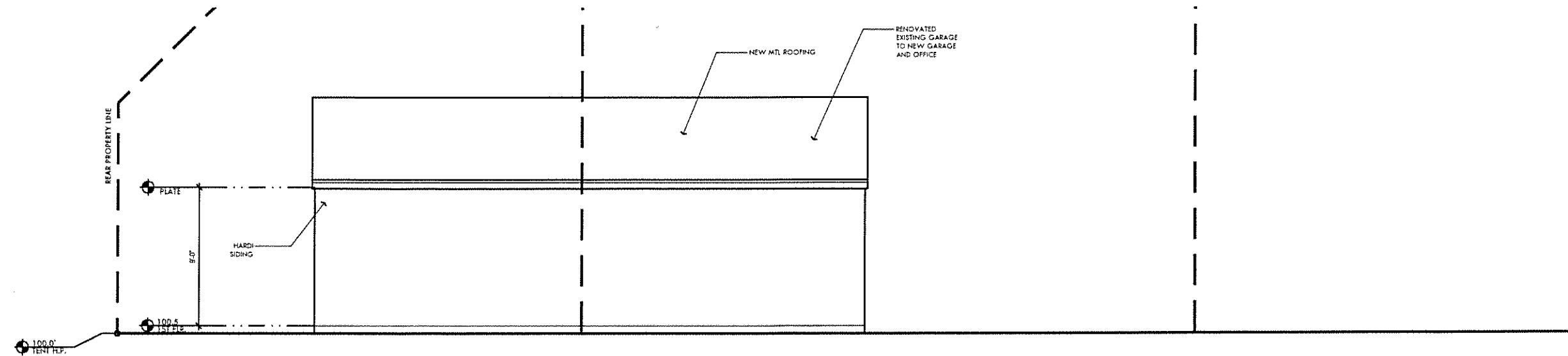
09.28.2016
 Permit Set

Exterior Elevations



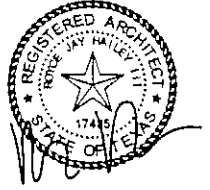
1 GARAGE / STUDIO- EAST ELEVATION

SCALE: 1/8"=1'-0"



2 GARAGE / STUDIO- EAST ELEVATION

SCALE: 1/8"=1'-0"



09.28.2016

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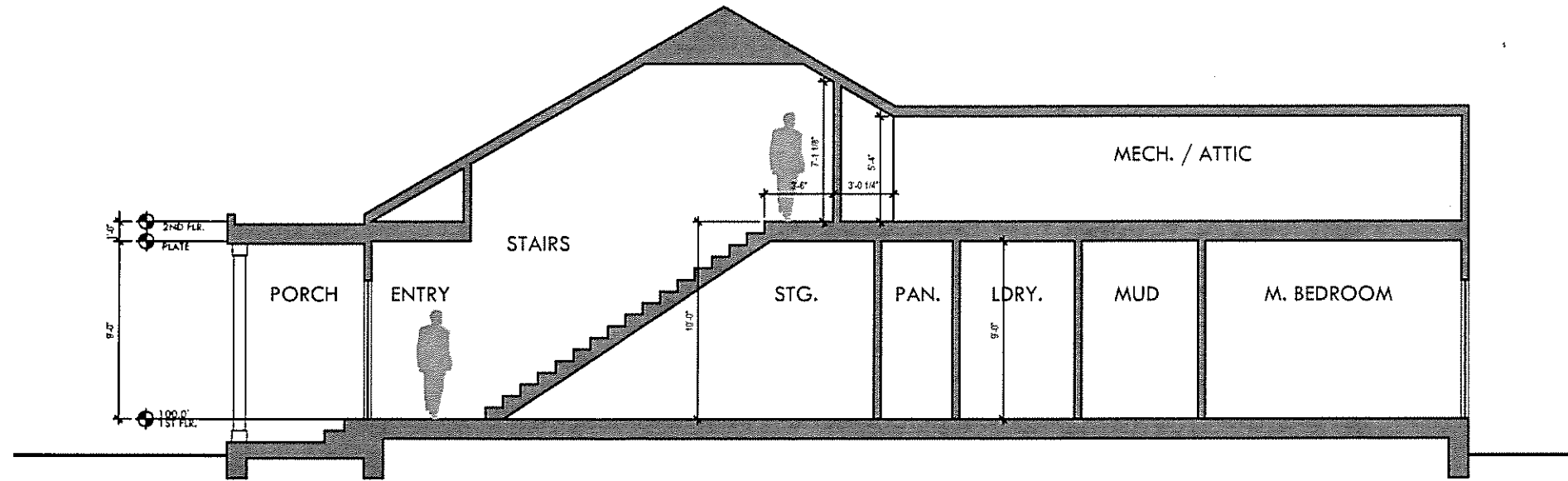
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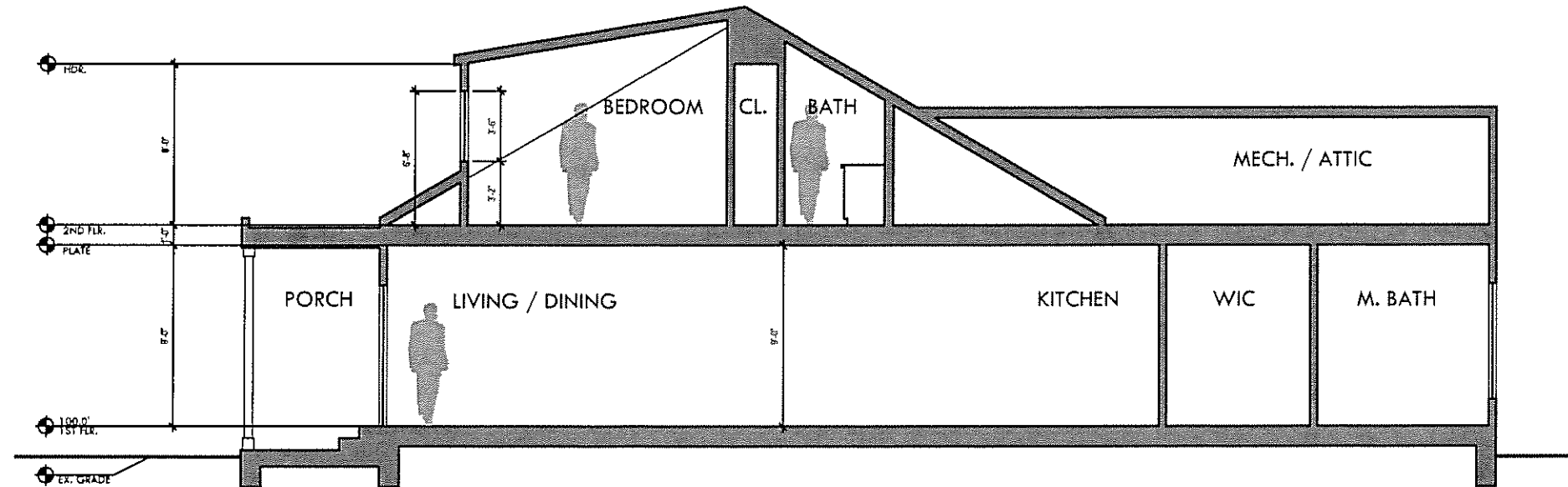
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09.28.2016
 Permit Set



1 BUILDING SECTION
 SCALE: 1/8"=1'-0"



2 BUILDING SECTION
 SCALE: 1/8"=1'-0"