



**DOWNTOWN DENSITY BONUS PROGRAM (DDBP)
SUBMITTAL APPLICATION**

1. Project Name:

Waterloo Park Tower

2. Property Owner

Name:

Alan Woods Nalle, Sr.

Address:

54 Sundown Parkway, Austin TX 78746

Phone:

512-327-3969

E-mail:

anallesr@icloud.com

3. Applicant/Authorized Agent

Name:

Jim Wittliff/Land Answers, Inc.

Address:

3606 Winfield Cove, Austin TX 78704

Phone:

512-416-6611

E-mail:

landanswers@sbcglobal.net

4. Anticipated Project Address:

1201 Red River

5.Site Information

- a. Lot area *(also include on site plan)*:

19,689

- b. Existing zoning (include any zoning suffixes such as "H," "CO," etc. If the property has a conditional overlay (CO), provide explanation of conditions (attach additional pages as necessary):

CBD

- c. Existing entitlements:

- I. Current floor to area (FAR) limitation:

8:1

- II. Current height limitation (in feet) :

450

- III. Affected by Capitol View Corridors (CVCs) Yes/No?

☐ Yes

☐ No

If yes, please provide specify height allowed under CVC:

6.Existing Deed Restrictions

Detail existing deed restrictions on the property (if any):

None

7. Building Information

- a. Total square footage - Only include the square footage that counts towards FAR; see [LDC 25-1-21\(40\), \(44\), and \(45\)](#):

282,318 square feet

- b. Gross floor area devoted to the different land use categories included in the project (e.g., retail/restaurant, office, apartment, condominium, hotel):

282,318 square feet

- c. Number or units (if residential development):

28

- d. Number of rooms (if hotel or similar use):

256

- e. Number of floors:

33

- f. Height:

371

- g. FAR requested:

15:1

8. Gatekeeper Requirements

Provide an explanation of how this project meets the *Gatekeeper* requirements of the DDBP as described in [Ordinance No. 20140227-054](#). Attach additional page(s) as necessary:

Our site plan includes a schematic level site plan, building elevations, and calculation tables, and shows the relationship of this project to its surroundings. We are meeting the Great Streets requirements including streetscape improvements and we are working with AEGB program to achieve a two star rating.

9. Community Benefits

Detail which community benefits will be used and how they will be applied (affordable housing on site, fee in lieu of, affordable housing + community benefit, etc.). Attach additional page(s) as necessary:

The property owner has voluntarily agreed to donate 901 square feet of additional right-of-way to aid the City in the realignment of Red River Street. This ROW dedication will require this project to add an additional floor to recoup the lost hotel rooms at a cost to the developer of over \$500,000.

10. Density Bonus Calculation

Provide a calculation method of how the additional FAR is sought including site area and amount per square foot. Calculation should include all *Gatekeeper* items plus all community benefits:

Current zoning allows 8:1 FAR. Participation in Great Streets and AEGB program will allow us to increase our FAR to 15:1. We are seeking an FAR of 15:1. *THIS IS AN ADDITION OF 133,140 SQUARE FEET.*

11. Relate Project to the Urban Design Guidelines for Austin

Provide detailed explanation of how the project substantially complies with the Urban Design Guidelines for Austin with reference to specific guidelines. Attach additional page(s) as necessary.

See the attached UD Guidelines checklist.

12. Acknowledgements

- a. Applicant understands that a standard restrictive covenant template will be drafted by the City of Austin to address Gatekeeper requirements in accordance with 25-2-586(C)(1):

☒ Yes

☐ No

- b. Applicant understands that will be required to submit a copy of the project's signed Austin Energy Green Building Letter of Intent:

☒ Yes

☐ No

- c. Applicant has received and reviewed a copy of the [Downtown Density Bonus Ordinance](#):

☒ Yes

☐ No

- d. Applicant has received and reviewed a copy of the [Urban Design Guidelines for Austin](#):

☒ Yes

☐ No

- e. Applicant has scheduled presentation to the Design Commission Working Group and follow-up Design Commission Meeting by coordinating dates with program staff? (Anne.Milne@austintexas.gov)

☐ Yes

☒ No

- f. If considering in lieu fee or provision of on-site affordable housing as a public benefit, Applicant has scheduled a coordination meeting with the Neighborhood Housing and Community Development Department to detail program requirements and obtained a letter of affordability from NHCD:

☐ Yes

☒ No


Signed: Owner or Applicant

Authorized Agent

Jim Wittliff/Land Answers, Inc.

Date Submitted

1/25/17



DOWNTOWN DENSITY BONUS PROGRAM (DDBP) APPLICATION SUBMITTAL CHECKLIST

Submitted:



Completed DDBP Application;



Vicinity plan/aerial locating the project in its context, and showing a minimum 9 block area around the project;



Location of nearby transit facilities;



Drawings:

- Site plan;
- Floor plans;
- Exterior elevations (all sides);
- Three-dimensional views;



Copy of the projects signed Austin Energy Green Building Letter of Intent;



Other items that may be submitted but not required: Narrative / graphics / photos to further describe the project.



Letter of affordability and acknowledgment from NHCD for affordable housing community benefit.

[Project Name] DDBP Request
Review of Substantial Compliance with UD Guidelines

Area Wide Guidelines

	Guideline	Achieved? (Yes/No)	Applicant's Comments
1	AW-1: Create dense development	Yes	15:1 FAR is proposed
2	AW-2. Create mixed-use development	Yes	Site will contain a Hotel, restaurant and cocktail lounge
3	AW-3. Limit development which closes downtown streets	No	Red River will be closed NB for realignment
4	AW-4. Buffer neighborhood edges	N/A	N/A
5	AW-5. Incorporate civic art in both public and private development	No	
6	AW-6. Protect important public views	Yes	Capital View Corridors are protected and enhanced
7	AW-7. Avoid historical misrepresentations	Yes	
8	AW-8. Respect adjacent historic buildings	Yes	Symphony Square will not be impacted
9	AW-9. Acknowledge that rooftops are seen from other buildings and the street	Yes	
10	AW-10. Avoid the development of theme environments	Yes	
11	AW-11. Recycle existing building stock	No	

Public Streetscape Guidelines

12	PS-1. Protect the pedestrian where the building meets the street	Yes	
13	PS-2. Minimize curb cuts	Yes	
14	PS-3. Create a potential for two-way streets	N/A	
15	PS-4. Reinforce pedestrian activity	Yes	
16	PS-5. Enhance key transit stops	No	
17	PS-6. Enhance the streetscape	Yes	Great Streets lighting, trees, and street furniture
18	PS-7. Avoid conflicts between pedestrians and utility equipment	Yes	All utilities will be underground
19	PS- 8. Install street trees	Yes	

[Project Name] DDBP Request
Review of Substantial Compliance with UD Guidelines

20	PS- 9. Provide pedestrian-scaled lighting	Yes	
21	PS- 10. Provide protection from cars/promote curbside parking	Yes	porte-cochere provided for registering hotel guests
22	PS-11. Screen mechanical and utility equipment	Yes	
23	PS-12. Provide generous street-level windows	Yes	
24	PS-13. Install pedestrian-friendly materials at street level	Yes	

Building Guidelines

	B- 1. Build to the street	Yes	
	B- 2. Provide multi-tenant, pedestrian-oriented development at the street level	Yes	
	B-3. Accentuate primary entrances	Yes	
	B- 4. Encourage the inclusion of local character	Yes	
	B- 5. Control on-site parking	Yes	parking garage will be valet-only
	B- 6. Create quality construction	Yes	
	B- 7. Create buildings with human scale	Yes	

Plaza and Open Space Guidelines

	PZ-1. Treat the four squares with special consideration	N/A	
	PZ- 2. Contribute to an open space network	No	
	PZ- 3. Emphasize connections to parks and greenways	Yes	Waterloo Park is across the street
	PZ- 4. Incorporate open space into residential development (pool, deck, dog area)	Yes	Outdoor view plazas are provided
	PZ- 5. Develop green roofs	No	

[Project Name] DDBP Request
Review of Substantial Compliance with UD Guidelines

	PZ- 6. Provide plazas in high use areas	Yes	
	PZ- 7. Determine plaza function, size, and activity	Yes	
	PZ- 8. Respond to microclimate in plaza design	Yes	
	PZ- 9. Consider views, circulation, boundaries, and subspaces in plaza design	Yes	views focus on State Capitol and Waterloo Park
	PZ- 10. Provide an appropriate amount of plaza seating	Yes	
	PZ- 11. Provide visual and spatial complexity in public spaces	Yes	
	PZ- 12. Use plants to enliven urban spaces	Yes	
	PZ- 13. Provide interactive civic art and fountains in plazas	No	
	PZ- 14. Provide food service for plaza participants	Yes	
	PZ- 15. Increase safety in plazas through wayfinding, lighting, & visibility	Yes	
	PZ- 16. Consider plaza operations and maintenance	Yes	

Conclusions

	Total number of Urban Design Guidelines	37	
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SCHEMATIC DESIGN

12th and Red River Hotel

1201 Red River, Austin TX 78701

04/15/2016

PROJECT NUMBER : 16022.100



architecture | interiors | planning | graphics
327 Congress Ave., St. 600 | Austin, Texas 78701
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Color Scheme Legend

- Balcony, Patio, Pool Deck
- Building Services
- Circulation
- Food and Beverage
- Food and Beverage BOH
- Hotel
- Hotel BOH
- Landscape
- Vehicular Circulation
- Vertical Penetration



01 LEVEL 1 - FLOOR PLAN

SCALE: 1/8" = 1'-0"



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LEVEL 1 FLOOR PLAN

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date 04.15.2016
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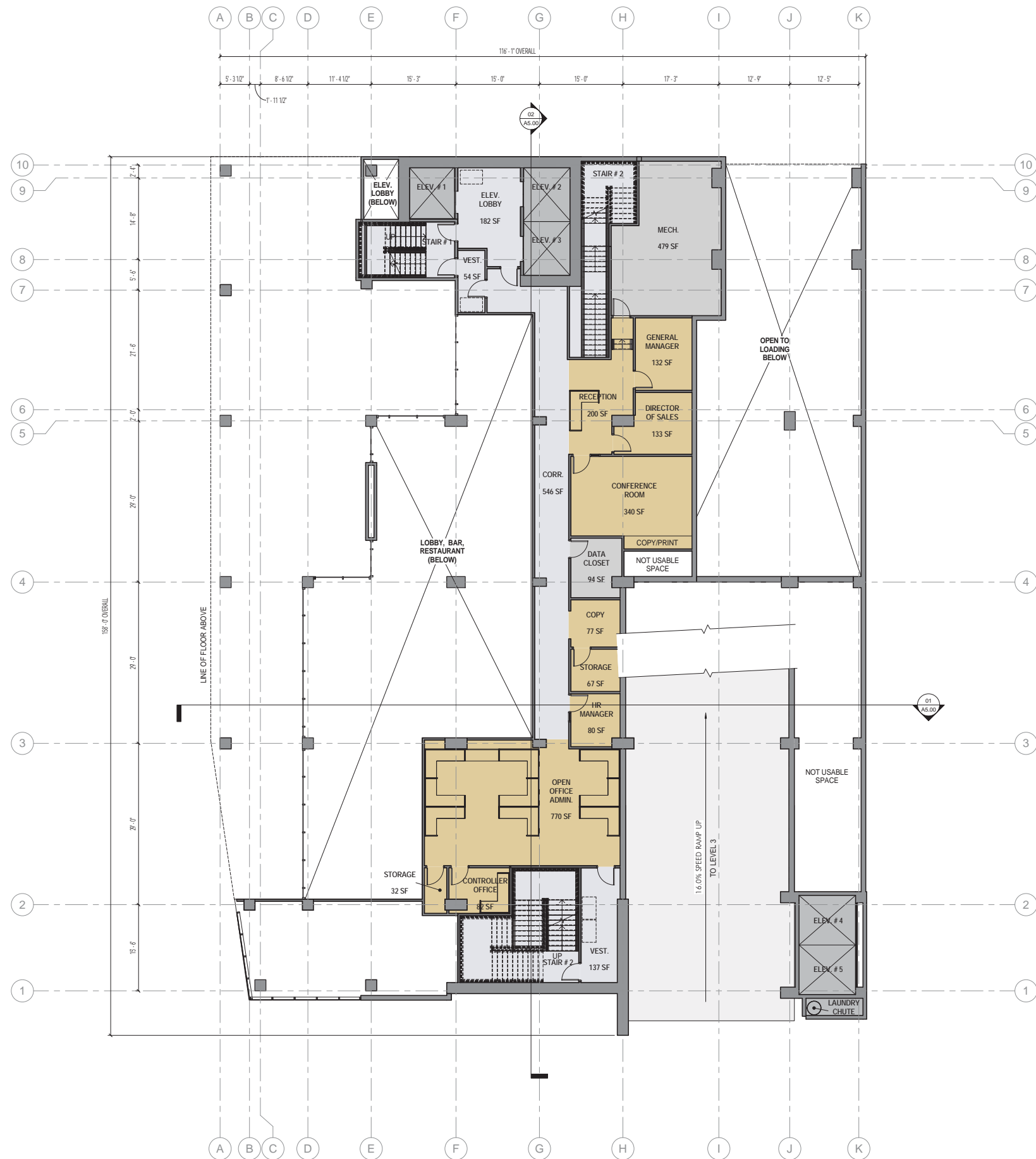
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Color Scheme Legend

- Building Services
- Circulation
- Hotel BOH
- Vertical Penetration



01 LEVEL 2 - MEZZANINE
SCALE: 1/8" = 1'-0"



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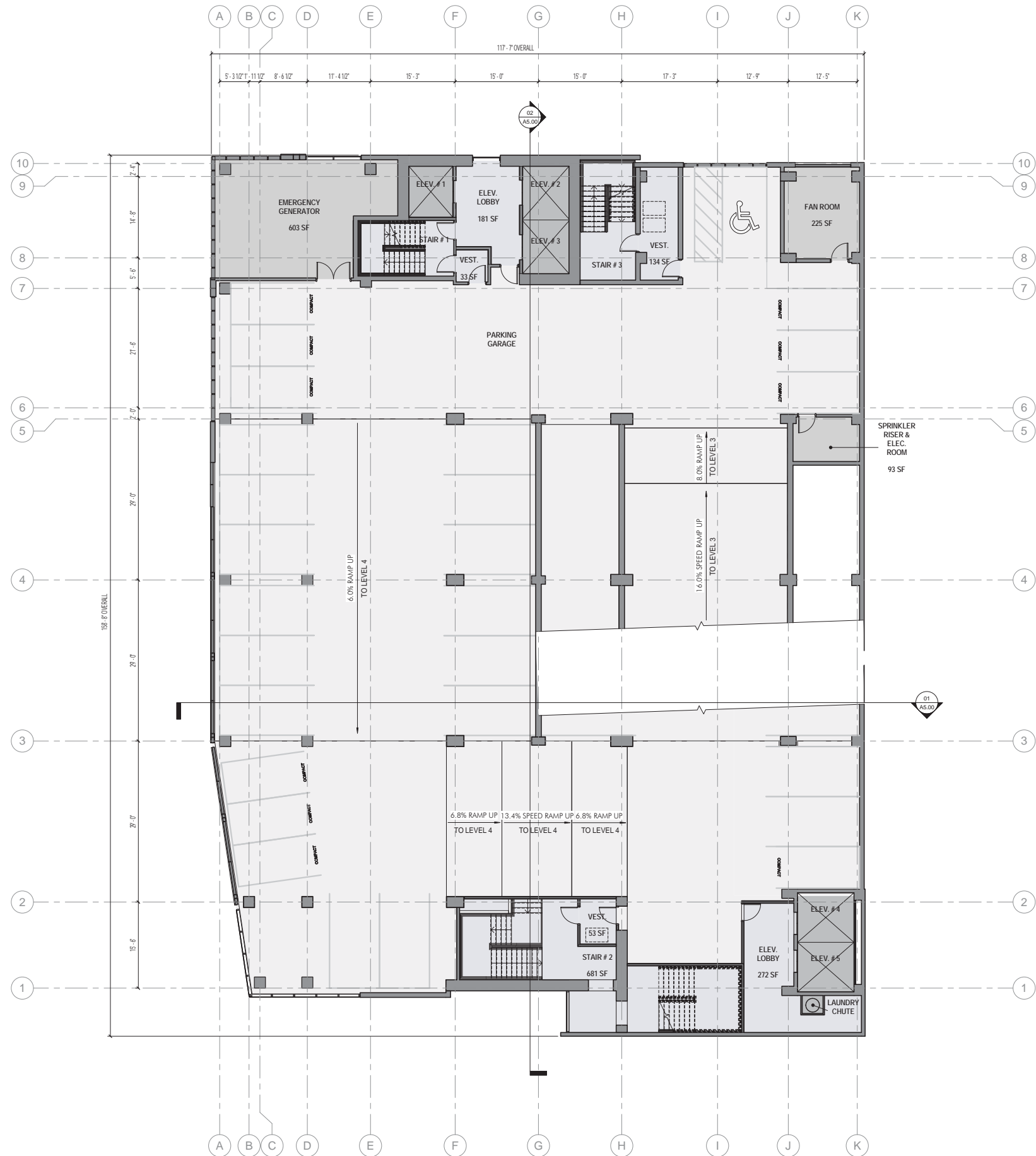
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Color Scheme Legend

- Building Services
- Circulation
- Vehicular Circulation
- Vertical Penetration

Parking Schedule	
Type	Count
Compact	74
Handicap	7
Standard	208
Grand total: 289	



01 LEVEL 3 - PARKING

SCALE: 1/8" = 1'-0"



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LEVEL 3 PARKING

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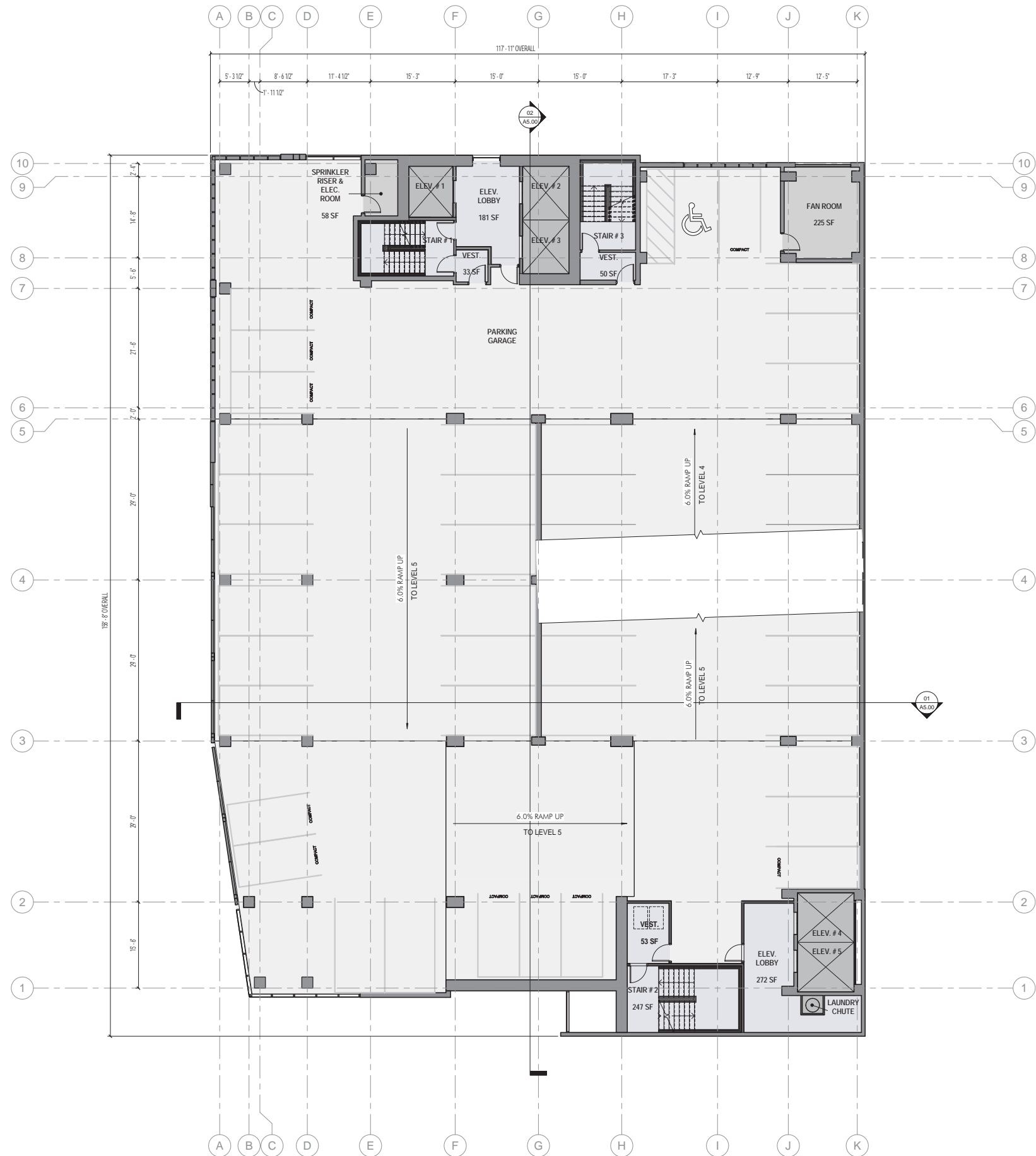
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Color Scheme Legend

- Building Services
- Circulation
- Vehicular Circulation
- Vertical Penetration

Parking Schedule	
Type	Count
Compact	74
Handicap	7
Standard	208
Grand total: 289	



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PARKING PLAN - TYPICAL

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01 PARKING PLAN - TYPICAL

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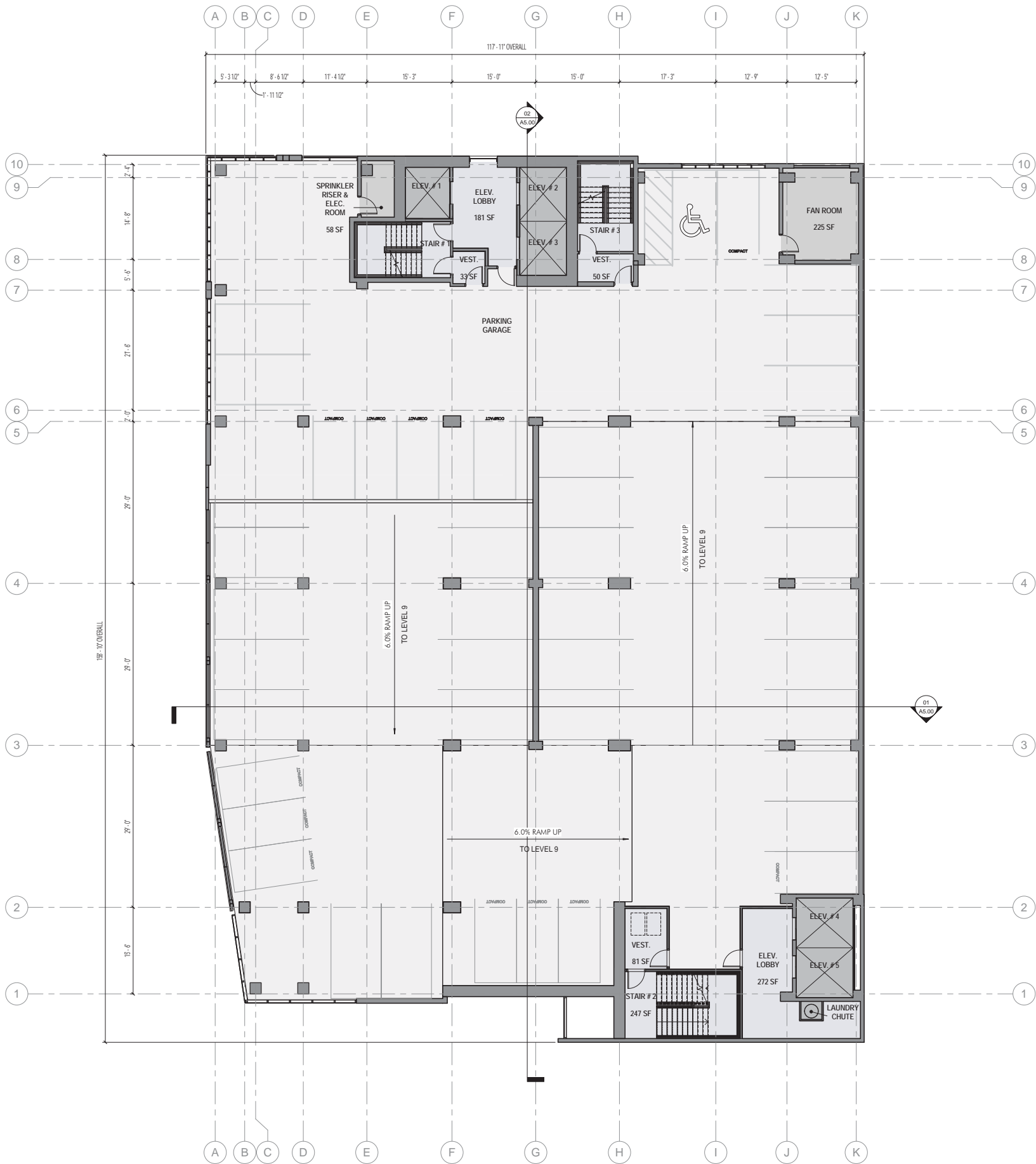
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Color Scheme Legend

- Building Services
- Circulation
- Vehicular Circulation
- Vertical Penetration

Parking Schedule	
Type	Count
Compact	74
Handicap	7
Standard	208
Grand total: 289	



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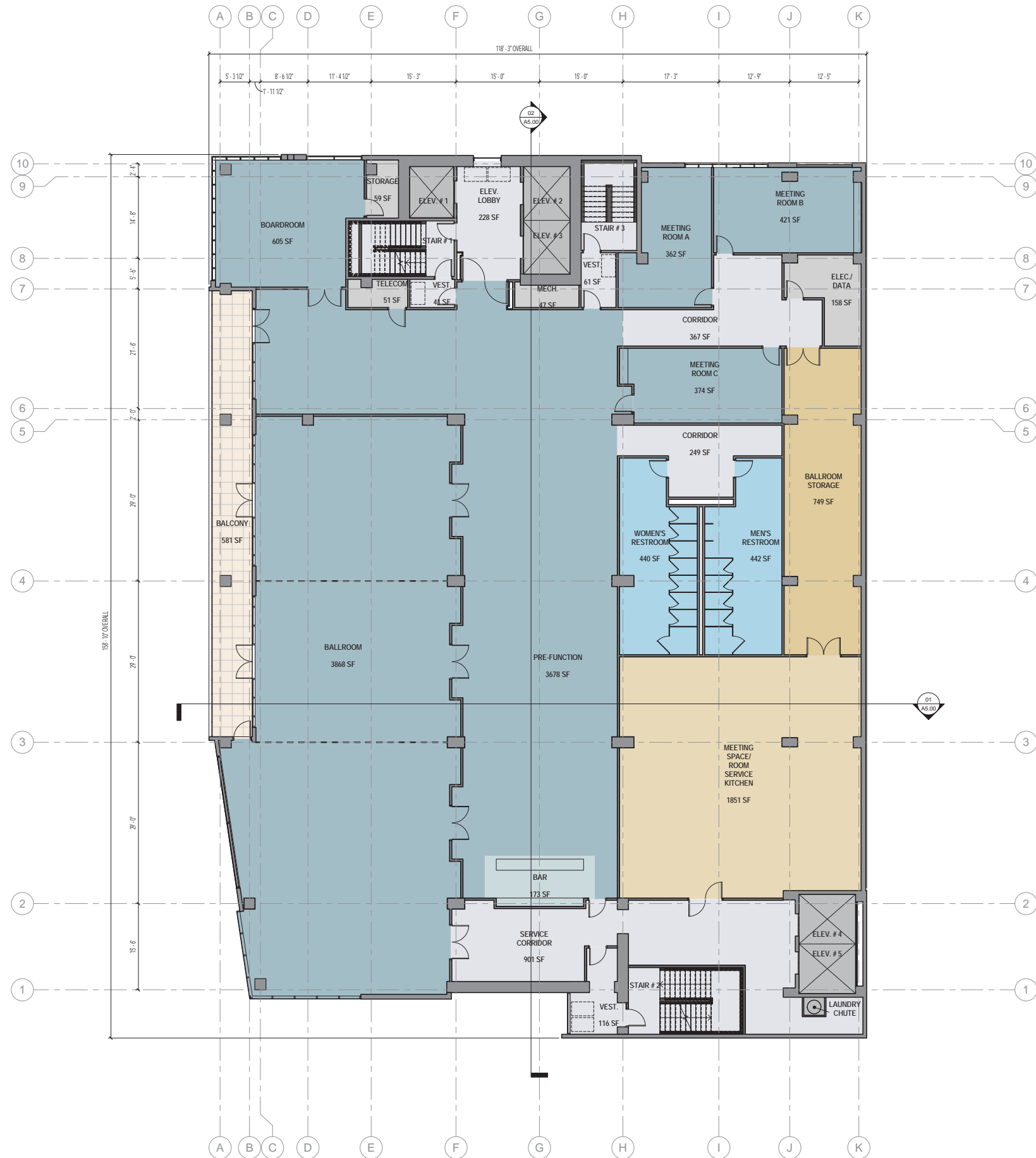
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Color Scheme Legend

- Balcony, Patio, Pool Deck
- Building Services
- Circulation
- Food and Beverage
- Food and Beverage BOH
- Hotel
- Hotel BOH
- Meeting Space
- Vertical Penetration



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LEVEL 10 BALLROOM

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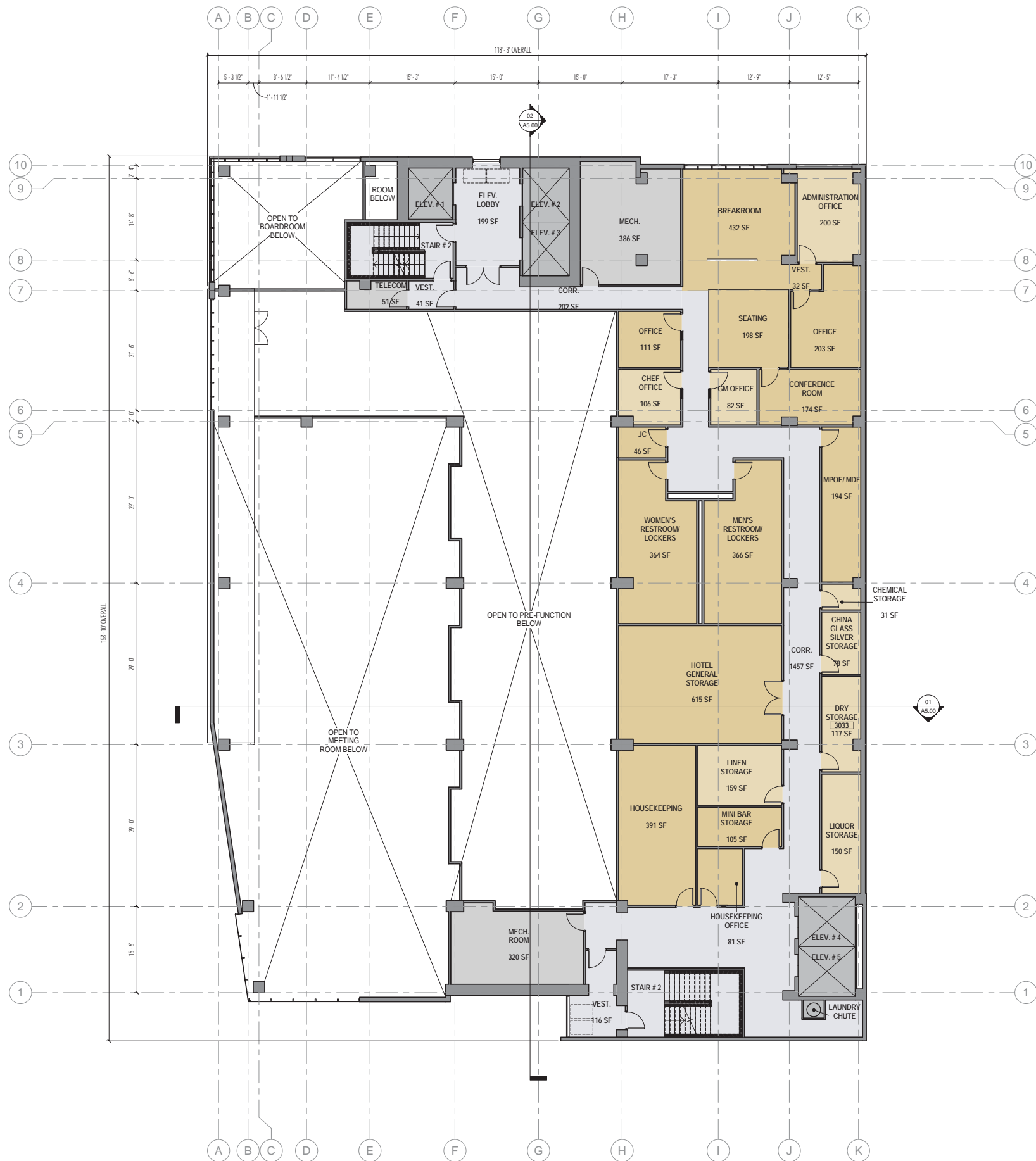
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Color Scheme Legend

- Building Services
- Circulation
- Food and Beverage BOH
- Hotel BOH
- Vertical Penetration



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LEVEL 11 BALLROOM
MEZZANINE

project number 16022.100
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01 LEVEL 11 - BALLROOM MEZZANINE
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Color Scheme Legend

- Balcony, Patio, Pool Deck
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- Food and Beverage
- Food and Beverage BOH
- Guest Rooms
- Hotel
- Hotel BOH
- Landscape
- Pool / Water Feature
- Vertical Penetration



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title
LEVEL 12 AMENITY DECK

project number 16022.100
date 04.15.2016
sheet

A2.12



01 LEVEL 12 - AMENITY DECK
SCALE: 1/8" = 1'-0"

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Color Scheme Legend

- Building Services
- Circulation
- Guest Rooms
- Hotel
- Vertical Penetration



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HOTEL PLAN - TYPICAL

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date 04.15.2016
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A2.13



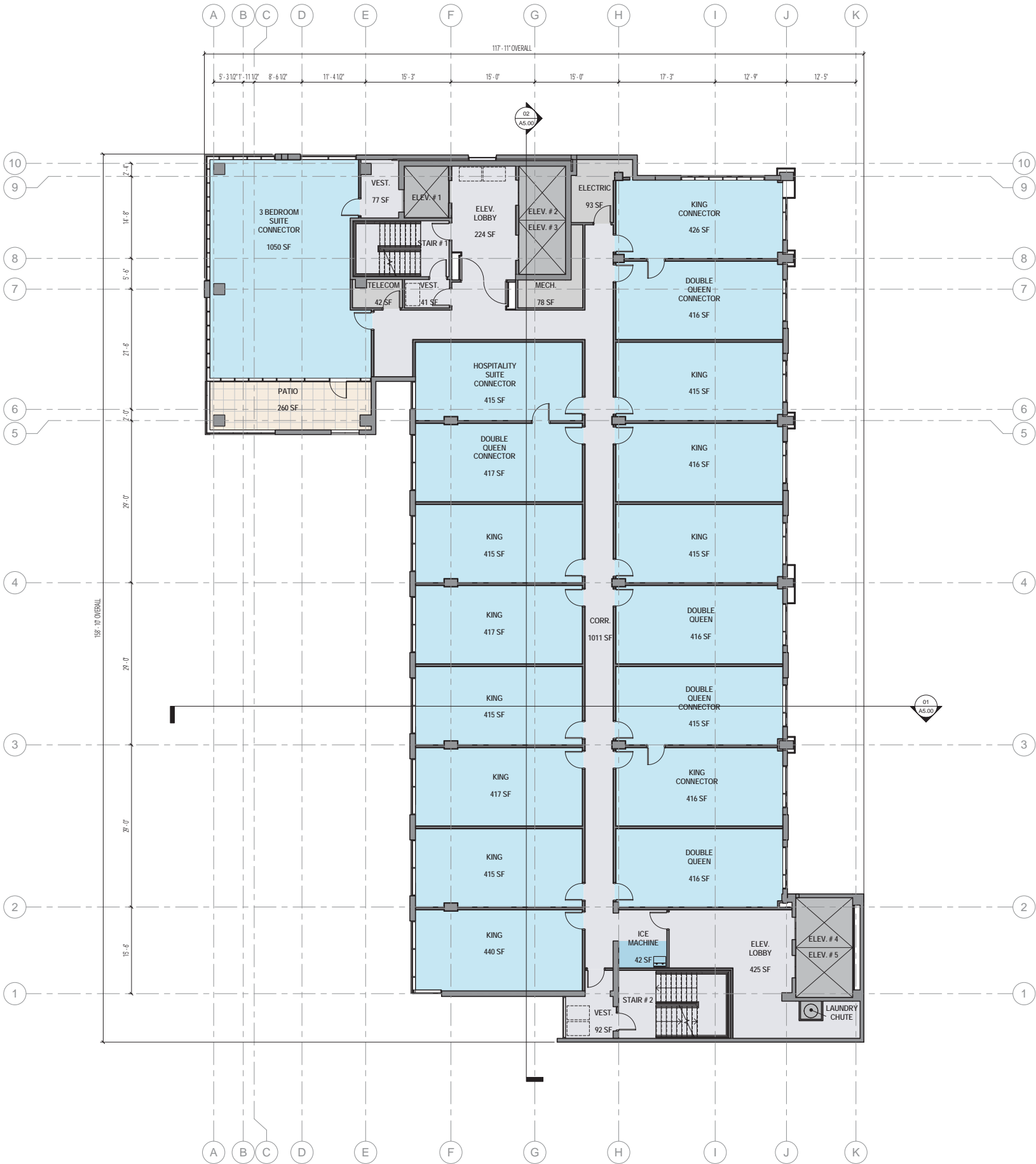
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Color Scheme Legend

- Balcony, Patio, Pool Deck
- Building Services
- Circulation
- Guest Rooms
- Hotel
- Vertical Penetration



01 HOTEL PLAN WITH BALCONY - TYPICAL
SCALE: 1/8" = 1'-0"



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HOTEL PLAN WITH BALCONY
- TYPICAL

project number 16022.100
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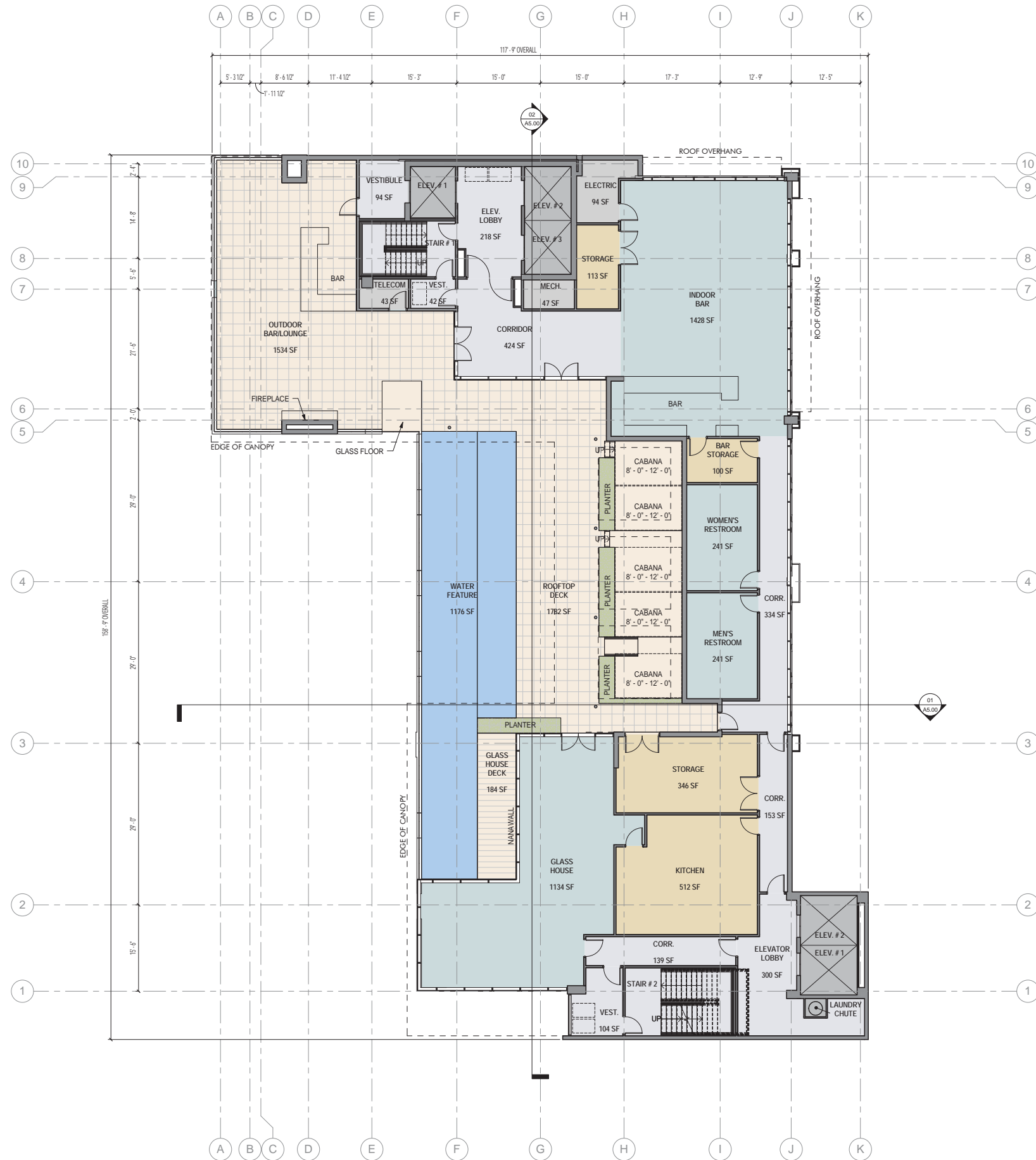
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Color Scheme Legend

- Balcony, Patio, Pool Deck
- Building Services
- Circulation
- Food and Beverage
- Food and Beverage BOH
- Landscape
- Pool / Water Feature
- Vertical Penetration



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LEVEL 27 ROOF DECK

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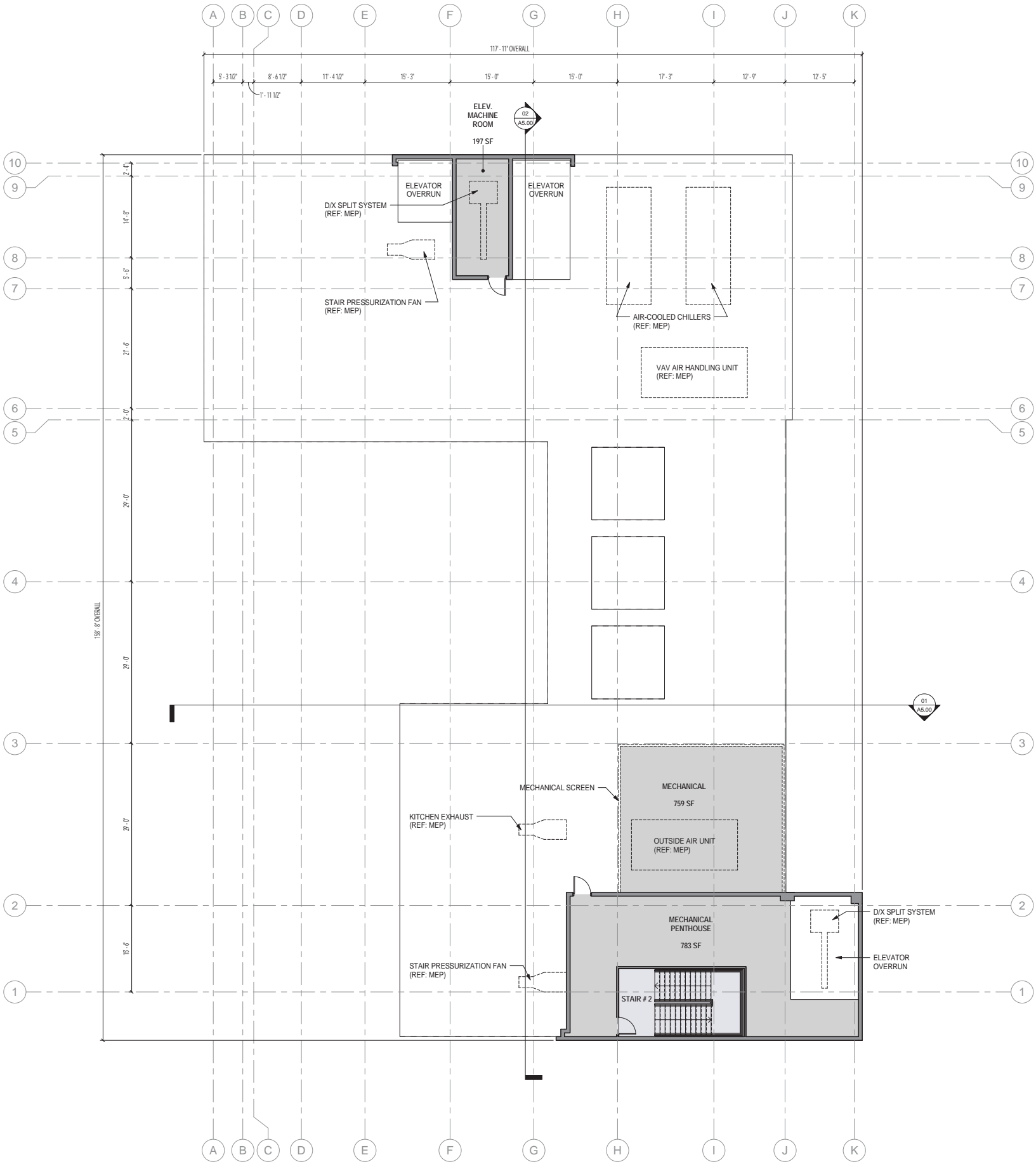
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Color Scheme Legend

- Building Services
- Circulation



01 ROOF PLAN
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ROOF PLAN - OVERALL

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Level 1 Room Schedule			
DINING PATIO	Balcony, Patio, Pool Deck	1,260 SF	
DOCK	Building Services	575 SF	
MAIN ELECTRICAL	Building Services	262 SF	
PUMP ROOM	Building Services	218 SF	
RECYCLING	Building Services	437 SF	
TRANSFORMER VAULT	Building Services	617 SF	
CORRIDOR	Circulation	594 SF	
STAIR # 1	Circulation	137 SF	
STAIR # 2	Circulation	247 SF	
STAIR # 3	Circulation	156 SF	
STAIR # 4	Circulation	86 SF	
VEST.	Circulation	122 SF	
BAR	Food and Beverage	1,006 SF	
CORR.	Food and Beverage	247 SF	
LOBBY	Food and Beverage	1,034 SF	
MEN'S RESTROOM	Food and Beverage	212 SF	
RESTAURANT	Food and Beverage	1,388 SF	
WOMENS RESTROOM	Food and Beverage	212 SF	
BAR STORAGE	Food and Beverage BOH	114 SF	
KITCHEN	Food and Beverage BOH	891 SF	
KITCHEN STORAGE	Food and Beverage BOH	177 SF	
ELEV. LOBBY	Hotel	239 SF	
ELEV. LOBBY	Hotel	63 SF	
RECEPTION & CONCIERGE	Hotel	529 SF	
BAGGAGE STORAGE	Hotel BOH	174 SF	
ENGINEERING OFFICE	Hotel BOH	128 SF	
ENGINEERING WORKSHOP	Hotel BOH	188 SF	
FIRE COMMAND	Hotel BOH	204 SF	
FRONT OFFICE	Hotel BOH	181 SF	
HOUSEKEEPING STORAGE	Hotel BOH	200 SF	
LAUNDRY BIN STORAGE	Hotel BOH	111 SF	
SECURITY	Hotel BOH	80 SF	
SOILED LINEN	Hotel BOH	171 SF	
LOADING DOCK	Vehicular Circulation	1,387 SF	
ELEV. # 1	Vertical Penetration	74 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
Level 1 Total NSF		14,066 SF	

Level 2 Room Schedule			
DATA CLOSET	Building Services	94 SF	
MECH.	Building Services	479 SF	
CORR.	Circulation	546 SF	
ELEV. LOBBY	Circulation	182 SF	
STAIR # 1	Circulation	173 SF	
STAIR # 2	Circulation	359 SF	
STAIR # 2	Circulation	138 SF	
VEST.	Circulation	54 SF	
VEST.	Circulation	137 SF	
CONFERENCE ROOM	Hotel BOH	340 SF	
CONTROLLER OFFICE	Hotel BOH	82 SF	
COPY	Hotel BOH	77 SF	
DIRECTOR OF SALES	Hotel BOH	133 SF	
GENERAL MANAGER	Hotel BOH	132 SF	
HR MANAGER	Hotel BOH	80 SF	
OPEN OFFICE ADMIN.	Hotel BOH	770 SF	
RECEPTION	Hotel BOH	200 SF	
STORAGE	Hotel BOH	67 SF	
STORAGE	Hotel BOH	32 SF	
ELEV. # 1	Vertical Penetration	74 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
LAUNDRY CHUTE	Vertical Penetration	32 SF	
Level 2 Mezzanine Total NSF		4,522 SF	

Level 10 Room Schedule			
BALCONY	Balcony, Patio, Pool Deck	581 SF	
ELEC./ DATA	Building Services	158 SF	
MECH.	Building Services	47 SF	
STORAGE	Building Services	59 SF	
TELECOM	Building Services	51 SF	
CORRIDOR	Circulation	367 SF	
CORRIDOR	Circulation	249 SF	
ELEV. LOBBY	Circulation	228 SF	
SERVICE CORRIDOR	Circulation	901 SF	
STAIR # 1	Circulation	190 SF	
STAIR # 2	Circulation	247 SF	
STAIR # 3	Circulation	163 SF	
VEST.	Circulation	116 SF	
VEST.	Food and Beverage BOH	41 SF	
VEST.	Circulation	61 SF	
BAR	Food and Beverage	173 SF	
MEETING SPACE/ ROOM SERVICE	Food and Beverage BOH	1,851 SF	
KITCHEN			
MEN'S RESTROOM	Hotel	442 SF	
WOMENS RESTROOM	Hotel	440 SF	
BALLROOM STORAGE	Hotel BOH	749 SF	
BALLROOM	Meeting Space	3,868 SF	
BOARDROOM	Meeting Space	605 SF	
MEETING ROOM A	Meeting Space	362 SF	
MEETING ROOM B	Meeting Space	421 SF	
MEETING ROOM C	Meeting Space	374 SF	
PRE-FUNCTION	Meeting Space	3,678 SF	
ELEV. # 1	Vertical Penetration	73 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
LAUNDRY CHUTE	Vertical Penetration	12 SF	
Level 10 Ballroom Total NSF		16,846 SF	

Level 11 Room Schedule			
MECH.	Building Services	386 SF	
MECH. ROOM	Building Services	320 SF	
TELECOM	Building Services	51 SF	
CORR.	Circulation	1,457 SF	
CORR.	Circulation	202 SF	
ELEV. LOBBY	Circulation	199 SF	
STAIR # 2	Circulation	247 SF	
STAIR # 2	Circulation	190 SF	
VEST.	Circulation	116 SF	
VEST.	Circulation	41 SF	
ADMINISTRATION OFFICE	Food and Beverage BOH	200 SF	
CHEF OFFICE	Food and Beverage BOH	106 SF	
CHEMICAL STORAGE	Food and Beverage BOH	31 SF	
CHINA GLASS SILVER STORAGE	Food and Beverage BOH	78 SF	
DRY STORAGE	Food and Beverage BOH	117 SF	
GM OFFICE	Food and Beverage BOH	82 SF	
LINEN STORAGE	Food and Beverage BOH	159 SF	
LIQUOR STORAGE	Food and Beverage BOH	150 SF	
BREAKROOM	Hotel BOH	432 SF	
CONFERENCE ROOM	Hotel BOH	174 SF	
HOTEL GENERAL STORAGE	Hotel BOH	615 SF	
HOUSEKEEPING	Hotel BOH	391 SF	
HOUSEKEEPING OFFICE	Hotel BOH	81 SF	
JC	Hotel BOH	46 SF	
MEN'S RESTROOM/ LOCKERS	Hotel BOH	366 SF	
MINI BAR STORAGE	Hotel BOH	105 SF	
MPOE/ MDF	Hotel BOH	194 SF	
OFFICE	Hotel BOH	203 SF	
OFFICE	Hotel BOH	111 SF	
SEATING	Hotel BOH	198 SF	
VEST.	Hotel BOH	32 SF	
WOMEN'S RESTROOM/ LOCKERS	Hotel BOH	364 SF	
ELEV. # 1	Vertical Penetration	73 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
LAUNDRY CHUTE	Vertical Penetration	12 SF	
Level 11 Ballroom Total NSF		7,873 SF	

Level 12 Room Schedule			
FITNESS PATIO	Balcony, Patio, Pool Deck	572 SF	
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	343 SF	
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	360 SF	
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	367 SF	
OUTDOOR POOL DECK	Balcony, Patio, Pool Deck	3,235 SF	
PATIO	Balcony, Patio, Pool Deck	257 SF	
ELECTRIC	Building Services	89 SF	
MECH.	Building Services	69 SF	
STAIR # 2	Building Services	253 SF	
TELECOM	Building Services	47 SF	
CORR.	Circulation	746 SF	
CORR.	Circulation	174 SF	
ELEV. LOBBY	Circulation	408 SF	
ELEV. LOBBY	Circulation	224 SF	
LOBBY	Circulation	672 SF	
STAIR # 1	Circulation	190 SF	
VEST.	Circulation	142 SF	
VEST.	Circulation	41 SF	
VEST.	Circulation	64 SF	
POOL F & B	Food and Beverage	889 SF	
REST.	Food and Beverage	57 SF	
REST.	Food and Beverage BOH	57 SF	
PREP	Food and Beverage BOH	103 SF	
CUSTOM SUITE	Guest Rooms	1,064 SF	
HOSPITALITY SUITE CONNECTOR	Guest Rooms	948 SF	
HOSPITALITY SUITE CONNECTOR	Guest Rooms	948 SF	
HOSPITALITY SUITE CONNECTOR	Guest Rooms	955 SF	
FITNESS	Hotel	1,265 SF	
ICE MACHINE	Hotel	48 SF	
REST.	Hotel	63 SF	
REST.	Hotel	63 SF	
UNISEX REST.	Hotel	54 SF	
HOSPITALITY STORAGE	Hotel BOH	307 SF	
POOL STORAGE	Hotel BOH	158 SF	
POOL	Pool / Water Feature	944 SF	
ELEV. # 1	Vertical Penetration	73 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
LAUNDRY CHUTE	Vertical Penetration	12 SF	
Level 12 Hotel Total NSF		16,603 SF	



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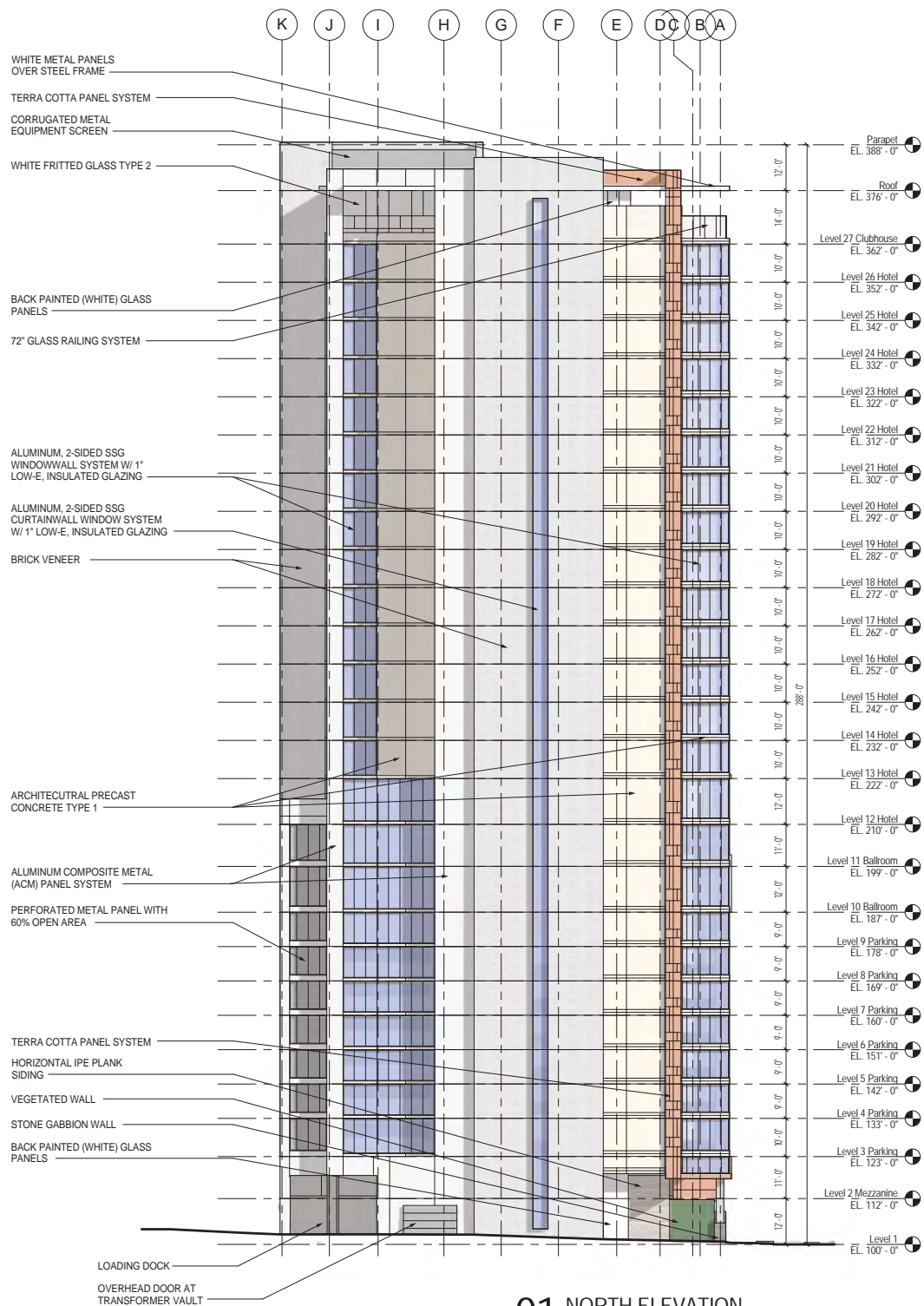
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ROOM SCHEDULE

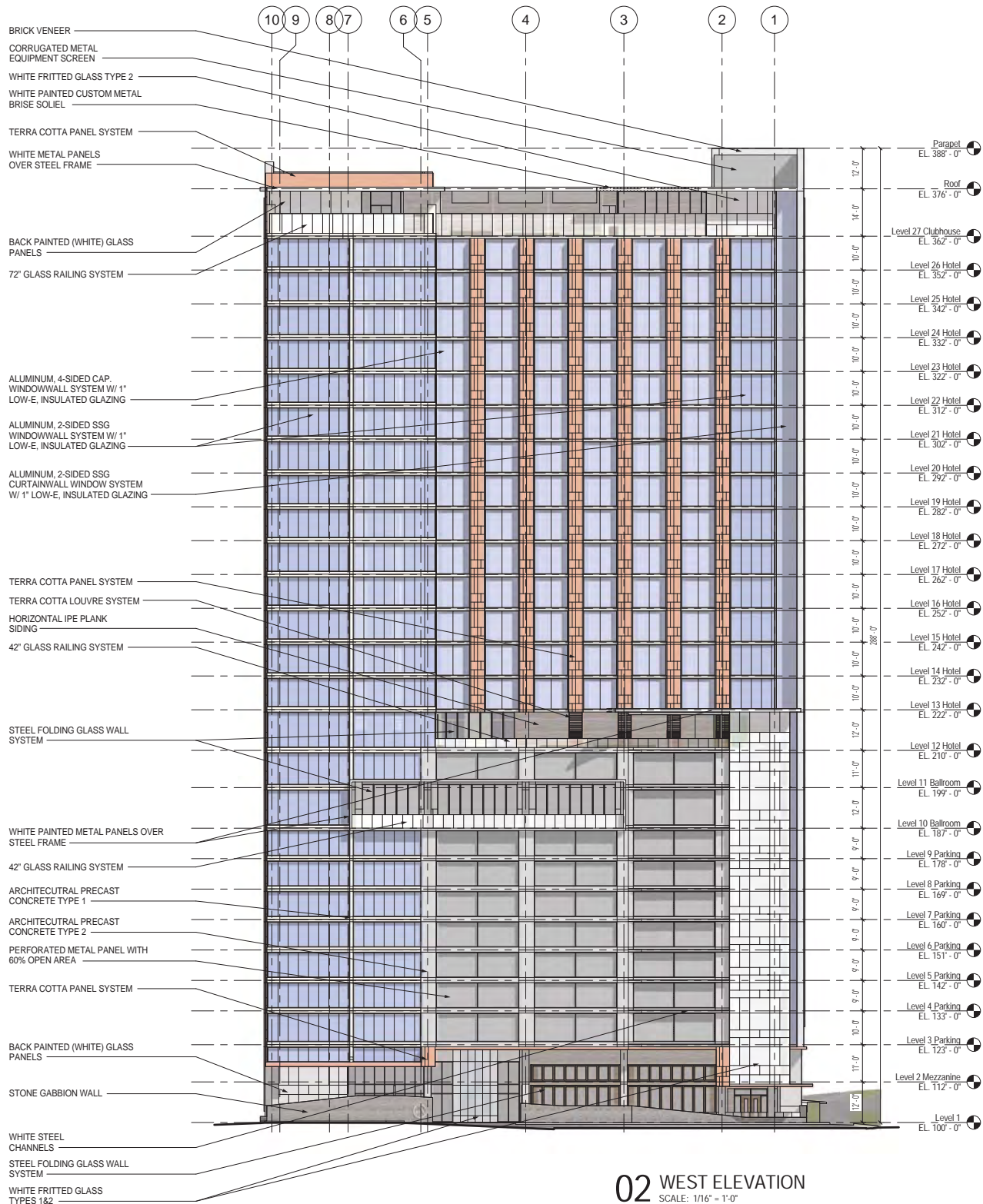
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01 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



02 WEST ELEVATION
SCALE: 1/16" = 1'-0"



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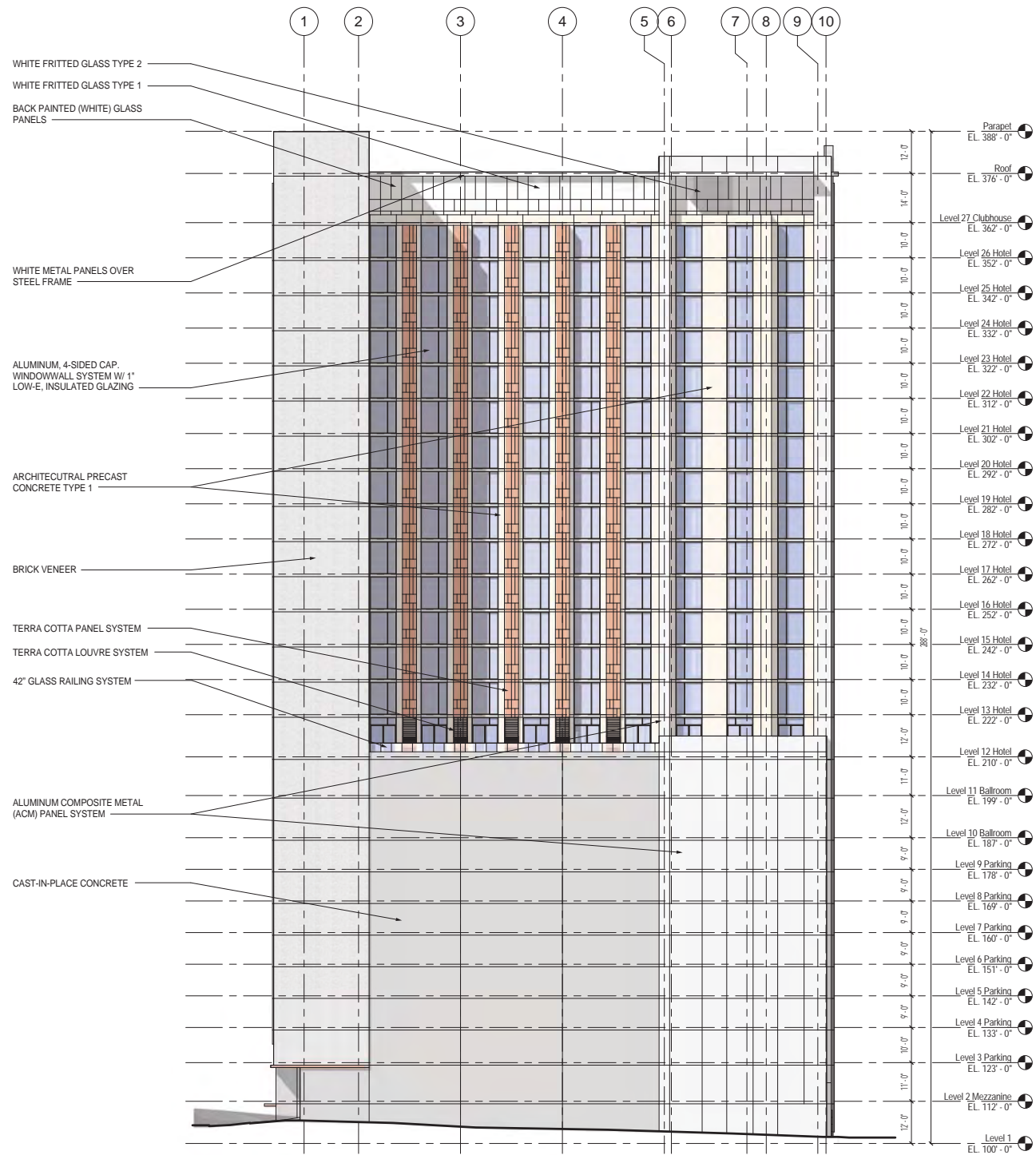
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project number 16022.100
date 04.15.2016
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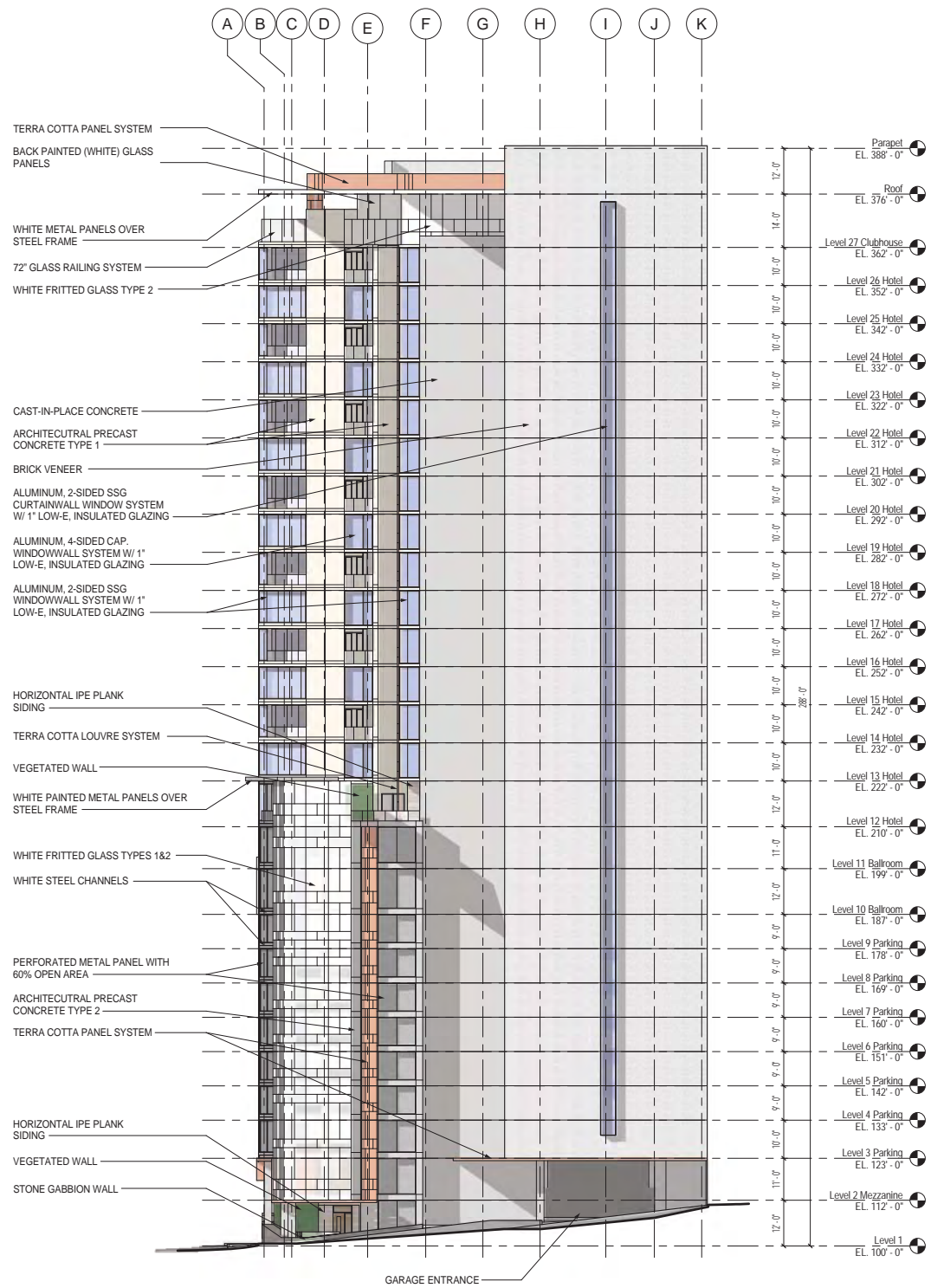
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plotted: 4/14/2016 10:07:01 AM



02 EAST ELEVATION
SCALE: 1/16" = 1'-0"



01 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



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Tel 512.687.0699 | Fax 512.687.1097
www.bokapowell.com

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Arch: Donald R. Powell, Jr. Reg. No.: 7206
Arch: Chris W. Barnes Reg. No.: 10147
Arch: John E. Orfield Reg. No.: 11164
Arch: R. Andrew Bennett Reg. No.: 18129

client
AUSTIN DEVERSORUM, LLC
4124 Buena Vista
Dallas, TX 75204
Contact: Craig Bull, 972.978.6911

civil engineer

structural engineer
THORNTON TOMASETTI
8750 North Central Expressway, Ste. 700
Dallas, TX 75231
Contact: John Aniol, 972.764.6240

m.e.p. engineer
BLUM CONSULTING ENGINEERS
8144 Walnut Hill Lane, Ste. 200
Dallas, TX 75231
Contact: Jake Musick, 214.373.8222

landscape
DWG
912B Congress Avenue
Austin, TX 78701
Contact: Daniel Woodroffe, 512.917.6040

interiors
WALDROP+NICHOLS STUDIO
8070 Park Lane, Ste. 250
Dallas, TX 75231
Contact: Dona Bianchi, 214.979.9050

project
12th and Red River Hotel
1201 Red River, Austin TX 78701

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revisions

title
EXTERIOR ELEVATION

project number 16022.100
date
sheet

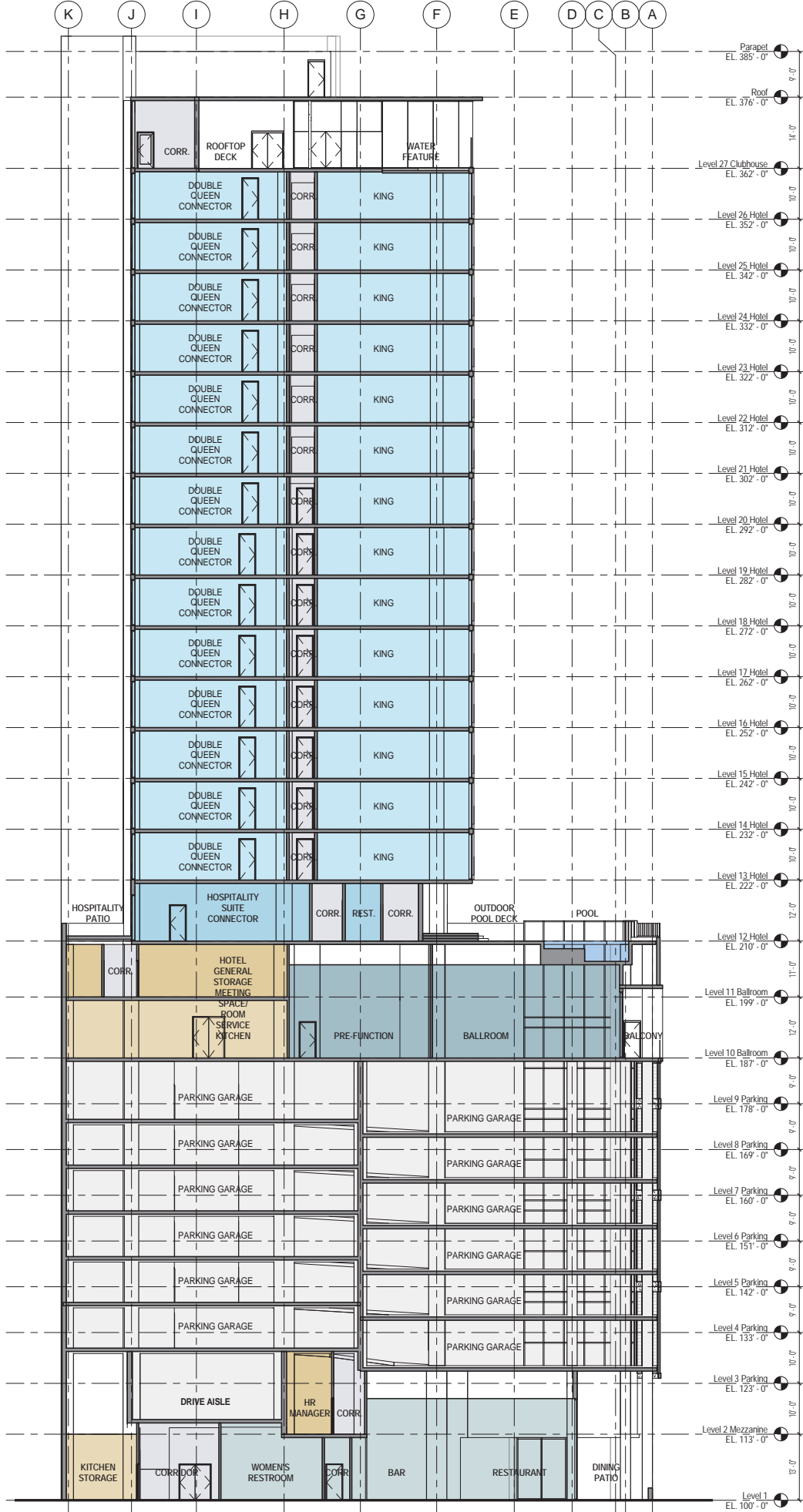
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plotted: 4/18/2016 12:07:30 PM



BUILDING SECTIONS THROUGH
02 CIRCULATION
SCALE: 3/32" = 1'-0"



01 BUILDING SECTION - SOUTH
SCALE: 3/32" = 1'-0"



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title
BUILDING SECTIONS

project number 16022.100
date 04.15.2016
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AERIAL VIEW



NORTHEAST VIEW



SOUTHEAST VIEW



SOUTHWEST VIEW



NORTHWEST VIEW



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IMAGES

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sheet

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ROOF DECK VIEW



AMENITY DECK VIEW



MAIN ENTRY VIEW



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project number 16022.100
date 04.15.2016
sheet

A5.31

plotted: 4/19/2016 8:52:46 AM



GLASS HOUSE VIEW



AMENITY POOL VIEW



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project number 16022.100
date 04.15.2016
sheet

A5.32



AUSTIN ENERGY GREEN BUILDING

Letter of Intent

This Letter of Intent demonstrates the intent of the project owner or an authorized representative to complete the necessary requirements to achieve an Austin Energy Green Building (AEGB) minimum **TWO** Star Rating for a development / project that requires this rating.

Project Name **Waterloo**

Project Address: **1201 Red River, Austin, Texas, 78701**

This Letter of Intent must be included with the Administrative Site Plan application for all projects requiring an AEGB Rating. Signing this Letter demonstrates knowledge of this requirement and the process necessary to achieve an AEGB Rating. For best results, meet with an AEGB representative early in the design process. To achieve an AEGB Rating:

- I. Submit a Participation Request or Completed "Project Team" and "Project Information" Tabs within the AEGB Rating Packet to an AEGB representative prior to or within Schematic Design Phase.
- II. Submit a completed and signed **AEGB Conditional Approval** with the Building Permit application. AEGB will issue a Conditional Approval upon satisfactory review of the project's construction documents, including plans, specifications, mechanical plans, Manual J calculation (applicable for multi-family and single family projects), and the AEGB Rating Packet.
- III. Schedule AEGB inspections (separate from City of Austin inspections) of the project with the AEGB representative
 - a) After interior mechanical equipment has been installed and prior to installation of insulation.
 - b) At substantial completion of construction.
- IV. Submit a completed and signed **AEGB Final Approval** to receive the Certificate of Occupancy for this project. AEGB will issue a Final Approval upon substantial completion of the project and satisfactory fulfillment of the AEGB Rating, as described in Section 7 of the Building Criteria Manual.

This Letter of Intent is entered into by the parties, acting through their duly authorized representatives, effective as of the later of two signature dates entered below:

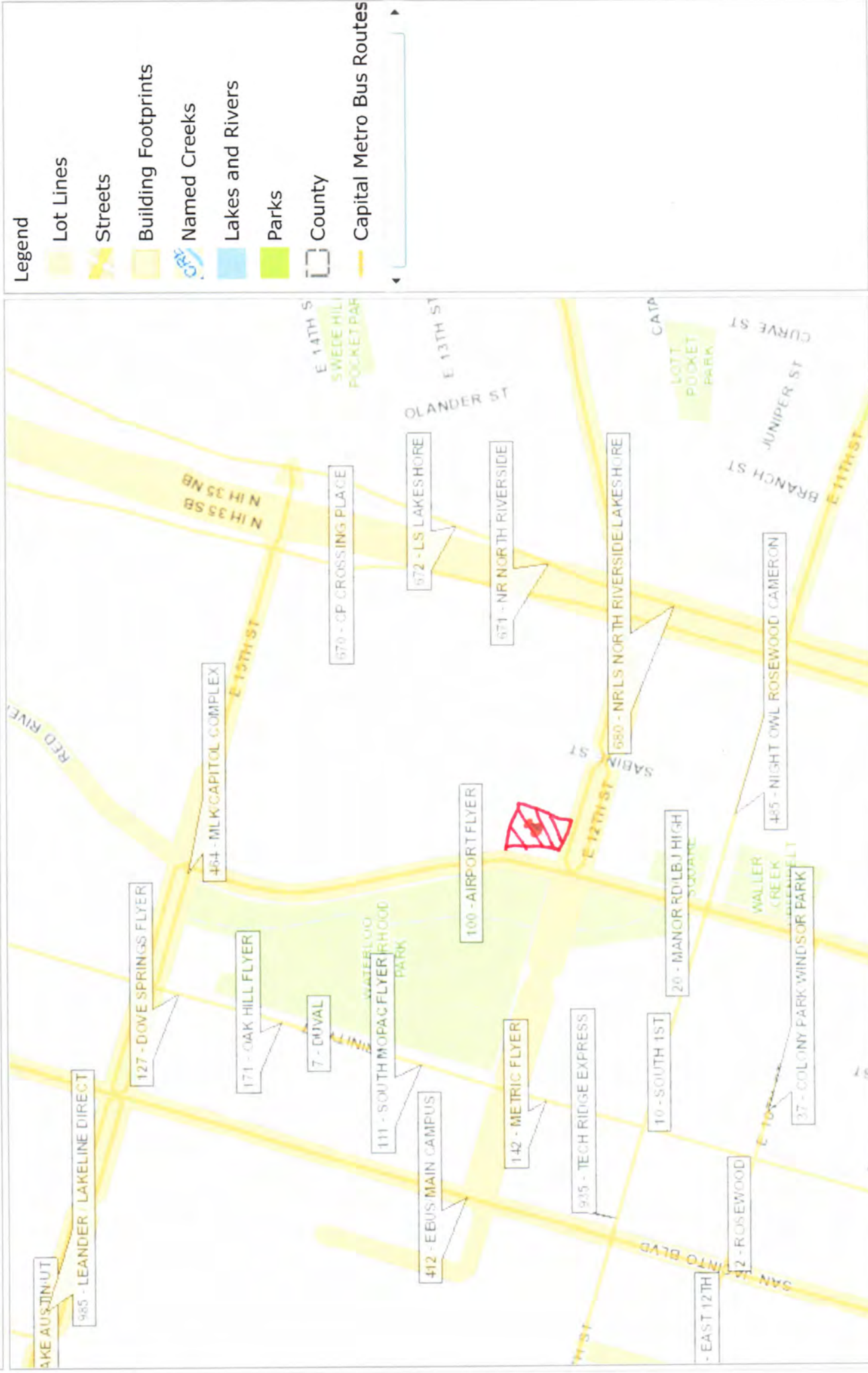
PARTICIPANT:

Name: Jim Wittliff
Signature: [Signature]
Title: President, Land Answers, Inc.
Phone Number: 512-416-6611
Date: 2/27/15

AUSTIN ENERGY GREEN BUILDING:

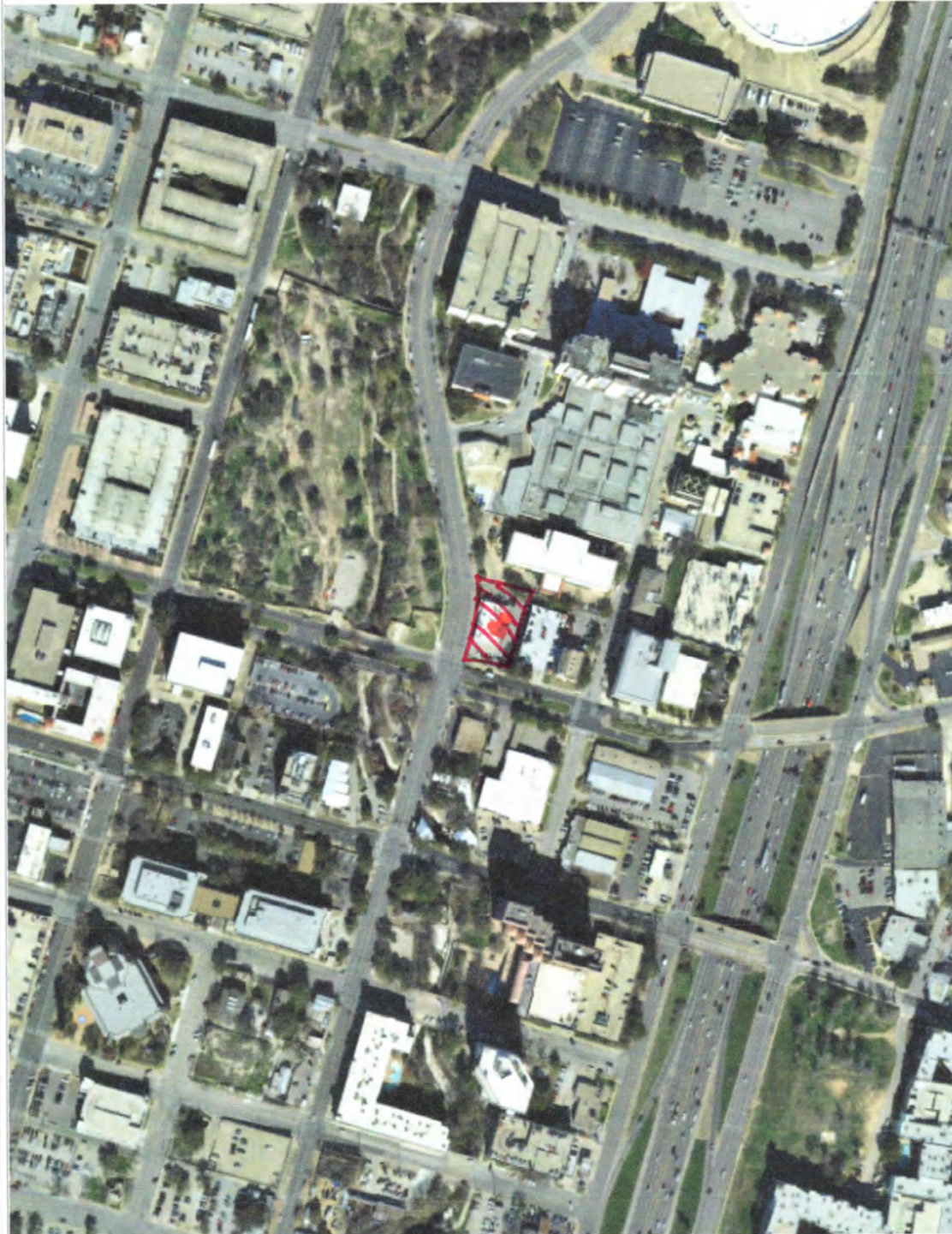
Name: Liana Kallivoka
Signature: [Signature]
Title: Project Manager
Phone Number: (512) 482-5406
Date: 3.2.2015

CITY OF AUSTIN DEVELOPMENT WEB MAP



THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.

CITY OF AUSTIN DEVELOPMENT WEB MAP



Legend

- Lot Lines
- Streets
- Building Footprints
- Named Creeks
- Lakes and Rivers
- Parks
- County

THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.

SITE PLAN FOR
WATERLOO PARK TOWER
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

SITE INFORMATION

LEGAL DESCRIPTION:

0.4520 ACRES or (19689 SQ. FT.) OUT OF THE SAMUEL GOCHER SURVEY, ABSTRACT NO. 316 IN TRAVIS COUNTY, TEXAS BEING ALL OF LOT 1, THE WEST 43 FEET OF LOT 2 AND THE ABANDONED PORTION RECORDED IN VOLUME 5388, PAGE 1230 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS ALL CONVEYED IN DEED TO ALAN WOOD NALLE IN DOCUMENT NUMBER 2005012146 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

OWNER:

ALLAN WOODS NALLE
54 SUNDOWN PKWY.
AUSTIN, TEXAS 78746
(512) 327-3565

ENGINEER:

REYNALDO CEDILLOS, P.E.
CEDILLOS & COMPANY
P.O. BOX 50362
AUSTIN, TEXAS 78763
(512) 306-1322

NOTES:

1. BEARING BASIS FOR THIS SURVEY IS TEXAS STATE PLANE COORDINATES (NAD83), CENTRAL TEXAS ZONE (4203).
2. THIS PROJECT IS LOCATED WITHIN THE WALLER CREEK WATERSHED, WHICH IS CLASSIFIED BY THE CITY OF AUSTIN AS URBAN. THE SITE IS NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
3. A PORTION OF THIS SITE IS WITHIN A DESIGNATED FLOOD ZONE "AE" AS SHOWN ON THE FEDERAL INSURANCE RATE MAP NO. 4845340465H DATED SEPTEMBER 26, 2008 FOR TRAVIS COUNTY, TEXAS.
4. ALL UNDERGROUND UTILITIES SHOWN HEREON ARE SCALED PER AUSTIN UTILITY MAPS.
5. THIS TRACT IS ZONED "CBD" (CENTRAL BUSINESS DISTRICT) BY THE CITY OF AUSTIN. ZONING REQUIREMENTS ARE AS FOLLOWS:

MINIMUM LOT SIZE	N/A	MINIMUM SETBACKS	N/A
MINIMUM LOT WIDTH	N/A		
MAXIMUM BUILDING COVERAGE	100%		
MAXIMUM IMPERVIOUS COVER	8:1		
MAXIMUM FLOOR AREA RATIO			
INTERIOR SIDE YARD	N/A		
REAR YARD	N/A		

6. THESE PLANS ARE COMPLETE, ACCURATE AND IN COMPLIANCE WITH CHAPTER 25-8, OF THE CITY OF AUSTIN DEVELOPMENT CODE.
7. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE DESIGN ENGINEER.
8. A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
9. ALL RETAINING WALLS GREATER THAN FOUR-FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND REQUIRE A SEPARATE BUILDING PERMIT PER THE INTERNATIONAL BUILDING CODE.
10. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEERS.
11. AN ELEVATION CERTIFICATE WILL BE REQUIRED PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY (CONTACT KATINA BOHRER 512-974-3558).
12. A FEE-IN-LIEU OF PARKLAND DEDICATION HAS BEEN PAID FOR 256 HOTEL ROOMS PER ORDINANCE 20160128-086.

SIX WEEKS TRAFFIC CONTROL NOTE:

THE OWNER/ REPRESENTATIVE HAS ELECTED TO DEFER THE TEMPORARY TRAFFIC CONTROL PLAN REVIEW UNTIL AFTER THE COMPLETION OF THE DEVELOPMENTAL REVIEW PROCESS AND FULLY UNDERSTANDS THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER/ REPRESENTATIVE FURTHER RECOGNIZES THAT A REVIEW FEE, AS PRESCRIBED BY THE MOST CURRENT VERSION OF THE CITY'S FEE ORDINANCE, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW.

THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION WHEN DEVELOPING FUTURE TRAFFIC CONTROL STRATEGIES:

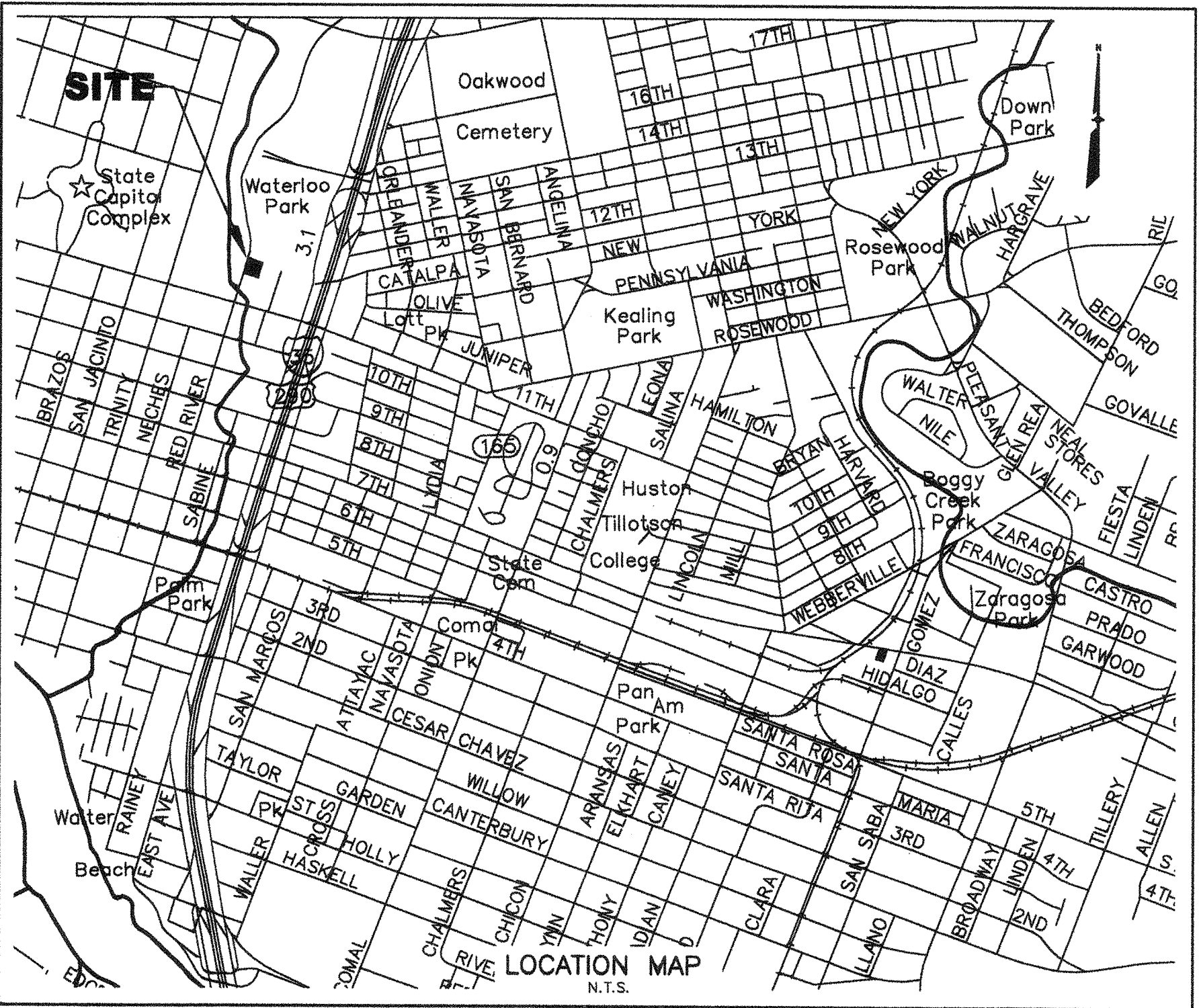
-PEDESTRIAN AND BICYCLE TRAFFIC ACCESS MUST BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE AUTHORIZED BY RIGHT OF WAY MANAGEMENT.

-NO LONG-TERM LANE CLOSURES WILL BE AUTHORIZED, UNLESS RIGHT OF WAY MANAGEMENT DETERMINES THAT ADEQUATE ACCOMMODATIONS HAVE BEEN MADE TO MINIMIZE TRAFFIC IMPACT.

-PROJECT SHOULD BE PHASED SO THAT UTILITY INSTALLATION MINIMALLY IMPACTS EXISTING OR TEMPORARY PEDESTRIAN FACILITIES.

PRE-CONSTRUCTION MEETING NOTE:

CONTRACTOR SHALL NOTIFY THE CITY OF AUSTIN - SITE AND SUBDIVISION DIVISION TO SUBMIT REQUIRED DOCUMENTATION, PAY CONSTRUCTION INSPECTION FEES AND TO SCHEDULE THE REQUIRED SITE AND SUBDIVISION PRE-CONSTRUCTION MEETING. THIS MEETING MUST BE HELD PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE ROW OR PUBLIC EASEMENTS. PLEASE GO TO <http://austintexas.gov/page/commercial-site-and-subdivision-inspections> FOR A LIST OF SUBMITTAL REQUIREMENTS, FEE CALCULATIONS AND TO ARRANGE PAYMENT OF INSPECTION FEES.



COA GRID: J-22
MAPSCO PAGE: 585X
LAND STATUS DETERMINATION
CASE #CB1-2012-0150

SUBMITTAL DATE: FEBRUARY 29, 2016

Cedillos & Company
Civil/Environmental Consulting Engineers

TEXAS FIRM REGISTRATION NO. F-9159
P.O. BOX 50362 - Austin, Texas - 78763
(512) 306-1322 (Phone)

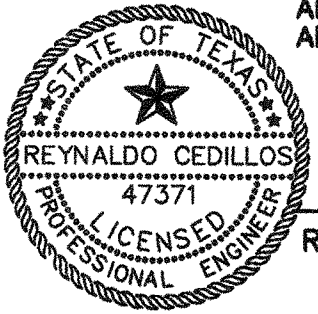
NOTE:
A PRE-CONSTRUCTION MEETING WITH THE CITY OF AUSTIN ENVIRONMENTAL INSPECTOR CANNOT TAKE PLACE UNTIL THE WALLER CREEK TUNNEL IS OPERATIONAL AND PROVIDING THE PRESCRIBED FLOODPLAIN REDUCTION BENEFITS (CONTACT KATINA BOHRER 512-974-3558)

DRAWING INDEX

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 GENERAL CONSTRUCTION NOTES
- 4 DEMOLITION PLAN
- 5 OVERALL SITE PLAN
- 6 EXISTING AND PROPOSED DRAINAGE CONDITIONS
- 7 GRADING PLAN
- 8 UTILITY PLAN
- 9 EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION PLAN
- 10 DETAILS
- 11 DETAILS
- 12 LANDSCAPE 1 OF 1 - GREAT STREETS LANDSCAPE PLAN
- 13 ARCHITECTURAL 1 OF 6 - SITE PLAN - GROUND LEVEL
- 14 ARCHITECTURAL 2 OF 6 - FLOOR PLAN - GARAGE LEVEL 1
- 15 ARCHITECTURAL 3 OF 6 - FLOOR PLAN - GARAGE LEVELS 2-6
- 16 ARCHITECTURAL 4 OF 6 - FLOOR PLAN - GARAGE LEVEL 7
- 17 ARCHITECTURAL 5 OF 6 - ELEVATIONS WEST & SOUTH
- 18 ARCHITECTURAL 6 OF 6 - ELEVATIONS EAST & NORTH

SUBMITTED FOR APPROVAL:

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.



REYNALDO CEDILLOS, P.E. #47371

REVIEWED BY:

DEVELOPMENT SERVICES DEPARTMENT DATE

DEVELOPMENT PERMIT NUMBER

INDUSTRIAL WASTE DATE

AUSTIN WATER DATE

FIRE DEPARTMENT DATE

APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

SITE PLAN APPROVAL

Sheet 1 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016

APPROVED BY COMMISSION ON: 25-5 of Chapter 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC):

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT

PROJECT EXPIRATION DATE: DWPZ DOZ

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: Zoning:

Rev. 1 Correction 1

Rev. 2 Correction 2

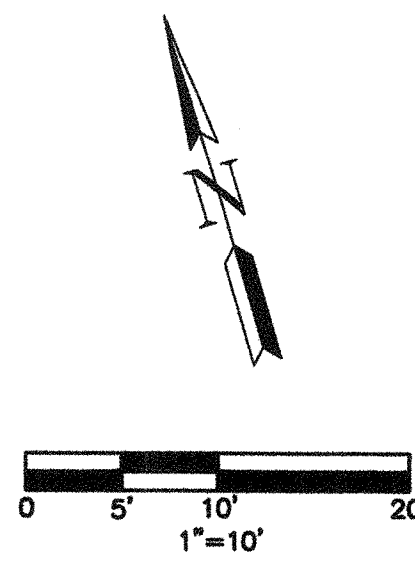
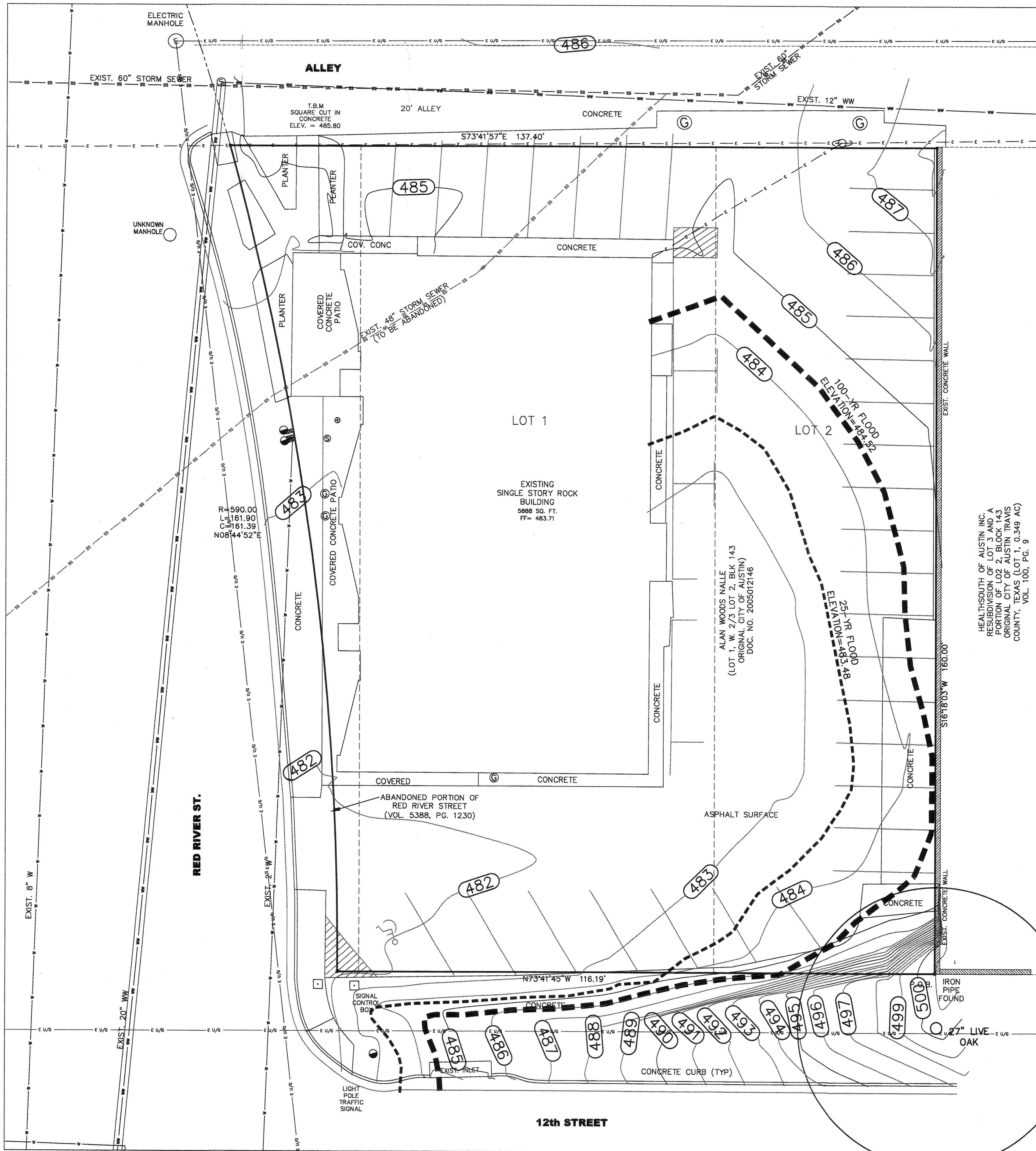
Rev. 3 Correction 3

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

REVISIONS / CORRECTIONS							
NO.	SHEETS	DESCRIPTION	NET CHANGE IN IMPERVIOUS COVER	TOTAL IMPERVIOUS COVER	PERCENT OF IMPERVIOUS COVER FOR THE ENTIRE SITE	APPROVED BY	DATE

BUILDING AREA (GROSS):	282,318 SF
BUILDING TYPE:	1A (HIGH RISE - 33 LEVELS)
FIRE FLOW DEMAND PER IFC:	1,500 GPM
AVAILABLE FIRE FLOW:	7,193 GPM
STATIC PRESSURE:	85 PSI
PRESSURE ZONE:	CENTRAL
BUILDING TO HAVE SPRINKLER SYSTEM	



SITE LEGEND	
---	BOUNDARY LINE
---	EXISTING BOUNDARY
---	EXISTING CONTOUR
---	EXIST. STORM SEWER MANHOLE
---	EXIST. WATERWORKS MANHOLE
---	EXIST. WATER VALVE
---	EXIST. FIRE HYDRANT
---	EXIST. WOODEN FENCE
---	PROP. WOODEN FENCE
---	DRAINAGE ELEVATION
---	PUBLIC UTILITY ELEVATION
---	PROPOSED FENCE
---	ACCESSIBILITY ROUTE

FLOOD PLAIN NOTE
FLOOD PLAIN WILL BE REMOVED FROM SITE UPON CONSTRUCTION OF WALLER CREEK TUNNEL.

CONTRACTOR WARNING
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ENTIRELY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD TO VERIFY LOCATIONS OF WATER, WASTEWATER AND STORM SEWER LINES. THE INFORMATION IS NOT SPECIFICALLY ACCURATE. THE CONTRACTOR MUST CONDUCT THE APPROPRIATE UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REVEAL THE EXIST FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE LOCATION OF PROPOSED UTILITIES AS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO BE CONSTRUCTED.

SITE PLAN APPROVAL		Sheet 2 of 18	
FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016			
APPROVED BY COMMISSION ON: under Section 112 of Chapter 25-5 of the Austin City Code.			
EXPIRATION DATE (25-5-81.LDC):			
CASE MANAGER: DONNA GALATI			
ZONING: CBD - CENTRAL BUILDING DISTRICT			
PROJECT EXPIRATION DATE: DWP2 DDZ			
(ORD.#970905-A)			
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT			
RELEASED FOR GENERAL COMPLIANCE: Zoning: _____			
Rev. 1 _____ Correction 1 _____			
Rev. 2 _____ Correction 2 _____			
Rev. 3 _____ Correction 3 _____			
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.			
SP-2016-0106C			

DATE: _____	
BY: _____	
DESCRIPTION: _____	
REVISION: _____	
Cedillos & Company Civil/Environmental Consulting Engineers TEXAS PROFESSIONAL ENGINEER NO. 41371 P.O. BOX 50362 - Austin, Texas 78763 (512) 306-1322 (Phone)	
SITE DEVELOPMENT PLANS WATERLOO PARK TOWER HOTEL 1201 RED RIVER STREET AUSTIN, TEXAS 78701	
EXISTING CONDITIONS	
DATE: _____	PROJECT: WATERLOO TOWER
DRAWING'S NAME: _____	
DESIGN: RC	CHECKED: RC
DRAWN: STAFF	APPROVED: RC
SHEET: 2 OF 18	

- CITY OF AUSTIN
GENERAL NOTES**
- FIRE DEPARTMENT:**
1. THE AUSTIN FIRE DEPARTMENT REQUIRES ASPHALT OR CONCRETE PAVEMENT PRIOR TO CONSTRUCTION AS AN "ALL-WEATHER" DRIVING SURFACE.
 2. HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE FOUR-INCH OPENING AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE FOUR-INCH OPENING MUST FACE THE DRIVEWAY OR STREET WITH THREE TO SIX FOOT SETBACKS FROM THE CURBLINE(S). NO OBSTRUCTION IS ALLOWED WITHIN THREE FEET OF ANY HYDRANT AND THE FOUR-INCH OPENING MUST BE TOTALLY UNOBSTRUCTED FROM THE STREET.
 3. TIMING OF INSTALLATION: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE DEVELOPER, SUCH FACILITIES SHALL INCLUDE ALL SURFACE ACCESS ROADS WHICH SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. WHEN ALTERNATIVE METHODS OF PROTECTING THE SITE, AS APPROVED BY THE FIRE CHIEF, ARE PROVIDED, THE ABOVE MAY BE MODIFIED OR WAIVED.
 4. ALL PERVIOUS/DECORATIVE PAWNS SHALL BE ENGINEERED AND INSTALLED FOR 80,000 LB. LIVE-VEHICLE LOADS. ANY PERVIOUS/DECORATIVE PAVING WITHIN 100 FEET OF ANY BUILDING MUST BE APPROVED BY THE FIRE DEPARTMENT.
 5. COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN TEN FEET OF OPENINGS, COMBUSTIBLE WALLS, OR COMBUSTIBLE EAVE LINES.
 6. FIRE LANS DESIGNATED ON SITE PLAN SHALL BE REGISTERED WITH THE CITY OF AUSTIN FIRE MARSHALL'S OFFICE AND INSPECTED FOR FINAL APPROVAL.
 7. VERTICAL CLEARANCE REQUIRED FOR FIRE APPARATUS IS 14 FEET FOR FULL WIDTH OF ACCESS DRIVE.

GENERAL CONSTRUCTION NOTES:

1. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
2. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
3. CONTRACTOR SHALL CALL THE ONE CALL CENTER (800-344-8377) FOR THE UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W.
4. CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS AND TRANSPORTATION DEPARTMENT PRIOR TO AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF ANY DRAINAGE FACILITY WITHIN A DRAINAGE EASEMENT OR STREET R.O.W. THE METHOD OF PLACEMENT AND COMPACTION OF BACKFILL IN THE CITY'S R.O.W. MUST BE APPROVED PRIOR TO THE START OF BACKFILL OPERATIONS.
5. FOR SLOPES OR TRENCHES GREATER THAN FIVE FEET IN DEPTH, ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
6. ALL SITE WORK MUST ALSO COMPLY WITH ENVIRONMENTAL REQUIREMENTS.
7. UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT, THE ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE, FILTRATION, AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMITY WITH THE APPROVED PLANS.
8. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED ON DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF AUSTIN OR TRAVIS COUNTY.
9. UPON THE COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION RELEASE BY THE CITY, THE DESIGN ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS.
10. PURSUANT TO 15-12-131 OF THE CITY CODE, THE CONTRACTOR MAY NOT BLOCK, DIRECT, IMPED, OR PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC, NOR PLACE A BARRICADE OR OTHER TRAFFIC CONTROL DEVICE IN A RIGHT-OF-WAY, WITHOUT FIRST OBTAINING A TEMPORARY USE OF RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORK AND TRANSPORTATION.
11. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT ARE REQUIRED TO COMPLY WITH SECTIONS 14-11-161 THROUGH 14-11-196 OF THE CITY CODE REGARDING EXCAVATION IN PUBLIC RIGHT-OF-WAY.

**ECM 3.5.4
MITIGATIVE MEASURES**

- D. SPECIAL CONSTRUCTION TECHNIQUES.

IN CONJUNCTION WITH REMEDIAL CARE, MITIGATION FOR TREES REMOVED MAY INCLUDE SPECIAL CONSTRUCTION TECHNIQUES NOT NORMALLY REQUIRED IN STANDARD SPECIFICATIONS. SOME OF THESE TECHNIQUES INCLUDE THE FOLLOWING:

PRIOR TO EXCAVATION WITHIN TREE DRIFLINES OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.

IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH FOUR (4) INCHES OF ORGANIC MULCH OR GRAVEL TO MINIMIZE SOIL COMPACTION.

PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.

WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER.

SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

**APPENDIX P-6
REMEDIAL TREE CARE NOTES
AERATION AND SUPPLEMENTAL NUTRIENT REQUIREMENTS
FOR TREES WITHIN CONSTRUCTION AREAS**

TREES WILL BE AERATED AND PROVIDED NUTRIENTS PRIOR TO ANY CONSTRUCTION ACTIVITY.

AS A CONDITION OF FINAL ACCEPTANCE OF THE SITE, AND IN CONFORMANCE WITH ECM SECTION 3.5.4 - ALL PRESERVED TREES WITHIN THE LIMITS OF CONSTRUCTION WILL BE AERATED AND PROVIDED WITH SUPPLEMENTAL NUTRIENTS PER THE FOLLOWING GUIDELINES. MACRO AND MICRONUTRIENTS ARE REQUIRED, HUMATE/NUTRIENT SOLUTIONS WITH MYCORRHIZAL COMPONENTS ARE HIGHLY RECOMMENDED. THESE SOLUTIONS ARE COMMONLY UTILIZED TO PROVIDE REMEDIATION FOR TREES AFFECTED BY CONSTRUCTION. MATERIALS AND METHODS ARE TO BE APPROVED BY THE CITY ARBORIST (974-1876) PRIOR TO APPLICATION. THE OWNER OR GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND INSURE COORDINATION WITH THE CITY ARBORIST (PH. 974-1876).

TREATMENT IS TO COMMENCE PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES AND AGAIN AFTER THE COMPLETION OF ALL CONSTRUCTION. AREAS TO BE TREATED INCLUDE THE ENTIRE CRITICAL ROOT ZONE OF TREES AS DEPICTED ON THE CITY APPROVED PLANS. TREES ARE TO BE AERATED BY WATER INJECTED INTO THE SOIL (UNDER PRESSURE VIA A SOIL PROBE AT 50"-125 PSI) OR BY OTHER METHOD AS APPROVED BY WDPR. THE PROPOSED NUTRIENT MIX SPECIFICATIONS NEED TO BE PROVIDED TO AND APPROVED BY THE CITY ARBORIST PRIOR TO APPLICATION (FAX # 974-3010). APPLICANTS MAY ALSO SPECIFY SOIL INJECTION OF DOGGETT X-L INJECTO 32-7-7 OR EQUIVALENT AT RECOMMENDED RATES. CONSTRUCTION WHICH WILL BE COMPLETED IN LESS THAN 90 DAYS SHOULD USE MATERIALS AT 1/2 RECOMMENDED RATES. ALTERNATIVE ORGANIC FERTILIZER MATERIALS ARE ACCEPTABLE WHEN APPROVED BY THE CITY ARBORIST. WITHIN 7 DAYS AFTER FERTILIZATION IS PERFORMED, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK PERFORMED TO THE CITY ARBORIST, WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPT., P.O. BOX 1068, AUSTIN, TX 78767.

- APPENDIX P-4 - EROSION CONTROL NOTES**
1. The contractor shall install erosion/sedimentation controls and transitional area protective landing prior to any site preparation work (clearing, grading or excavation).
 2. The placement of erosion/sedimentation controls and transitional area protective landing shall be in accordance with the Environmental Criteria Manual and the approved Erosion and Sedimentation Control Plan. The CCA E&S Plan shall be installed and used as the basis for a TRESSE required SWPPP. It is SWPPP is required, it shall be available for review by the City of Austin Environmental Inspector at all times during construction.
 3. The placement of transitional area protection fencing shall be in accordance with the City of Austin Standards for Tree and Natural Area Protection and the approved Grading/Tree and Natural Area Plan.
 4. A pre-construction conference shall be held on-site with the contractor, design Engineer, and Environmental Inspector after installation of the erosion/sedimentation controls and transitional area protection measures and prior to beginning any site preparation work. The contractor shall notify the Planning and Development Review Department, 224 W. 10th Street, Austin, TX 78701, of the meeting date. CCA approved E&S Plan and TRESSE drawings (if required) should be reviewed by CCA EV Inspector at this time.
 5. Any major changes to methods or locations of controls or fences from those shown on the approved plans will require a revision and must be approved by the reviewing Engineer, Environmental Inspector or City of Austin as appropriate. Major revisions must be approved by the Planning and Development Review Department. Minor changes to be made as field revisions to the Erosion and Sedimentation Control Plan may be made by the contractor. The contractor shall submit all changes to the City of Austin for review and approval. All changes shall be approved by the City of Austin before construction begins.
 6. The contractor is required to provide a Certified Professional in Erosion and Sedimentation Control (CPESC), Certified Erosion, Sediment and Stormwater Inspector (CESI) or Certified Inspector of Erosion and Sediment Controls (CIESC) to monitor and inspect the controls and fences at weekly intervals and after significant rainfall events to insure that they are functioning properly. The contractor shall submit a report to the City of Austin at the end of each week. The report shall include a description of the controls and fences, a list of any deficiencies, and a description of any corrective action taken. The report shall be submitted to the City of Austin at the end of each week. The report shall be submitted to the City of Austin at the end of each week.
 7. Prior to final acceptance by the City, final plans and necessary drawings submitted for temporary contractor access must be reviewed, accumulated sediment removed from the waterway, and the area restored to the original grade and revegetated. All final clearing shall be disposed of in approved spoil disposal sites.
 8. Temporary and Permanent Erosion Control: All disturbed areas shall be restored as noted below.

A. All disturbed areas to be revegetated are required to plant a minimum of one (1) native or local tree (see Standard Specifications Item No. 0101.50A). Do not add topsoil within the critical root zone of existing trees. The topsoil shall be composed of 4 parts of soil mixed with 1 part control, by volume. The control shall meet the definition of control as defined by T&EOT.

Specification item 161. The soil shall be locally available native soil that meets the following specifications:

Shall be free of trash, weeds, deleterious materials, rocks, and debris

• 100% shall pass through a 1.5-inch (38-mm) screen

• Soil to be a heavy material that meets the requirements of the table below in accordance with the USDA texture triangle. Soil from heavily eroded "red" areas is not an allowable soil. Textural composition shall meet the following criteria:

Textural Class	Minimum	Maximum
City	5%	50%
SLT	10%	50%
Sand	15%	67%

• An on-site engineer may propose use of onsite salvaged topsoil which does not meet the soil texture class required above by providing a soil analysis and a written statement to a certified professional in soil, landscape architecture, or agronomy indicating the onsite topsoil will provide an equivalent growth media and seedling establishment. If any, soil amendments are required.

• Soil amendments shall be worked into the existing onsite topsoil with a disc or tiller to create a well-drained medium.

Topsoil salvaged from the existing site may only be used, but it should meet the same standards as soil from the site standards.

- TEMPORARY VEGETATIVE STABILIZATION:**
1. From September 15 to March 1, seeding shall be with cool season cover crops (Wheat at 0.5 pounds per 1000 SF, Oats at 0.5 pounds per 1000 SF, or Rye at 0.5 pounds per 1000 SF) with a seed rate of 1.5 pounds per 1000 SF. Cool season cover crops are not permitted erosion control.
 2. From March 2 to September 14, seeding shall be with buffel Bermuda at a rate of 1 pound per 1000 SF.
- A. Fertilizer shall be water soluble with an analysis of 15-15-15 to be applied once at planting and once during the period of establishment at a rate of 1/2 pound per 1000 SF.
- B. Hydroseeding shall comply with Table 1, below.
- C. Temporary erosion control shall be installed when the grass has grown at least 1 1/2 inches high with 95% coverage, provided no bare spots larger than 16 square feet exist.
- D. When required, native grass seeding shall comply with requirements of the City of Austin Environmental Criteria Manual.

Table 1: Hydroseeding for Temporary Vegetative Stabilization

Material	Description	Longevity	Typical Applications	Application Rates
100% or any blend of cool season cover crops, and/or cotton plant seedlings (except no rough soil) (except 50% paper)	70% or greater White/Brown 30% or less Paper or Natural Fibers	0-3 months	Moderate slopes, both flat to 2:1	1500 to 2000 lbs per acre

- PERMANENT VEGETATIVE STABILIZATION:**
1. From September 15 to March 1, seeding is considered to be temporary stabilization only. If an erosion control is required, the contractor shall provide a written statement to a certified professional in soil, landscape architecture, or agronomy indicating the onsite topsoil will provide an equivalent growth media and seedling establishment. If any, soil amendments are required.
 2. From March 2 to September 14, seeding shall be with buffel Bermuda at a rate of 1 pound per 1000 SF with a purity of 95% with 95% germination. Bermuda grass is a warm season grass and is considered permanent erosion control.
- A. Fertilizer shall be a water soluble with an analysis of 15-15-15 to be applied once at planting and once during the period of establishment at a rate of 1/2 pound per 1000 SF.
- B. Hydroseeding shall comply with Table 2, below.
- C. The planted area shall be irrigated or sprinkled in a manner that will not erode the topsoil, but will sufficiently moisten the soil to a depth of six inches. The irrigation shall occur at daily intervals (minimum) during the first two months. Barefoot coverages of 15 inch or more shall postpone the watering schedule for one week.
- D. Permanent erosion control shall be acceptable when the grass has grown at least 16 inches high with 95% coverage, provided no bare spots larger than 16 square feet exist.
- E. When required, native grass seeding shall comply with requirements of the City of Austin Environmental Criteria Manual.

Table 2: Hydroseeding for Permanent Vegetative Stabilization

Material	Description	Longevity	Typical Applications	Application Rates
Blend of Fiber, Matrix (BFA)	80% Cynara dehydrated fibers 10% Polyurethane	6 months	On slopes up to 2:1 and erode soil conditions	2800 to 4200 lbs per acre (see manufacturers recommendations)
Fiber, Matrix (BFA)	60% Cynara dehydrated fibers 30% Polyurethane 10% Fertilizer	Up to 12 months	On slopes up to 2:1 and erode soil conditions	3000 to 4200 lbs per acre (see manufacturers recommendations)

10. Developer Information:
- Owner: _____ Phone # _____
- Address: _____
- Owner's representative responsible for plan alterations: _____
- Person or firm responsible for erosion/sedimentation control maintenance: _____
- Person or firm responsible for transitional area protection maintenance: _____
11. The contractor shall not dispose of surplus excavated material from the site without notifying the Planning and Development Review Department at 974-2278 at least 48 hours prior with the location and a copy of the permit issued to receive the material.

**AUSTIN WATER UTILITY
GENERAL CONSTRUCTION NOTES
APRIL 3, 2013**

AUSTIN WATER UTILITY GENERAL CONSTRUCTION NOTES - APRIL 3, 2013

1. THE CITY STANDARD CONSTRUCTION SPECIFICATIONS CURRENT AT THE TIME OF BIDDING SHALL COVER MATERIAL AND METHODS USED TO DO THIS WORK.
2. CONTRACTOR MUST OBTAIN A STREET CUT PERMIT FROM DEVELOPMENT SERVICES DEPARTMENT, RIGHT OF WAY MANAGEMENT DIVISION BEFORE BEGINNING CONSTRUCTION WITHIN THE RIGHT-OF-WAY OF A PUBLIC STREET OR ALLEY.
3. AT LEAST 48 HOURS BEFORE BEGINNING ANY WATER AND WASTEWATER CONSTRUCTION IN PUBLIC R.O.W. OR PUBLIC EASEMENT, THE CONTRACTOR SHALL NOTIFY DEVELOPMENT SERVICES DEPARTMENT INSPECTION OR WATER AND WASTEWATER UTILITY STAFF INSPECTION AT THE NUMBER INDICATED ON THE PLANS BY THE AMU PLAN REVIEWER.
4. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED, OR SUBJECT TO DAMAGE/CONNECTION BY THE CONSTRUCTION OPERATIONS. THE CITY OF AUSTIN WATER AND WASTEWATER MAINTENANCE RESPONSIBILITY ENDS AT R.O.W./EASEMENT LINES.
5. NO OTHER UTILITY SERVICE/APPURTENANCES SHALL BE PLACED NEAR THE PROPERTY LINE, OR OTHER ASSIGNED LOCATION DESIGNATED FOR WATER AND WASTEWATER UTILITY SERVICE THAT WOULD INTERFERE WITH THE WATER AND WASTEWATER SERVICES.
6. THE CITY SPECIFICATION ITEM 509S WILL BE REQUIRED AS A MINIMUM TRENCH SAFETY MEASURE.
7. ALL MATERIALS TESTS, INCLUDING SOIL DENSITY TESTS AND DETAILED SOIL ANALYSES, SHALL BE CONDUCTED BY AN INDEPENDENT LABORATORY AND FUNDED BY THE OWNER IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 1804S.04.
8. PRESSURE TAPS SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 510.3(24). THE CONTRACTOR SHALL PERFORM EXCAVATION ETC., AND SHALL FURNISH, INSTALL AND AIR TEST THE SLEEVE AND VALVE. WHEN CONTRACTORS MAKE THE TAP A CITY INSPECTOR MUST BE PRESENT AND 2 WORKING DAYS (MIN) NOTICE MUST BE GIVEN. "SIZE ON SIZE" TAPS WILL NOT BE PERMITTED, UNLESS, IT HAS BEEN DEMONSTRATED THAT A MORE ACCEPTABLE CONNECTION WOULD INVOLVE CONSIDERABLE HARDSHIP TO THE UTILITY SYSTEM. ALL TAPS SHALL BE MADE BY THE CITY OF AUSTIN APPROVED FULL CIRCLE-GASKETED CAST IRON OR DUCTILE IRON TAPPING SLEEVE. CONCRETE BLOCKING SHALL BE PLACED UNDER ALL TAP SLEEVES PRIOR TO MAKING THE PRESSURE TAP AND THE USE OF PRECAST BLOCKS MAY BE USED TO HOLD THE TAP IN ITS CORRECT POSITION PRIOR TO BLOCKING THE BLOCKING BEHIND AND UNDER THE TAP SHALL HAVE A MINIMUM OF 24 HOURS CURING TIME BEFORE THE VALVE CAN BE RE-OPENED FOR SERVICE FROM THAT TAP.
9. THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 510.3 (22).
10. ALL BRANCH CONNECTIONS SHALL HAVE THE VALVE BOLTED TO THE MAIN BY METHODS OF FLANGE OR SWIVEL TEES. FOSTER ADAPTERS MAY BE USED IN LIEU OF FLANGE OR SWIVEL TEES WHEN CALLED OUT ON THE PLANS BY THE DESIGN ENGINEER.

11. A). FIRE HYDRANTS SHALL BE SET IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 511S.4 B). FIRE HYDRANTS SHALL BE PAINTED FLTYN ALUMINUM OR EQUAL.
12. WATER LINE TESTING AND STERILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEMS 510.3 (27)-(28). FORCE MAIN PRESSURE TESTING SHALL BE CONDUCTED AND FALL UNDER THE SPECIFICATIONS AS WATER LINES (PRESSURE PIPE) OR AT THE PRESSURES SHOWN ON THE APPROVED PLANS.
13. ALL MATERIAL USED ON THIS PROJECT MUST BE LISTED ON THE STANDARD PRODUCTS LISTING. ANY MATERIAL NOT LISTED HAS TO GO THROUGH THE REVIEW OF THE STANDARDS COMMITTEE FOR REVIEW AND APPROVAL PRIOR TO START OF PROJECT. TESTING AND EVALUATION OF PRODUCTS ARE REQUIRED BEFORE APPROVAL WILL BE GIVEN ANY CONSIDERATION.

14. WHEN WATER SERVICES ARE DAMAGED AND THE SERVICE MATERIAL IS PE, THE LINE SHALL BE REPAIRED ONLY BY HEAT FUSION WELD OR REPLACED THE FULL LENGTH WITH TYPE K COPPER MATERIAL. ANY TIME PB IS DAMAGED OR TAMPERED WITH IN ANY WAY, THE SERVICE LINE SHALL BE REPLACED FULL LENGTH WITH TYPE K COPPER MATERIAL. NOTE: FULL LENGTH IS FROM CORPORATION STOP TO METER.
15. WHEN AN EXISTING WATERLINE SHUT OUT IS NECESSARY AND POSSIBLE, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR WHO WILL THEN NOTIFY THE AUSTIN WATER UTILITY DISPATCH AND THE AFFECTED CUSTOMERS A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE.
16. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR SO THAT HE CAN NOTIFY THE AUSTIN WATER UTILITY AT 972-0000 AT A MINIMUM OF 72 HOURS PRIOR TO RELOCATING ANY DOMESTIC OR FIRE DEMAND WATER METERS. THE CONTRACTOR SHALL CAREFULLY REMOVE ALL METERS AND METERS BOXES THAT ARE INDICATED TO BE RELOCATED OR SALVAGED. THE CONTRACTOR SHALL INSTALL THE REMOVED METER OR CITY PROVIDED METER AT THE NEW LOCATION INDICATED ON THE CONSTRUCTION PLANS.

17. ALL MANHOLES IN UNPAVED AREAS PROVIDING DIRECT ACCESS TO A WASTEWATER LINE SHALL BE WATERIGHT AND BEAR THE WORDING AND INSIGNIA FOR THE CITY OF AUSTIN.
18. THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES PRIOR TO STARTING ON-SITE UTILITY WORK.

19. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN DOES NOT REMOVE THESE RESPONSIBILITIES.
20. REVIEW BY THE AUSTIN WATER UTILITY APPLIES ONLY TO FACILITIES WITHIN PUBLIC STREETS OR PUBLIC UTILITY EASEMENTS. ALL OTHER WATER AND WASTEWATER FACILITIES INSIDE PRIVATE PROPERTY ARE UNDER THE JURISDICTION OF BUILDING INSPECTION.

21. ALL WATER AND WASTEWATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE SEPARATION DISTANCES INDICATED IN CHAPTER 280 - DRINKING WATER STANDARDS, AND CHAPTER 217 - DESIGN CRITERIA FOR SEWERAGE SYSTEMS, OF TECH. RULES.
22. CONTRACTORS' PERSONNEL THAT PERFORM BUTT FUSION AND ELECTROFUSION ON OR TO HDPE PIPE AND FITTINGS MUST HAVE CURRENT QUALIFICATION TRAINING CERTIFICATE ISSUED BY MCELROY OR COMPARABLE TRAINING PROGRAM.

23. SHOP DRAWINGS SHALL BE SUBMITTED FOR AMU APPROVAL FOR LARGE DIAMETER PRE-CAST MANHOLES, JUNCTION BOXES, WET WELLS, AND SIMILAR STRUCTURES. THE SHOP DRAWINGS SHALL INCLUDE FLOWLINE ELEVATIONS OF ALL INCOMING AND OUTGOING PIPES, ELEVATION OF TRANSITION FROM LARGE DIAMETER SECTIONS TO 48" ID SECTION, TOP OF MANHOLE ELEVATION, SURROUNDING GROUND ELEVATION, AS WELL AS SPECIAL CONSTRUCTION CONSIDERATIONS THAT ARE SPECIFIED IN THE CONTRACT DRAWINGS.
24. VALVE STEM EXTENSIONS SHALL CONSIST OF A SINGLE PIECE OF IRON ROD OF THE REQUIRED LENGTH WITH A SOCKET ON ONE END AND NUT ON THE OTHER.

25. ASBESTOS CONCRETE PIPE (AC PIPE) HAS BEEN INSTALLED IN THE PAST AS PART OF AUSTIN WATER UTILITY'S WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS. AUSTIN WATER UTILITY'S INFRASTRUCTURE INCLUDES AC PIPE THAT IS CURRENTLY IN SERVICE AS WELL AS AC PIPE THAT HAS BEEN ABANDONED AND IS NO LONGER IN SERVICE. RECORD INFORMATION MAY NOT BE COMPLETE FOR THE PROJECT. CONTRACTORS AND SUBCONTRACTORS MUST BE ALERT TO THE POSSIBLE PRESENCE OF AC PIPE WITHIN THE LIMITS OF THE PROJECT AND BE KNOWLEDGEABLE OF HOW TO IDENTIFY IT. DISTURBANCE, REMOVAL, OR CUTTING OF ASBESTOS CONTAINING PIPE IS TO BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF TEXAS ADMINISTRATIVE CODE 25, SECTION 15, ARTICLE 4477-3A AND 29 CFR 1926.101. CONTACT THE CITY OF AUSTIN ASBESTOS MANAGEMENT AT 512-974-7154 THIRTY (30) DAYS PRIOR TO THE PLANNED DISTURBANCE OF THE AC PIPE. ONLY STATE LICENSED PERSONNEL ARE PERMITTED TO DISTURB, REMOVE, TRANSPORT AND DISPOSE OF AC PIPE.

**CITY OF AUSTIN
STANDARD NOTES FOR TREE
& NATURAL AREA PROTECTION**

1. ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
2. PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
3. PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
4. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIFLINES.
5. PROTECTIVE FENCES SHALL SURROUND THE TREE OR GROUP OF TREES, AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIFLINE), OR, FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
 - (A) SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - (B) ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6" CUT OR FILL) OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST.
 - (C) WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - (D) OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
6. EXCEPTIONS TO INSTALLING FENCES AT TREE DRIFLINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - (A) WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEHIND THE AREA IN QUESTION.
 - (B) WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIFLINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE).
 - (C) WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
 - (D) WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, THE CITY ARBORIST AT PHONE #974-1876 TO DISCUSS ALTERNATIVES.

NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED.

DEVELOPER INFORMATION:

OWNER: ALLAN WOODS LALLE
54 SUNDOWN PKWY.
AUSTIN, TEXAS 78746
(512) 327-3565

OWNERS REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS:
REYNALDO CEDILLOS, P.E.
CEDILLOS & COMPANY
P.O. BOX 50362
AUSTIN, TEXAS 78763
(512) 308-1322

FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE:

CONTRACTOR

FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE:

CONTRACTOR

THE CONTRACTOR STAGING AREA WILL BE CONTAINED WITHIN THE LIMITS OF THE SITE AS INDICATED ON THE EROSION CONTROL PLAN.

7. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
8. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
9. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED IN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL. IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
10. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
11. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIFLINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
12. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (RIPPING OF BRANCHES, ETC.).
13. ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARD FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST).
14. DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORNANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

AUSTIN ENERGY NOTES

1. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENT CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
2. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC LINES AND EQUIPMENT. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICES TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
3. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF CENTER LINE OF THE PROPOSED OVERHEAD ELECTRIC FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION OF THIS PROJECT.
4. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRICAL SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.

**APPENDIX P-4
SEQUENCE OF CONSTRUCTION**

1. TEMPORARY EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED AS INDICATED ON THE APPROVED SITE PLAN OR SUBDIVISION CONSTRUCTION PLAN AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT IS REQUIRED TO BE POSTED ON THE SITE. INSTALL TREE PROTECTION AND INITIATE TREE MITIGATION MEASURES.
2. THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR MUST CONTACT THE WATERSHED PROTECTION DEPARTMENT, ENVIRONMENTAL INSPECTION, AT 512-974-2278, 72 HOURS PRIOR TO THE SCHEDULED DATE OF THE REQUIRED ON-SITE PRECONSTRUCTION MEETING.
3. THE ENVIRONMENTAL PROJECT MANAGER, AND/OR SITE SUPERVISOR, AND/OR DESIGNATED RESPONSIBLE PARTY, AND THE GENERAL CONTRACTOR WILL FOLLOW THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE REVISED, IF NEEDED, TO COMPLY WITH CITY INSPECTORS' DIRECTIVES, AND REVISED CONSTRUCTION SCHEDULE RELATIVE TO THE WATER QUALITY PLAN REQUIREMENTS AND THE EROSION PLAN.
4. ROUGH GRADE THE POND(S) AT 100% PROPOSED CAPACITY. EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUST BE CONSTRUCTED PRIOR TO DEVELOPMENT OF EMBANKMENT OR EXCAVATION THAT LEADS TO PONDING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A PUMP PIT OUTLET AND AN EMERGENCY SPILLWAY MEETING THE REQUIREMENTS OF THE DRAINAGE CRITERIA MANUAL AND/OR THE ENVIRONMENTAL CRITERIA MANUAL AS REQUIRED. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL INSTALLATION OF THE PERMANENT WATER QUALITY POND(S).
5. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE.
6. BEGIN SITE CLEARING/CONSTRUCTION (OR DEMOLITION) ACTIVITIES.
7. IN THE BARTON SPRINGS ZONE, THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR WILL SCHEDULE A MID-CONSTRUCTION CONFERENCE TO COORDINATE CHANGES IN THE CONSTRUCTION SCHEDULE AND EVALUATE EFFECTIVENESS OF THE EROSION CONTROL PLAN AFTER POSSIBLE CONSTRUCTION ALTERATIONS TO THE SITE. PARTICIPANTS SHALL INCLUDE THE CITY INSPECTOR, PROJECT ENGINEER, GENERAL CONTRACTOR AND ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR. THE ANTICIPATED COMPLETION DATE AND FINAL CONSTRUCTION SEQUENCE AND INSPECTION SCHEDULE WILL BE COORDINATED WITH THE APPROPRIATE CITY INSPECTOR.
8. PERMANENT WATER QUALITY PONDS OR CONTROLS WILL BE CLEANED OUT AND FILTER MEDIA WILL BE INSTALLED PRIOR TO CONCURRENTLY WITH REVEGETATION OF SITE.
9. COMPLETE CONSTRUCTION AND START REVEGETATION OF THE SITE AND INSTALLATION OF LANDSCAPING.
10. UPON COMPLETION OF THE SITE CONSTRUCTION AND REVEGETATION OF A PROJECT SITE, THE DESIGN ENGINEER SHALL SUBMIT AN ENGINEER'S LETTER OF CONCURRENCE TO THE DEVELOPMENT SERVICES DEPARTMENT INDICATING THAT CONSTRUCTION, INCLUDING REVEGETATION, IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
11. UPON COMPLETION OF LANDSCAPE INSTALLATION OF A PROJECT SITE, THE LANDSCAPE ARCHITECT SHALL SUBMIT A LETTER OF CONCURRENCE TO THE DEVELOPMENT SERVICES DEPARTMENT INDICATING THAT THE REQUIRED LANDSCAPING IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
12. AFTER A FINAL INSPECTION HAS BEEN CONDUCTED BY THE CITY INSPECTOR AND WITH APPROVAL FROM THE CITY INSPECTOR, REMOVE THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND COMPLETE ANY NECESSARY FINAL REVEGETATION RESULTING FROM REMOVAL OF THE CONTROLS. CONDUCT ANY MAINTENANCE AND REHABILITATION OF THE WATER QUALITY PONDS OR CONTROLS.

SITE PLAN APPROVAL

Sheet 3 of 18

FILE NUMBER: **SP-2016-0106C** APPLICATION DATE: **FEB. 29, 2016**

APPROVED BY COMMISSION ON: _____

Under Section **112** of Chapter **25-5** of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC): _____

CASE MANAGER: **DONNA GALATI**

ZONING: **CBD - CENTRAL BUILDING DISTRICT**

PROJECT EXPIRATION DATE: **DWP2** DOZ _____

(ORD.#97095-A)

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required) are to be approved prior to the Project Expiration Date.

SP-2016-0106C

DATE: _____ BY: _____ DESCRIPTION: _____ REVISION: _____

12/17

CITY OF AUSTIN

Cedillos & Company
Civil/Environmental Consulting Engineers
TEXAS PROFESSIONAL REGISTRATION NO. F-71939
P.O. BOX 50362 - Austin, Texas - 78763
(512) 308-1322 (Phone)

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

GENERAL CONSTRUCTION NOTES

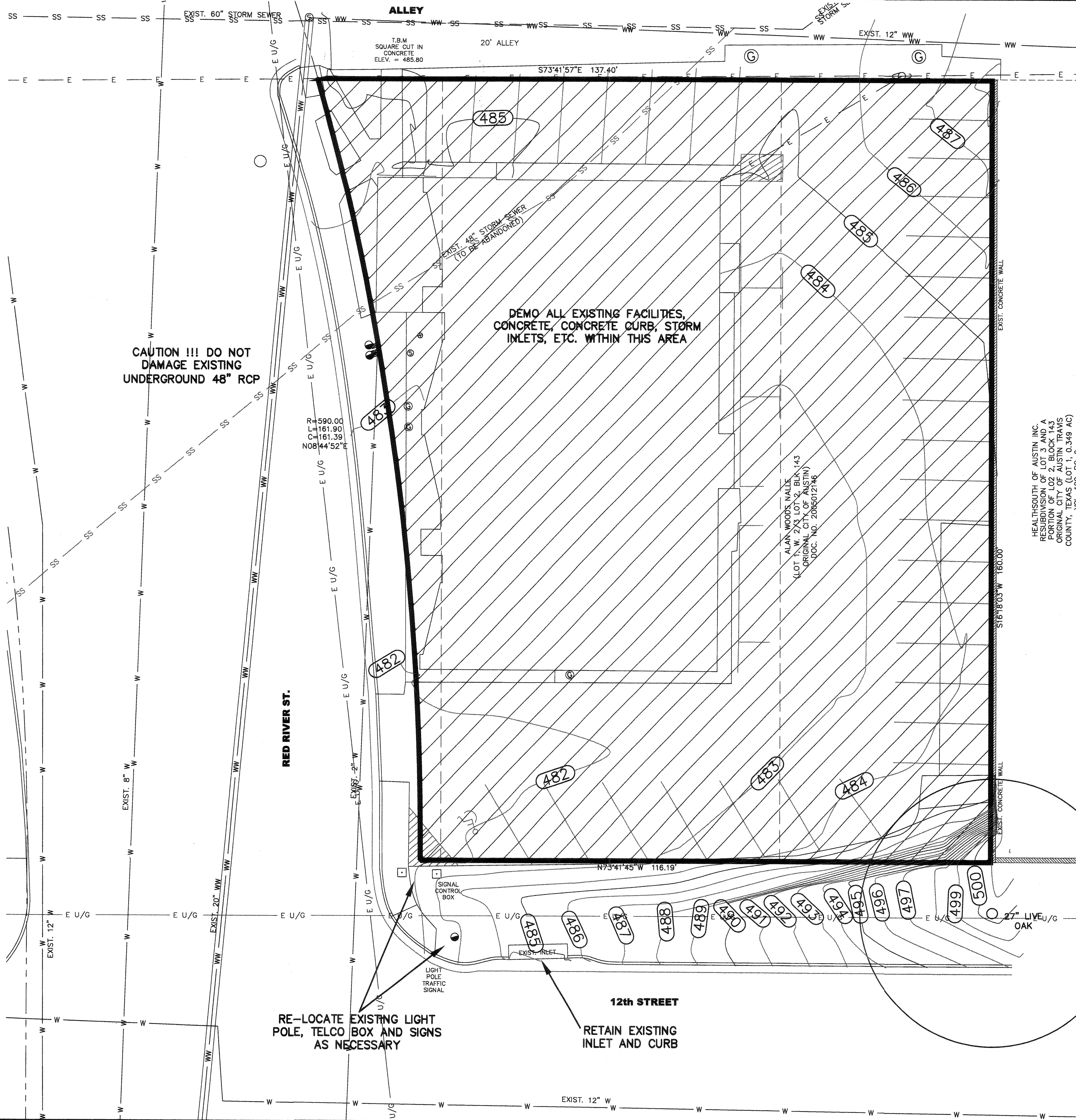
DATE: _____ PROJECT: **WATERLOO TOWER**

DRAWING'S NAME: _____

DESIGN: **RC** CHECKED: **RC**

DRAWN: **STAFF** APPROVED: **RC**

SHEET: **3** OF **18**



SITE LEGEND

- BOUNDARY LINE
- EXISTING BOUNDARY
- EXISTING CONTOUR
- EXIST. STORM SEWER MANHOLE
- EXIST. WATERWATER MANHOLE
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. WOODS FENCE
- PROP. HANDICAP SPACE
- CONCRETE EXISTENCE
- PUBLIC UTILITY EXISTENCE
- PROPOSED FENCE
- ACCESSIBILITY ROUTE

0 5' 10' 20'
1"=10'

- NOTES:**
1. BOUNDARY AND EXISTING FACILITIES INFORMATION TAKEN FROM SURVEY OF SITE CREATED BY CRICHTON AND ASSOC. SURVEYING AND PROVIDED BY THE OWNER.
 2. REMOVAL OF EXISTING NATURAL GAS METERS AND CORRESPONDING REMEDIATION TO BE ACCOMPLISHED PRIOR TO REMAINING SITE DEMOLITION.
 3. ALL MATERIALS REMOVED FROM SITE TO BE DISPOSED OF IN A MANNER APPROVED BY THE ENVIRONMENTAL INSPECTOR.
 4. DAMAGE TO STRUCTURES AND ITEMS TO REMAIN SHALL BE CONSTRUCTED AND/OR REPLACED AT CONTRACTOR'S EXPENSE.
 5. CONTRACTOR SHALL NOTE THAT THERE ARE EXISTING UTILITIES ON THE SITE THAT MAY OR MAY NOT BE ACTIVE. COORDINATION WITH ALL UTILITY PROVIDERS SHALL BE PERFORMED PRIOR TO THE START OF WORK.
 6. FOR SIDEWALK CLOSURES AND AS NEEDED USE COA DETAIL 804S-1, 4 OF 9. FOR DRIVEWAY AND SIDEWALK ALONG E. 12th STREET USE COA DETAIL 804S-1, 1 OF 9.
 7. A PRE-CONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.

PROPOSED AREA TO BE DEMOLISHED PRIOR TO CONSTRUCTION

PROPOSED AREA TO BE RETAINED

CONTRACTOR WARNING

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS IS BASED ENTIRELY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD TO VERIFY LOCATIONS OF WATER, WATERWATER AND STORM SEWER LINES. THE INFORMATION IS NOT SPECIFICALLY ACCURATE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE LOCATION OF PROPOSED UTILITIES AS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO BE CONSTRUCTED.

SITE PLAN APPROVAL Sheet 4 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016

APPROVED BY COMMISSION ON: _____

under Section 112 of Chapter 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC): _____

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT

PROJECT EXPIRATION DATE: _____ DDZ _____

(ORD.#970905-A): _____

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

DATE: _____ BY: _____

REVISION

Cedillos & Company
Civil/Environmental Consulting Engineers
TEXAS FIRM REGISTRATION NO. F-9159
P.O. BOX 60389 - Austin, Texas 78763
(512) 366-1322 (Primary)

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

DEMOLITION PLAN

DATE: _____

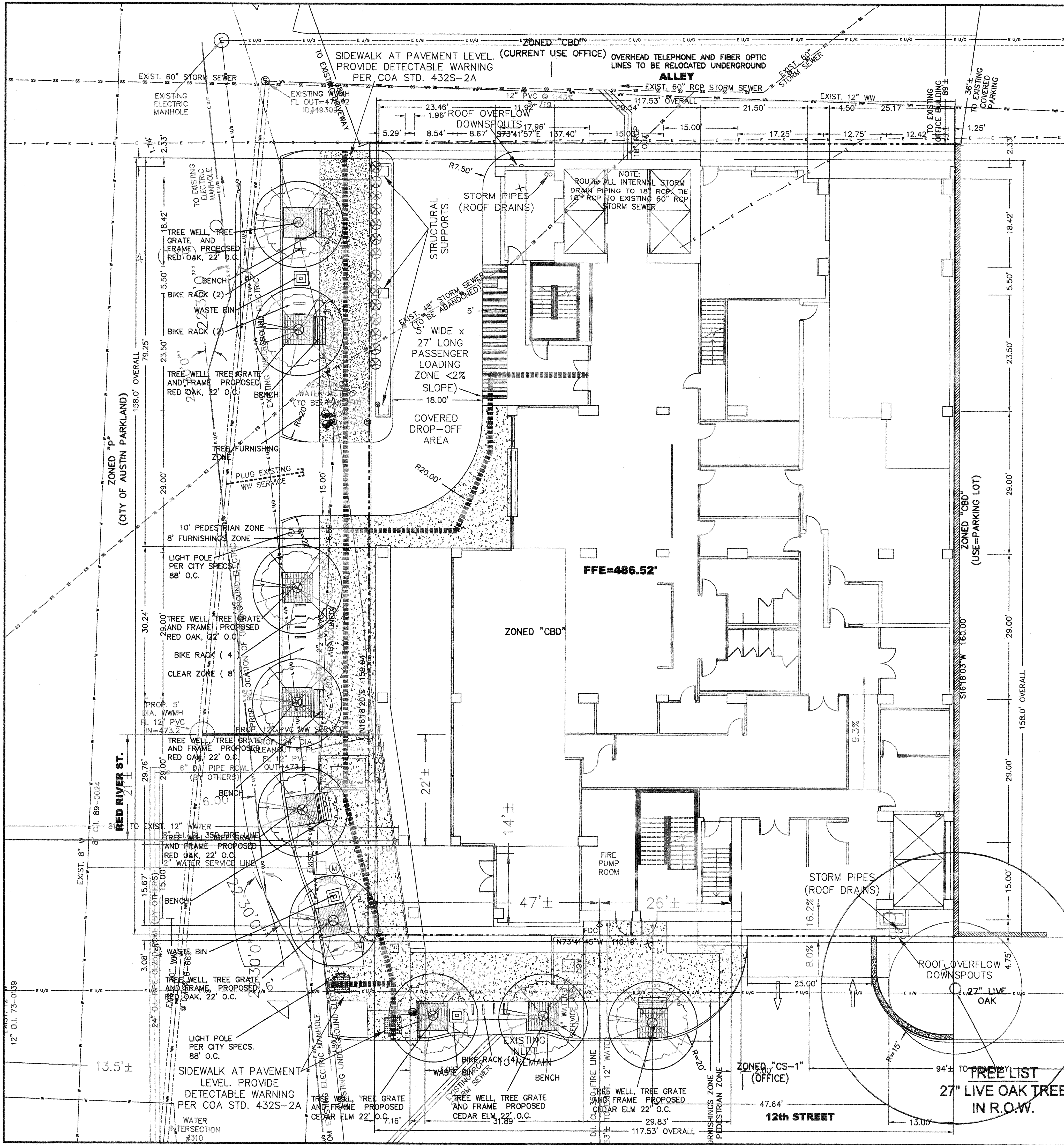
PROJECT: WATERLOO TOWER

DRAWING'S NAME: _____

DESIGN: RC CHECKED: RC

DRAWN: STAFF APPROVED: RC

SHEET: **4 OF 18**



SITE NOTES:

- (RESERVED)
- (RESERVED)
- COMPLIANCE WITH BUILDING DESIGN STANDARDS, ARTICLE 3 OF SUB-CHAPTER E, IS REQUIRED, AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW.
- A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
- FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A R.O.W. EXCAVATION PERMIT IS REQUIRED.
- SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP. ACCESSIBLE PARKING MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
- EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE RESERVED OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE GROUND SO THAT THEY CANNOT BE OBTAINED BY A VEHICLE PARKED IN THE SPACE.
- EACH COMPACT PARKING SPACE/AISLE WILL BE SIGNED "SMALL CAR ONLY".
- WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
- FIRE LANES SHALL BE PAINTED RED AND LABELED "FIRE LANE" "NO PARKING ZONE".
- YARDS, FENCES, VEGETATIVE SCREENING OR BERMS SHALL BE PROVIDED TO SCREEN ADJACENT SF-3 OR MORE RESTRICTIVE RESIDENTIAL DISTRICTS FROM VIEWS OF OFF-STREET PARKING AREAS, MECHANICAL EQUIPMENT, STORAGE AREAS FOR REFUSE COLLECTION (SECTION 23-2-1066).
- SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
- (OMITTED)
- EACH COMPACT PARKING SPACE/AISLE SHALL BE SIGNED "SMALL CAR ONLY."
- COMPLIANCE WITH GREEN BUILDING STANDARDS OF ONE STAR IS REQUIRED FOR ALL BUILDINGS CONSTRUCTED ON THIS SITE.
- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
- ALL SIGNS MUST COMPLY WITH THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-10).
- ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
- ALL EXISTING STRUCTURES SHOWN TO BE REMOVED WILL REQUIRE A DEMOLITION PERMIT FROM THE CITY OF AUSTIN WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT.
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E.2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
- SURFACE MATERIAL FOR ALL PARKING AND CIRCULATION SURFACES WILL BE CONCRETE.

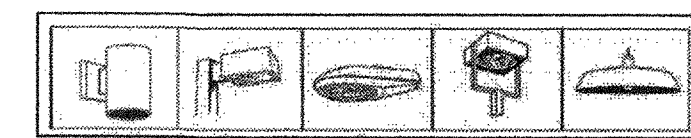


FIGURE 42/SECTION 2.5

TOTAL BUILDING HEIGHT IS 33 STORIES @ 371.2 FEET.
MAXIMUM ELEVATION IS 854.7 FEET ABOVE SEA LEVEL.

BUILDING SUMMARY

Floor Level	Assumed Floor Elevation	Floor to Floor	Parking Count	Hotel Rooms Area	Hotel Rooms	Condo Units	Common Area	Restaurant / Bar	Ballroom / Meeting	Circulation Area	Vertical Circulation	Parking Area	Gross Building Area
T.O. Parapet	854.69	0											
Level 33 Roof Deck	848.69	6					1,387			2,500	1,154	479	3,844
Level 32 Roof Deck	842.69	6											
Level 31 Condos	836.69	6		8,830	0	4	891			2,894	2,894	479	7,095
Level 30 Condos	830.69	6		8,830	0	4	891			2,894	2,894	479	7,095
Level 29 Condos	824.69	6		8,830	0	4	891			2,894	2,894	479	7,095
Level 28 Condos	818.69	6		8,830	0	4	891			2,894	2,894	479	7,095
Level 27 Hotel	812.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 26 Hotel	806.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 25 Hotel	800.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 24 Hotel	794.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 23 Hotel	788.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 22 Hotel	782.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 21 Hotel	776.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 20 Hotel	770.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 19 Hotel	764.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 18 Hotel	758.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 17 Hotel	752.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 16 Hotel	746.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 15 Hotel	740.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 14 Hotel	734.69	6		8,830	17	0	891			2,894	2,894	479	12,063
Level 13 Amenity Deck	728.69	6		4,107	4	0	4,319			2,564	2,564	479	10,990
Level 12 Ballroom Mezzanine	722.69	6		5,641	0	0	5,641			2,856	2,856	479	8,497
Level 11 Ballroom	716.69	6		5,641	0	0	5,641			2,856	2,856	479	8,497
Level 10 Parking	710.69	6	11									479	13,456
Level 9 Parking	704.69	6	42									479	17,639
Level 8 Parking	698.69	6	42									479	17,639
Level 7 Parking	692.69	6	42									479	17,639
Level 6 Parking	686.69	6	42									479	17,639
Level 5 Parking	680.69	6	42									479	17,639
Level 4 Parking	674.69	6	42									479	17,639
Level 3 Parking	668.69	6	37									479	17,319
Level 2 Mezzanine	662.69	6					3,462			2,453	2,453	479	5,915
Level 1 Floor Plan	656.69	6					5,514	5,233		1,636	1,636	479	12,862
TOTALS			371.2	300	165,639	256	28	43,141	11,479	6,119	52,645	15,328	282,320
													15.00

EXISTING IMPERVIOUS COVER
BUILDING 6,737 SQ. FT.
PAVING 11,021 SQ. FT.
SIDEWALK 1,065 SQ. FT.
TOTAL 18,823 SQ. FT.
LOT AREA = 18,823 SQ. FT.
EXISTING IMPERVIOUS COVER = 100%

PROPOSED IMPERVIOUS COVER
BUILDING 18,823 SQ. FT.
TOTAL 18,823 SQ. FT.
LOT AREA = 18,823 SQ. FT.
PROPOSED IMPERVIOUS COVER = 100%

SITE PLAN APPROVAL Sheet 5 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON: _____
under Section 112 of Chapter 25-5 of the Austin City Code.
EXPIRATION DATE (25-5-81, LDC): _____
CASE MANAGER: DONNA GALATI
ZONING: CBD - CENTRAL BUILDING DISTRICT
PROJECT EXPIRATION DATE: DWP2 DOZ
(ORD #970905-A)
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT
RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

DATE: _____

BY: _____

DESCRIPTION: _____

REVISION: _____

Cedillos & Company
Civil/Environmental Consulting Engineers
TEXAS PROFESSIONAL ENGINEERING NO. 12711
P.O. BOX 60052 - Austin, Texas - 78763
(512) 308-1352 (FAX)

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

OVERALL SITE PLAN

DATE: _____

PROJECT: **WATERLOO TOWER**

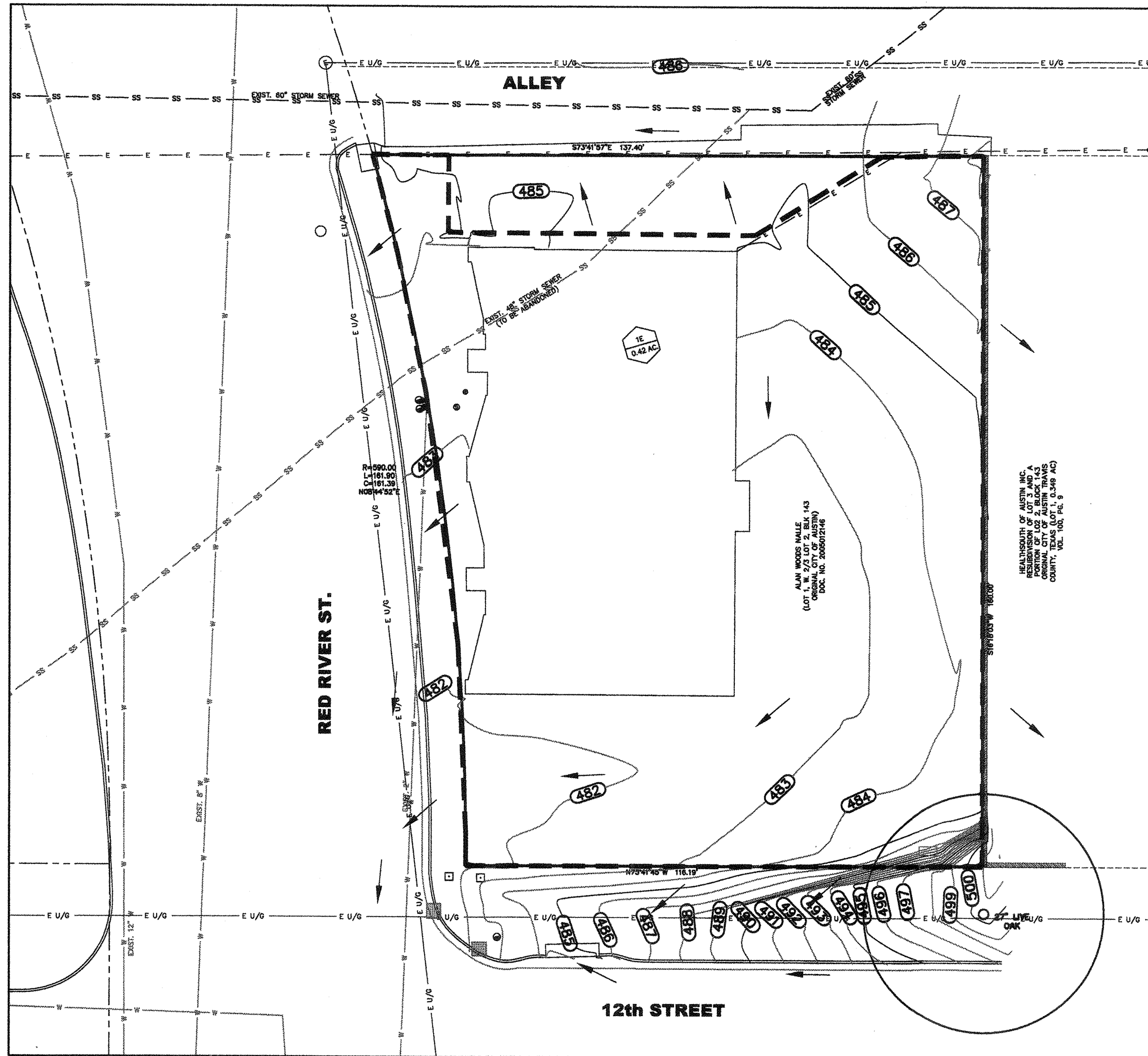
DRAWING'S NAME: _____

DESIGN: _____ CHECKED: _____

DRAWN: _____ APPROVED: _____

STAFF _____ RC _____

SHEET: **5** OF **18**



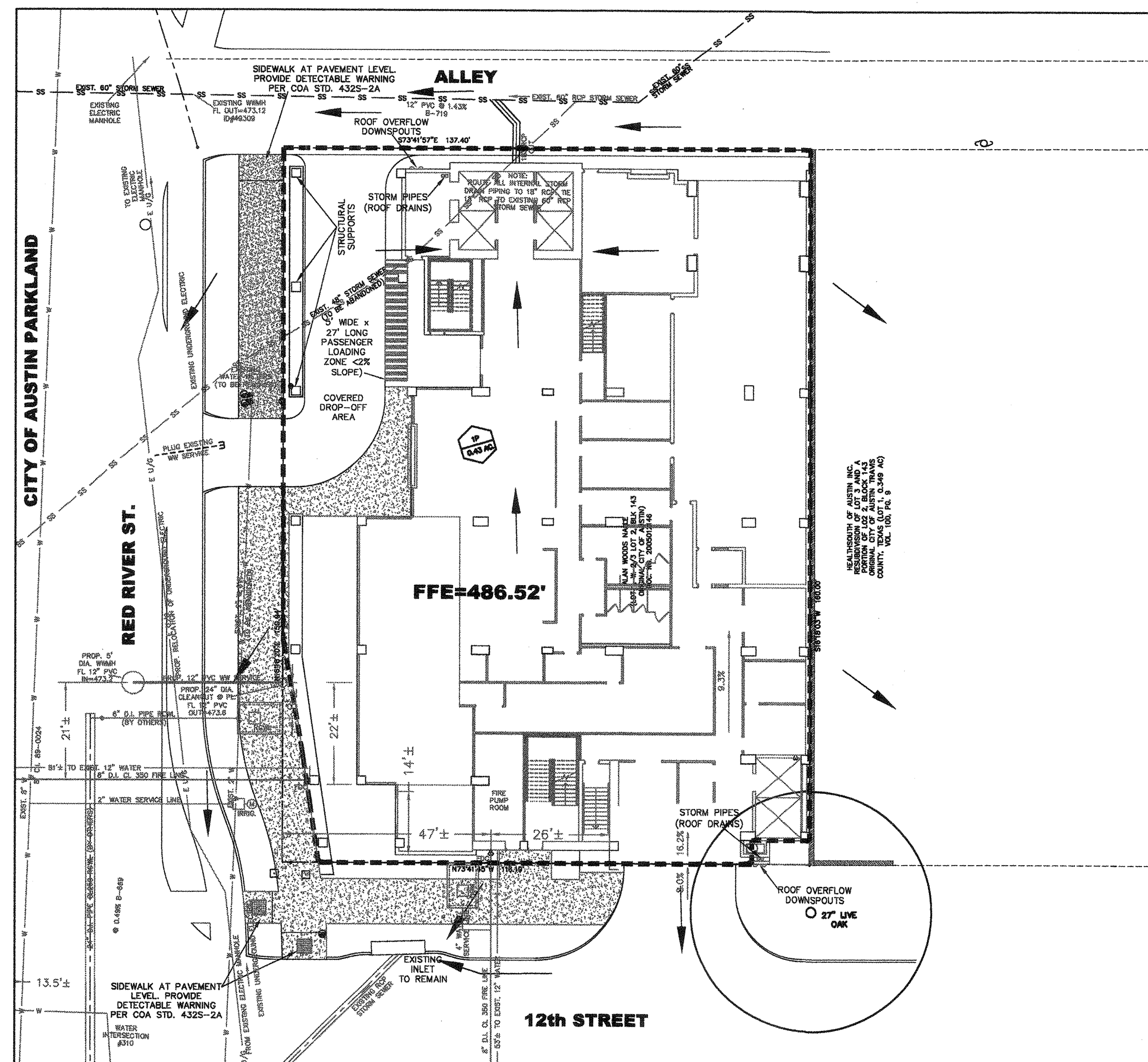
EXISTING DRAINAGE CONDITIONS
SCALE 1"=20'

EXISTING CONDITIONS

	C	I (in/hr)	A (acres)	Q (cfs)
2-YEAR	0.743	7.04	0.42	2.2
25-YEAR	0.873	10.54	0.42	3.9
100-YEAR	0.963	12.68	0.42	5.1

PROPOSED CONDITIONS

	C	I (in/hr)	A (acres)	Q (cfs)
2-YEAR	0.667	6.55	0.43	1.9
25-YEAR	0.860	9.92	0.43	3.7
100-YEAR	0.950	11.97	0.43	4.9



PROPOSED DRAINAGE CONDITIONS
SCALE 1"=20'

SITE LEGEND	
—	BOUNDARY LINE
---	EXISTING BOUNDARY
---	EXISTING CONTOUR
---	EXIST. STORM SEWER MANHOLE
---	EXIST. WASTEWATER MANHOLE
---	EXIST. WATER VALVE
---	EXIST. FIRE HYDRANT
---	EXIST. WOODEN FENCE
---	PROP. WOODEN FENCE
---	EXISTING DRAINAGE
---	PROPOSED DRAINAGE
---	PROPOSED F. FENCE
---	ACCESSIBILITY ROUTE

DRAINAGE LEGEND	
---	DRAINAGE DIRECTION
---	EXIST. CHANNEL/PIPE
---	CONTOURS
---	INDEX CONTOURS
---	PROP. CONTOUR
---	PROPOSED DRAINAGE BOUNDARY
---	EXISTING DRAINAGE BOUNDARY
---	DRAINAGE AREA - EXISTING
---	DRAINAGE AREA - PROPOSED
---	PROPOSED FLOW
---	EXISTING FLOW

CONTRACTOR WARNING
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS IS BASED ENTIRELY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD TO VERIFY LOCATIONS OF WATER, WASTEWATER AND STORM SEWER LINES. THE INFORMATION IS NOT SPECIFICALLY ACCURATE. THE CONTRACTOR MUST CONDUCT THE APPROPRIATE UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE LOCATION OF PROPOSED UTILITIES AS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO BE CONSTRUCTED.

SITE PLAN APPROVAL

FILE NUMBER: **SP-2016-0106C** APPLICATION DATE: **FEB. 29, 2016**
APPROVED BY COMMISSION ON: _____
under Section **112** of Chapter **25-5** of the Austin City Code.
EXPIRATION DATE (25-5-81.LDC): _____
CASE MANAGER: **DOHNA GALATI**
ZONING: **CBD - CENTRAL BUILDING DISTRICT**
PROJECT EXPIRATION DATE: _____ DWPZ _____ DOZ _____
(ORD.#970905-A): _____
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT: _____
RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

DATE:

BY:

REVISION:

DESCRIPTION:

Cedillos & Company
Civil/Environmental Consulting Engineers
10000 FM 1960, SUITE 100, AUSTIN, TEXAS 78758
(512) 386-1322 (Phone)

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701
EXISTING AND PROPOSED DRAINAGE CONDITIONS

DATE:

PROJECT:

DRAWING'S NAME:

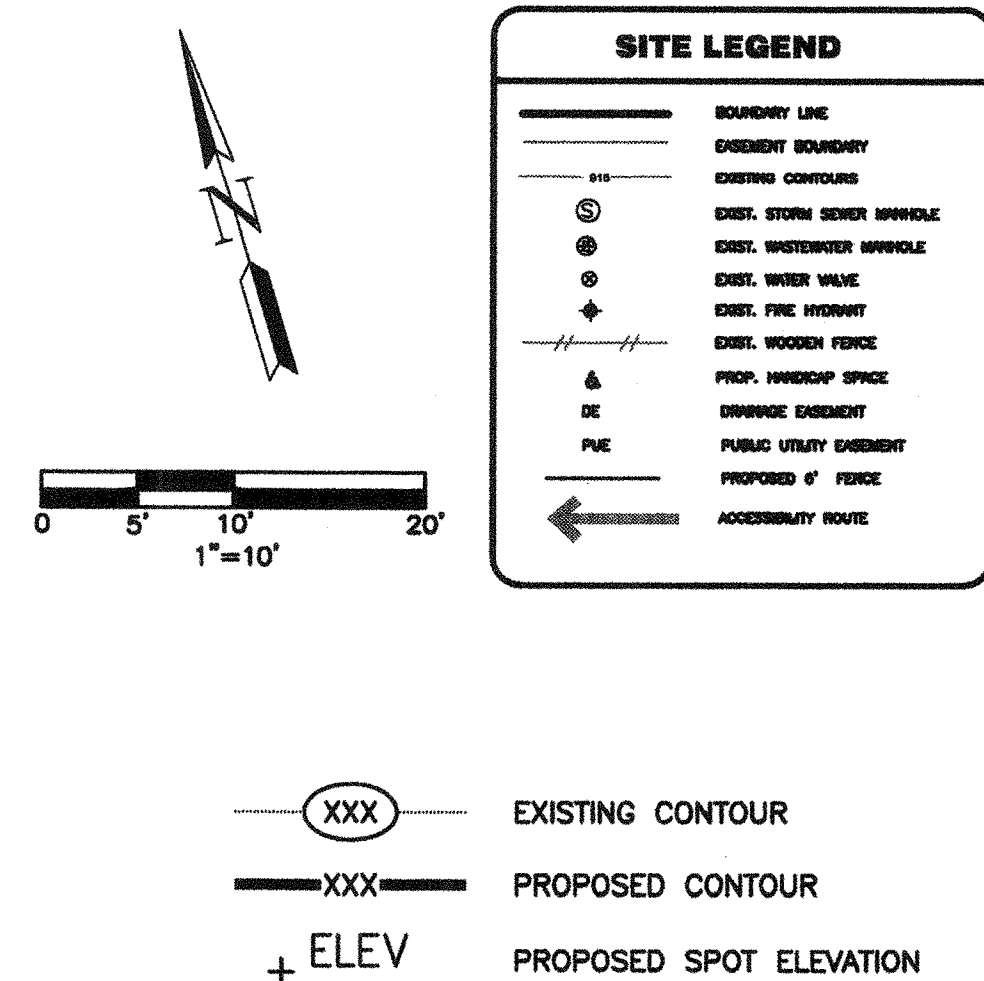
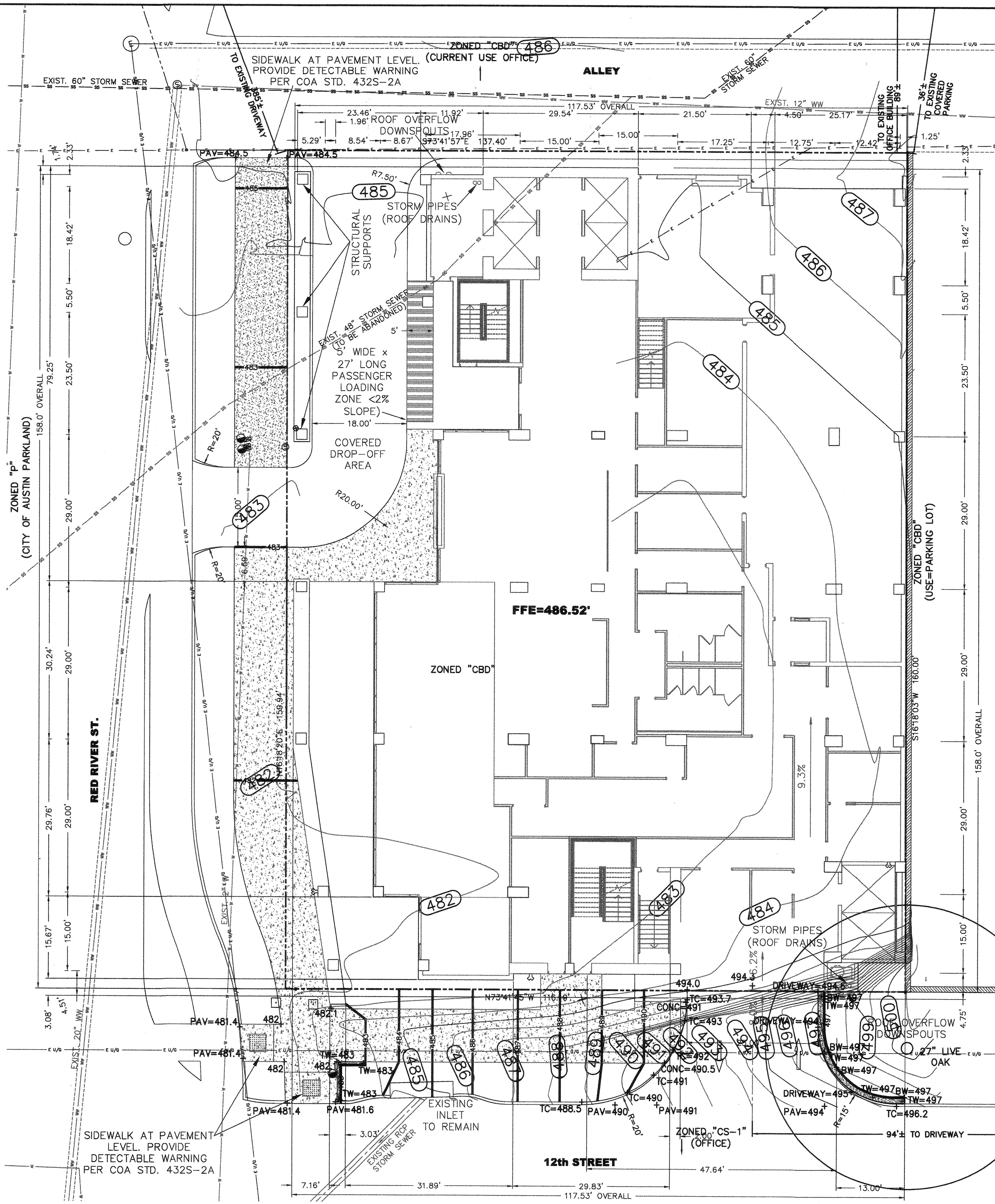
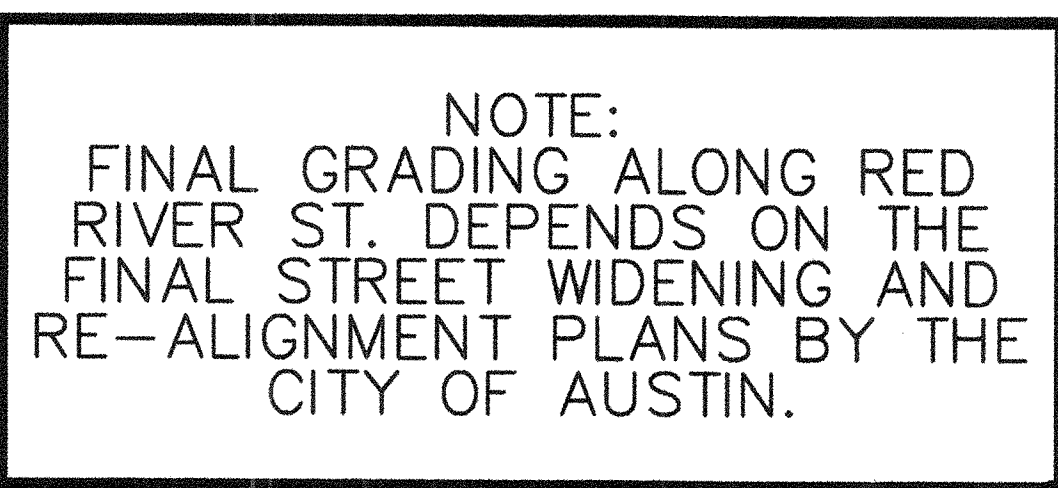
DESIGN:

CHECKED:

DRAWN:

APPROVED:

SHEET:



CONTRACTOR WARNING

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS IS BASED PARTIALLY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD TO VERIFY LOCATIONS OF WATER, WASTEWATER AND STORM SEWER LINES. THE INFORMATION IS NOT NECESSARILY ACCURATE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RECONSTRUCT EXISTING UTILITIES TO THEIR ORIGINAL LOCATION. THE LOCATION OF PROPOSED UTILITIES AS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO BE CONSTRUCTED.

SITE PLAN APPROVAL

Sheet 7 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016

APPROVED BY COMMISSION ON:

under Section 112 of Chapter 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81, LDC): _____

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT

PROJECT EXPIRATION DATE: _____ DWF? _____ DDZ _____
(ORD.#970905-A): _____

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of cancellation (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

SITE DEVELOPMENT PLANS WATERLOO PARK TOWER HOTEL 1201 RED RIVER STREET AUSTIN, TEXAS 78701		GRADING PLAN	
DATE: _____			
PROJECT: WATERLOO TOWER			
DRAWING'S NAME: _____			
DESIGN: _____ <div style="text-align: right;">RC</div>		CHECKED: _____ <div style="text-align: right;">RC</div>	
DRAWN: _____ <div style="text-align: right;">STAFF</div>		APPROVED: _____ <div style="text-align: right;">RC</div>	
SHEET: 7 of 18			

NOTES:

1. SILT FENCE TYPE AND INSTALLATION SHALL COMPLY WITH ECM FIGURE 1.4.2.G.4 SHOWING J-HOOKS..
2. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
3. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(D), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
4. TREES WILL BE FERTILIZED PRIOR TO ANY CONSTRUCTION ACTIVITY. MATERIALS AND METHODS ARE TO BE APPROVED BY THE CITY ARBORIST (974-1876) PRIOR TO APPLICATION.
5. THE GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND ENSURE COORDINATION WITH THE CITY ARBORIST. WITHIN 7 DAYS AFTER FERTILIZATION IS PERFORMED, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK PERFORMED TO THE CITY ARBORIST, WATERSHED PROTECTION, P.O. BOX 1088, AUSTIN, TEXAS 78767.
6. ALL CLASS 1 TREES WITHIN (OR ADJACENT TO) THE LIMITS OF CONSTRUCTION WHICH ARE INDICATED TO BE PRESERVED (ON THE PLANS) WILL BE FERTILIZED PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES AND AGAIN AFTER THE COMPLETION OF ALL CONSTRUCTION. AREAS TO BE FERTILIZED INCLUDE THE ENTIRE CRITICAL ROOT ZONE OF A TREE AS DEPICTED ON THE CITY APPROVED PLANS. TREES ARE TO BE FERTILIZED VIA SOIL INJECTION METHOD (MINIMUM 100 PSI), USING DOGETT X-L INJECTO 32-7-7 OR EQUIVALENT AT RECOMMENDED RATES. CONSTRUCTION THAT WILL BE COMPLETED IN LESS THAN 90 DAYS SHOULD USE MATERIAL AT 1/2 RECOMMENDED RATES. ALTERNATIVE ORGANIC FERTILIZER MATERIALS ARE ACCEPTABLE WHEN APPROVED BY THE CITY ARBORIST.
7. SPECIAL CONSTRUCTION TECHNIQUES

PRIOR TO EXCAVATION WITHIN TREE DRIP LINES, OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.

IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING, AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH FOUR (4) INCHES OF ORGANIC MULCH TO BE PRODUCED ON SITE, TO MINIMIZE SOIL COMPACTION.

PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.

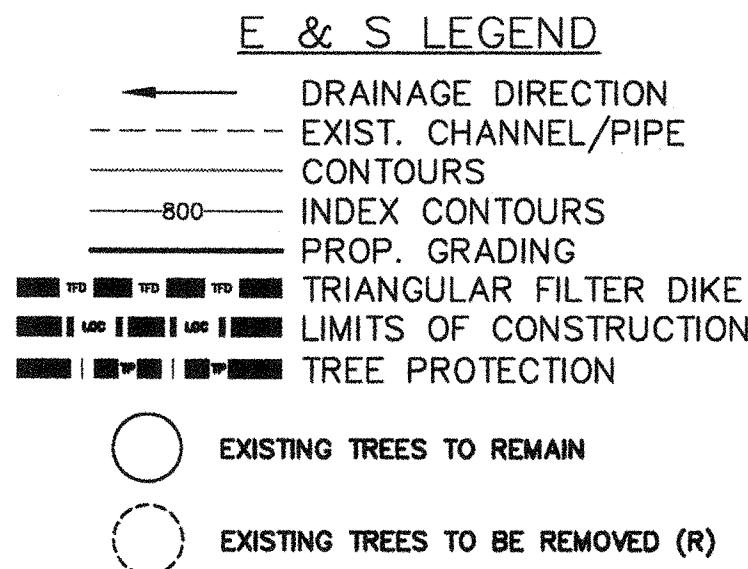
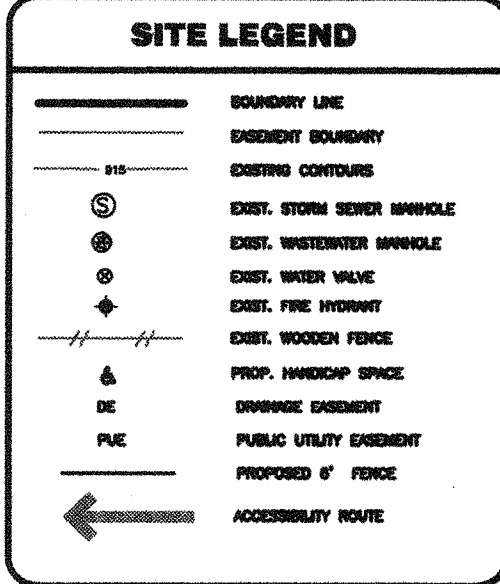
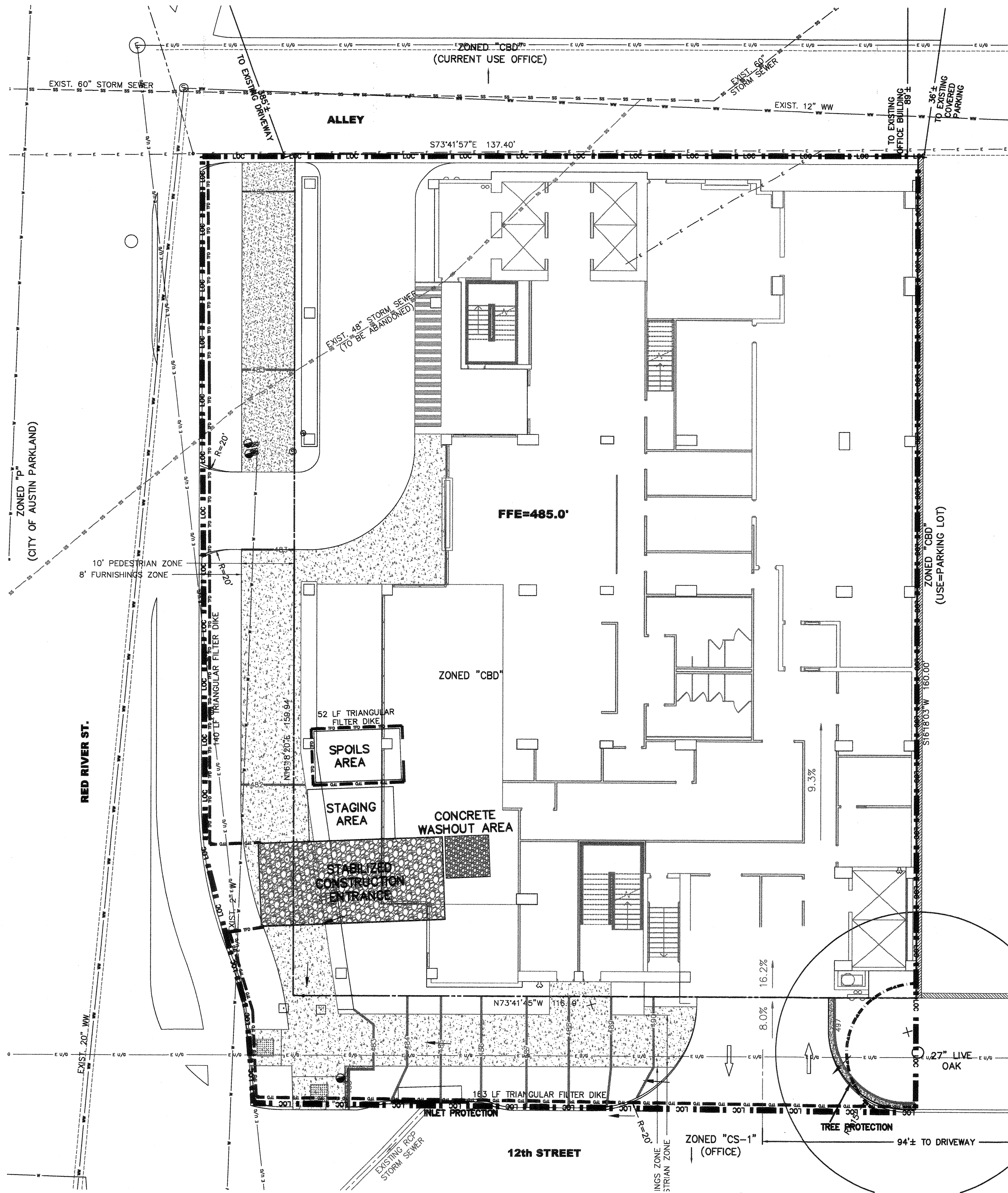
WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY AS NECESSARY DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

8. IF THE DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING. (ECM 1.4.4.B.3, SECTION 5.1).

ESC SUMMARY				
LOC	SCE	TRIANGULAR FILTER DIKE	INLET PROT.	RE-VEG.
24,170 SF	1	355 LF	10 LF	10 SY

NOTE:
THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY.



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SITE PLAN APPROVAL Sheet **9** of **18**

FILE NUMBER: **SP-2016-0106C** APPLICATION DATE: **FEB. 29, 2016**

APPROVED BY COMMISSION ON: _____

under Section **112** of Chapter **25-5** of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC): _____

CASE MANAGER: **DONNA GALATI**

ZONING: **CBD - CENTRAL BUILDING DISTRICT**

PROJECT EXPIRATION DATE: _____ DDZ _____

(ORD.#970905-A)

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

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SP-2016-0106C

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION PLAN

DATE: _____

BY: _____

REVISION: _____

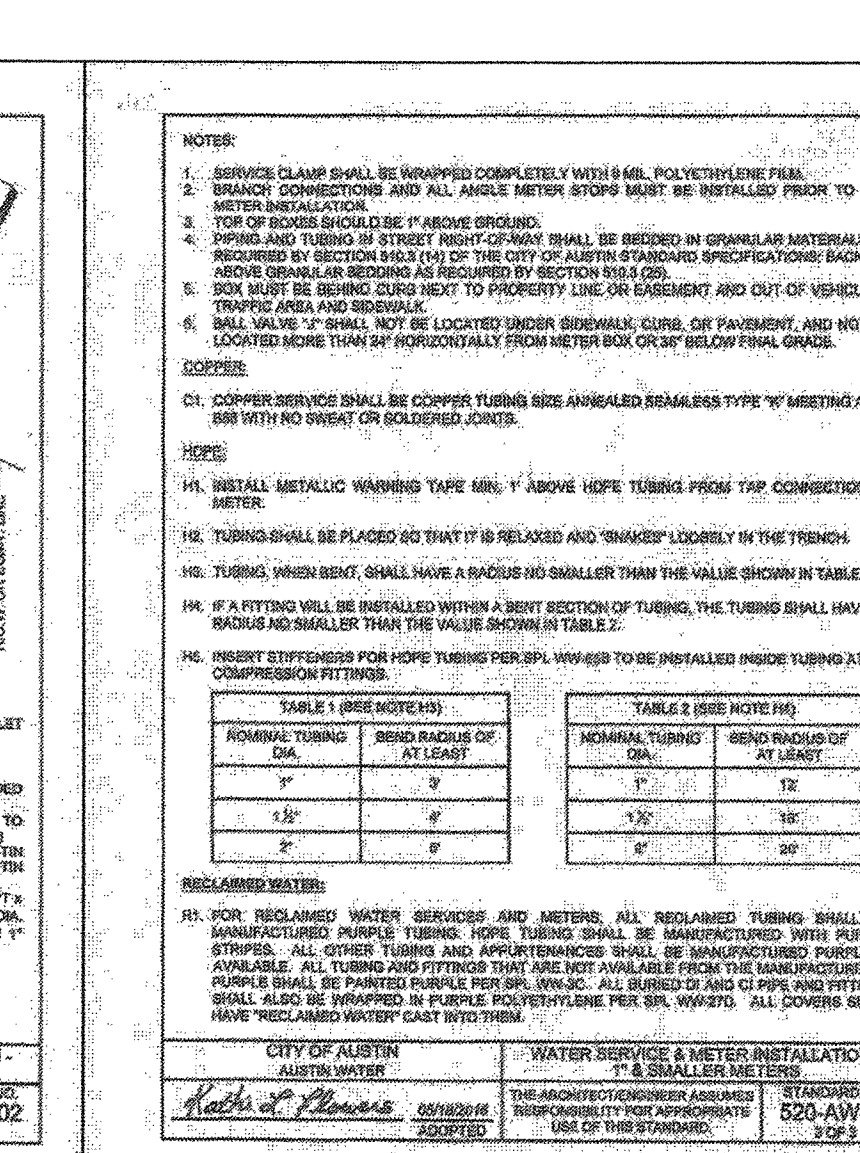
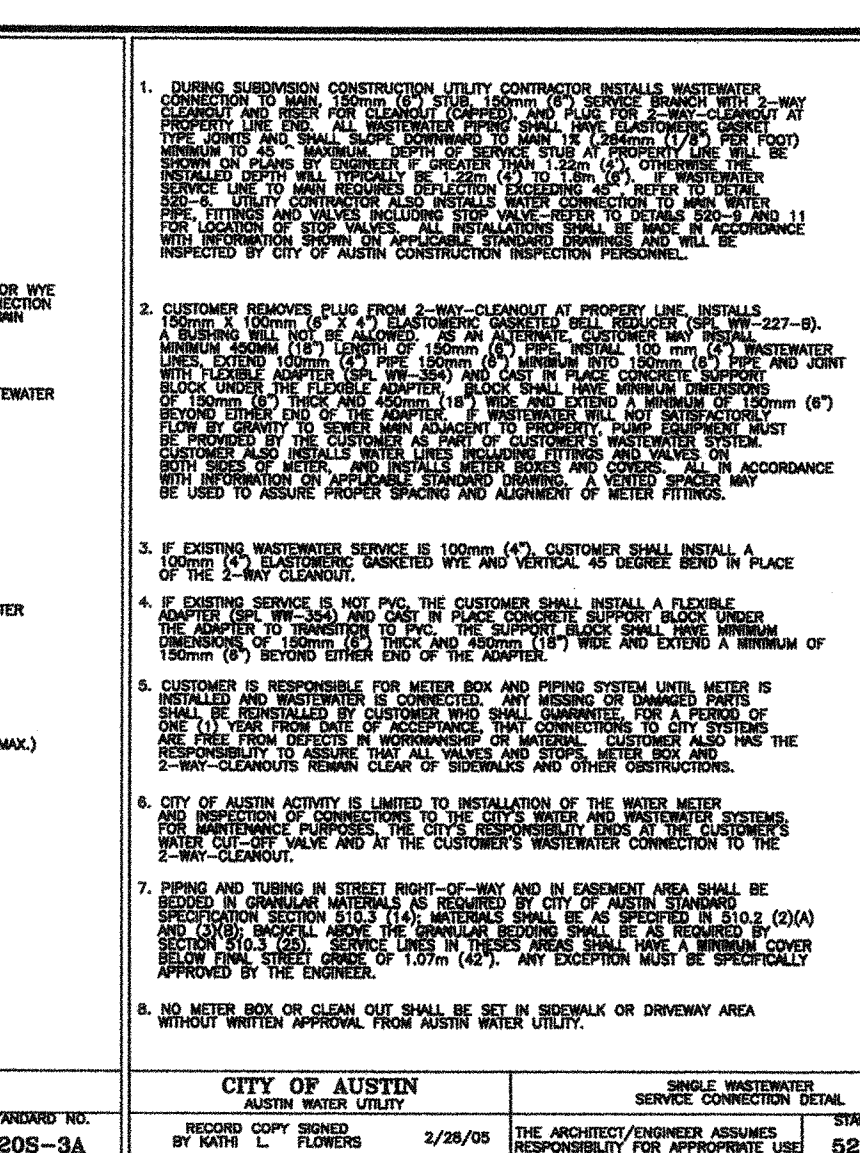
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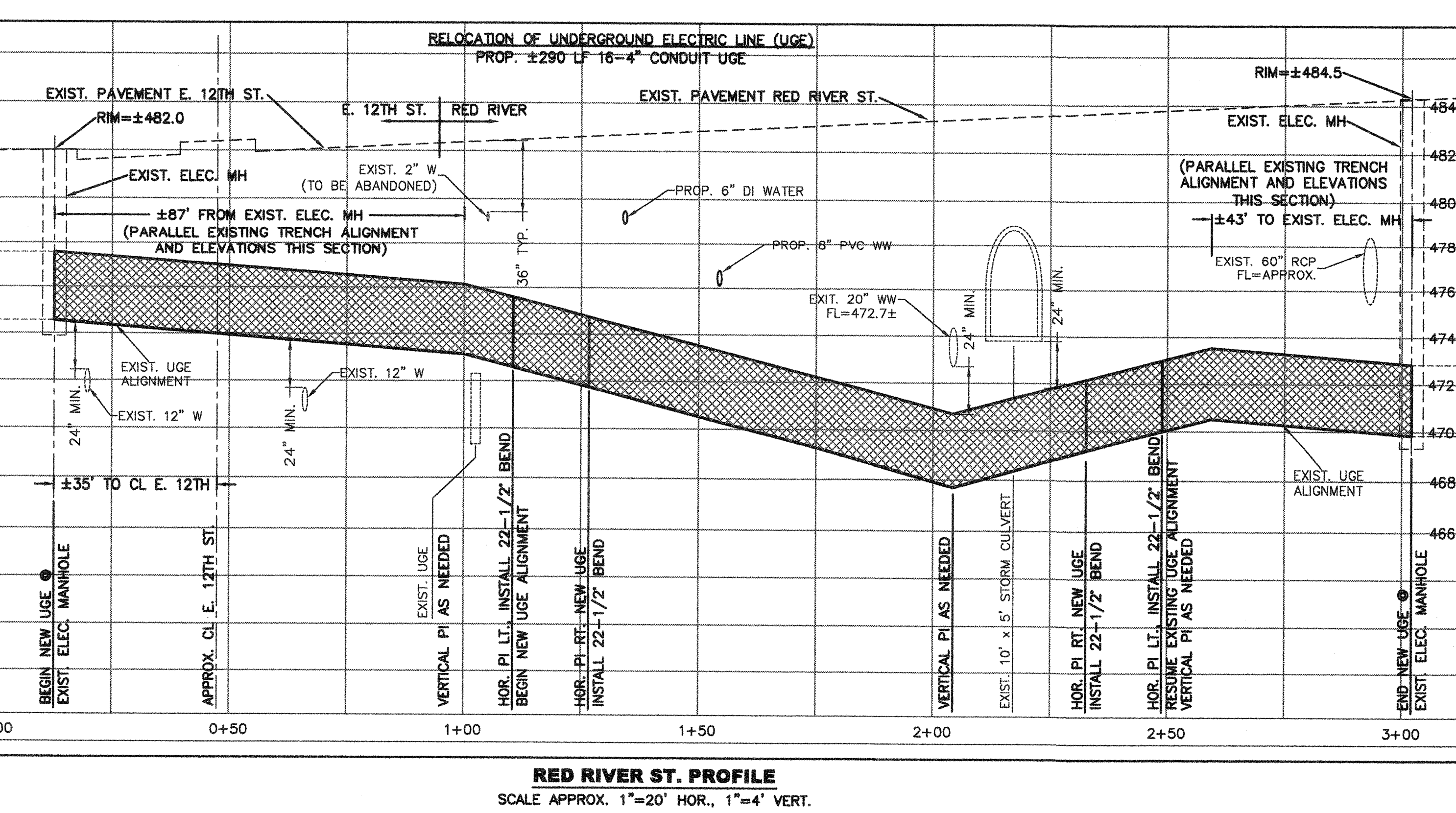
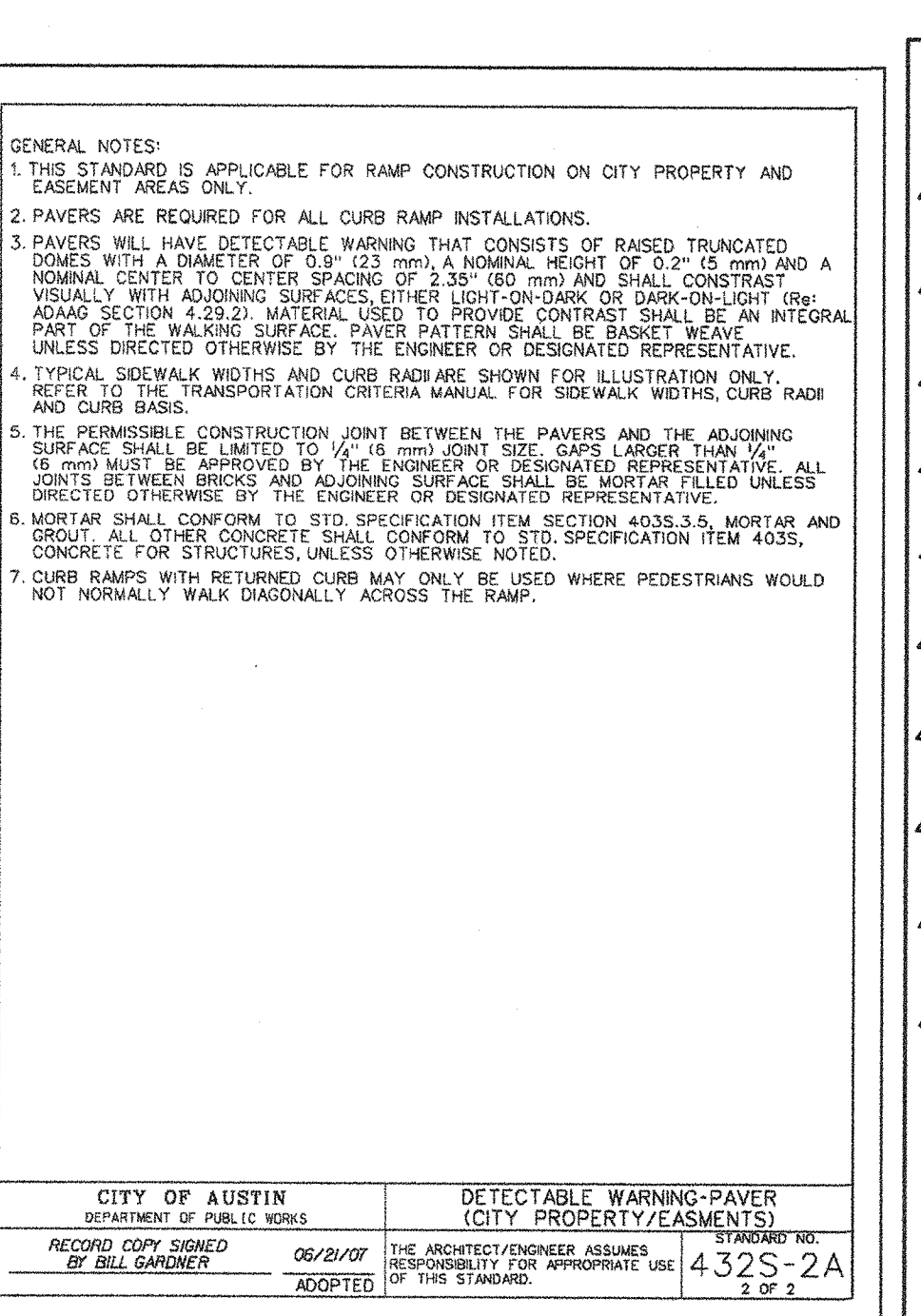
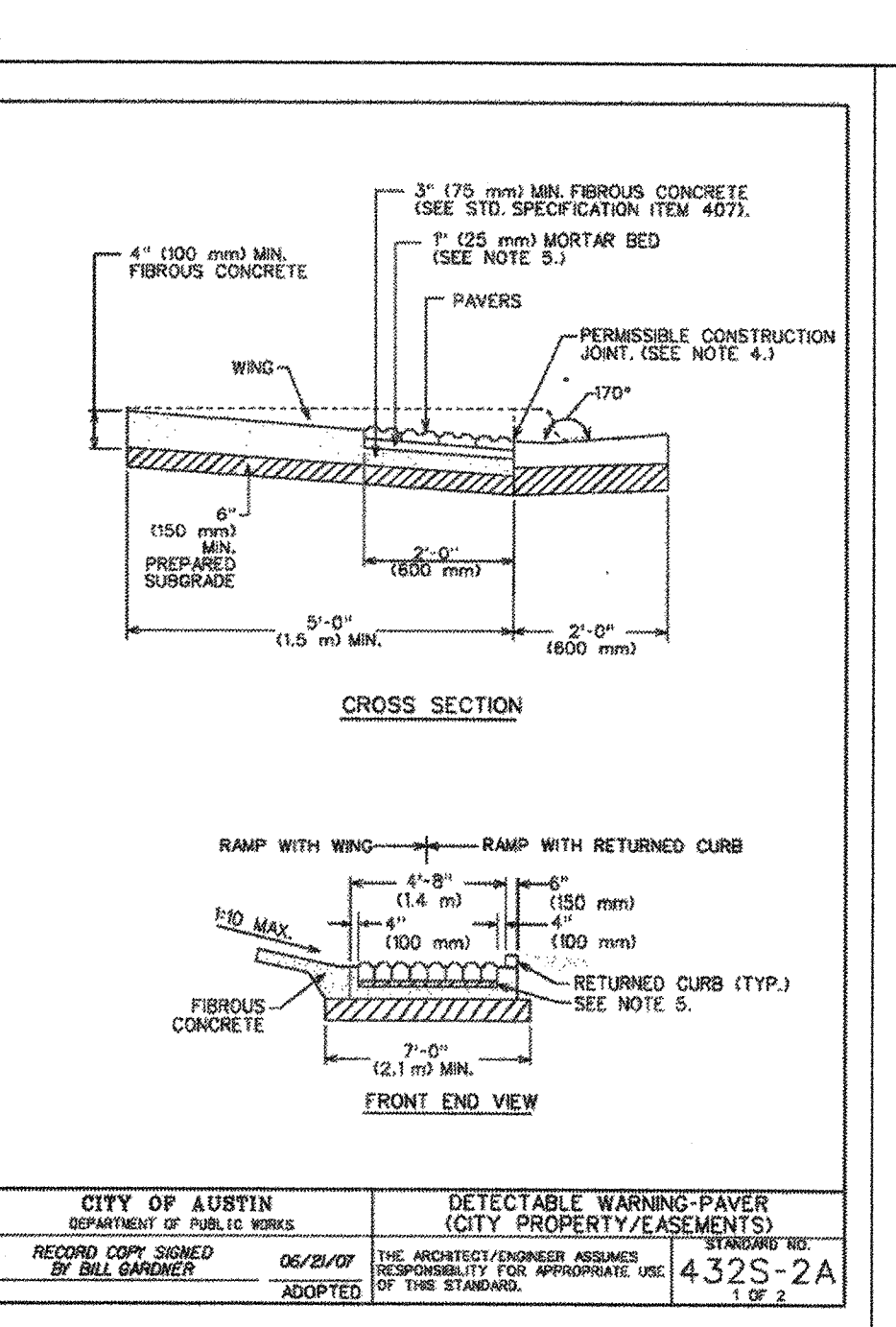
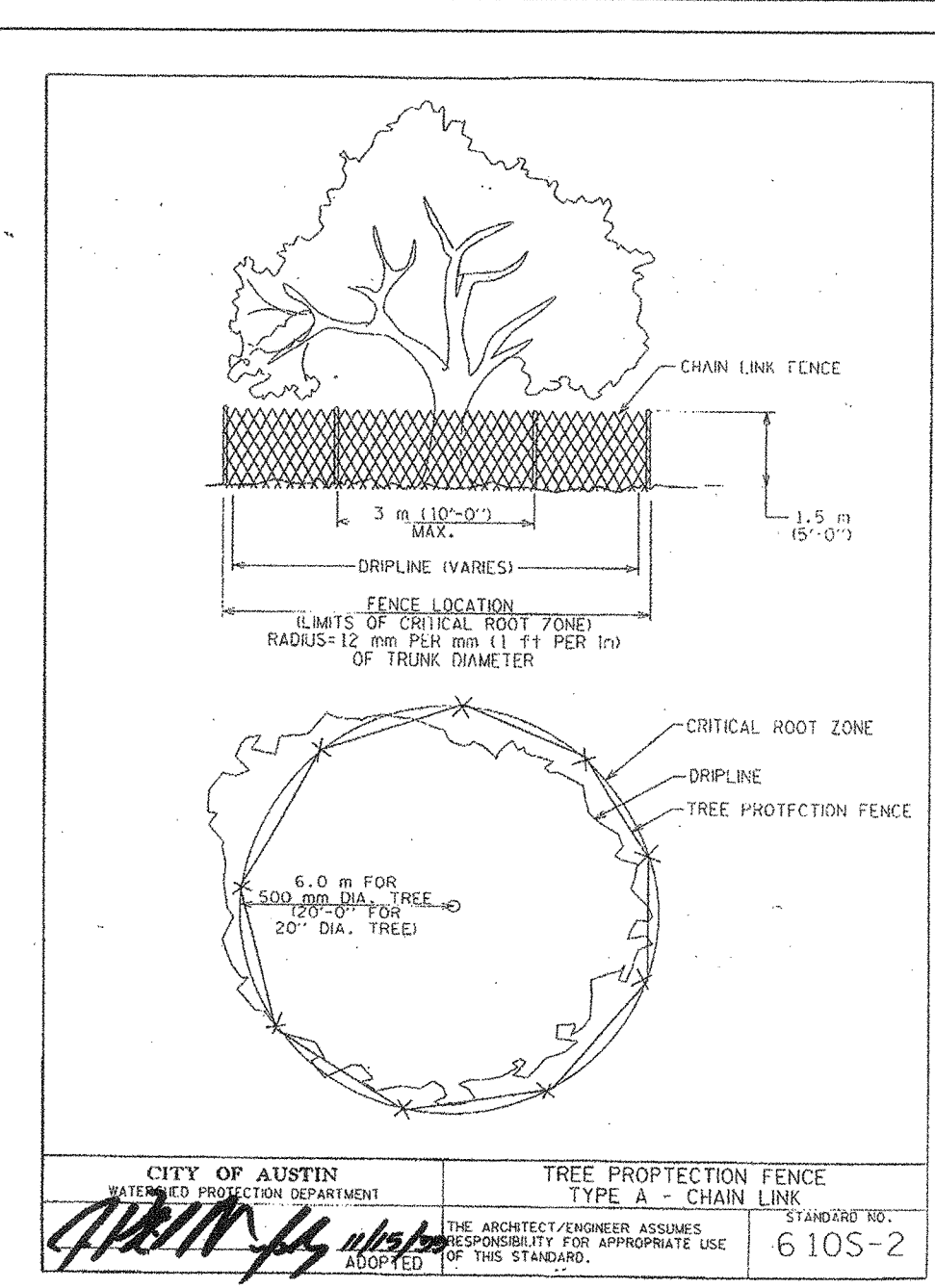
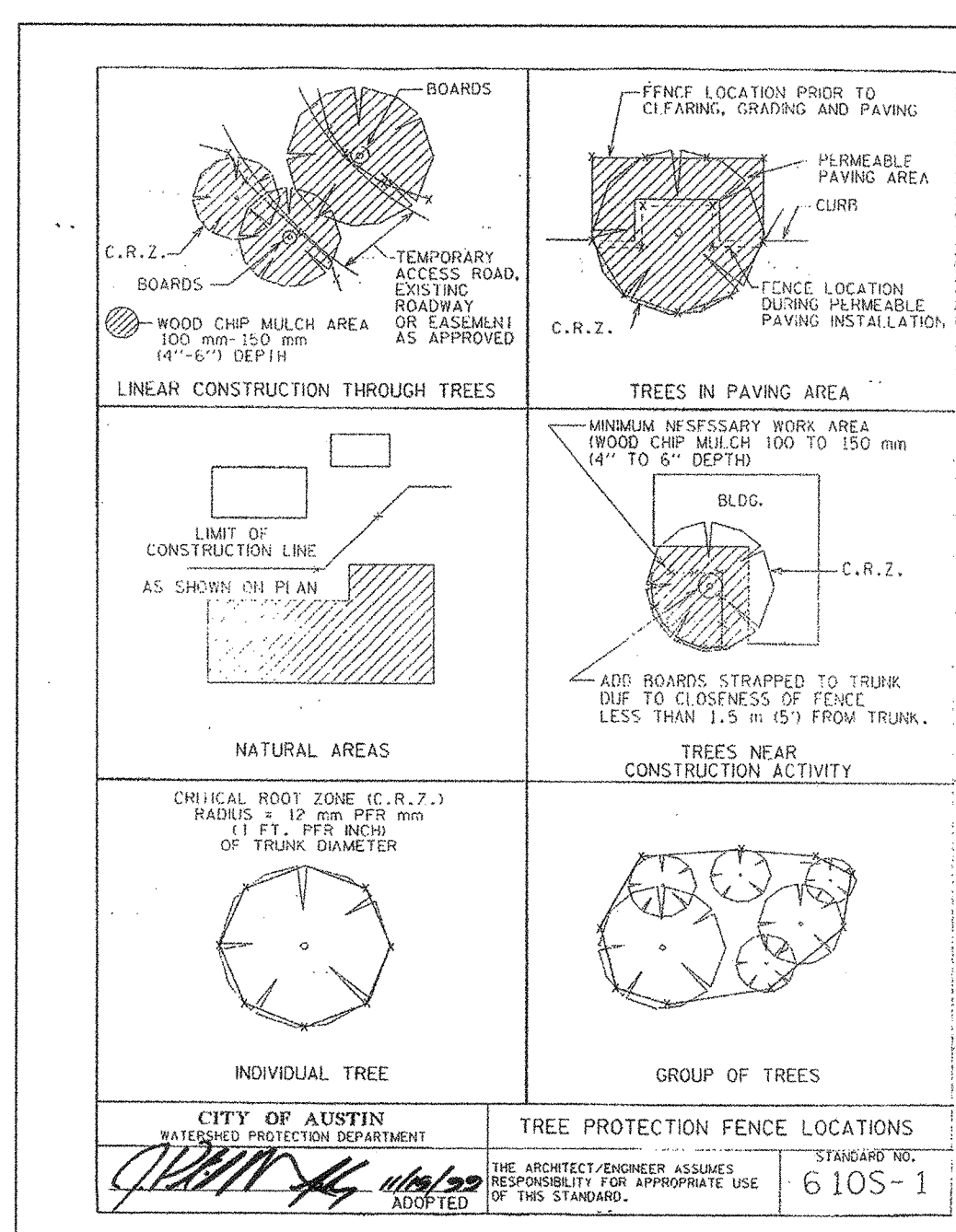
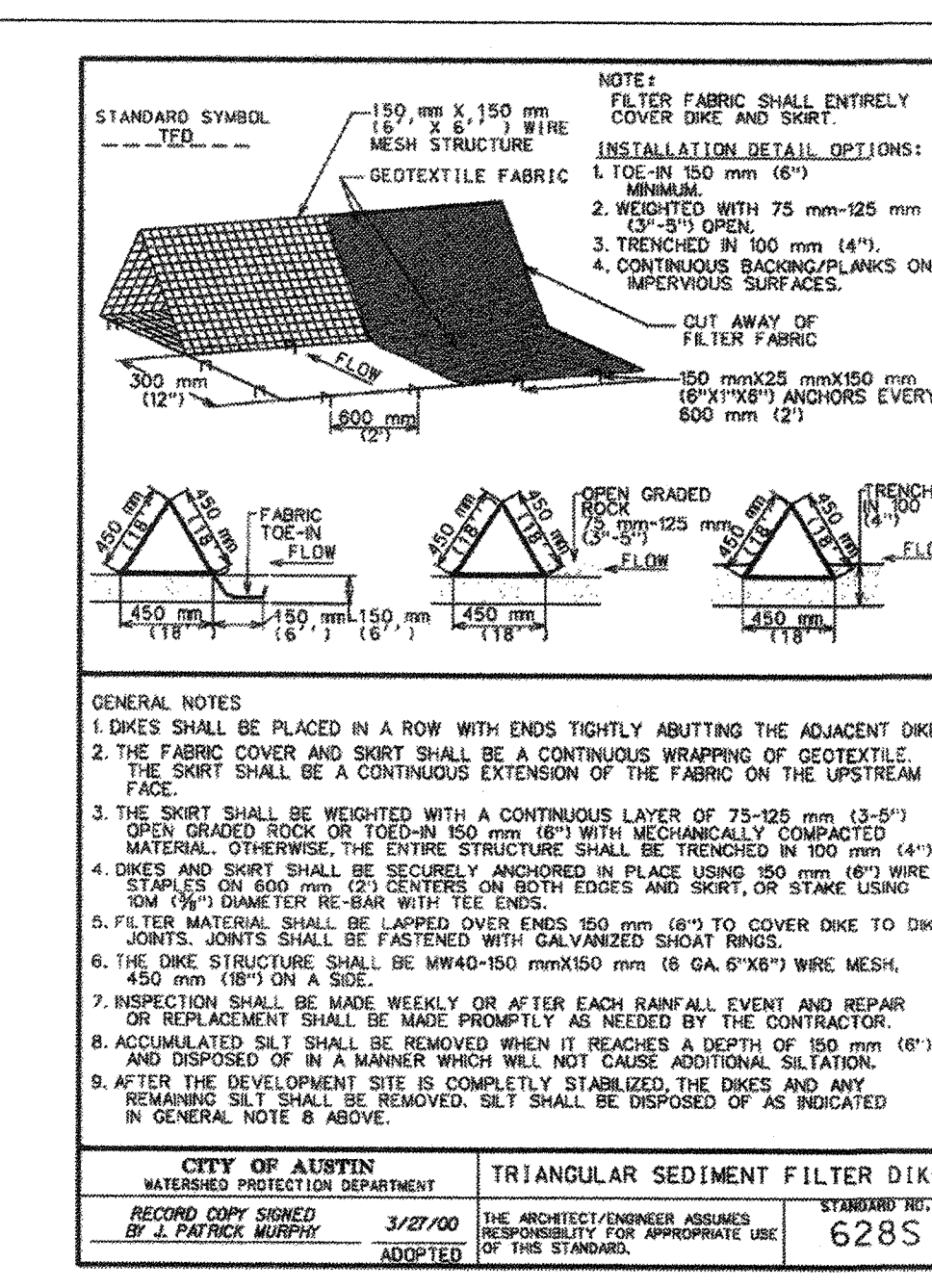
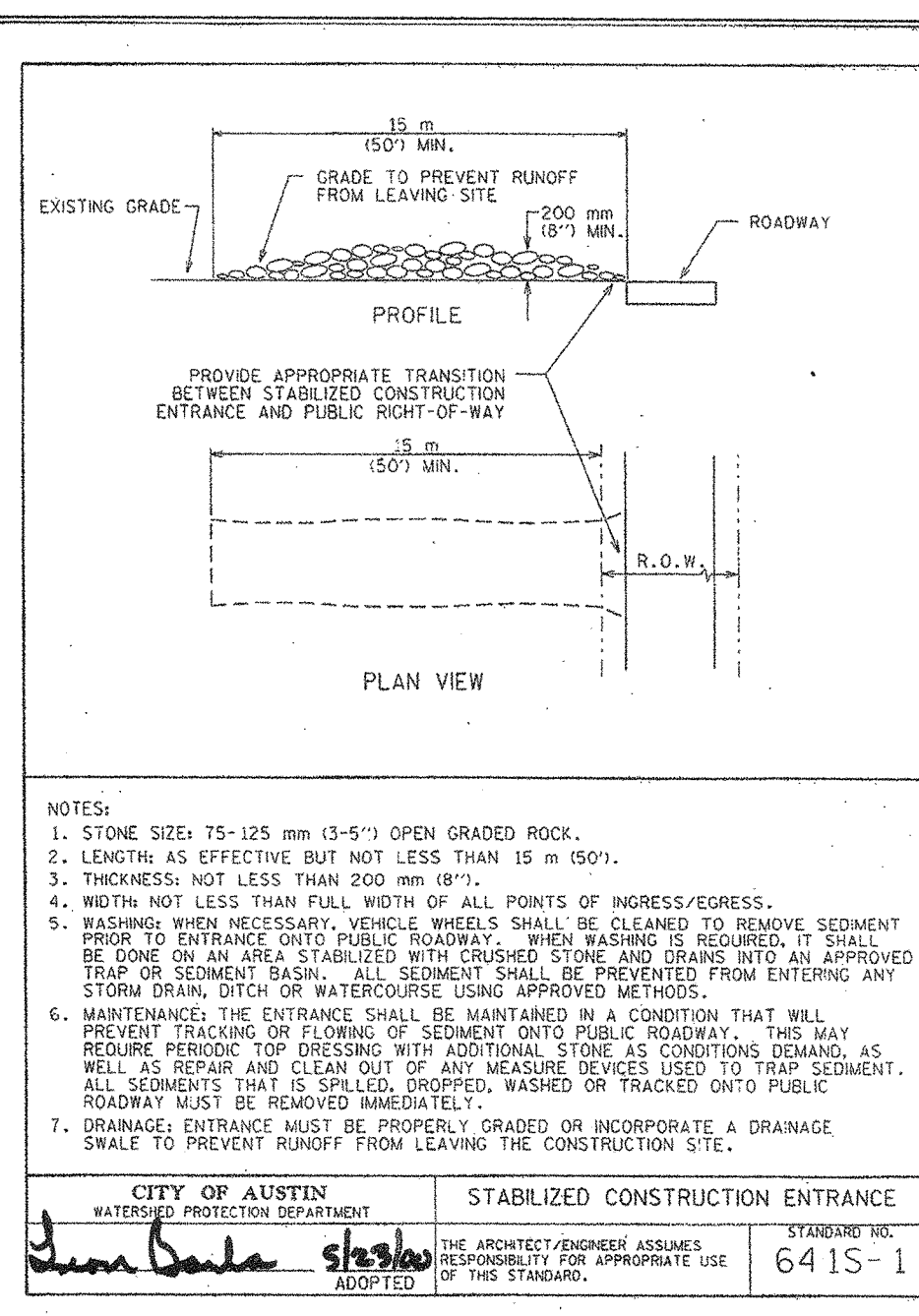
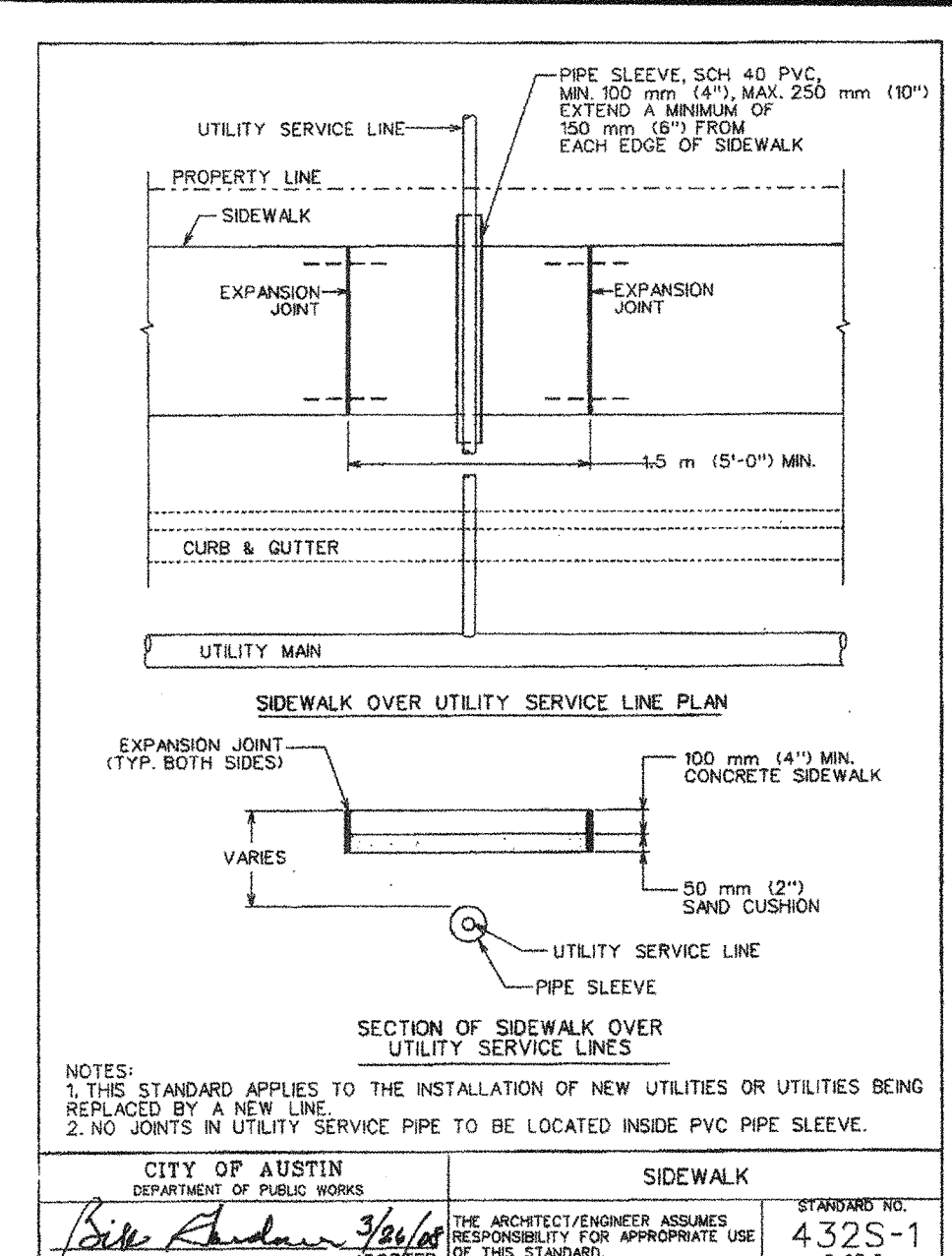
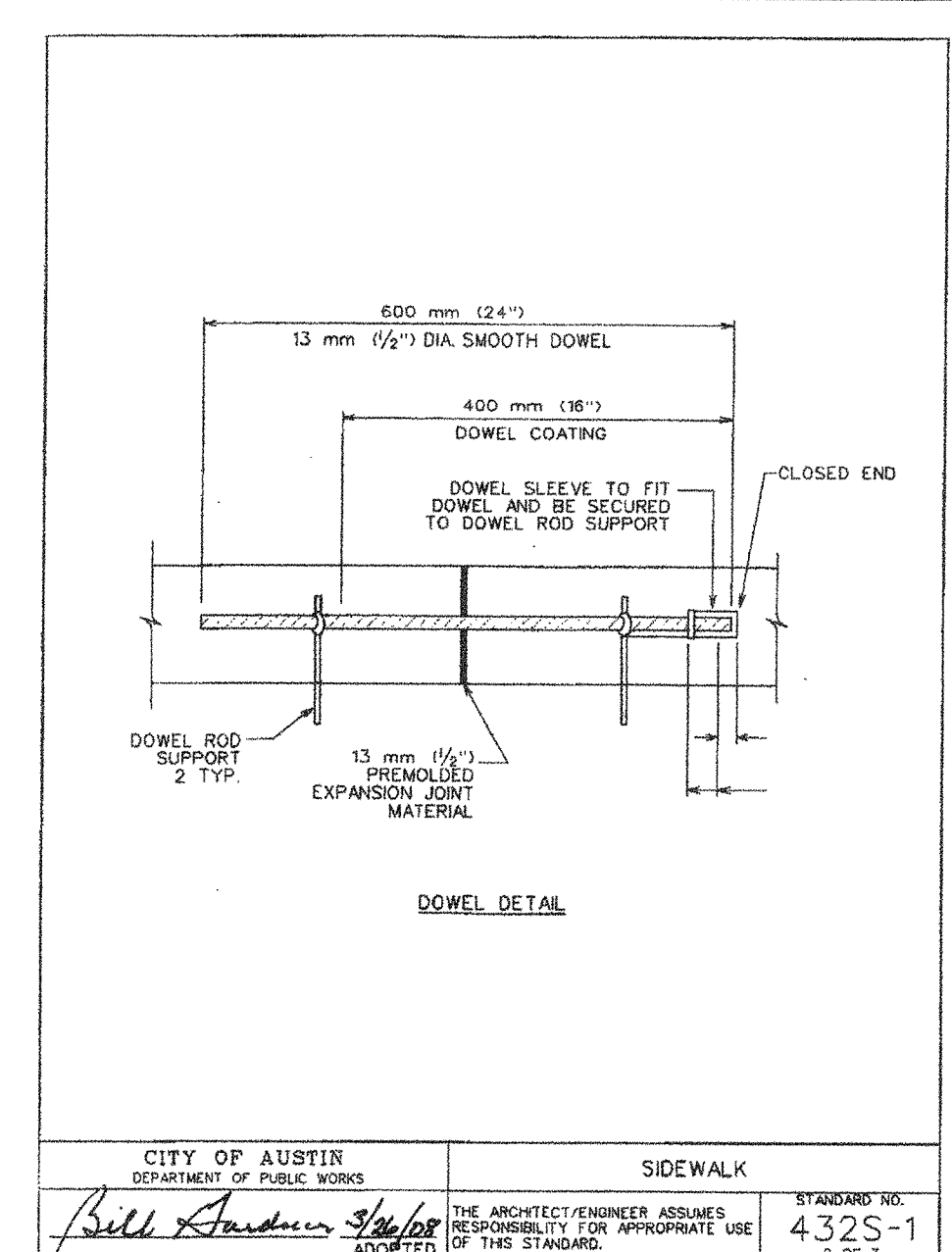
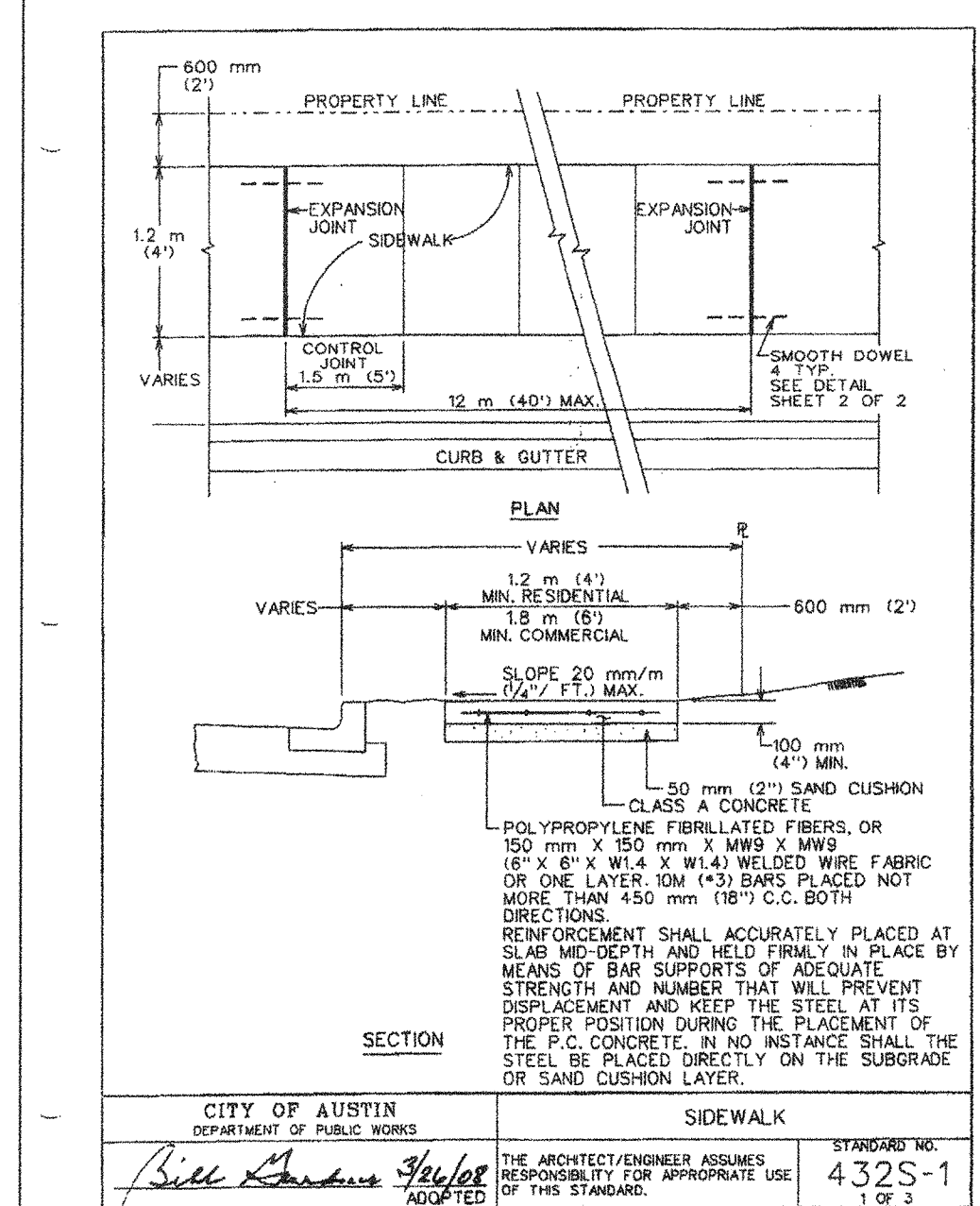
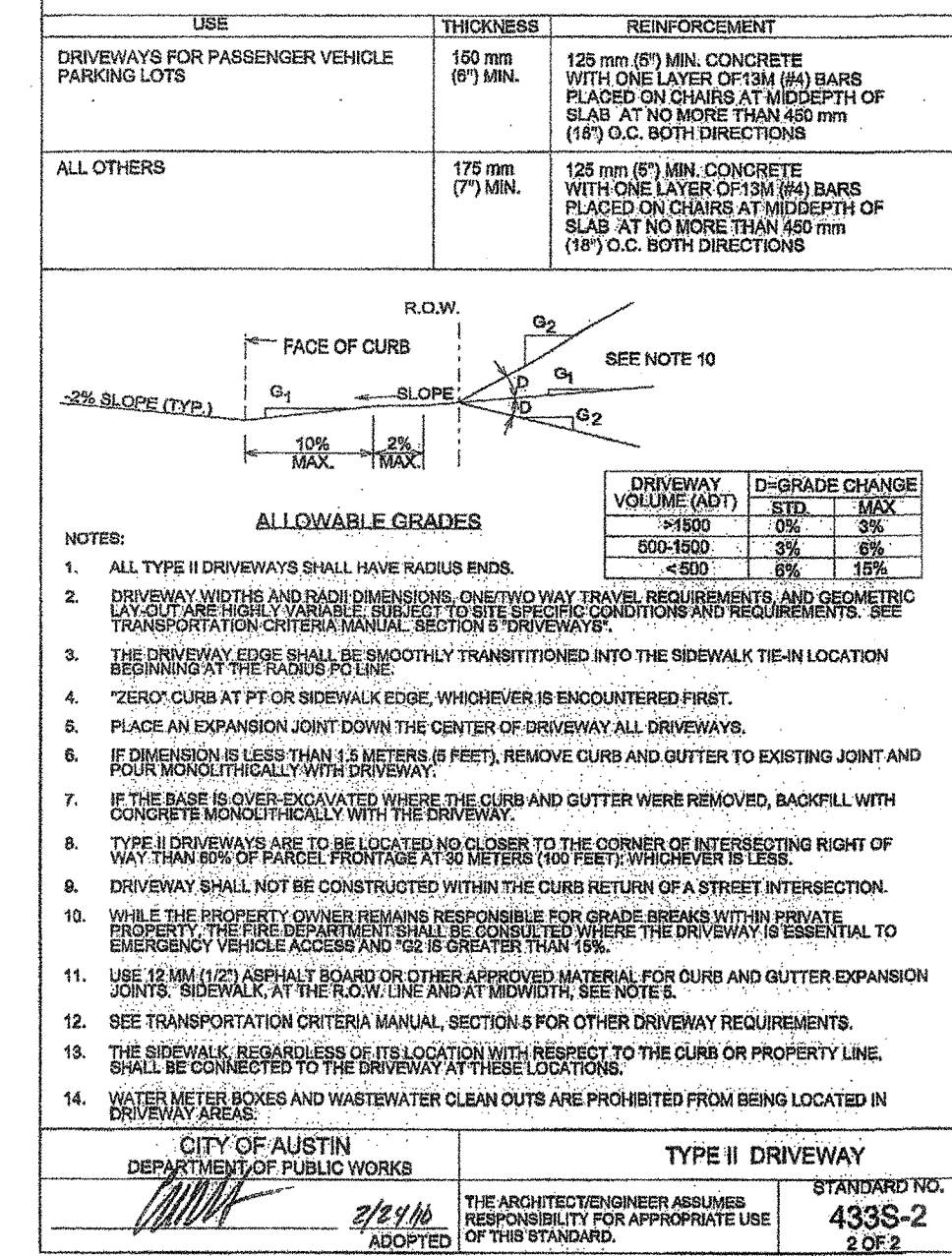
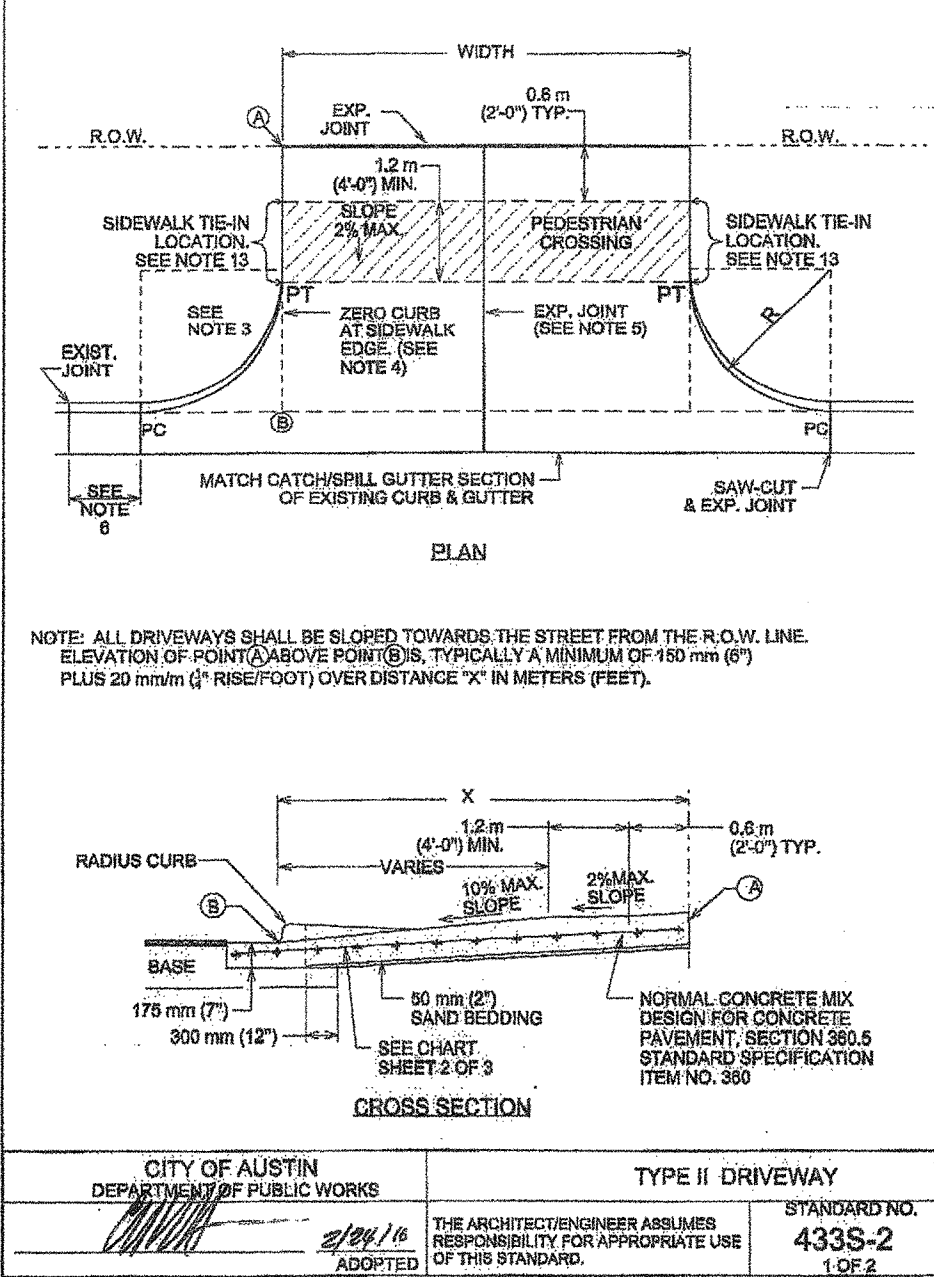
Cedillos & Company
Civil/Environmental Consulting Engineers
P.O. BOX 1088, AUSTIN, TEXAS 78767
(512) 306-1322 (Home)

DESIGN: **RC** CHECKED: **RC**

DRAWN: **STAFF** APPROVED: **RC**

SHEET: **9** of **18**





SITE PLAN APPROVAL Sheet 11 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016

APPROVED BY COMMISSION ON: _____

under Section 112 of Chapter 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC): _____

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT

PROJECT EXPIRATION DATE: DWPZ DOZ _____

(ORD.#970905-A)

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

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SP-2016-0106C

Cedillos & Company
Civil/Environmental Consulting Engineers

GENERAL DETAILS

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

DATE: _____

BY: _____

REVISION: _____

DESCRIPTION: _____

DATE: _____

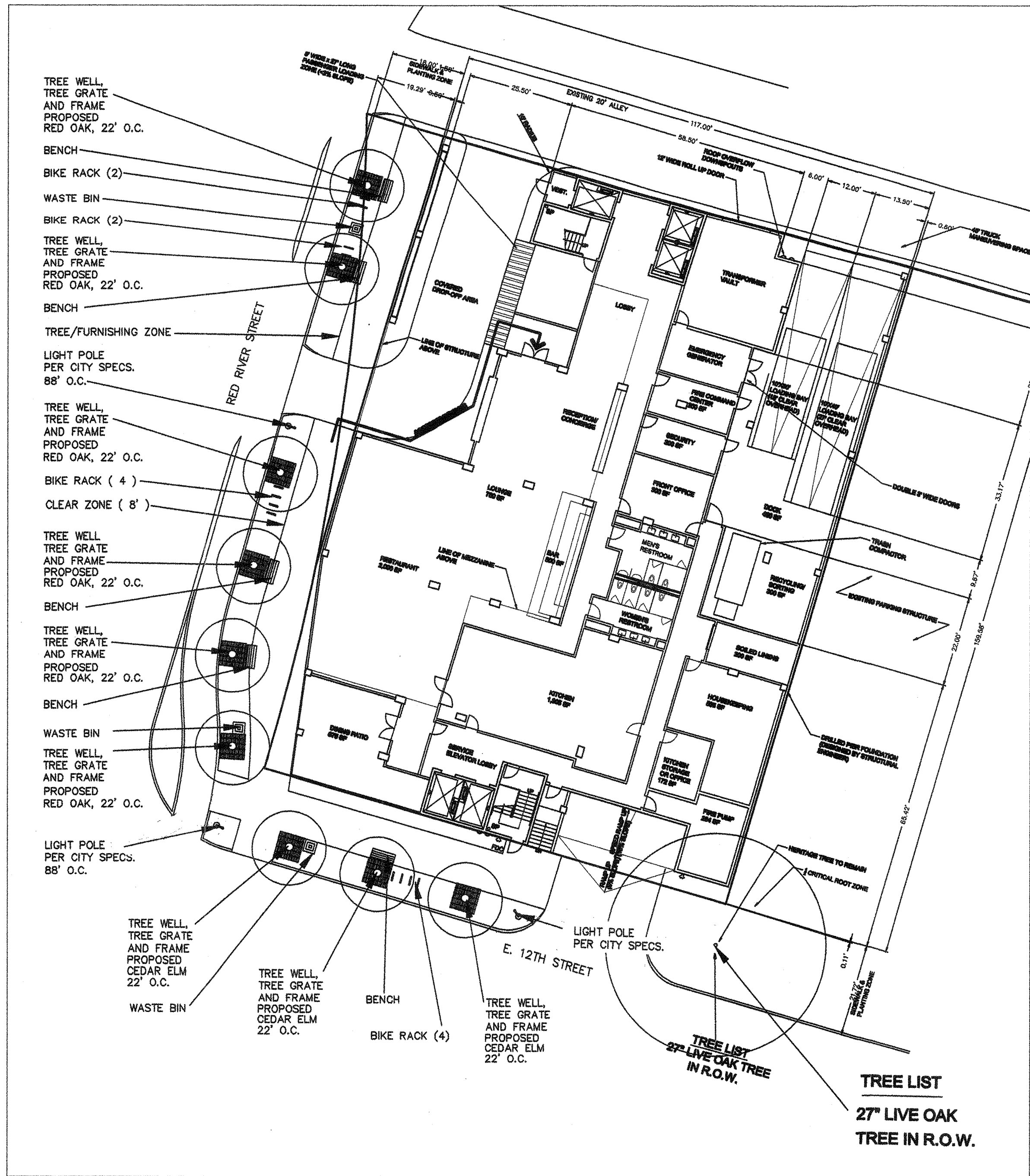
PROJECT: **WATERLOO TOWER**

DRAWING'S NAME: _____

DESIGN: **RC** CHECKED: **RC**

DRAWN: **STAFF** APPROVED: **RC**

SHEET: **11** OF **18**

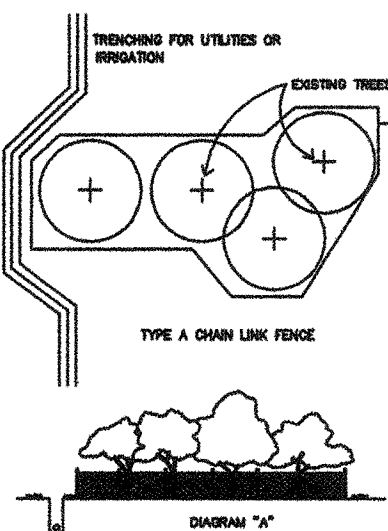


- CITY OF AUSTIN STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION
1. ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
 2. TREE PROTECTION FENCES SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
 3. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
 4. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIP LINES.
 5. FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES, WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE). FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
 - A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST.
 - C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
 6. EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - A. WHERE THERE IS TO BE A GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED.
 - B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE).
 - C. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
 - D. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST AT 974-1878 TO DISCUSS THE ALTERNATIVES.

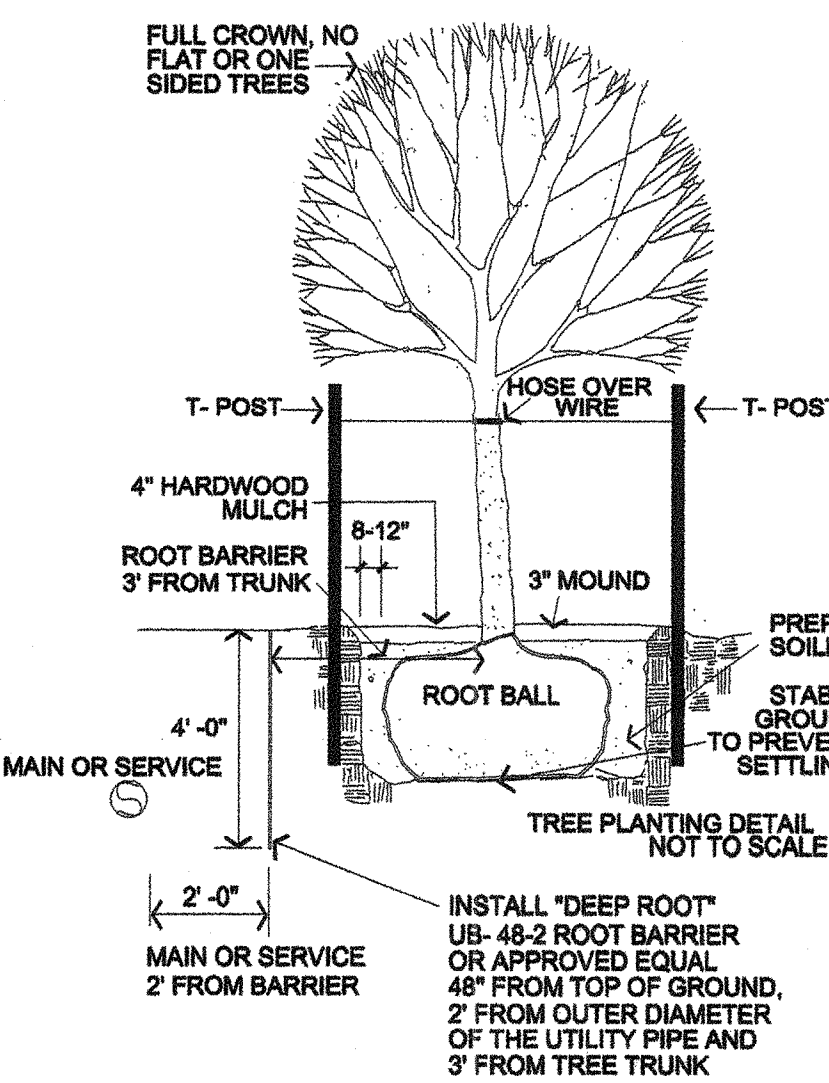
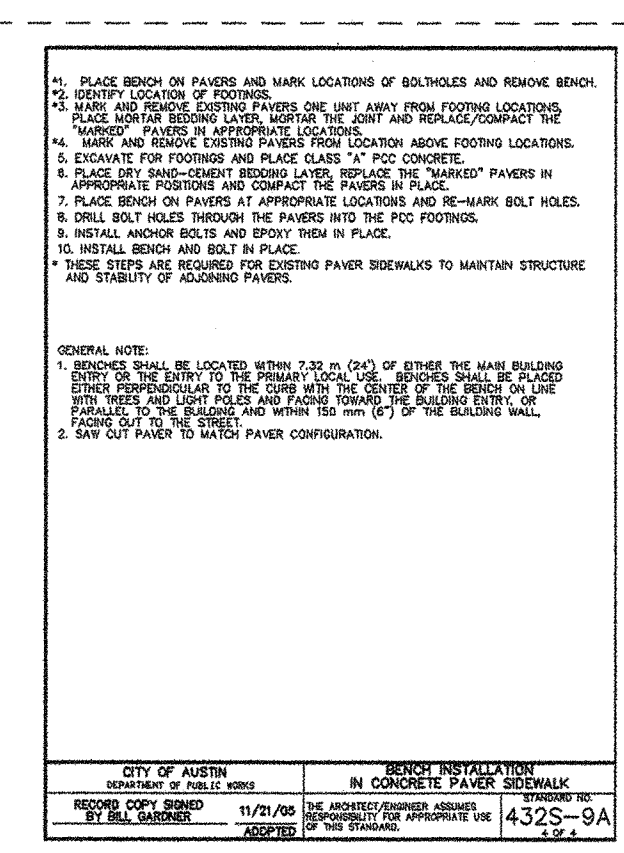
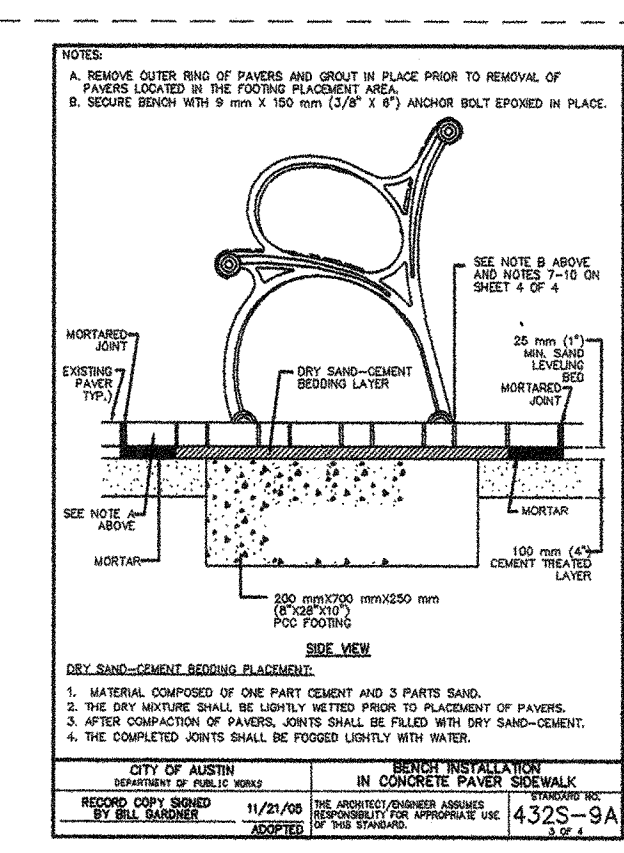
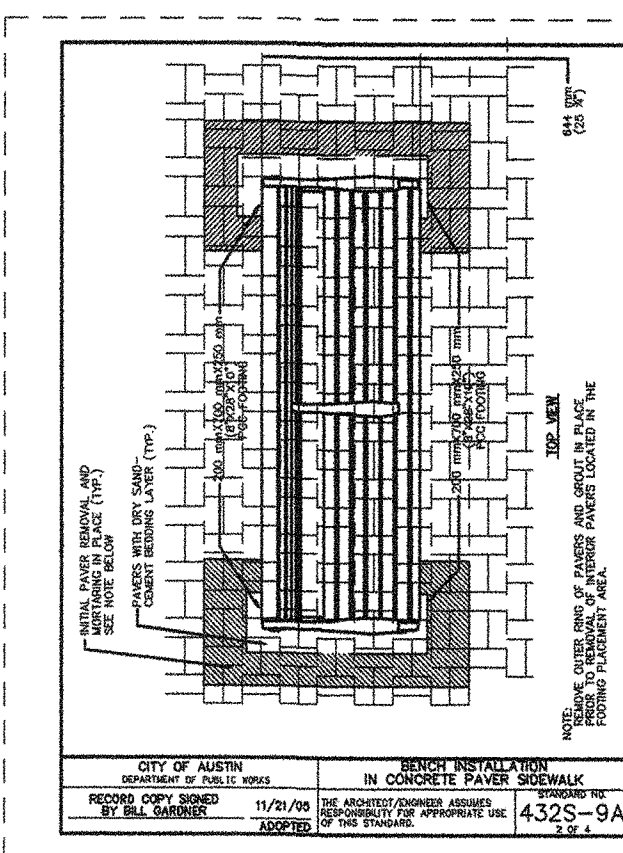
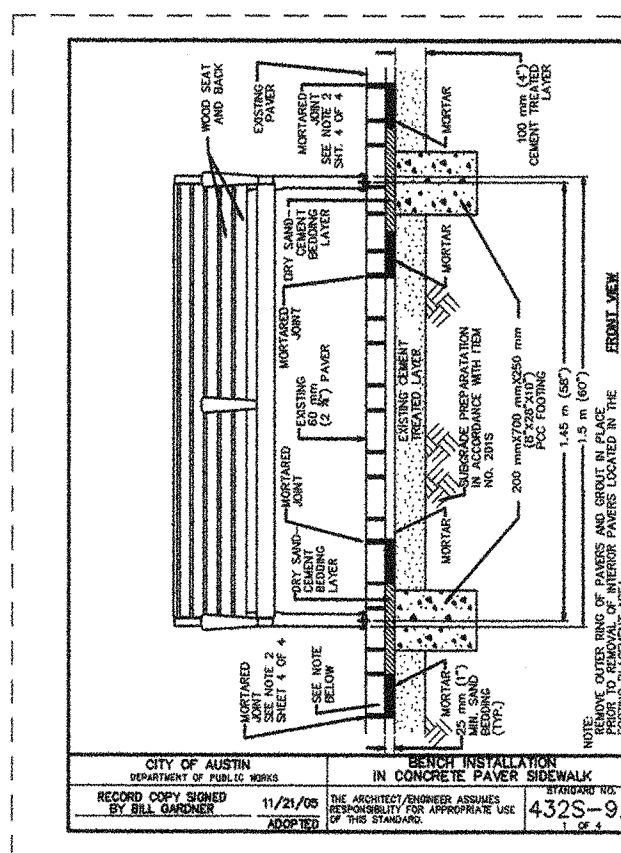
- SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED.
7. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO THE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
 8. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
 9. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
 10. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
 11. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
 12. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (RIPPING OF BRANCHES, ETC.).
 13. ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFER THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST).
 14. DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

TREE LIST
27' LIVE OAK
TREE IN R.O.W.

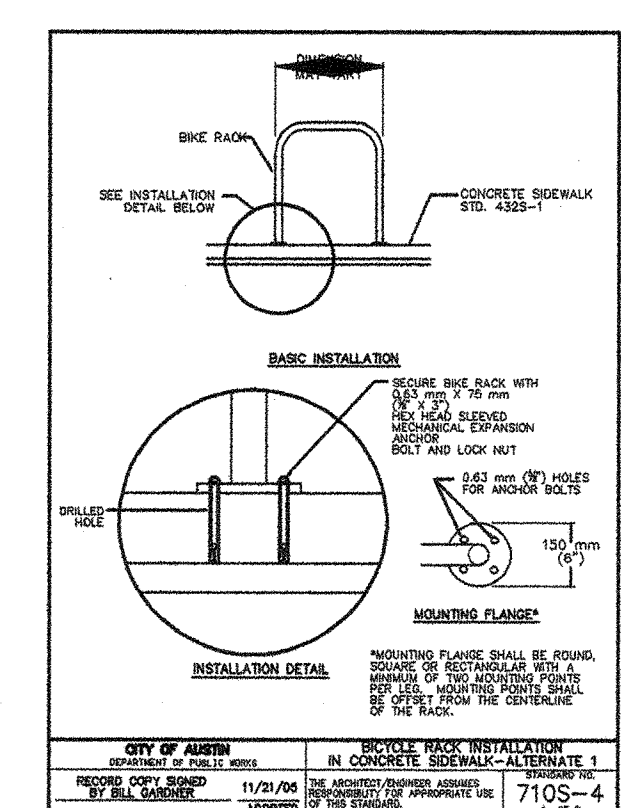
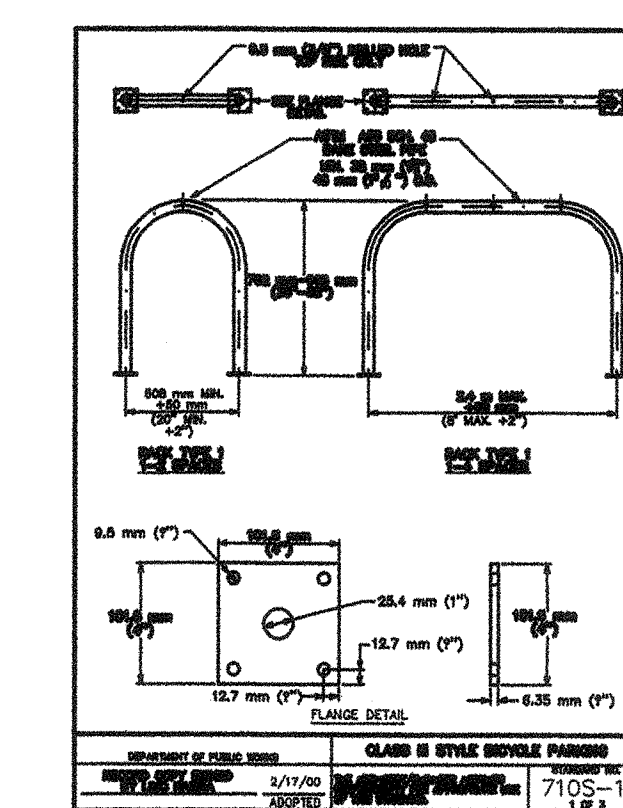
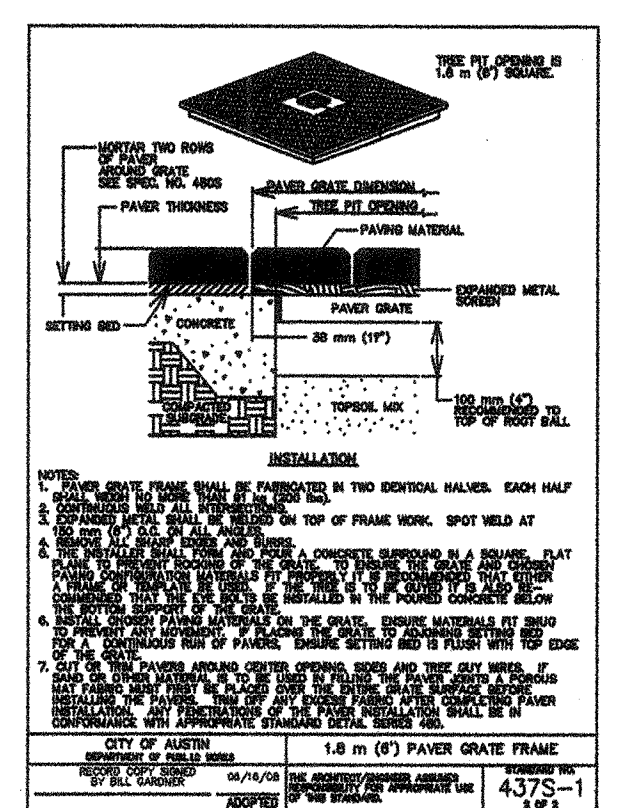
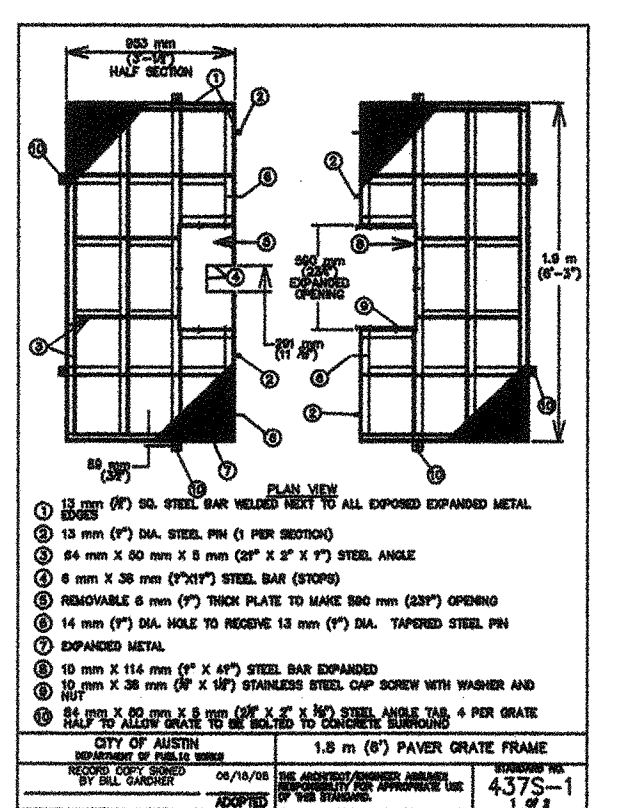
SCALE: 1" = 20'



- NEW COMMERCIAL AND MULTI-FAMILY LANDSCAPE IRRIGATION
1. A NEW COMMERCIAL AND MULTI-FAMILY IRRIGATION SYSTEM MUST BE DESIGNED AND INSTALLED SO THAT:
- a. THERE IS NOT DIRECT OVERSPRAY ONTO NON-IRRIGATED AREAS;
 - b. THE SYSTEM DOES NOT INCLUDE SPRAY IRRIGATION ON AREAS LESS THAN SIX (6) FEET WIDE (SUCH AS MEDIANS, BUFFER STRIPS, AND PARKING LOT ISLANDS);
 - c. ABOVE-GROUND IRRIGATION DEVICES ARE SET BACK AT LEAST SIX (6) INCHES FROM IMPERVIOUS SURFACES;
 - d. THE IRRIGATION SYSTEM HAS A MASTER VALVE;
 - e. CIRCUIT REMOTE CONTROL VALVES HAVE ADJUSTABLE FLOW CONTROLS;
 - f. SERVICEABLE IN-HEAD CHECK VALVES ARE ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE;
 - g. THE IRRIGATION SYSTEM HAS A CITY-APPROVED WEATHER-BASED CONTROLLER;
 - h. AN AUTOMATIC RAIN SHUT-OFF DEVICE SHUTS OFF THE IRRIGATION SYSTEM AUTOMATICALLY AFTER NOT MORE THAN A ONE-HALF INCH (1/2") RAINFALL;
 - i. ZONE VALVES AND CIRCUITS ARE SEPARATED BASED ON PLANT WATER REQUIREMENTS;
 - j. AN IRRIGATION EMISSION DEVICE (SUCH AS SPRAY, ROTOR, OR DRIP EMISSION) DOES NOT EXCEED THE MANUFACTURER'S RECOMMENDED OPERATING PRESSURE; AND
 - k. NO COMPONENT OF THE IRRIGATION SYSTEM DEVIATES FROM THE MANUFACTURER'S RECOMMENDED USE OF THE PRODUCT.
2. THE MAXIMUM SPACING BETWEEN SPRAY OR ROTARY SPRINKLER HEADS MUST NOT EXCEED THE RADIUS OF THROW OF THE HEAD UNLESS MANUFACTURER OF THE SPRINKLER HEAD SPECIFICALLY RECOMMENDS A GREATER SPACING. THE RADIUS OF THROW IS DETERMINED BY REFERENCE TO THE MANUFACTURER'S SPECIFICATIONS FOR A SPECIFIC NOZZLE AT A SPECIFIC OPERATING PRESSURE.
3. THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN AND WATER BUDGET TO THE CITY AT THE TIME THE FINAL PLUMBING INSPECTION IS PERFORMED. THE WATER BUDGET SHALL INCLUDE: (1) A CHART CONTAINING ZONE NUMBERS, PRECIPITATION RATE, AND GALLONS PER MINUTE; AND (2) THE LOCATION OF THE EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.
4. THE IRRIGATION INSTALLER SHALL PROVIDE A REPORT TO THE CITY ON A FORM PROVIDED BY THE AUSTIN WATER UTILITY DEPARTMENT CERTIFYING COMPLIANCE WITH SUBSECTION (1) WHEN THE FINAL PLUMBING INSPECTION IS PERFORMED BY THE CITY.
5. THE IRRIGATION SHALL COMPLY WITH CITY CODE CHAPTER 6-4, ART. 2, DIVISION 2, REGARDING THE CITY'S WATER CONSERVATION RESTRICTIONS.



- LANDSCAPE NOTES
1. ADEQUATE BARRIERS BETWEEN ALL VEHICULAR USE AREAS AND ADJACENT LANDSCAPE AREAS, SUCH AS A 6" CONCRETE CURB ARE REQUIRED. IF A STANDARD 6" CURB AND GUTTER ARE NOT PROVIDED FOR ALL VEHICULAR USE AREAS AND ADJACENT LANDSCAPE AREAS, COMPLY WITH EOM, SECTION 2.4.7, "PROTECTION OF LANDSCAPE AREAS."
 2. IRRIGATION SHALL BE BY AUTOMATIC SYSTEM WITH SHRUB AND TURF AREAS ON SEPARATE VALVE SECTIONS TO MEET C.O.A. GUIDELINES.
 3. ALL LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED AND REPLACED AS NECESSARY BY THE OWNER IN ACCORDANCE WITH LDC SECTION 25-2-98.4.
 4. ALL MECHANICAL EQUIPMENT, STORAGE AREAS, DETENTION AND REFUSE COLLECTION AREAS SHALL BE SCREENED BY PLANT MATERIAL OR A SIX (6') FOOT PRIVACY FENCE.
 5. SHRUB AND TREE BEDS SHALL BE COVERED WITH AN ORGANIC BARK MULCH TO A DEPTH OF THREE (3") INCHES.
 6. ALL PLANTING AREAS FOR REQUIRED LANDSCAPING SHALL CONTAIN A MINIMUM OF EIGHT (8') FEET OF SOIL AREA.
 7. ALL DISTURBED AREAS SHALL BE REVEGETATED TO MEET CITY OF AUSTIN STANDARDS.
 8. THIS PLAN IS FOR SUBMITTAL TO THE CITY OF AUSTIN TO COMPLY WITH CHAP. 25-2, ART. 9, DIV. 1 OF THE LAND DEV. CODE AND IS NOT INTENDED TO BE A CONTRACTOR'S BID DOCUMENT OR LANDSCAPE WORKING DRAWINGS.
 9. IF ESTABLISHING VEGETATION DURING ANY STAGE OF A DROUGHT, SECTION 6-4-30 MAY REQUIRE A VARIANCE. CONTACT AUSTIN WATER CONSERVATION STAFF AT WATERUSECOMP@AUSTIN.TX.GOV OR CALL 512-974-2199.
 10. ANY CHANGES IN PLANT SPECIES, QUANTITY OR LOCATION OF PLANT MATERIAL MAY RESULT IN NON-ACCEPTANCE OF THIS PROJECT BY THE CITY INSPECTORS.
 11. NO SITE FURNISHINGS (BENCHES, BIKE RACKS ETC.) SHALL BE PLACED OVER THE UNDERGROUND ELECTRIC.



APPENDIX F
ARBORIST'S OVERALL TREE CALCULATIONS

TOTAL NUMBER OF APPENDIX F CALIPER INCHES ON SITE = 0"
TOTAL NUMBER OF APPENDIX F CALIPER INCHES REMOVED = 0"
TOTAL NUMBER OF APPENDIX F CALIPER INCHES SAVED = 0"
TOTAL NEW OF CALIPER INCHES REPLACED = 0"
TOTAL NEW OF CALIPER INCHES PROPOSED = 45"
TOTAL CALIPER INCHES INVASIVE TREES REMOVED = 0"
TOTAL CALIPER INCHES NON APPENDIX F TREES REMOVED = 0"

SITE PLAN APPROVAL Sheet 12 of 18

FILE NUMBER: SP-2016-0105C APPLICATION DATE: FEB. 29, 2016

APPROVED BY COMMISSION ON: 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81, LDC):

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT

PROJECT EXPIRATION DATE: DWPZ DOZ

(ORD. #970905-A)

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0105C

THOMAS D. BROWN & ASSOCIATES
2000 RIVER STREET, SUITE 300
AUSTIN, TEXAS 78701
512-476-0000
LANDSCAPE ARCHITECTS / LAND PLANNING

WATERLOO TOWER
1201 RED RIVER STREET
AUSTIN, TEXAS 78701
GREAT STREETS LANDSCAPE PLAN

DATE: _____

BY: _____

REVISION: _____

PROJECT: WATERLOO TOWER

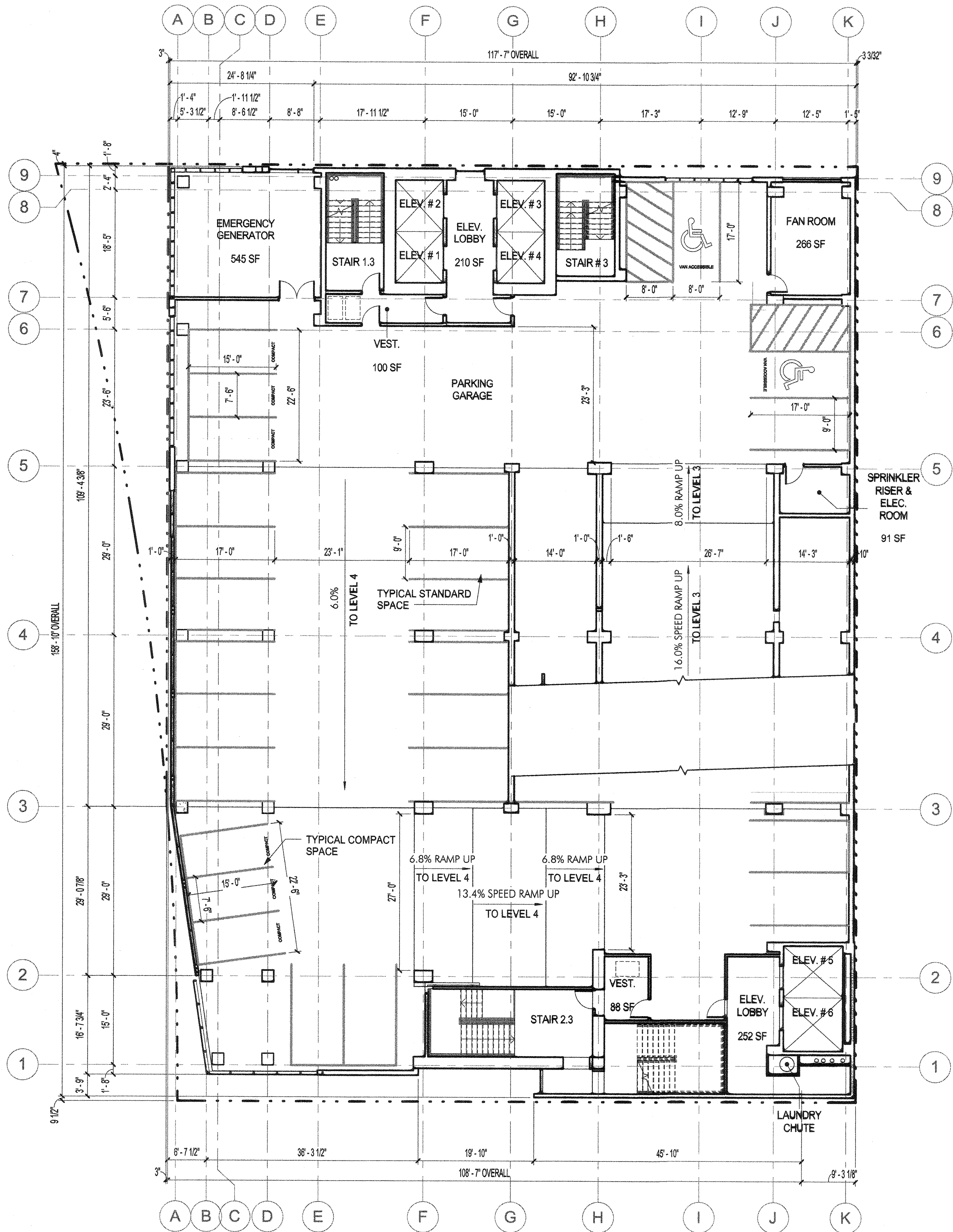
DRAWING'S NAME: LANDSCAPE PLAN

DESIGN: _____ CHECKED: _____

DRAWN: _____ APPROVED: _____

SHEET: 12 of 18

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PARKING REQUIREMENTS

USE	AREA/ROOMS	RATIO	BASE REQUIREMENT PER APPENDIX A	MINIMUM*	MAXIMUM**	PROVIDED
HOTEL	256 Rooms	1.1 Per Room	281.60 Spaces	0 Spaces	168.96 Spaces	
RESTAURANT >2,500 sf						
Non-Accessory within Hotel	8,129 GSF	1/75 GSF	108.39 Spaces	0 Spaces	65.03 Spaces	
COCKTAIL LOUNGE 2,500sf-10,000sf						
Non-Accessory within Hotel	3,350 GSF	1/50 GSF	67.00 Spaces	0 Spaces	40.20 Spaces	
CONDOMINIUM						
1 Bedroom	12 Units	1.5 Per Unit	18.00 Spaces	0 Spaces	10.80 Spaces	
2 Bedroom	12 Units	2.0 Per Unit	24.00 Spaces	0 Spaces	14.40 Spaces	
3 Bedroom	4 Units	2.5 Per Unit	10.00 Spaces	0 Spaces	6.00 Spaces	
TOTAL			508.99 Spaces	0 Spaces	305.39 Spaces	300 Spaces
ACCESSIBLE SPACES (PER IBC TABLE 1106.1)				7 Spaces		7 Spaces
VAN ACCESSIBLE SPACES (PER IBC 1106.5)				2 Spaces		2 Spaces
BICYCLE PARKING SPACES (5% OF VEHICULAR SPACES, BASE REQUIREMENT)				25 Spaces		25 Spaces
LOADING SPACES PER LDC 25-6-592, FOR HOTEL USES OF 150,001 sf - 300,000 sf, 1 (10'x30') AND 1 (10'x40') SPACES ARE REQUIRED						
						1 10x30 1 10x40
* PER LDC 25-6-591(B) THERE IS NO MINIMUM PARKING REQUIREMENT FOR CBD ZONED PROPERTY						
** PER LDC 25-6-591 (B)(3) THE MAXIMUM PARKING FOR CBD ZONED PROPERTY IS 60% OF THE BASE REQUIREMENTS PER APPENDIX A						

Parking Schedule	
Type	Count

Level 3 Parking	
Standard	29
Compact	6
Accessible Van	2
	37

Level 4 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 5 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 6 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 7 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 8 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 9 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 10 Parking	
Standard	5
Compact	5
Accessible	1
	11
Grand total:	300 300

PARKING TABLE	COUNT	PERCENTAGE
Standard Spaces	220	73.33%
Compact Spaces	71	23.67%
Accessible Spaces	9	3.00%
Total Spaces	300	

BIKE PARKING	25 Total
LOADING AREA	1 10'X30' Space 1 10'X40' Space 2 Total

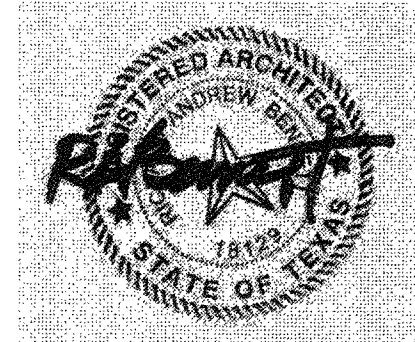


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303 Colorado St., St. 2575 | Austin, Texas 78701

Tel 512.687.0699 | Fax 512.687.1097

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09.27.2016

project
WATERLOO PARK HOTEL
1201 RED RIVER ST, AUSTIN, TX 78701

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original issue

ISSUE FOR SITE PLAN APPROVAL 09.27.2016

revisions

title
FLOOR PLAN - GARAGE LEVEL 3

project number 16022.100

date 09.27.2016

sheet

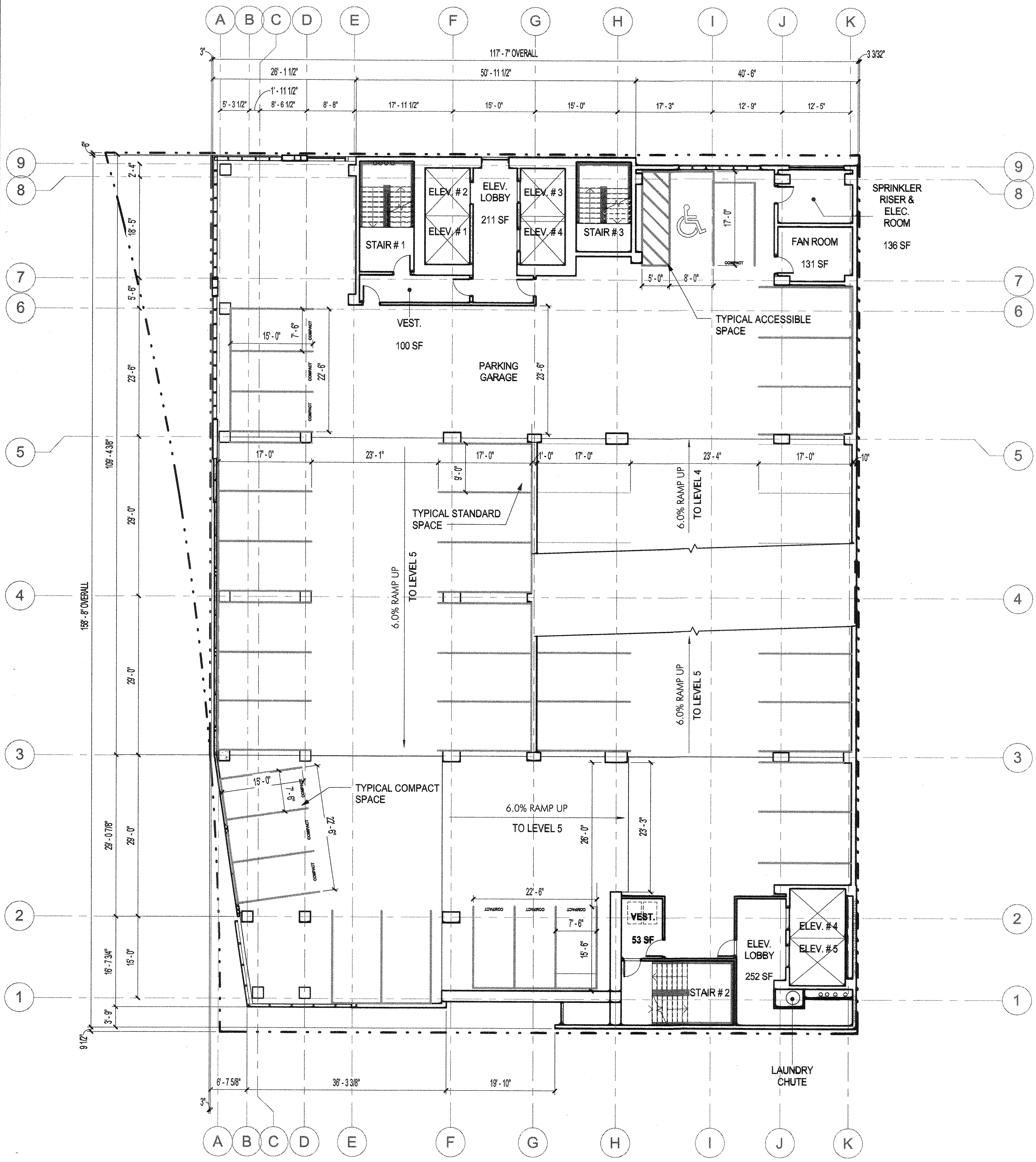
14 of 18



01 GARAGE LEVEL 3
SCALE: 3/32" = 1'-0"

SITE PLAN APPROVAL		Sheet 14 of 18
FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016		
APPROVED BY COMMISSION ON:		
under Section 112 of Chapter 25-5 of the Austin City Code.		
EXPIRATION DATE: (25-5-61.LDC):		
CASE MANAGER: DONNA GALATI		
ZONING: CBD - CENTRAL BUILDING DISTRICT		
PROJECT EXPIRATION DATE: DWF2 DDZ		
CDD #5708CC-A		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
RELEASED FOR GENERAL COMPLIANCE: Zoning:		
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time for filing, and all required Building Permits and/or other notices of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
SP-2016-0106C		

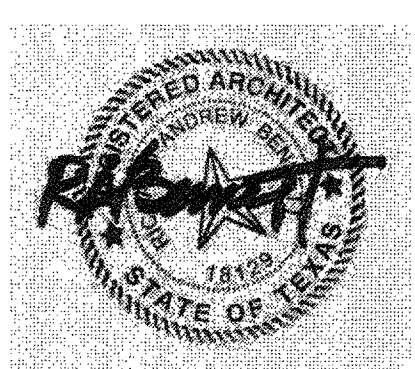
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01 GARAGE LEVELS 4 - 8
SCALE: 3/32" = 1'-0"



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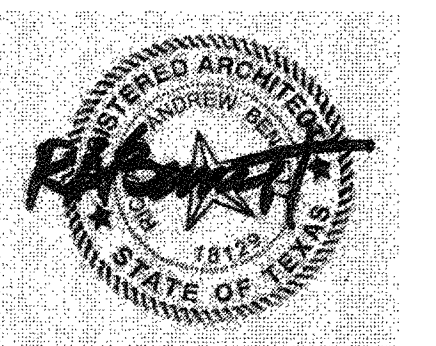
SITE PLAN APPROVAL		Sheet 15 of 18
FILE NUMBER:	SP-2016-0106C	APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON: _____		
under Section 112 of Chapter 25-5 of the Austin City Code.		
EXPIRATION DATE (25-5-81.LDC):	_____	
CASE MANAGER:	DONNA GALATI	
ZONING:	CBD - CENTRAL BUILDING DISTRICT	
PROJECT EXPIRATION DATE:	DWPZ	DOZ
(ORD #870905-A)		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____		
Rev. 1	Correction 1	_____
Rev. 2	Correction 2	_____
Rev. 3	Correction 3	_____
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
SP-2016-0106C		

title
FLOOR PLAN - GARAGE LEVELS 4 - 8

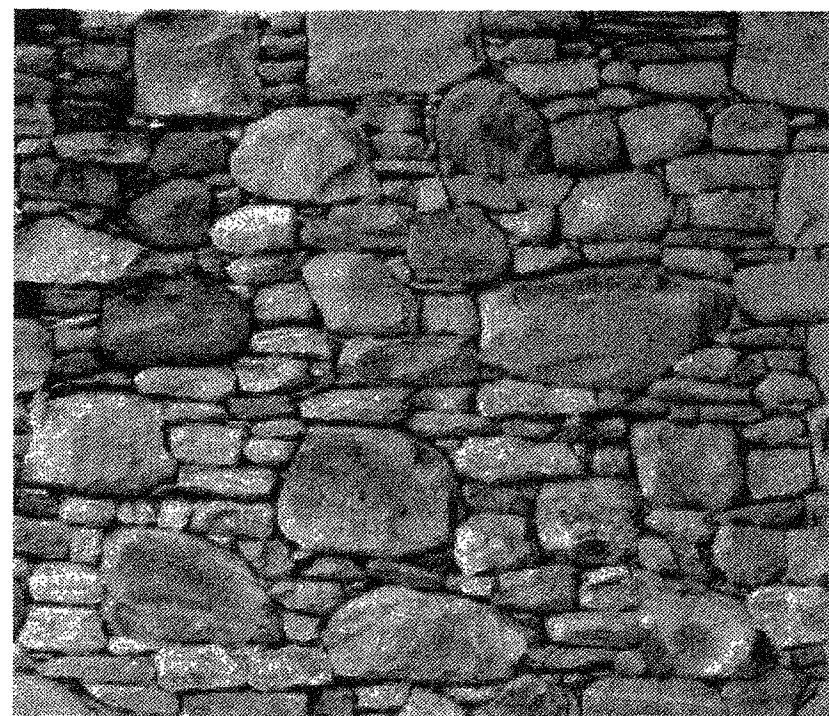
project number 16022.100

date 09.27.2016

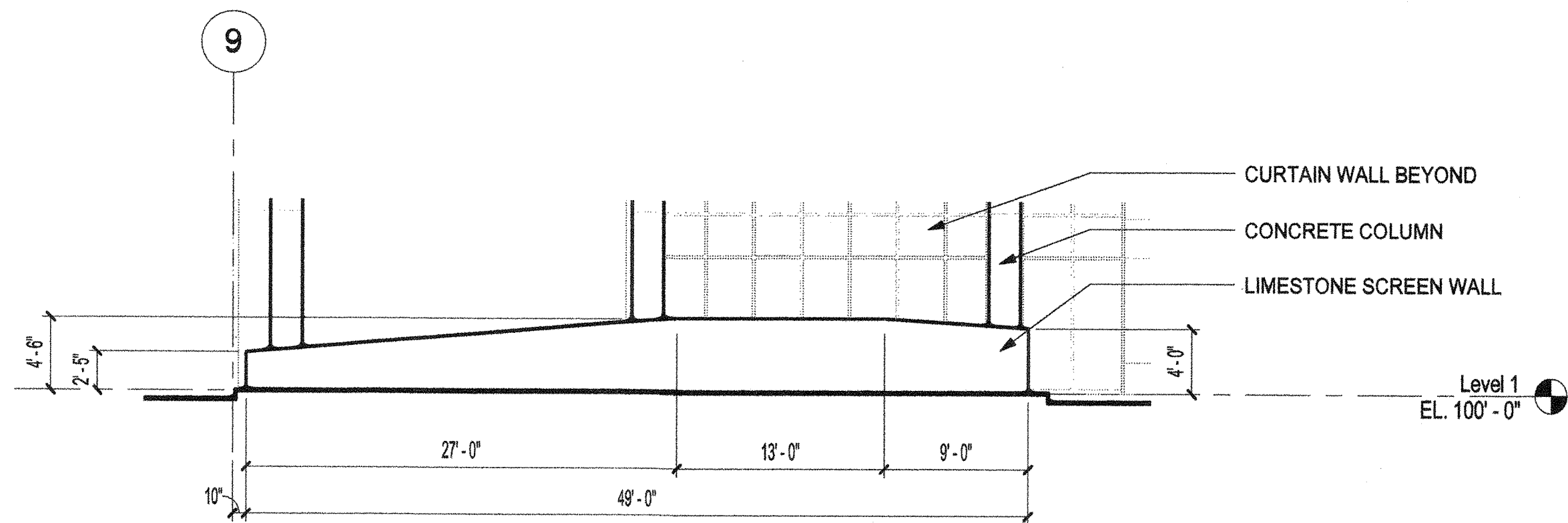
sheet
15 of 18



09.27.2016



LIMESTONE SCREEN HEIGHT VARIES FROM 2'-5" TO 4'-6".
REFER TO ENLARGED ELEVATION BELOW



02 ENLARGED ELEVATION - STONE SCREEN
WALL
SCALE: 1/8" = 1'-0"

SITE PLAN APPROVAL		Sheet 16 of 18
FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016		
APPROVED BY COMMISSION ON: under Section 112 of Chapter 25-5 of the Austin City Code.		
EXPIRATION DATE (25-5-81.1DC):		
CASE MANAGER: DONNA GALATI		
ZONING: CBD - CENTRAL BUILDING DISTRICT		
PROJECT EXPIRATION DATE: DWP2 DDZ		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
RELEASED FOR GENERAL COMPLIANCE: Zoning:		
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	
Final seal must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
SP-2016-0106C		

title
**FLOOR PLAN - GARAGE LEVEL
10**

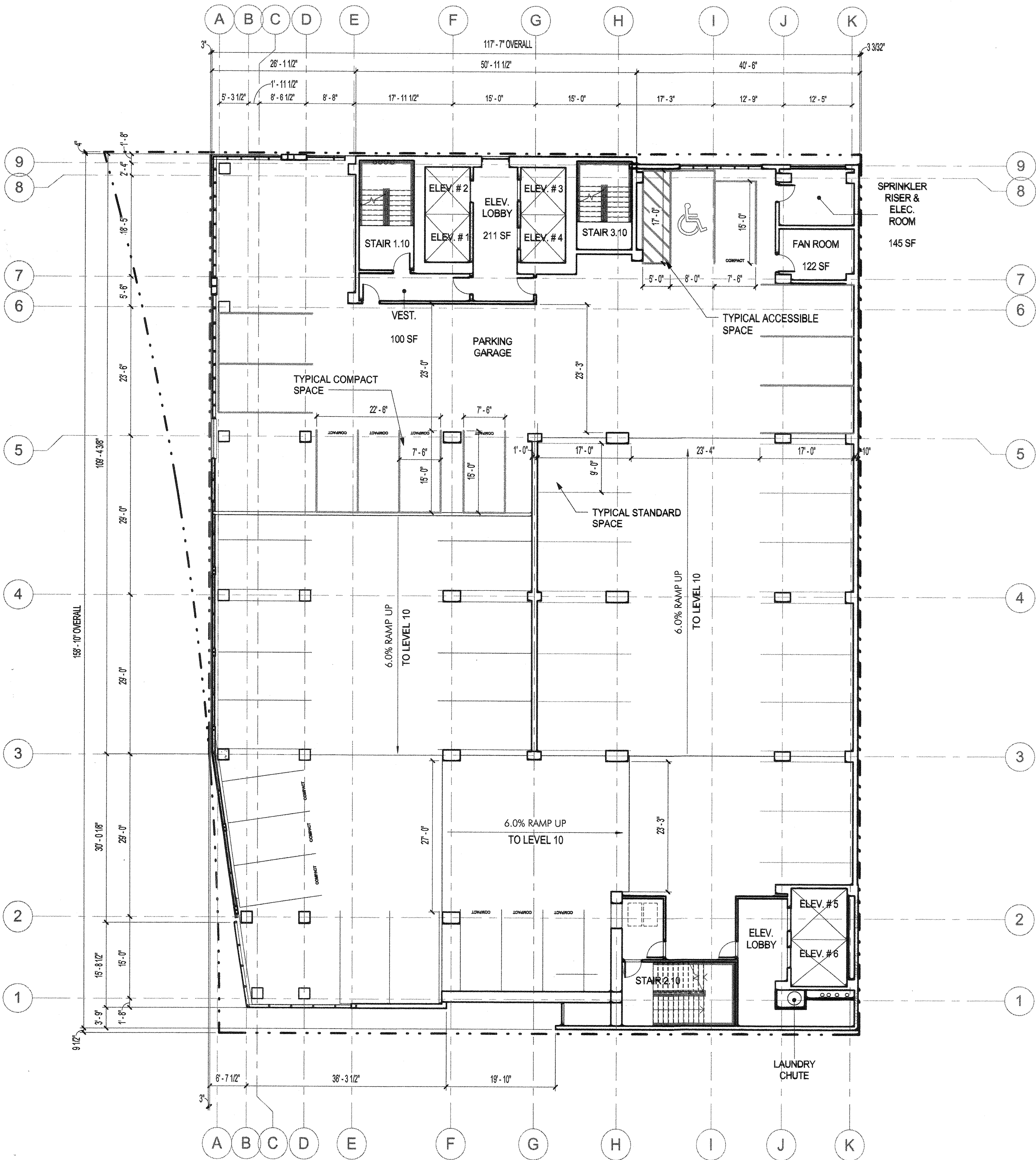
project number 16022.100

date 09.27.2016

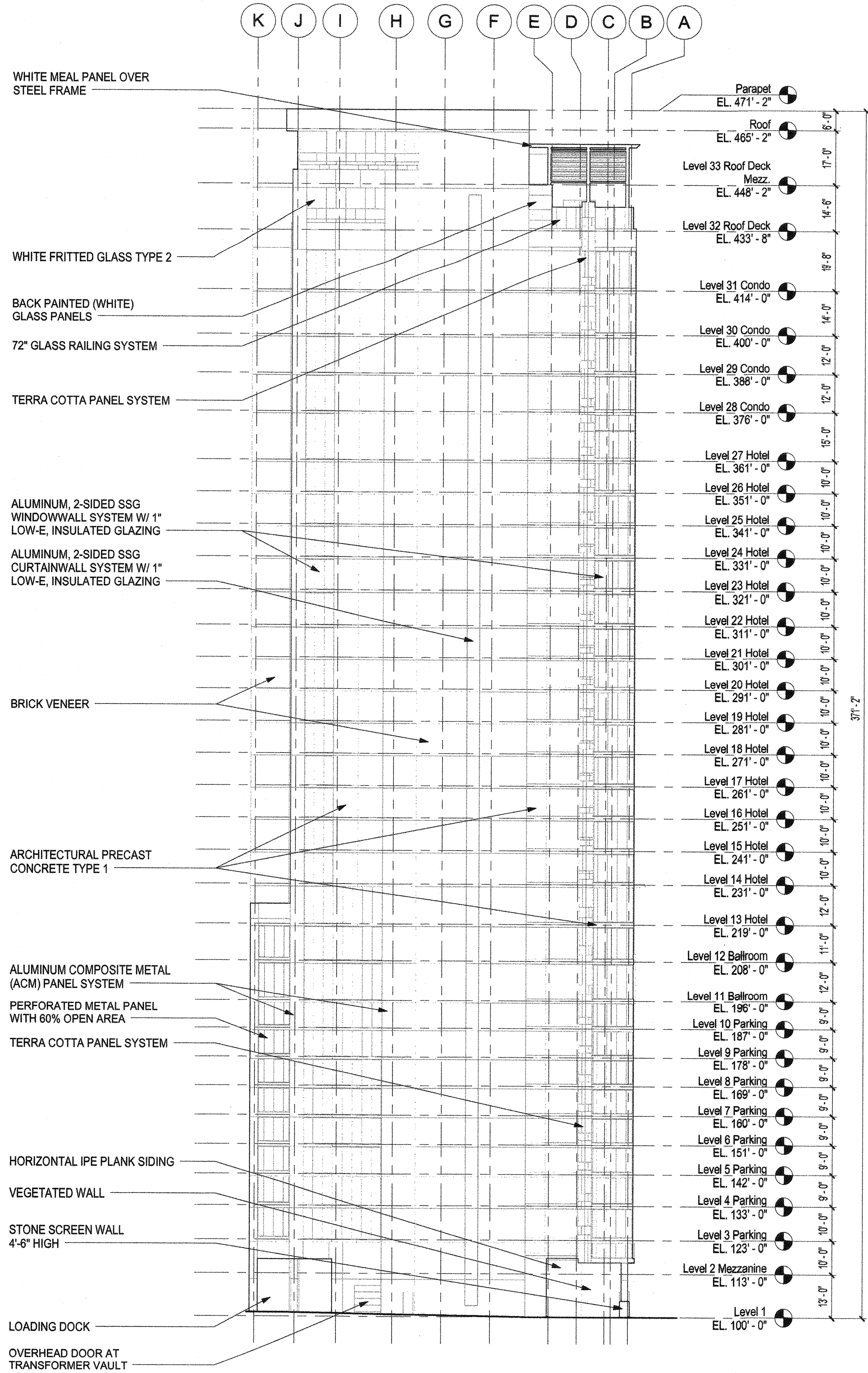
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16 of 18

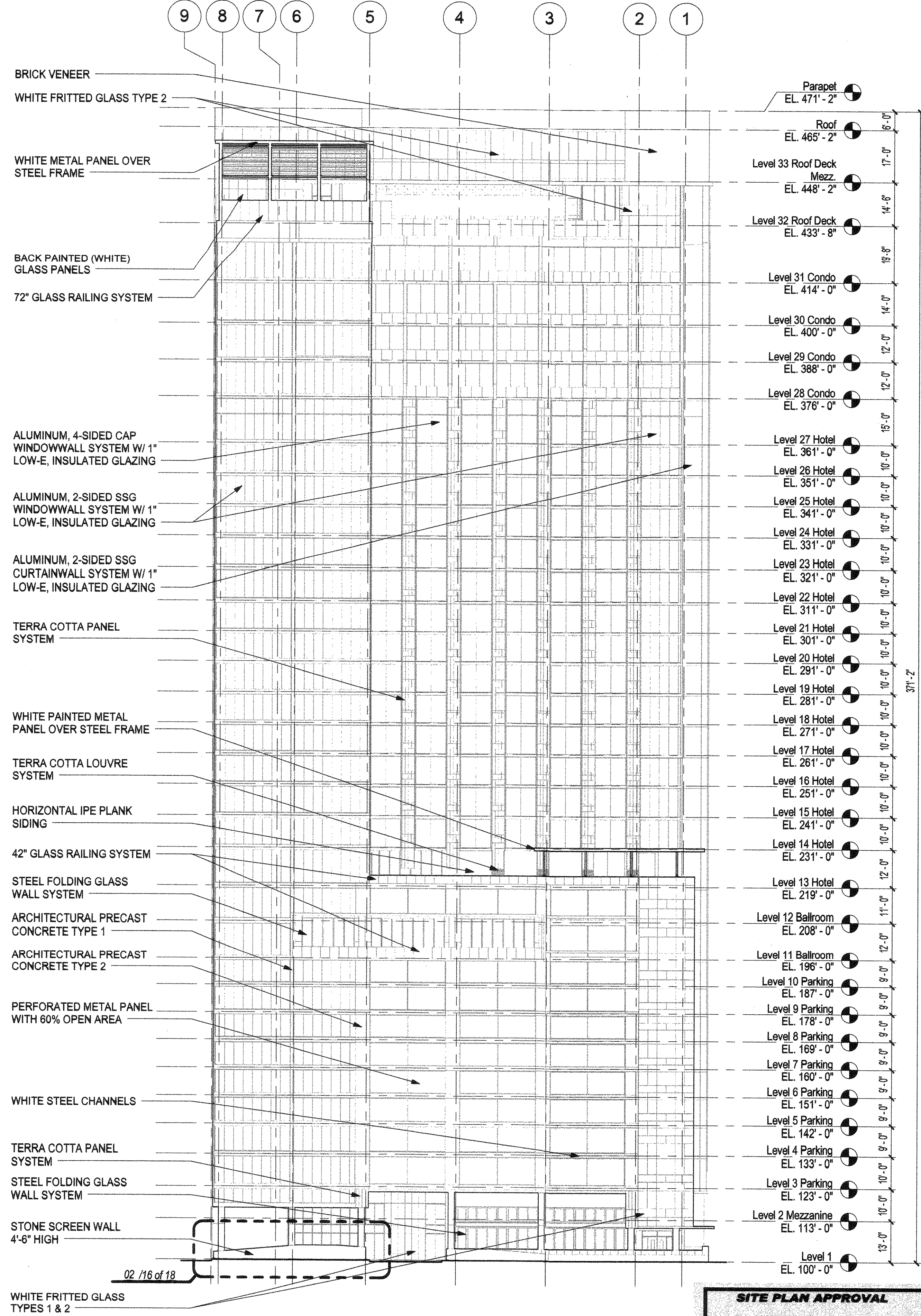
01 GARAGE LEVEL 10
SCALE: 3/32" = 1'-0"



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02 NORTH ELEVATION
SCALE: 3/64" = 1'-0"



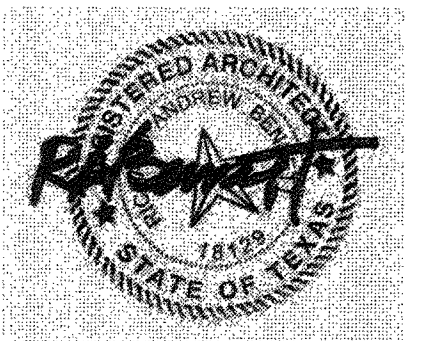
01 WEST ELEVATION
SCALE: 3/64" = 1'-0"

COMPLIANCE WITH BUILDING DESIGN
STANDARDS, ARTICLE 3 OF SUBCHAPTER E, IS
REQUIRED, AND IS TO BE REVIEWED FOR
COMPLIANCE DURING BUILDING CODE REVIEW

SITE PLAN APPROVAL		Sheet 17 of 18	
FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016			
APPROVED BY COMMISSION ON:			
under Section 112 of Chapter 25-5 of the Austin City Code.			
EXPIRATION DATE (25-5-81.JDC):			
CASE MANAGER: DONNA GALATI			
ZONING: CBD - CENTRAL BUILDING DISTRICT			
PROJECT EXPIRATION DATE: DWPZ DOZ			
(ORD. #9703C-A)			
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT			
RELEASED FOR GENERAL COMPLIANCE: Zoning:			
Rev. 1	Correction 1		
Rev. 2	Correction 2		
Rev. 3	Correction 3		
Final plan must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time for filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.			
SP-2016-0106C			



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1201 RED RIVER ST, AUSTIN, TX 78701

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revisions

title
ELEVATIONS NORTH & WEST

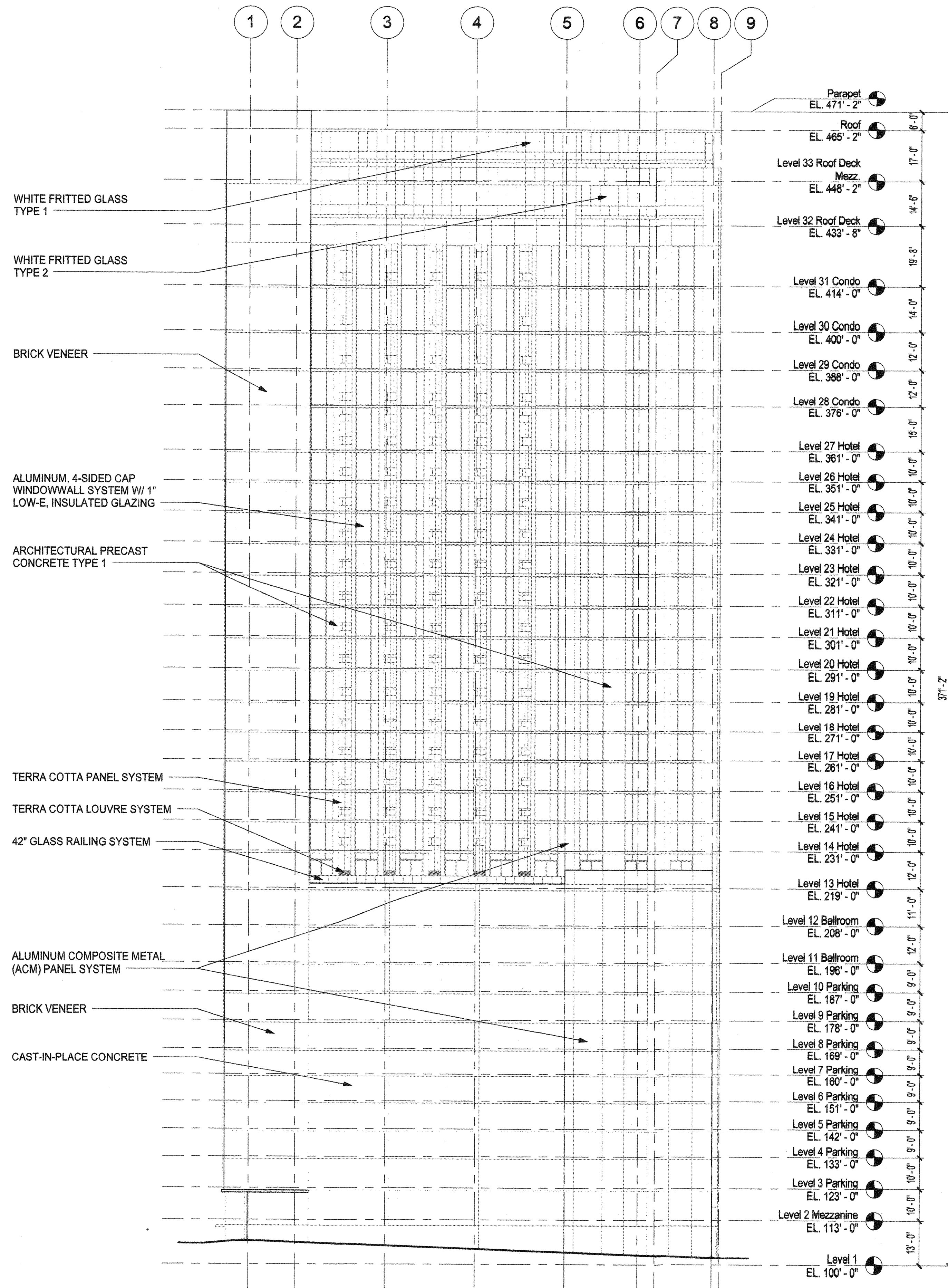
project number 16022.100

date 09.27.2016

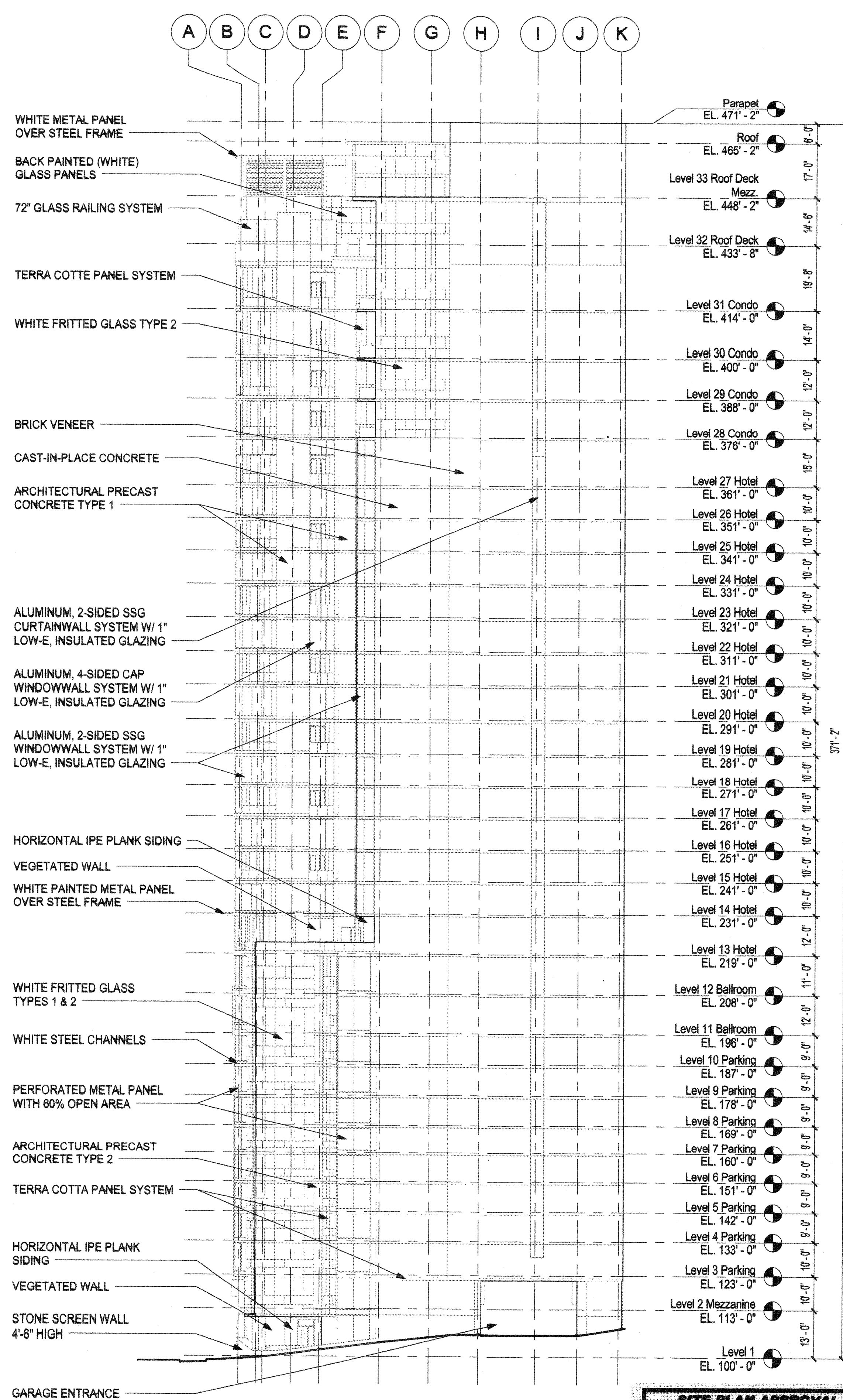
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02 EAST ELEVATION
SCALE: 3/64" = 1'-0"



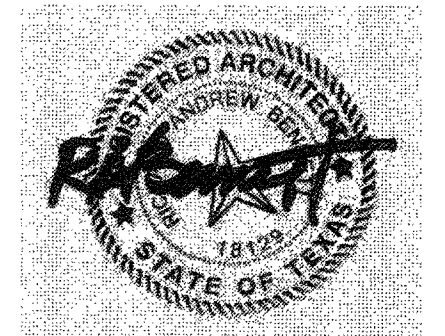
01 SOUTH ELEVATION
SCALE: 3/64" = 1'-0"

COMPLIANCE WITH BUILDING DESIGN
STANDARDS, ARTICLE 3 OF SUBCHAPTER E, IS
REQUIRED, AND IS TO BE REVIEWED FOR
COMPLIANCE DURING BUILDING CODE REVIEW

SITE PLAN APPROVAL		Sheet 18 of 18
FILE NUMBER:	SP-2016-0106C	APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON:		
under Section 112 of Chapter 25-5 of the Austin City Code.		
EXPIRATION DATE:	(25-5-81.LDC)	
CASE MANAGER:	DONNA GALATI	
ZONING:	CBD - CENTRAL BUILDING DISTRICT	
PROJECT EXPIRATION DATE:	DWPZ	DDZ
(ORD.#970905-A)		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
RELEASED FOR GENERAL COMPLIANCE: Zoning:		
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
SP-2016-0106C		



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revisions

title
ELEVATIONS SOUTH & EAST

project number 16022.100

date 09.27.2016

sheet

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2013 COMMERCIAL RATING SCORECARD PLANNER



PROJECT NAME

Waterloo Tower Hotel

AEGB COMMERCIAL RATING STAR LEVELS	
1 Star	Basic Requirements
2 Stars	35 - 44 points
3 Stars	45 - 54 points
4 Stars	55 - 74 points
5 Stars	75 points or more

SUMMARY	
TOTAL "YES" POINTS	41
RATING ELIGIBILITY, BASED ON YES	2 Stars
TOTAL POINTS, INCLUDING "MAYBE"	79
RATING ELIGIBILITY, INCLUDING "MAYBE"	5 Stars

MEASURE	POINTS AVAILABLE	YES	MAYBE	NO	NOTES	RESPONSIBLE PARTY
BASIC REQUIREMENTS						
1. Plans and Specifications	Req'd	YES				
2. Current Codes and Regulations	Req'd	YES				
3. Building Systems Commissioning	Req'd	YES				
4. Building Energy Performance	Req'd	YES				
5. Outdoor Water Use Reduction	Req'd	YES				
6. Indoor Water Use Reduction	Req'd	YES				
7. Low-Emitting Materials - Interior Paints and Coatings	Req'd	YES				
8. Storage and Collection of Recyclables	Req'd	YES				
9. Construction Waste Management	Req'd	YES				
INTEGRATED DESIGN						
1. Integrated Project Design	2		2			
INTEGRATED DESIGN SUBTOTALS		0	2	0		
SITE						
Site Selection						
Environmental Sensitivity	2	2				
Desired Development Area	2	2				
Density	2	2				
Diverse, Walkable Communities	1		1			
Brownfield Redevelopment	1			1		
Site Specific Design	1			1		
Transportation Alternatives						
Public Transportation	1-3	3				
Bicycle Use	1	1				
Parking Capacity	1			1		
Electric Vehicle Charging Station	1	1				
Protect or Restore Habitat	1			1		
Beneficial Open Space	1	1				
Access to Local and Regional Produce	1		1			
Heat Island Reduction	1	1				
Light Pollution Reduction	1	1				
Integrated Pest Management	1	1				
SITE SUBTOTALS		15	2	4		
ENERGY						
Building Energy Performance	1-16	7	3	6		
Renewables	1-4		2	2		
Additional Commissioning	1-3	1	2			
Advanced Energy Metering	1		1			
Demand Response	2			2		

MEASURE	POINTS AVAILABLE	YES	MAYBE	NO	NOTES	RESPONSIBLE PARTY
Green Energy	2		2			
District Cooling	1		1			
ENERGY SUBTOTALS		8	11	10		
WATER						
Outdoor Water Use Reduction	1-3	3			Use of city reclaimed water for irrigation	
Building Water Use Reduction	1-6	4	2		Use of low flow fixtures and reclaimed water for toilet flushing	
Process Water Use Reduction	1-2	1	1		Cooling tower make-up to use reclaimed water	
Stormwater Management	1-2			2		
WATER SUBTOTALS		8	3	2		
INDOOR ENVIRONMENTAL QUALITY (IEQ)						
Indoor Chemical & Pollutant Sources	1		1			
Green Housekeeping	1	1				
Daylighting and Views						
Daylighting Design	1		1			
Daylighting Controls	1		1			
Views to the Outside	1		1			
Individual Controllability	1	1				
Low Emitting Materials						
Sealants and Adhesives	1-5	1				
Flooring System		1				
Composite Wood and Agrifiber Products			1			
Insulation		1				
Ceiling and Wall Systems			1			
Furniture						
Exterior Applied Products						
Moisture Protection	1	1				
Acoustic Quality	1		1			
Outdoor Pollutant Control	1		1			
Construction Indoor Air Quality	1	1				
IEQ SUBTOTALS		7	8	0		
MATERIALS AND RESOURCES						
Additional Construction Waste Management	1	1				
Building Materials Use Reduction	1-3			3		
Sustainably Sourced Material	1-6	1	3	2		
Certified Wood	1		1			
PVC and Phthalate Free	1		1			
MATERIALS AND RESOURCES SUBTOTALS		2	5	5		
EDUCATION AND EQUITY						
Educational Outreach	2		2			
Construction Worker Equity	1		1			
EDUCATION AND EQUITY SUBTOTALS		0	3	0		
INNOVATION						
Innovation #1	1	1				
Innovation #2	1		1			
Innovation #3	1		1			
Innovation #4	1		1			
Innovation #5	1		1			
INNOVATION SUBTOTALS		1	4	0		
GRAND TOTAL POINTS		100	41	38	21	

MEMORANDUM

Date: 3-21-2017
To: Austin Design Commission
From: Design Commission Planning & Urban Design Working Group
Subject: Working Group Density Bonus Program review of Waterloo Park Tower for substantial compliance with the Urban Design Guidelines.
Meeting Date: 3-13-2017
Applicant: Jim Wittliff
Architect: Boka Powell

The project location is 1201 Red River. It was presented as a hotel project. There is no residential component. The existing zoning is CBD.

The applicant is seeking a density bonus to raise the FAR from 8:1 to 15:1 FAR. The lot area is 19,689 sq ft, and the total project area is 282,318 sf ft.

The applicant is not seeking additional height. The maximum height achievable under the density bonus program in this portion of downtown is 450 feet. The total building height proposed is 371'-0" or 33 floors.

The additional square footage made available by the FAR density bonus is 133,140 sq ft.

Per the Density Bonus Program ordinance, the applicant is required to provide streetscape improvements along all public street frontages consistent with the Great Streets Standards, and the applicant shall commit to a minimum of 2 star Green Building rating. The Mayor and City Council and the Planning & Development Review Director will determine appropriate bonus area in light of community benefits to be provided.

Positive attributes of the project:

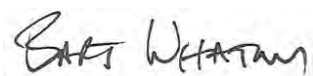
1. LEED Silver minimum sought in addition to 2 star Green Building.
2. Use of reclaimed water up to 2% of building costs, including potentially toilets.
3. Publicly accessible terrace.
4. Façade treatment works to integrate parking levels into overall massing.
5. Letter of intent to meet or exceed Green Building 2 star rating was attached but scorecard was not included.

Concerns/suggestions for the project:

1. This is a tight site with sloping grade on E 12th. Some portions of the 12th street façade being dedicated to vehicle access and stairs seems reasonable.

It is determined that the project, as presented, is in substantial compliance with the Urban Design Guidelines. The Working Group appreciates the opportunity to review and comment on this project.

Respectfully submitted,



Bart Whatley, Vice Chair of the Design Commission
Planning & Urban Design Working Group